



# City of Madison

## Proposed Conditional Use

Location  
822-844 John Nolen Drive

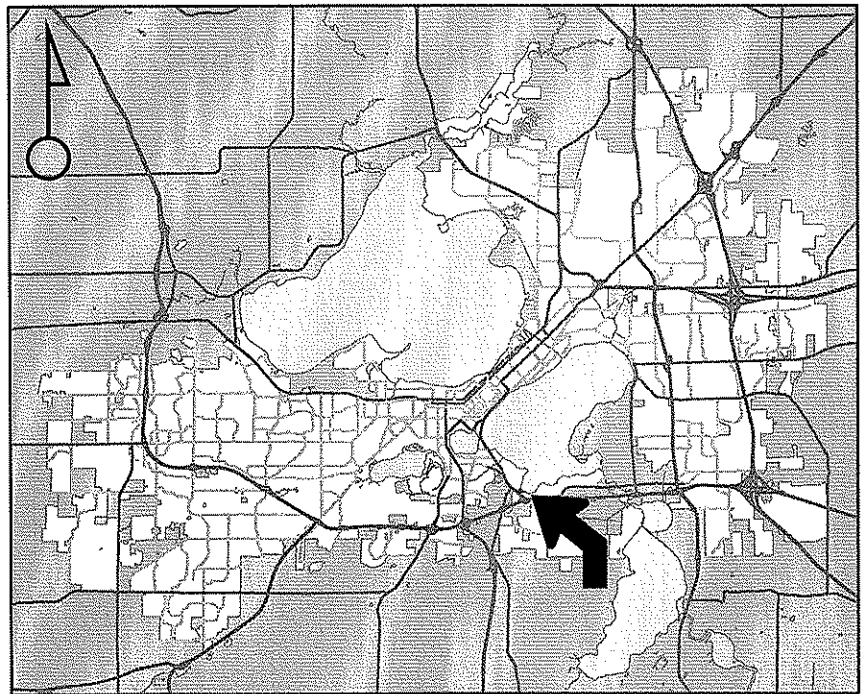
Project Name  
aloft Hotel/Fratellos Restaurant

Applicant  
Jay P. Supple - Supple Group/  
Chris Thiel - Schreiber Anderson Assoc

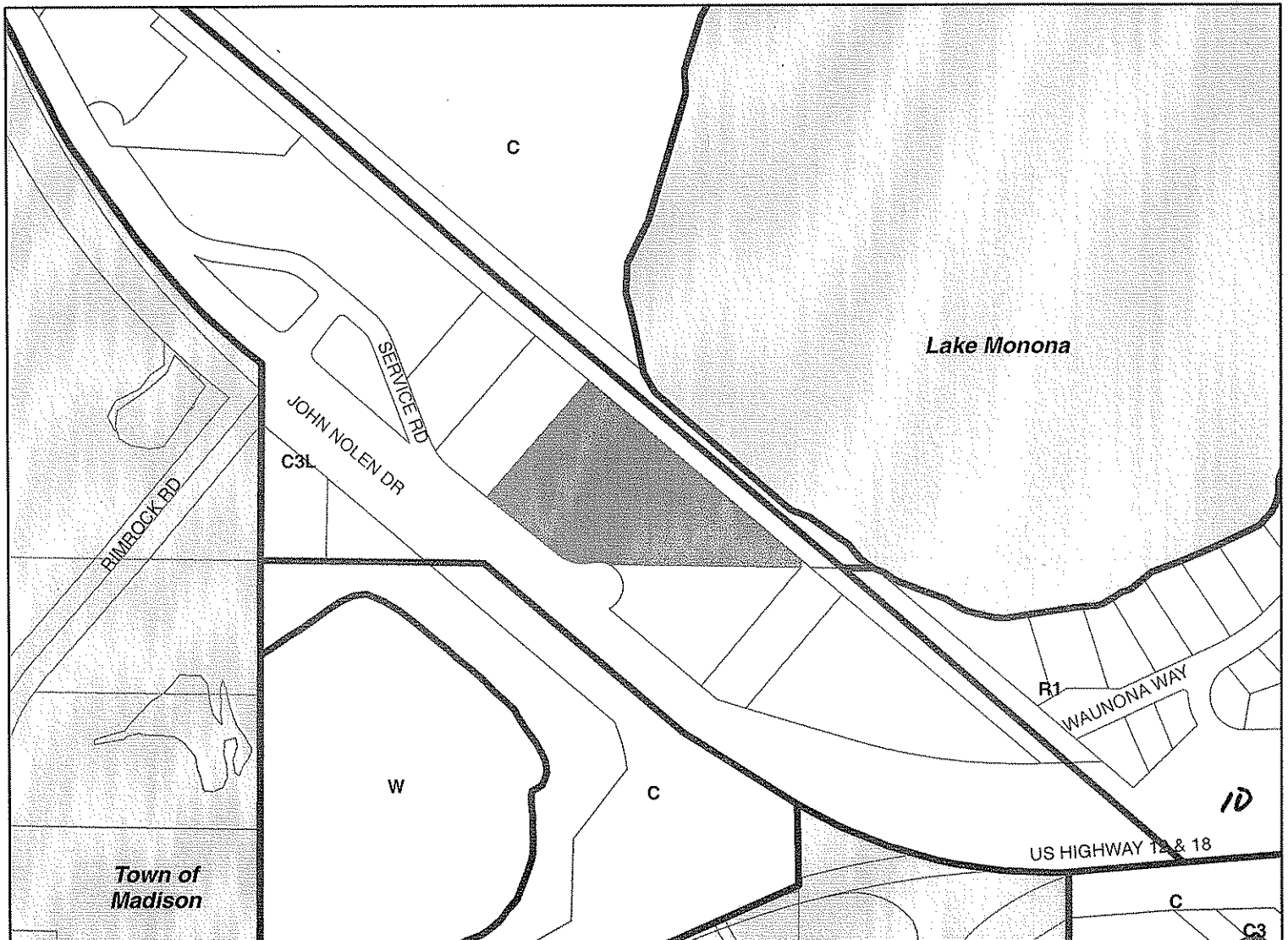
Existing Use  
Vacant Land

Proposed Use  
Construct Hotel and Restaurant over  
40,000 Square Feet w/ Outdoor Eating Area

Public Hearing Date  
Plan Commission  
18 August 2008



For Questions Contact: Tim Parks at: 261-9632 or [tparks@cityofmadison.com](mailto:tparks@cityofmadison.com) or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 06 August 2008



# LAND USE APPLICATION Madison Plan Commission

215 Martin Luther King Jr. Blvd; Room LL-100  
PO Box 2985; Madison, Wisconsin 53701-2985  
Phone: 608.266.4635 | Facsimile: 608.267.8739

- The following information is required for all applications for Plan Commission review.
- Please read all pages of the application completely and fill in all required fields.
- This application form may also be completed online at [www.cityofmadison.com/planning/plan.html](http://www.cityofmadison.com/planning/plan.html)
- All zoning application packages should be filed directly with the Zoning Administrator's desk.
- All applications will be reviewed against the applicable standards found in the City Ordinances to determine if the project can be approved.

<b>FOR OFFICE USE ONLY:</b>	
Amt. Paid <u>\$500<sup>00</sup></u>	Receipt No. <u>92099</u>
Date Received <u>6/18/08</u>	
Received By <u>JK</u>	
Parcel No. <u>0709-253-0116-4</u>	
Aldermanic District <u>14 - Tim Bruer</u>	
GQ <u>UDD-01; RR Frontage; wetland</u>	
Zoning District <u>C3L</u>	
<b>For Complete Submittal</b>	
Application <input checked="" type="checkbox"/>	Letter of Intent <input checked="" type="checkbox"/>
IDUP <u>N/A</u>	Legal Descript. <input checked="" type="checkbox"/>
Plan Sets <input checked="" type="checkbox"/>	Zoning Text <u>N/A</u>
Alder Notification _____	Waiver _____
Ngbrhd. Assn Not. _____	Waiver _____
Date Sign Issued <u>6-18-08/5/1/09</u>	

**1. Project Address:** 822-844 John Nolen Drive **Project Area in Acres:** 4.23

**Project Title (if any):** aloft hotel / Fratellos Restaurant

**2. This is an application for:** (check at least one)

<input type="checkbox"/> <b>Zoning Map Amendment</b> (check only ONE box below for rezoning and fill in the blanks accordingly)		
<input type="checkbox"/> Rezoning from _____ to _____	<input type="checkbox"/> Rezoning from _____ to PUD/PCD-SIP	
<input type="checkbox"/> Rezoning from _____ to PUD/PCD-GDP	<input type="checkbox"/> Rezoning from PUD/PCD-GDP to PUD/PCD-SIP	
<input checked="" type="checkbox"/> <b>Conditional Use</b>	<input type="checkbox"/> <b>Demolition Permit</b>	<input type="checkbox"/> <b>Other Requests</b> (Specify): _____

**3. Applicant, Agent & Property Owner Information:**

Applicant's Name: Jay P. Supple Company: Supple Group

Street Address: 1621 Congress Avenue City/State: Oshkosh, WI Zip: 54901

Telephone: (920) 232.2334 Fax: (920) 232.9671 Email: jaysupple@supplerestaurantgroup.com

Project Contact Person: Christopher Thiel Company: Schreiber/Anderson Associates

Street Address: 717 John Nolen Drive City/State: Madison, WI Zip: 53713

Telephone: (608) 255-0800 Fax: (608) 255-7750 Email: cthiel@saa-madison.com

Property Owner (if not applicant): \_\_\_\_\_

Street Address: \_\_\_\_\_ City/State: \_\_\_\_\_ Zip: \_\_\_\_\_

**4. Project Information:**

Provide a general description of the project and all proposed uses of the site: This project consists of a mixed-use hotel and restaurant development on Lake Monona and John Nolen Drive.

Development Schedule: *Commencement* September 2008 *Completion* March 2009

CONTINUE →

**5. Required Submittals:**

- Site Plans** submitted as follows below and depicts all lot lines; existing, altered, demolished or proposed buildings; parking areas and driveways; sidewalks; location of any new signs; existing and proposed utility locations; building elevations and floor plans; landscaping, and a development schedule describing pertinent project details:
  - **Seven (7) copies** of a full-sized plan set drawn to a scale of one inch equals 20 feet (collated and folded)
  - **Seven (7) copies** of the plan set reduced to fit onto 11 inch by 17 inch paper (collated, stapled and folded)
  - **One (1) copy** of the plan set reduced to fit onto 8 ½ inch by 11 inch paper
- Letter of Intent: Twelve (12) copies** describing this application in detail but not limited to, including: existing conditions and uses of the property; development schedule for the project; names of persons involved (contractor, architect, landscaper, business manager, etc.); types of businesses; number of employees; hours of operation; square footage or acreage of the site; number of dwelling units; sale or rental price range for dwelling units; gross square footage of building(s); number of parking stalls, etc.
- Legal Description of Property:** Lot(s) of record or metes and bounds description prepared by a land surveyor.
- Filing Fee:** \$ 500 See the fee schedule on the application cover page. Make checks payable to: *City Treasurer.*

**IN ADDITION, THE FOLLOWING ITEMS MAY ALSO BE REQUIRED WITH YOUR APPLICATION; SEE BELOW:**

- For any applications proposing demolition of existing (principal) buildings, photos of the structure(s) to be demolished shall be submitted with your application. Be advised that a *Reuse and Recycling Plan* approved by the City's Recycling Coordinator is required to be approved by the City prior to issuance of wrecking permits.
- A project proposing **ten (10) or more dwelling units** may be required to comply with the City's Inclusionary Zoning requirements outlined in Section 28.04 (25) of the Zoning Ordinance. A separate **INCLUSIONARY DWELLING UNIT PLAN** application detailing the project's conformance with these ordinance requirements shall be submitted concurrently with this application form. Note that some IDUP materials will coincide with the above submittal materials.
- A *Zoning Text* must accompany **all** Planned Community or Planned Unit Development (PCD/PUD) submittals.

**FOR ALL APPLICATIONS:** All applicants are required to submit copies of all items submitted in hard copy with their application (including this application form, the letter of intent, complete plan sets and elevations, etc.) as **INDIVIDUAL** Adobe Acrobat PDF files compiled either on a non-returnable CD to be included with their application materials, or in an e-mail sent to [pcapplications@cityofmadison.com](mailto:pcapplications@cityofmadison.com). The e-mail shall include the name of the project and applicant. Applicants who are unable to provide the materials electronically should contact the Planning Unit at (608) 266-4635 for assistance.

**6. Applicant Declarations:**

**Conformance with adopted City plans:** Applications shall be in accordance with all adopted City of Madison plans:  
→ *The site is located within the limits of* Comprehensive *Plan, which recommends:*  
employment uses *for this property.*

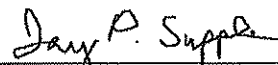
**Pre-application Notification:** Section 28.12 of the Zoning Ordinance requires that the applicant notify the district alder and any nearby neighborhood or business associations by mail no later than **30** days prior to filing this request:  
→ *List below the Alderperson, Neighborhood Association(s), Business Association(s) AND dates you sent the notices:*  
Waiver granted by Alderman Bruer  
*If the alder has granted a waiver to this requirement, please attach any such correspondence to this form.*

**Pre-application Meeting with staff:** Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning Counter and Planning Unit staff; note staff persons and date.  
Planner Tim Parks Date 8 May 2008 | Zoning Staff Matt Tucker Date 8 May 2008

**The signer attests that this form has been completed accurately and all required materials have been submitted:**

Printed Name Christopher Thiel Date 18 June 2008

Signature  Relation to Property Owner Consultant

Authorizing Signature of Property Owner  Date JUNE 18, 2008

# Supplegroup

hotels | restaurants §

17 June 2008

Urban Design Commission  
Chair: Lou Host-Jablonski  
215 MLKJ Blvd., Suite LL100  
Madison, WI 53703

Madison Plan Commission  
215 Martin Luther King Jr. Blvd., Room LL-100  
P.O. Box 2985  
Madison, WI 53701-2985

RE: Consideration of Land Use for Mixed-Use Development at 822-844 John Nolen Drive

Dear Commissions:

Consideration is being requested for Plan Commission Zoning Approval for a mixed-use development along the John Nolen Drive corridor. The development site is located in the John Nolen Drive Urban Design District, and is bordered to the north and south by Lake Monona and John Nolen Drive, and to the east and west by Pertzborn Plumbing and commercial office space. The proposed development consists of an **aloft** Hotel and a Fratellos Waterfront Restaurant.

The **aloft** Hotel is the latest vision of the award winning Starwood Hotel Group. Starwood Hotels & Resorts Worldwide, Inc. is one of the leading hotel and leisure companies in the world with approximately 890 properties in more than 100 countries and 145,000 employees at its owned and managed properties. Starwood® Hotels is a fully integrated owner, operator and franchisor of hotels and resorts with the following internationally renowned brands: St. Regis®, The Luxury Collection®, W®, Westin®, Le Méridien®, Sheraton®, Four Points® by Sheraton, Aloft(SM), and Element(SM). Infused with the DNA of W Hotels, **aloft** is a new destination sensation featuring loft-inspired design, accessible technology and a stylish urban attitude.

The **aloft** Hotel will deliver a global differentiated lifestyle brand that reflects the needs of our customers; offering a reinvention of the travel experience featuring affordable, quality products and services with a focus on design accessible technology, and comfort and convenience. The Madison **aloft** is a 136 room hotel, with the majority of rooms having lake views. Environmentally, aloft will include dedicated parking for hybrid vehicles, underground parking, a green roof, a covered rooftop lounge and a “backyard patio.”

Fratellos Waterfront Restaurant & Brewery is a Wisconsin based restaurant, with locations in Oshkosh, Appleton, Green Bay and Milwaukee. Operated by the 40 year old privately owned Supple Group the Fratellos Waterfront Concept was originally established in 1995, and has grown to be a destination restaurant throughout all of its Wisconsin locations. Fratellos features a signature menu, award winning wine list and handcrafted beers from its own brewery, Fox River Brewing Company. The Madison Fratellos is oriented to provide dining room views of Lake Monona. A seasonal outdoor patio will also overlook the waterfront.

The proposed development is a 4.23 acre site. The proposed buildings are located and oriented to maximize lake views and the proximity to the lake. An urban corridor organizes the **aloft** and Fratellos along the west (front) façade. A dedicated pedestrian connection links **aloft** and Fratellos to the pedestrian/bicycle path which passes to the west of the site. Other site amenities include bicycle parking, underground parking, site lighting, landscaping, urban design and stormwater management features.

We are requesting from the Plan Commission, conditional use for the Hotel, Restaurant & Brewery and outdoor bar, dining and seating areas. We have previously conferenced with the Urban Design Commission, and have received positive support from the UDC.

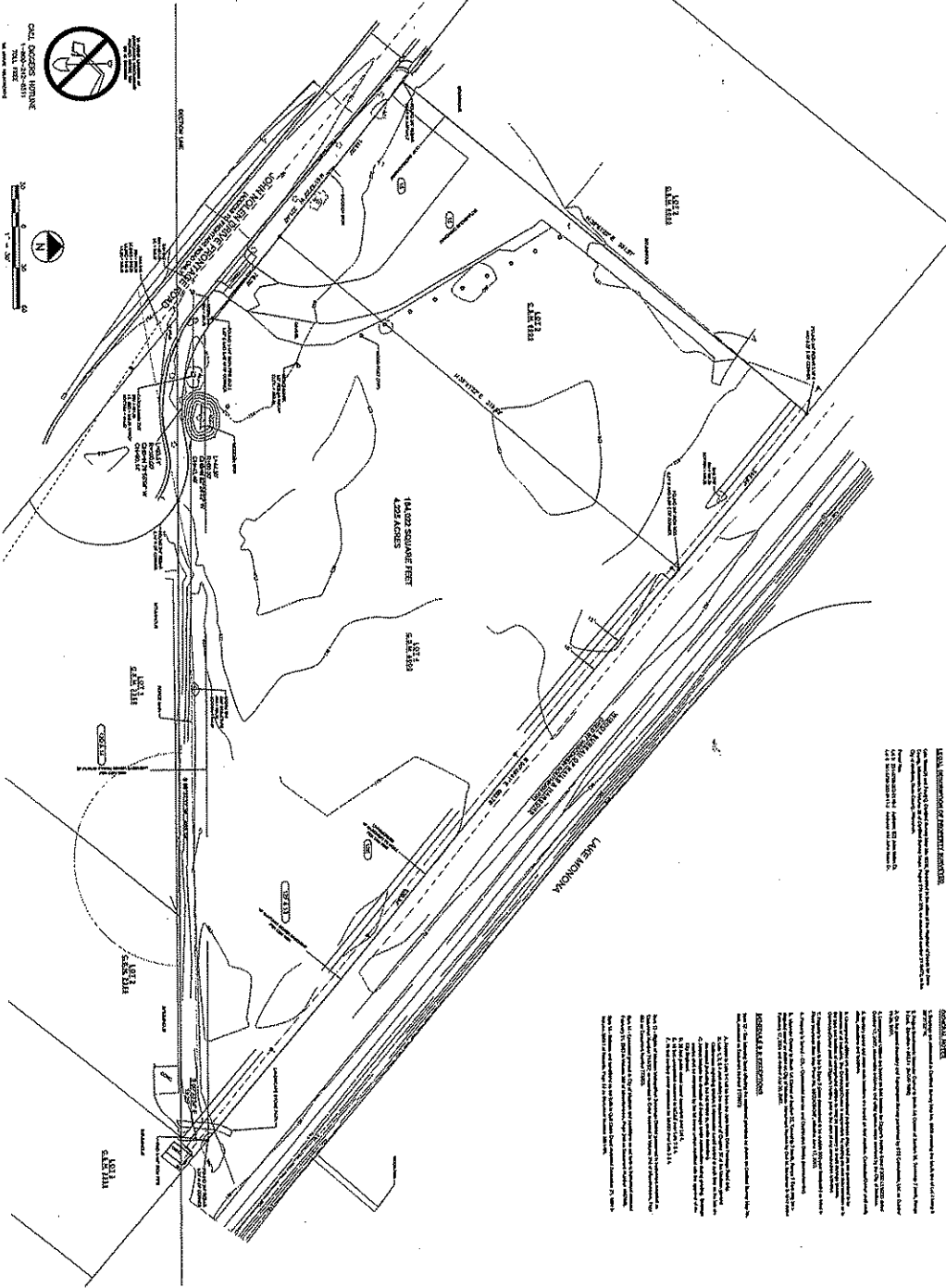
Thank you for your consideration.

Regards,

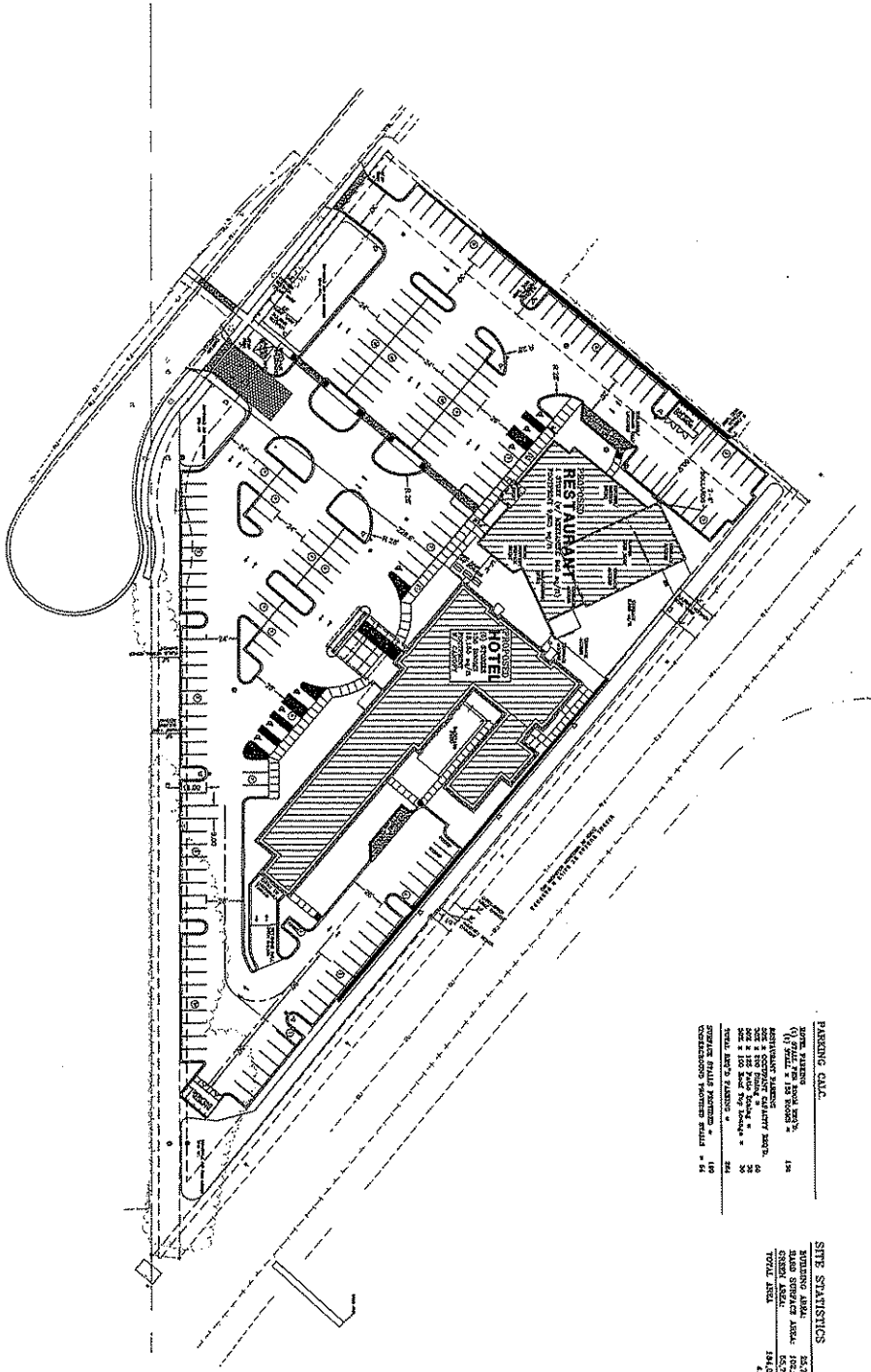
*Jay P. Supple*

Jay P. Supple  
CEO  
Supple Group – Hotels & Restaurants  
Madison Boardwalk, LLC  
1621 Congress Avenue  
Oshkosh, WI 54901  
920-232-2334 telephone  
920-232-9671 fax

1	EXISTING
2	PROPOSED
3	PROPOSED WITH NOTES
4	PROPOSED WITH DIMENSIONS
5	PROPOSED WITH MATERIALS
6	PROPOSED WITH FINISHES
7	PROPOSED WITH SCHEDULE
8	PROPOSED WITH CONDITIONS
9	PROPOSED WITH COMMENTS
10	PROPOSED WITH REFERENCES
11	PROPOSED WITH CROSSECTIONS
12	PROPOSED WITH DETAILS
13	PROPOSED WITH ASSEMBLIES
14	PROPOSED WITH CONNECTIONS
15	PROPOSED WITH JOINTS
16	PROPOSED WITH FIXTURES
17	PROPOSED WITH EQUIPMENT
18	PROPOSED WITH MECHANICAL
19	PROPOSED WITH ELECTRICAL
20	PROPOSED WITH PLUMBING
21	PROPOSED WITH HVAC
22	PROPOSED WITH STRUCTURE
23	PROPOSED WITH FOUNDATION
24	PROPOSED WITH ROOFING
25	PROPOSED WITH EXTERIOR FINISHES
26	PROPOSED WITH INTERIORS FINISHES
27	PROPOSED WITH MILLWORK
28	PROPOSED WITH GLASS
29	PROPOSED WITH METALS
30	PROPOSED WITH PLASTER
31	PROPOSED WITH CONCRETE
32	PROPOSED WITH MASONRY
33	PROPOSED WITH WOODWORK
34	PROPOSED WITH CARPETING
35	PROPOSED WITH TILING
36	PROPOSED WITH PAINTS
37	PROPOSED WITH WALLPAPER
38	PROPOSED WITH CEILING
39	PROPOSED WITH FLOORING
40	PROPOSED WITH STAIRS
41	PROPOSED WITH ELEVATORS
42	PROPOSED WITH RAMP
43	PROPOSED WITH CURBS
44	PROPOSED WITH GRADING
45	PROPOSED WITH PAVING
46	PROPOSED WITH ASPHALT
47	PROPOSED WITH CONCRETE
48	PROPOSED WITH GRASS
49	PROPOSED WITH TREES
50	PROPOSED WITH SHRUBS
51	PROPOSED WITH FLOWERS
52	PROPOSED WITH LIGHTING
53	PROPOSED WITH SECURITY
54	PROPOSED WITH FENCES
55	PROPOSED WITH GATES
56	PROPOSED WITH SIGNAGE
57	PROPOSED WITH ARTWORK
58	PROPOSED WITH LANDSCAPE
59	PROPOSED WITH WATER
60	PROPOSED WITH IRRIGATION



10



**PARKING COUNT**

OFFICE PARKING	120
RESIDENTIAL PARKING	120
ADDITIONAL PARKING	120
TOTAL PARKING	360
CONSTRUCTION PARKING	120

**SITE STATISTICS**

EXISTING AREA	12,000 SQ. FT. (1.0 AC)
NEW CONSTRUCTION AREA	12,000 SQ. FT. (1.0 AC)
TOTAL AREA	24,000 SQ. FT. (2.0 AC)

Kahler Slater

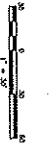
Design III

SMA

STS | AECOM

ALOFT  
A DIVISION OF W. HOTELS

fratello's  
WATERFRONT RESTAURANT  
AND BREWERY



C2 SITE LAYOUT PLAN

MADISON • ALOFT / FRATELLO'S  
• 18 JUNE 2008



Kahler Slater

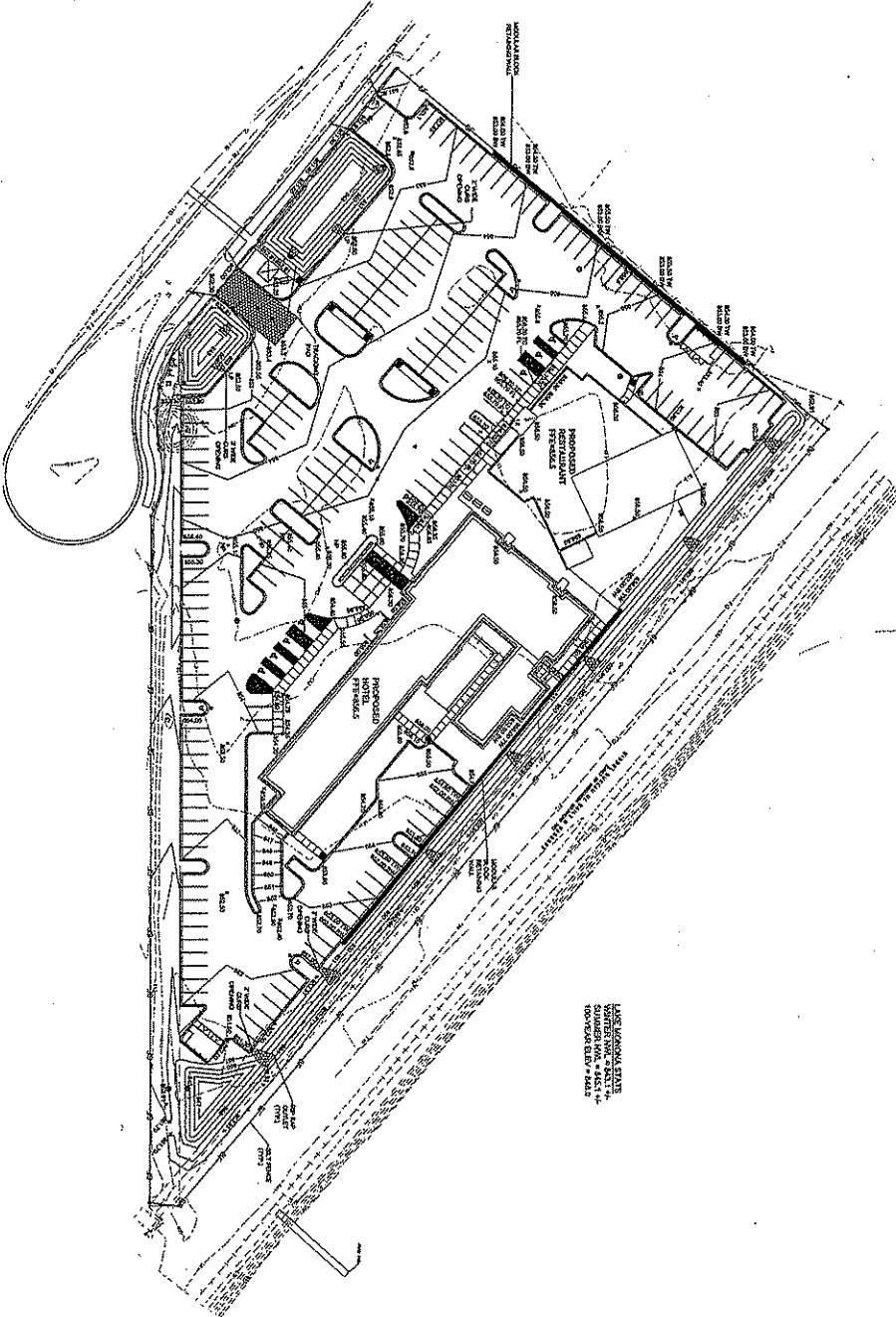
Design II

SVA

STS | AECOM

ALOFT  
A VISION OF 16 LEVELS

FRATELLO'S  
WATERFRONT RESTAURANT  
AND BREWERY



DATE: MONDAY, 2008  
 TIME: 10:00 AM  
 LOCATION: 1000 E. WISCONSIN ST.  
 DRAWING NO.: 1000EWS-08-001



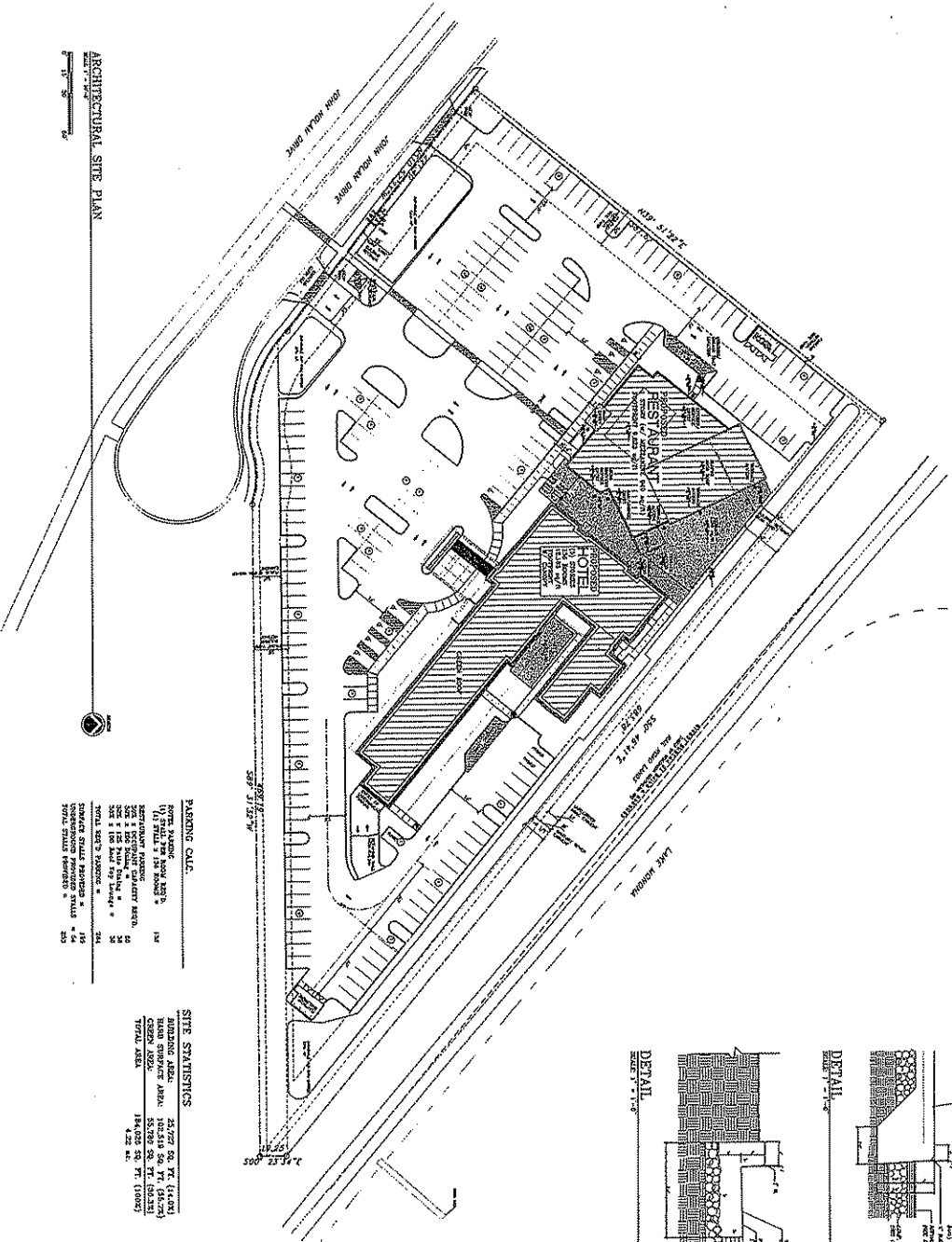
C3 GRADING & EROSION CONTROL PLAN

MADISON • ALOFT / FRATELLO'S

• 18 JUNE 2008



ARCHITECTURAL SITE PLAN

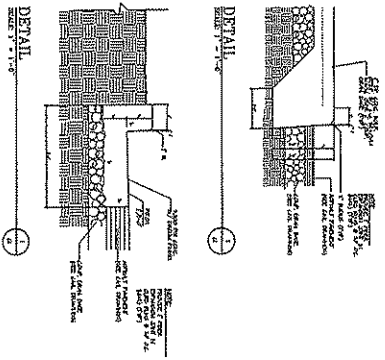


**PARKING CALC.**

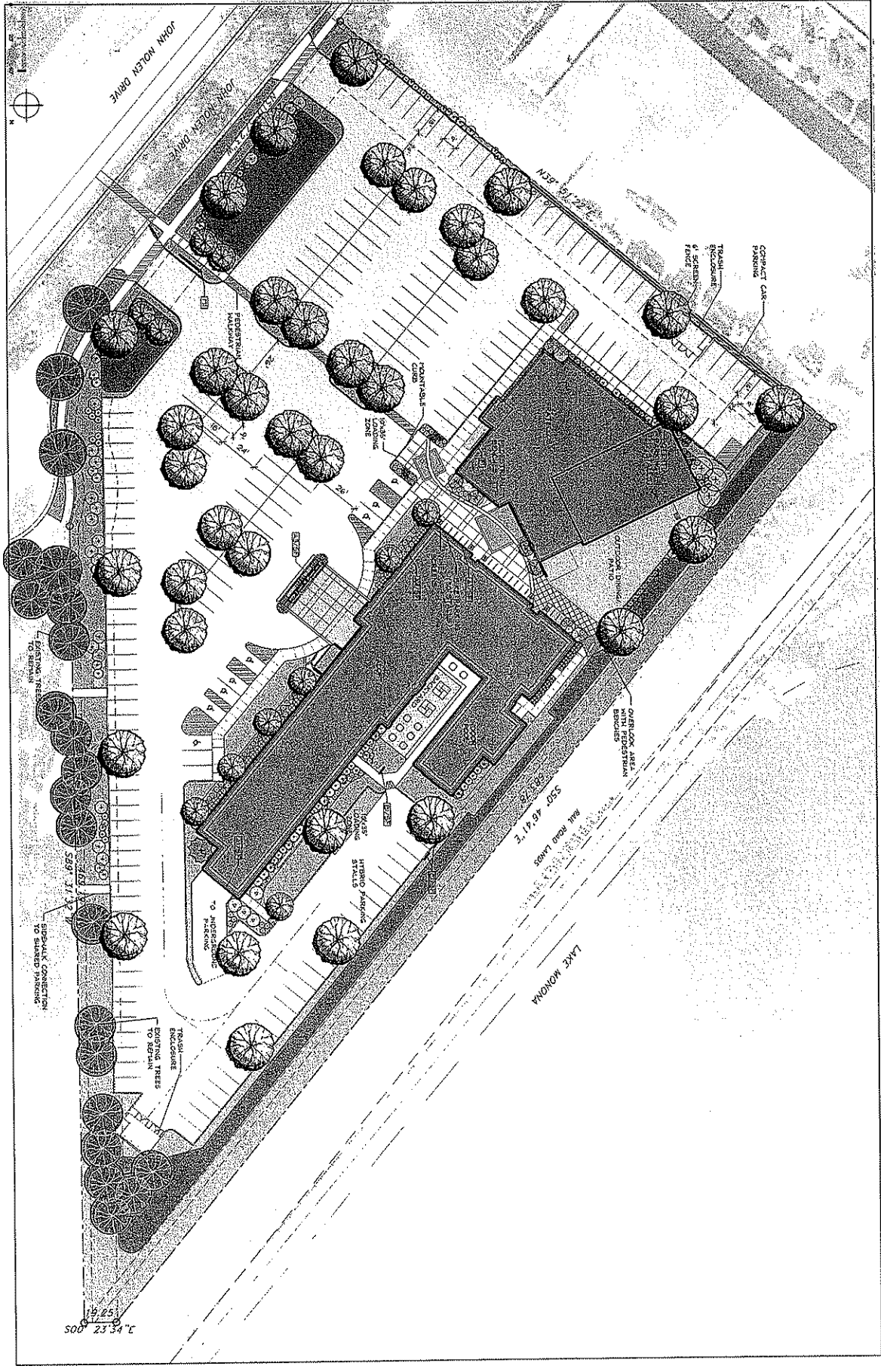
TOTAL PARKING	147
(1) HOTEL PER HOTEL UNIT	147
RESTAURANT PARKING	147
SEE 1.00 SITE PLAN FOR PARKING	147
SEE 1.00 SITE PLAN FOR PARKING	147
TOTAL SITE'S PARKING	147
TOTAL STALLS PROVIDED	147
UNASSIGNED PROVIDED STALLS	0
PROVIDED STALLS PERMITTED	147

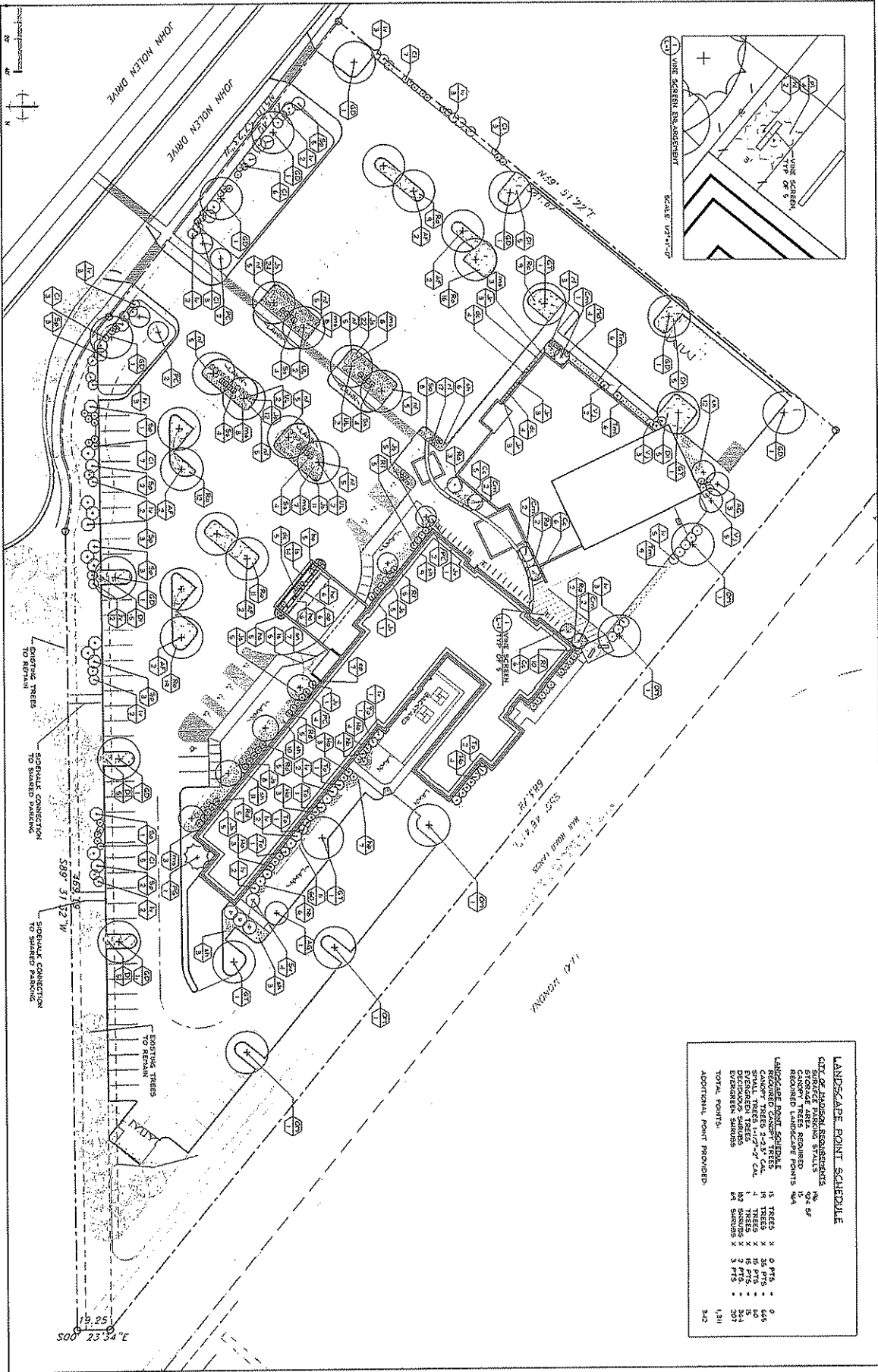
**SITE STATISTICS**

LANDING AREA	5,237 SQ. FT. (14.9M)
BLDG. FOOTPRINT AREA	10,218 SQ. FT. (34.2M)
CURB AREA	18,239 SQ. FT. (52.2M)
TOTAL AREA	33,714 SQ. FT. (100.0M)



L-3 SITE PLAN





**LANDSCAPE POINT SCHEDULE**

**CITY OF MADISON REQUIREMENTS**

**MINIMUM PARKING SPACES**

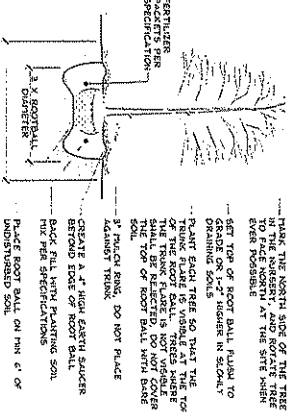
**MINIMUM TREES REQUIRED**

**REQUIRED LANDSCAPE POINTS**

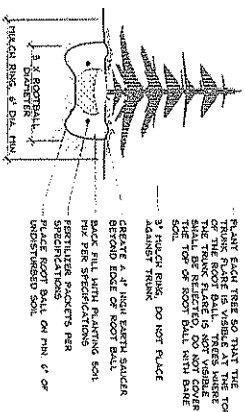
**LANDSCAPE POINT SCHEDULE**

SYMBOL	DESCRIPTION	QUANTITY	POINTS
M	MATURE TREES	15	150
M*	MATURE TREES TO REMAIN	1	10
S	SMALL TREES	150	150
S*	SMALL TREES TO REMAIN	1	10
P	PERENNIALS	150	150
SH	SHRUBS	30	30
SP	SPERMATOPHYTES	1	10
GC	GRASS	100	100
GC*	GRASS TO REMAIN	1	10
AD	ADDITIONAL POINT PROVIDED	1	10
<b>TOTAL</b>	<b>POINTS</b>		<b>342</b>

**DECIDUOUS TREE**



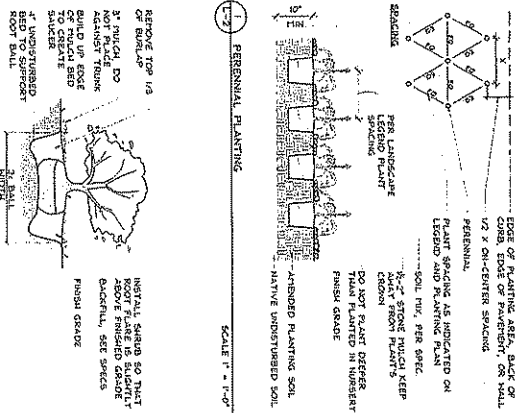
**EVERGREEN TREE**



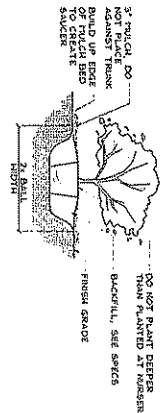
**1-2 BAB TREE PLANTING DETAILS**

**NOTES:**  
 DO NOT REMOVE THE TREE AT PLANTING, REMOVE ONLY CROSSLINK BARS. LEAVES OF THE TREE SHOULD BE REMOVED AT PLANTING, UNLESS OTHERWISE NOTED. BARRIERS MUST BE REMOVED AT PLANTING. DO NOT REMOVE THE TRUNK. REMOVE ALL THE BRANCHES AND BARK FROM THE TRUNK. REMOVE ALL THE BRANCHES AND BARK FROM THE TRUNK. REMOVE ALL THE BRANCHES AND BARK FROM THE TRUNK. REMOVE ALL THE BRANCHES AND BARK FROM THE TRUNK.

**2 PERENNIAL PLANTING**

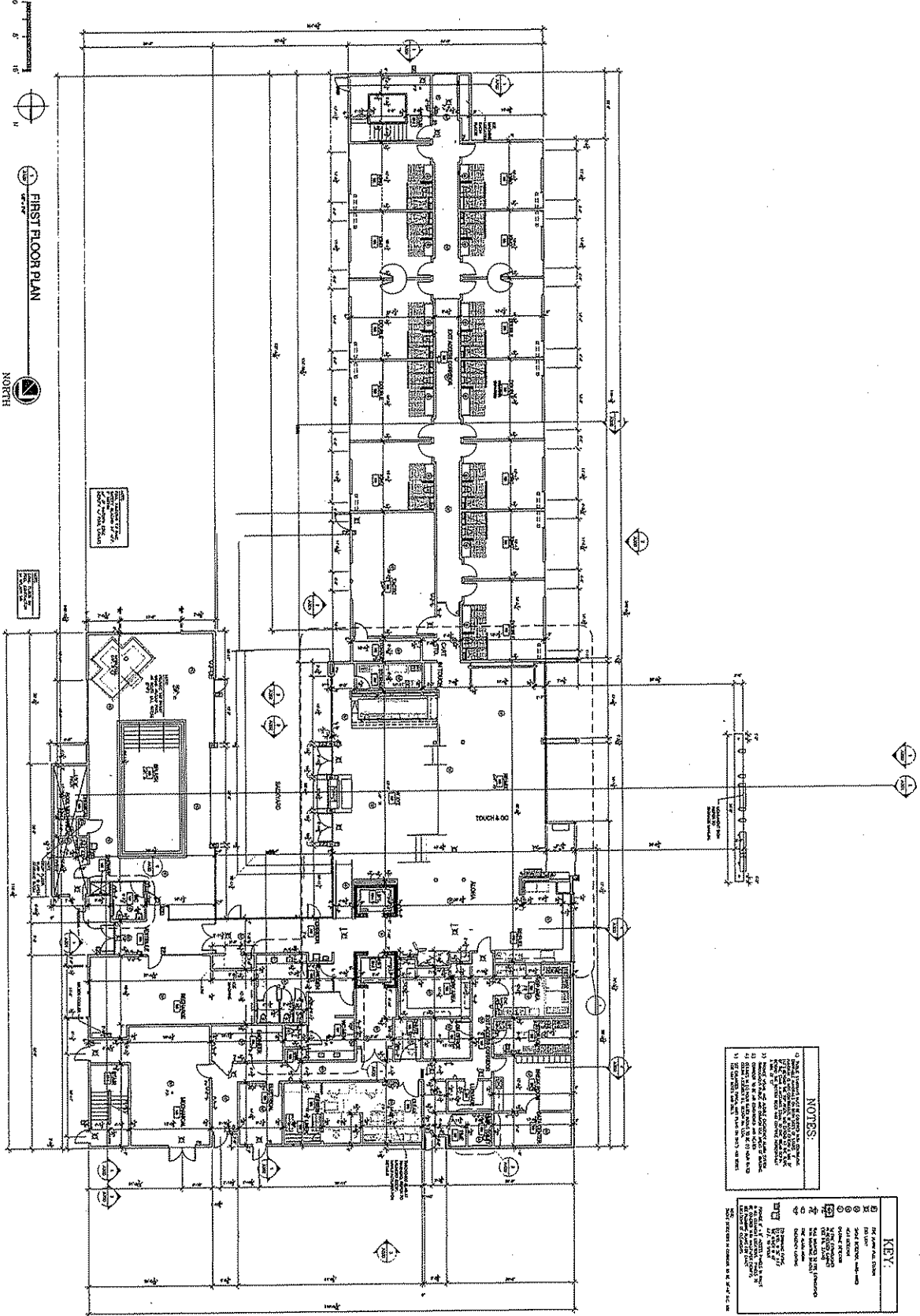


**3 CONTAINER SHRUB PLANTING**



**LANDSCAPE PLANT LEGEND**

Symbol	Botanical Name	Common Name	Size	Reg.	Qty	Comments
<b>DECIDUOUS TREES</b>						
1	Acer rubrum	Red Maple	2 1/2' Cal	B18	40	Large form
2	Aquilegia vulgaris	Scilla	1 1/2' Cal	B18	10	Multi-stem
3	Artemisia vulgaris	Sagebrush	2 1/2' Cal	B18	10	
4	Aspidistra	Aspidistra	1 1/2' Cal	B18	40	
5	Aspidistra	Aspidistra	2 1/2' Cal	B18	40	
6	Aspidistra	Aspidistra	1 1/2' Cal	B18	40	
7	Aspidistra	Aspidistra	2 1/2' Cal	B18	40	
8	Aspidistra	Aspidistra	1 1/2' Cal	B18	40	
9	Aspidistra	Aspidistra	2 1/2' Cal	B18	40	
10	Aspidistra	Aspidistra	1 1/2' Cal	B18	40	
11	Aspidistra	Aspidistra	2 1/2' Cal	B18	40	
12	Aspidistra	Aspidistra	1 1/2' Cal	B18	40	
13	Aspidistra	Aspidistra	2 1/2' Cal	B18	40	
14	Aspidistra	Aspidistra	1 1/2' Cal	B18	40	
15	Aspidistra	Aspidistra	2 1/2' Cal	B18	40	
16	Aspidistra	Aspidistra	1 1/2' Cal	B18	40	
17	Aspidistra	Aspidistra	2 1/2' Cal	B18	40	
18	Aspidistra	Aspidistra	1 1/2' Cal	B18	40	
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32	Aspidistra	Aspidistra	1 1/2' Cal	B18	40	
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34	Aspidistra	Aspidistra	1 1/2' Cal	B18	40	
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45	Aspidistra	Aspidistra	2 1/2' Cal	B18	40	
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47	Aspidistra	Aspidistra	2 1/2' Cal	B18	40	
48	Aspidistra	Aspidistra	1 1/2' Cal	B18	40	
49	Aspidistra	Aspidistra	2 1/2' Cal	B18	40	
50	Aspidistra	Aspidistra	1 1/2' Cal	B18	40	



**NOTES:**

1. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS OF EXISTING STRUCTURE AND UTILITIES PRIOR TO CONSTRUCTION.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
3. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
5. ALL UTILITIES SHALL BE PROTECTED AND MAINTAINED THROUGHOUT CONSTRUCTION.
6. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND PUBLIC AREAS.
7. ALL WASTE AND DEBRIS SHALL BE REMOVED AND DISPOSED OF PROPERLY.
8. THE CONTRACTOR SHALL MAINTAIN A SAFE WORKING ENVIRONMENT AT ALL TIMES.
9. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE.

**KEY:**

①	1.00	1.00	1.00
②	2.00	2.00	2.00
③	3.00	3.00	3.00
④	4.00	4.00	4.00
⑤	5.00	5.00	5.00
⑥	6.00	6.00	6.00
⑦	7.00	7.00	7.00
⑧	8.00	8.00	8.00
⑨	9.00	9.00	9.00
⑩	10.00	10.00	10.00

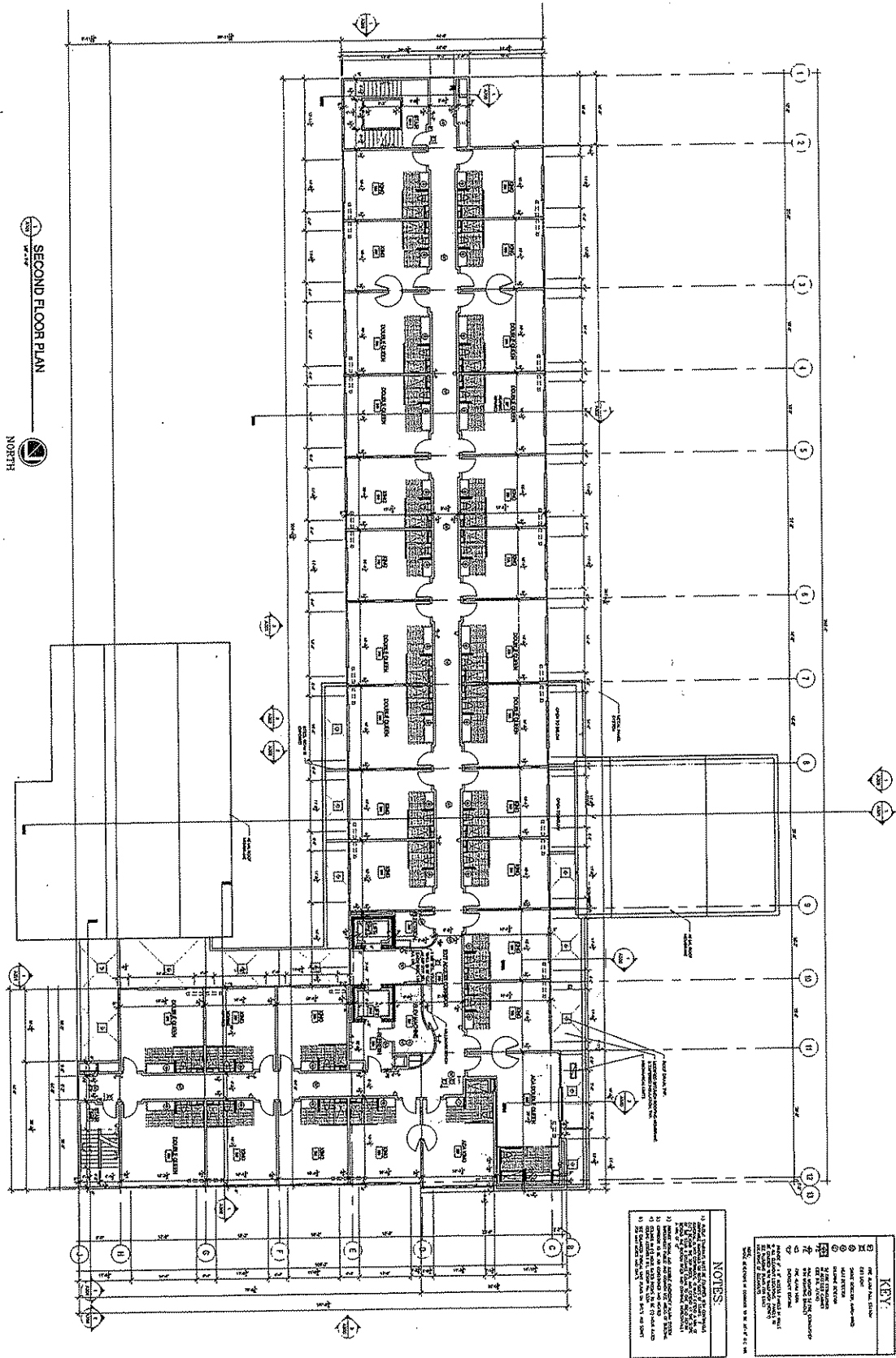
0 15 30  
 FIRST FLOOR PLAN  
 NORTH

Kahler Slater design II, SAA STS AECOM

ALOFT fratellos  
 A VISION OF 3 HOTELS  
 MADISON • ALOFT / FRATELLOS

SHEET NAME  
 FIRST FLOOR PLAN A-1  
 MADISON • ALOFT / FRATELLOS

Image Name



**KEY:**

1	NO. 1000
2	NO. 1001
3	NO. 1002
4	NO. 1003
5	NO. 1004
6	NO. 1005
7	NO. 1006
8	NO. 1007
9	NO. 1008
10	NO. 1009
11	NO. 1010
12	NO. 1011
A	NO. 1012
B	NO. 1013
C	NO. 1014
D	NO. 1015
E	NO. 1016
F	NO. 1017
G	NO. 1018
H	NO. 1019
I	NO. 1020
J	NO. 1021

**NOTES:**

1. ALL ROOMS SHALL BE FINISHED TO THE FINISHES SHOWN ON THE FINISH SCHEDULE.
2. ALL ROOMS SHALL BE FINISHED TO THE FINISHES SHOWN ON THE FINISH SCHEDULE.
3. ALL ROOMS SHALL BE FINISHED TO THE FINISHES SHOWN ON THE FINISH SCHEDULE.
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11. ALL ROOMS SHALL BE FINISHED TO THE FINISHES SHOWN ON THE FINISH SCHEDULE.
12. ALL ROOMS SHALL BE FINISHED TO THE FINISHES SHOWN ON THE FINISH SCHEDULE.

SECOND FLOOR PLAN

NORTH

0 5 10 15

Kahler Slater

Design III

SAA

STS

AECOM

LOFT

A VISION OF A HOTEL

fratellos

WATERFRONT RESTAURANT

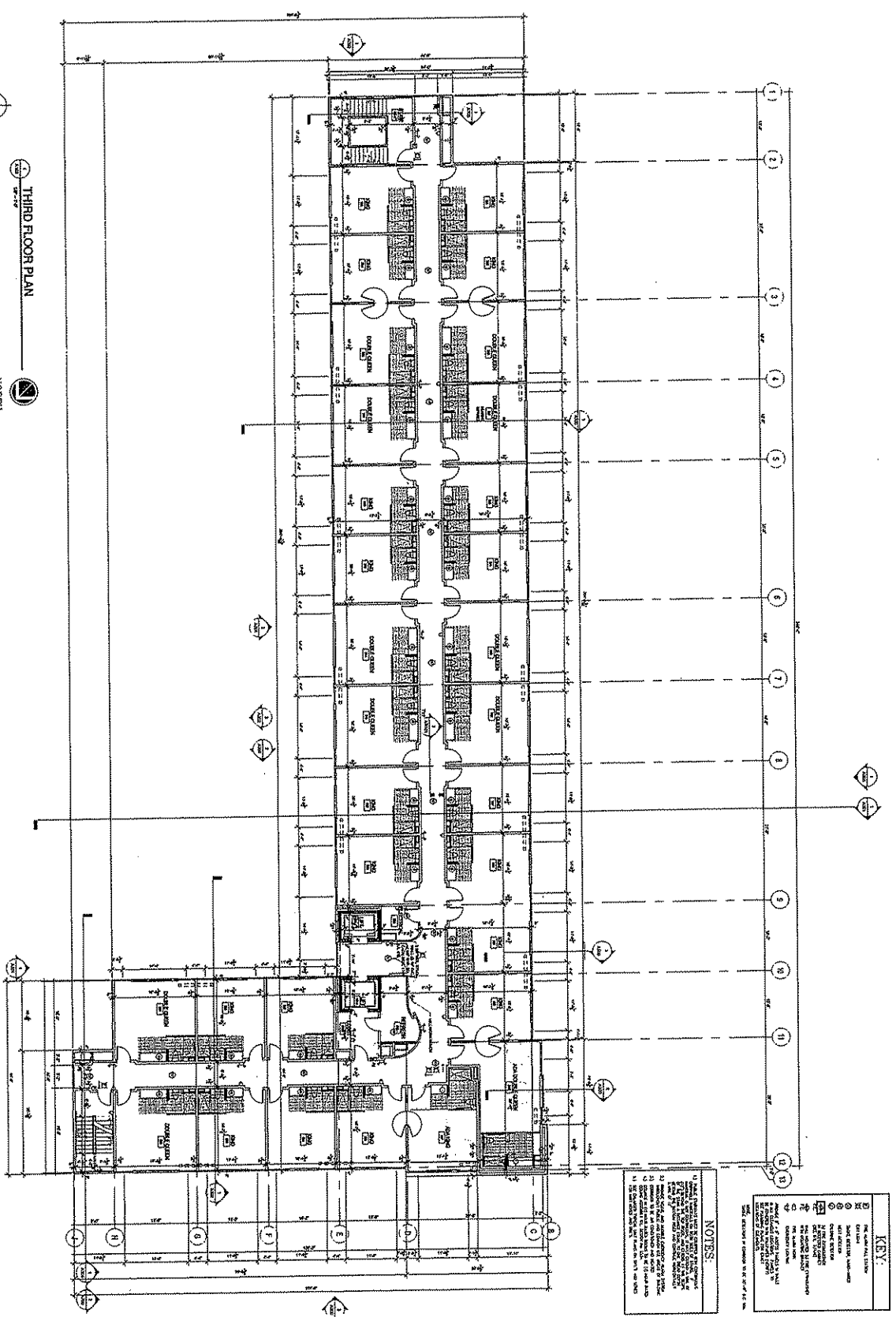
SHEET NAME

SECOND FLOOR PLAN A-2

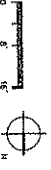
MADISON • ALOFT / FRATELLO'S

4.18.18 11:47 2008

Image Name



THIRD FLOOR PLAN



**KEY:**

- 12' x 12' PANEL SLAB
- 18' x 18' PANEL SLAB
- 24' x 24' PANEL SLAB
- 30' x 30' PANEL SLAB
- 36' x 36' PANEL SLAB
- 42' x 42' PANEL SLAB
- 48' x 48' PANEL SLAB
- 54' x 54' PANEL SLAB
- 60' x 60' PANEL SLAB
- 66' x 66' PANEL SLAB
- 72' x 72' PANEL SLAB
- 78' x 78' PANEL SLAB
- 84' x 84' PANEL SLAB
- 90' x 90' PANEL SLAB
- 96' x 96' PANEL SLAB
- 102' x 102' PANEL SLAB
- 108' x 108' PANEL SLAB
- 114' x 114' PANEL SLAB
- 120' x 120' PANEL SLAB

**NOTES:**

1. ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
5. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
6. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
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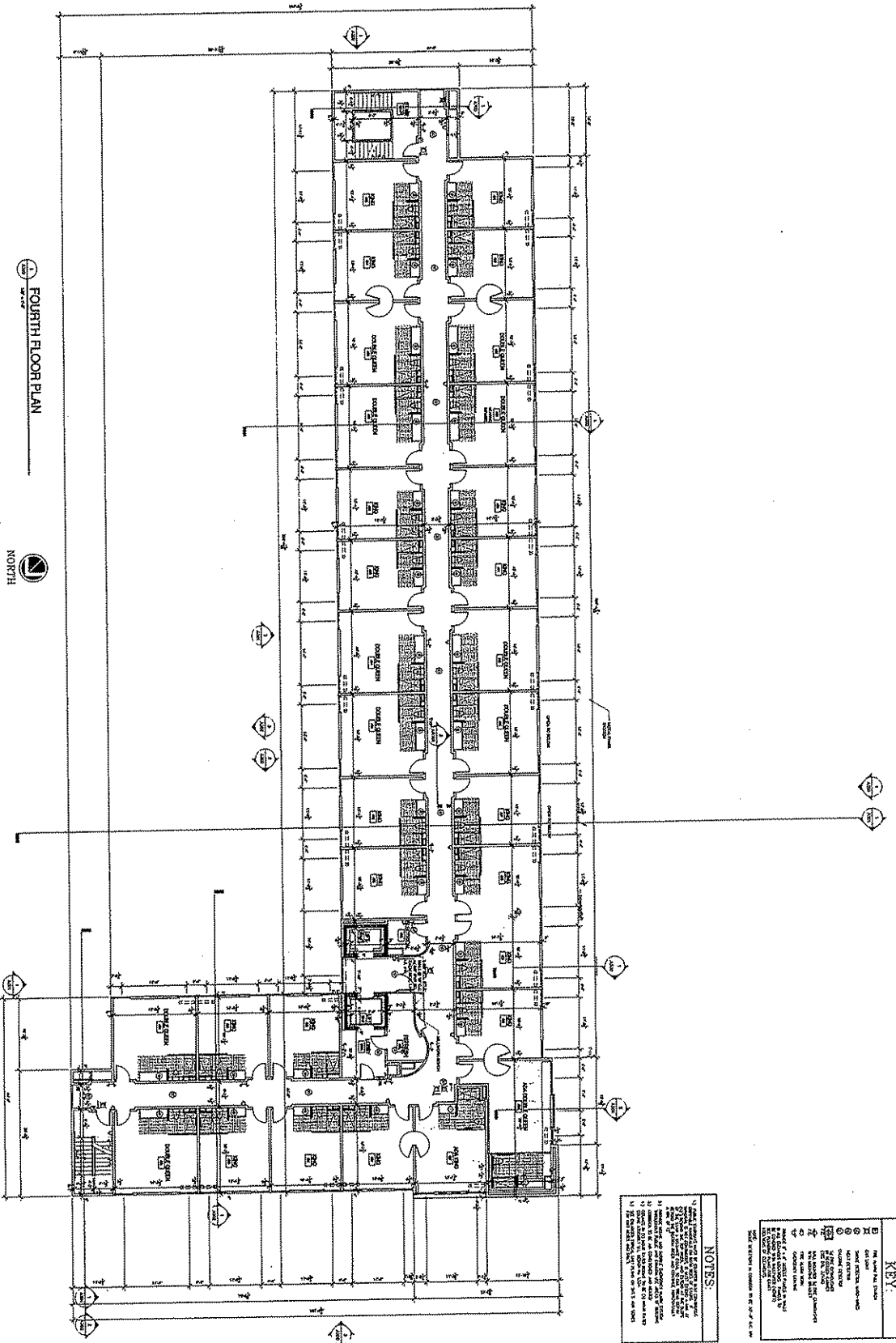
Kahler Slater design III. SAA STS AECOM

aloft fratellos WATERFRONT RESTAURANT

THIRD FLOOR PLAN A-3 MADISON • ALOFT / FRATELLO'S

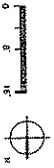
Image Name





FOURTH FLOOR PLAN

NORTH



Kahler Slater design III. SMA STS AECOM

Aloft A VISION OF V HOTELS fratellos WATERFRONT RESTAURANT AND BAR

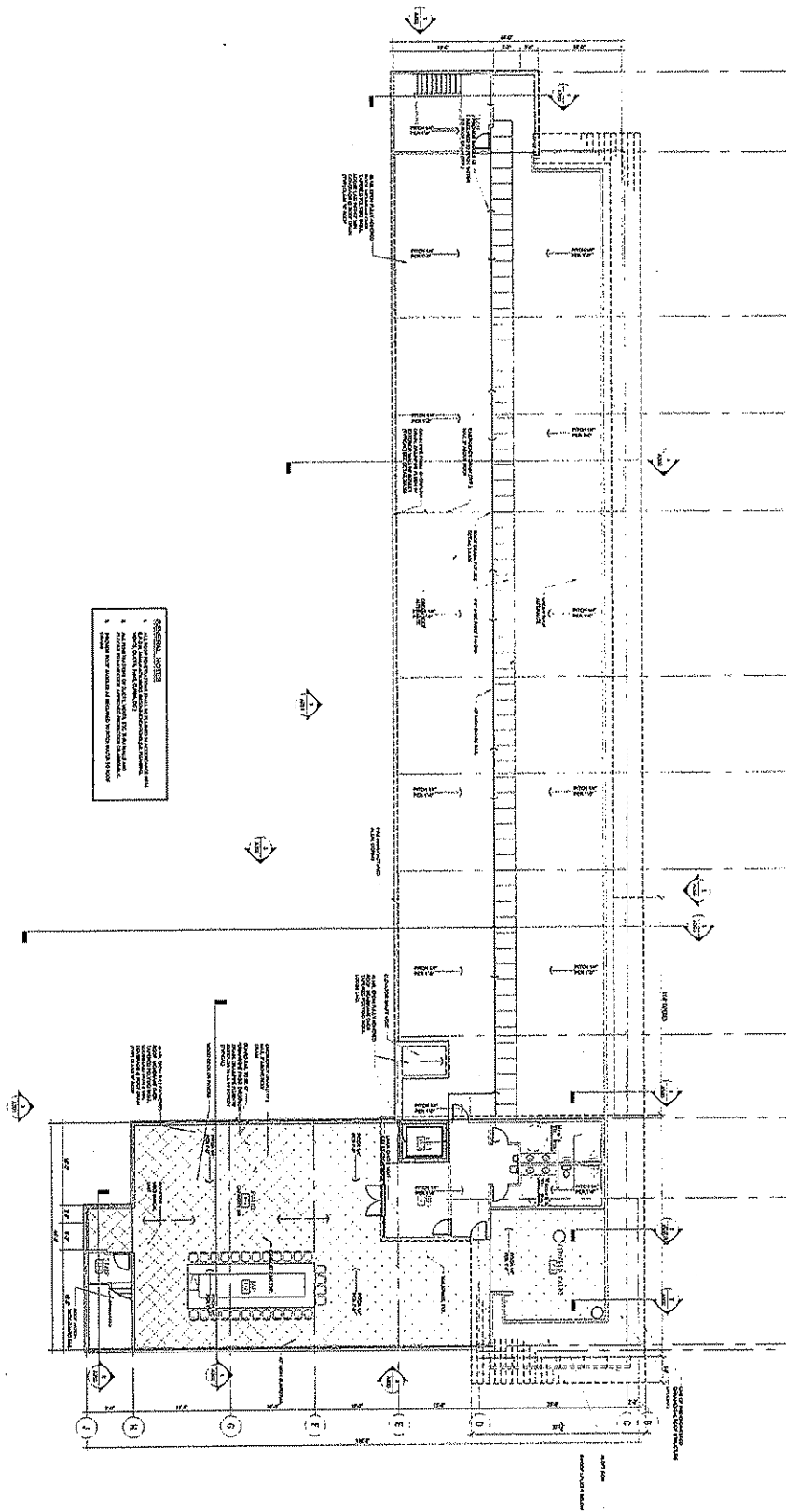
NOTES
1. SEE GENERAL NOTES FOR CONTRACT ADMINISTRATION...
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON SPECIFICATIONS...
3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES...
4. ALL WORK SHALL BE COMPLETED BY THE DATE SPECIFIED IN THE SCHEDULE...
5. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES...

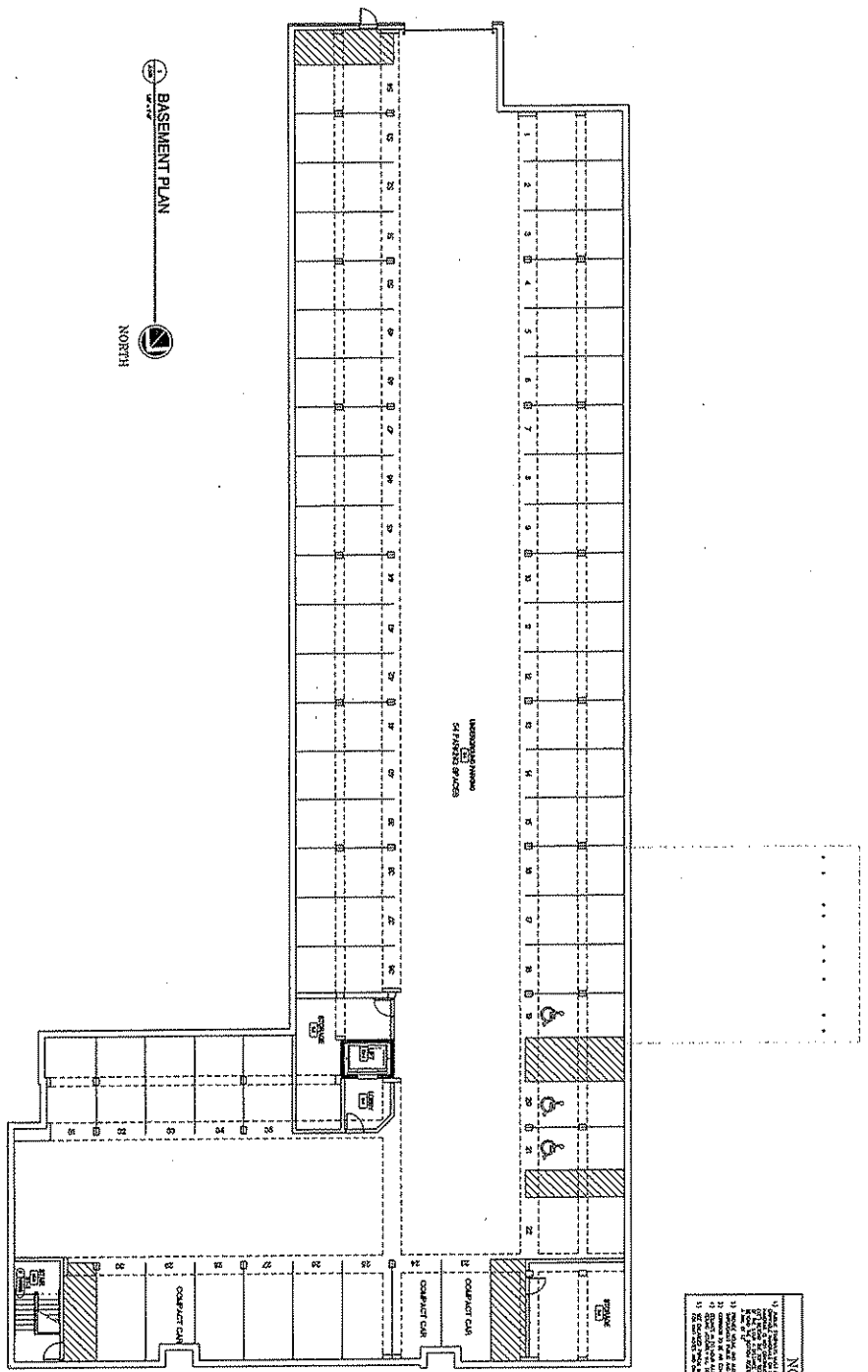
KEY table with columns for symbols and descriptions:
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SHEET NAME
FOURTH FLOOR PLAN A-4
MADISON • ALOFT / FRATELLO'S
• 18 JUNE 2008
Image Name

10







**NOTES:**

- 1) SEE GENERAL NOTES FOR ALL NOTES ON THIS SHEET.
- 2) ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- 3) ALL WALLS ARE 12" THICK UNLESS OTHERWISE NOTED.
- 4) ALL FLOORS ARE 4" CONCRETE ON 4" G.C. UNLESS OTHERWISE NOTED.
- 5) ALL CEILING ARE 8" CONCRETE ON 4" G.C. UNLESS OTHERWISE NOTED.
- 6) ALL ROOF ARE 4" CONCRETE ON 4" G.C. UNLESS OTHERWISE NOTED.
- 7) ALL EXTERIOR WALLS ARE 16" THICK UNLESS OTHERWISE NOTED.
- 8) ALL EXTERIOR FLOORS ARE 4" CONCRETE ON 4" G.C. UNLESS OTHERWISE NOTED.
- 9) ALL EXTERIOR CEILING ARE 8" CONCRETE ON 4" G.C. UNLESS OTHERWISE NOTED.
- 10) ALL EXTERIOR ROOF ARE 4" CONCRETE ON 4" G.C. UNLESS OTHERWISE NOTED.

KEY:	
①	SEE GENERAL NOTES FOR ALL NOTES ON THIS SHEET.
②	ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
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④	ALL FLOORS ARE 4" CONCRETE ON 4" G.C. UNLESS OTHERWISE NOTED.
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⑥	ALL ROOF ARE 4" CONCRETE ON 4" G.C. UNLESS OTHERWISE NOTED.
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⑧	ALL EXTERIOR FLOORS ARE 4" CONCRETE ON 4" G.C. UNLESS OTHERWISE NOTED.
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⑩	ALL EXTERIOR ROOF ARE 4" CONCRETE ON 4" G.C. UNLESS OTHERWISE NOTED.



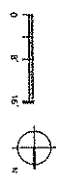
BASEMENT PLAN  
NORTH

KahlerSlater design II, SAA STS AECOM

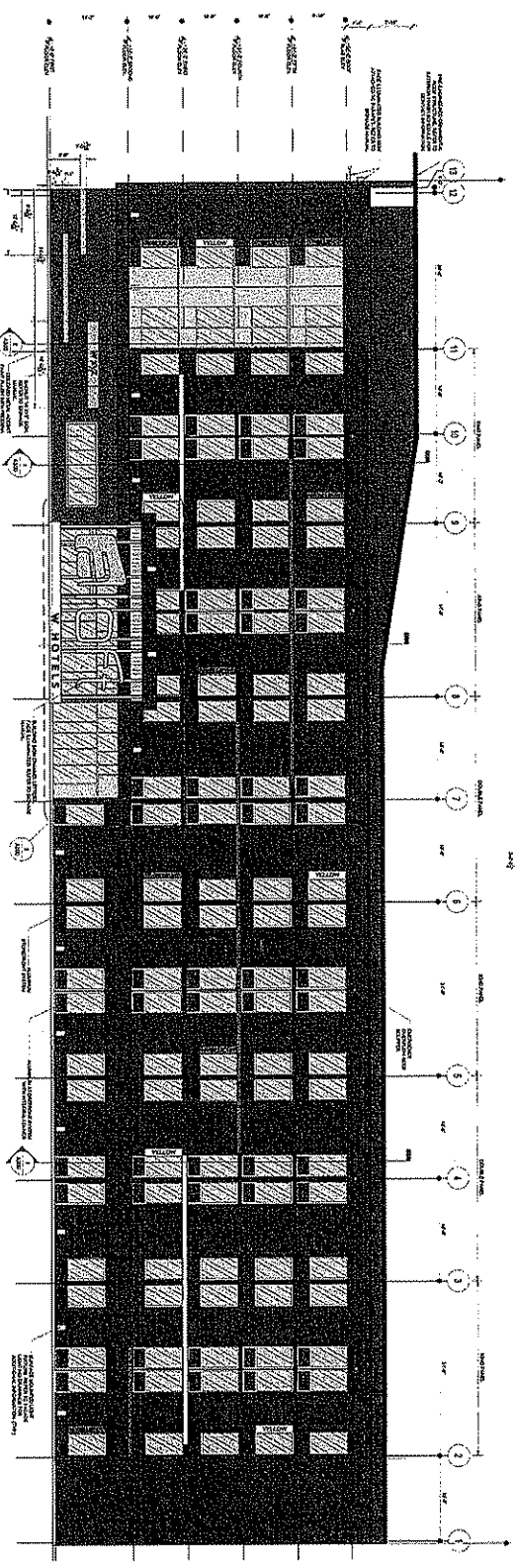
A|OFT fratellos  
A VISION OF A PROJECT  
UNIVERSITY RESIDENTIAL

SHEET NAME  
BASEMENT PLAN A-7  
MADISON • A|OFT / FRATELLO'S

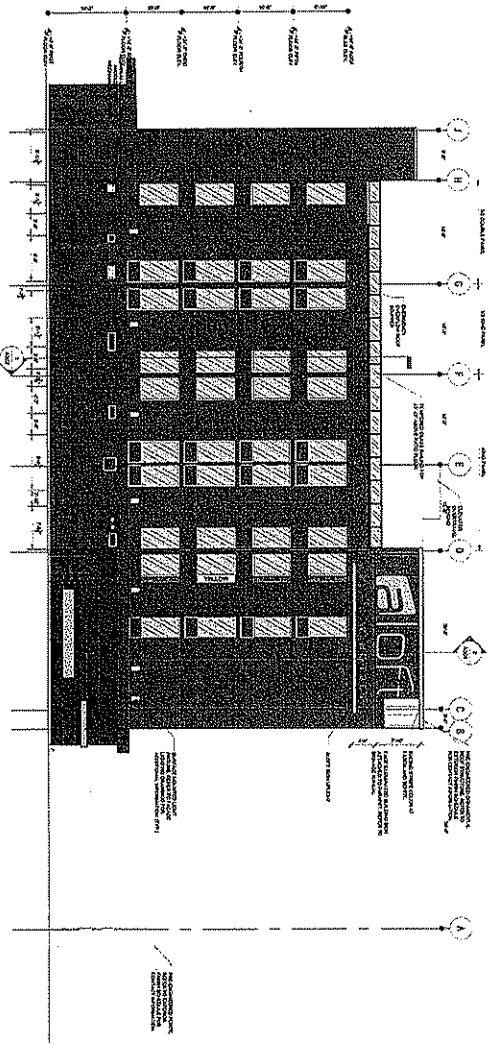
Image Name



EAST ELEVATION

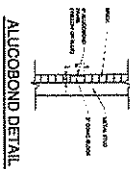


SOUTH ELEVATION



**FINISH MATERIALS LEGEND**

	CONCRETE		GLASS
	BRICK		WOOD
	STONE		PAINT
	ROOFING		MECHANICAL
	LANDSCAPE		OTHER



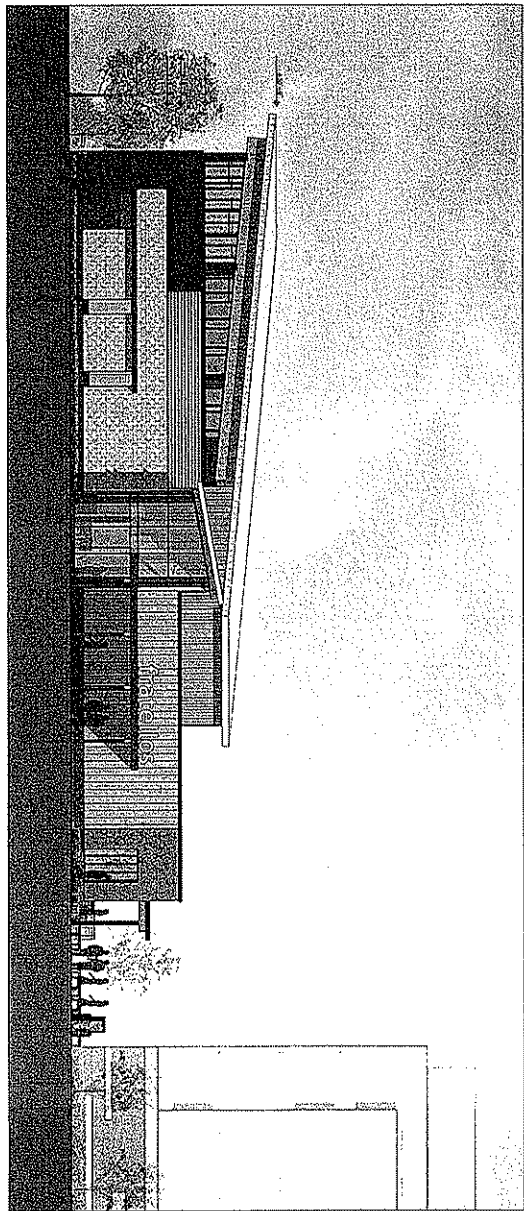
Kahler Slater design III, SVA STS AECOM

ALOFT fratellos  
A DIVISION OF FRATELLOS  
WATERFRONT RESTAURANT  
AND BREWERY

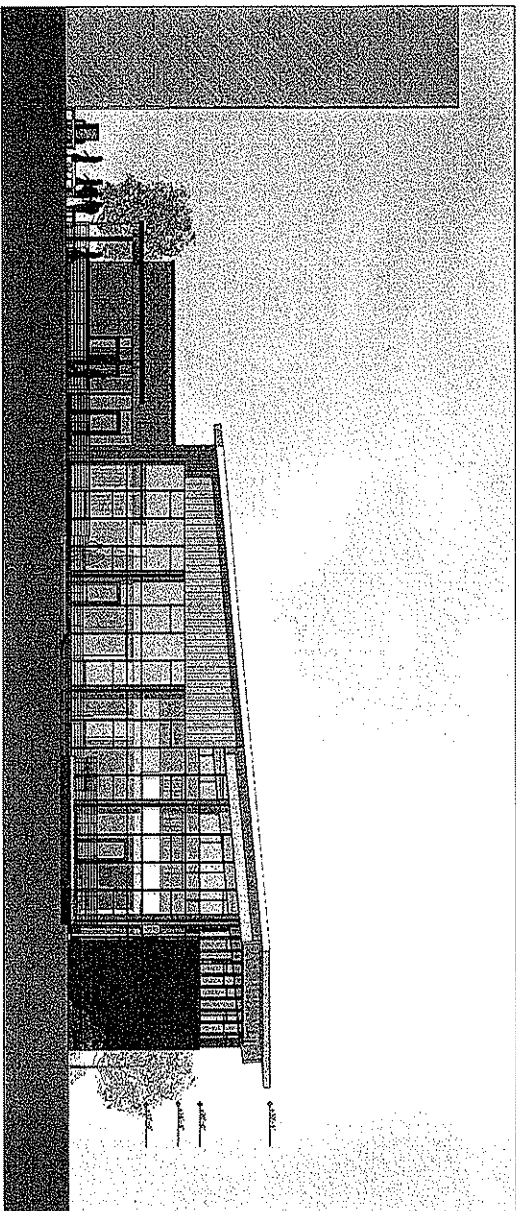
SHEET NAME  
ELEVATIONS A-8  
MADISON • ALOFT / FRATELLO  
• 30 JULY 2008

Image Name



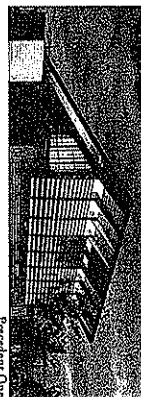


west elevation



east elevation

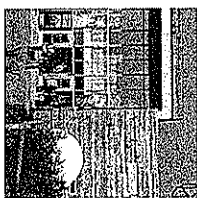
## Building Materials and Color Scheme



Precedent One



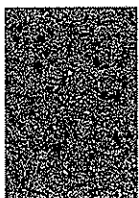
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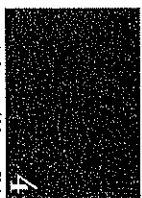
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Corrugated Metal Panel



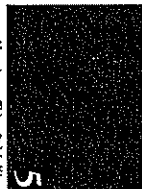
2  
Cedar Cladding



3  
Galvan Beams

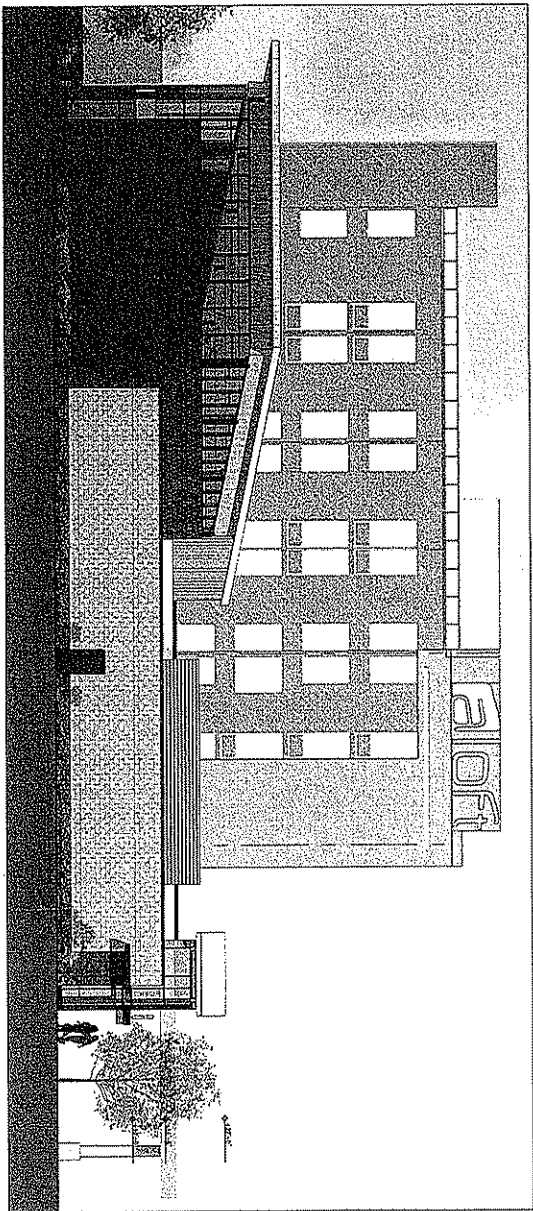


4  
Architectural Masonry Units

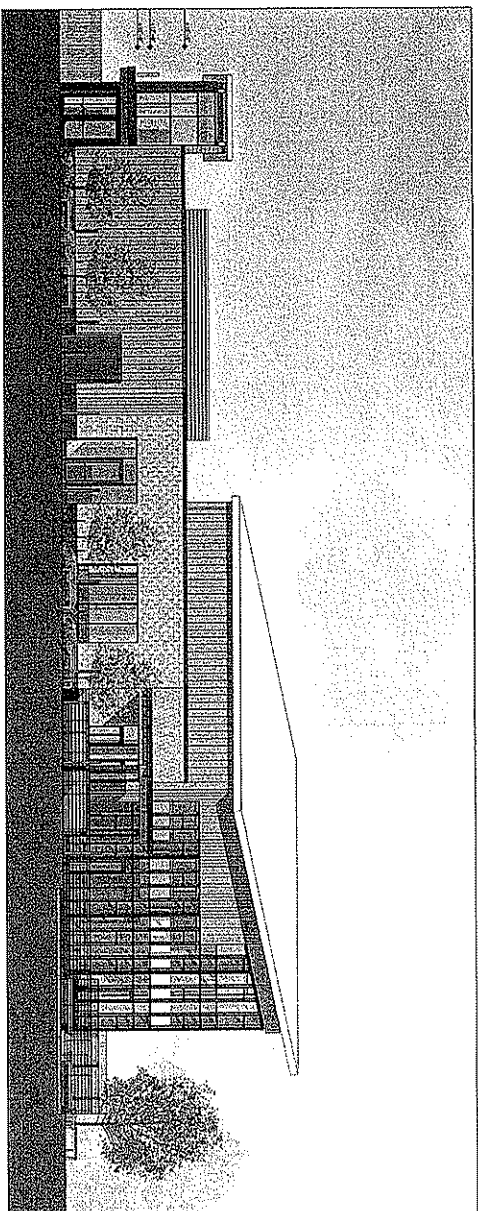


5  
Aluminum Trim & Mullions

### A11 - Building Elevations and Materials

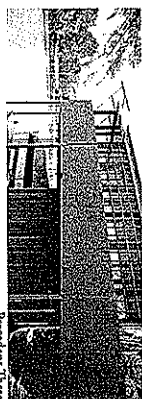


north elevation



south elevation

### Building Materials and Color Scheme



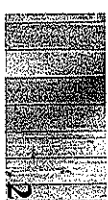
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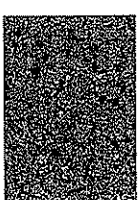
Precedent Four



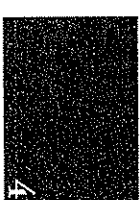
1  
Corrugated Metal Panel



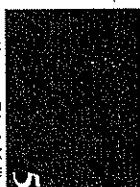
2  
Cedar Cladding



3  
Glulam Beams



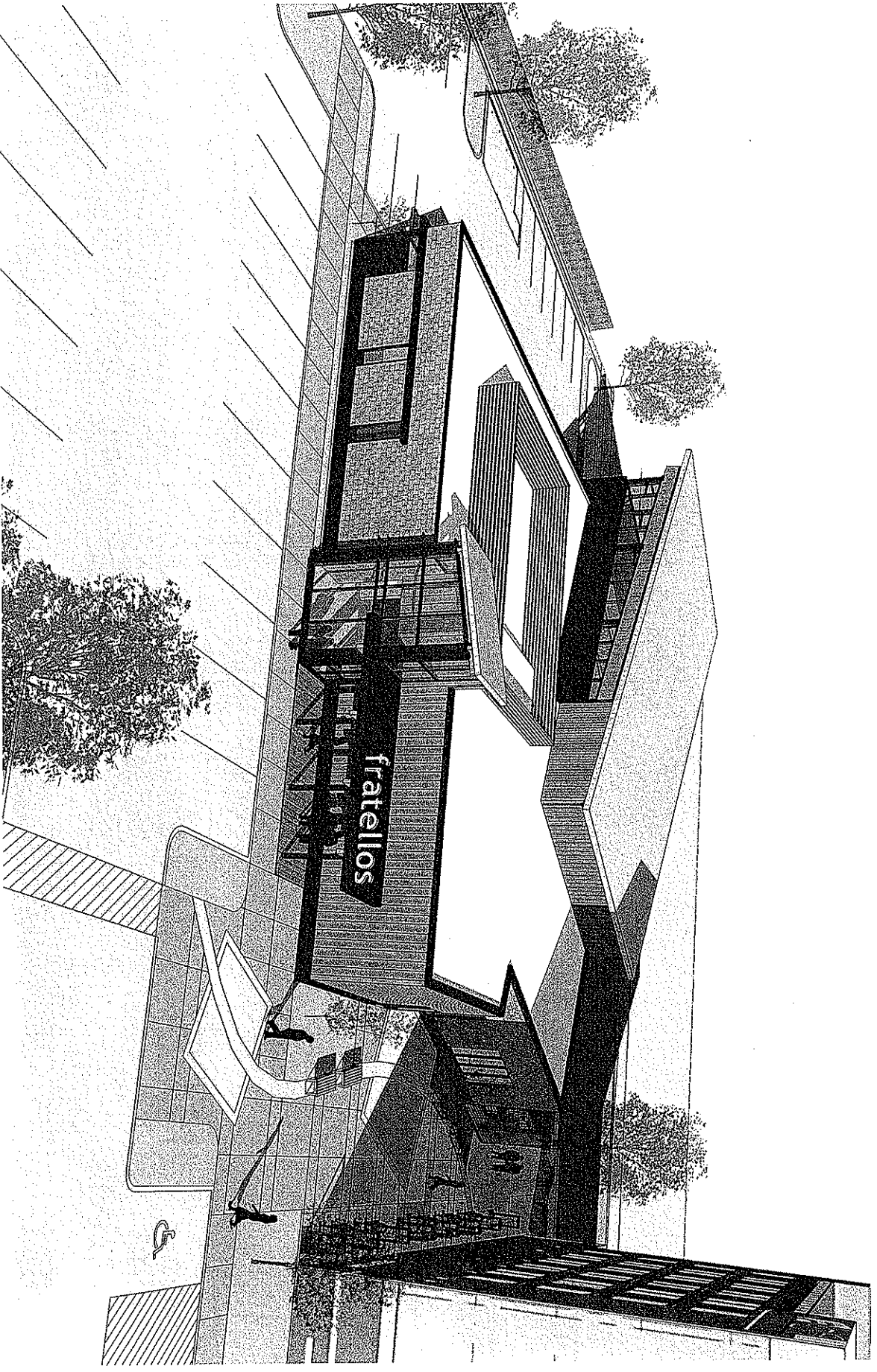
4  
Architectural Masonry Unit



5  
Aluminum Trim & Wallnuts

### A12 - Building Elevations and Materials

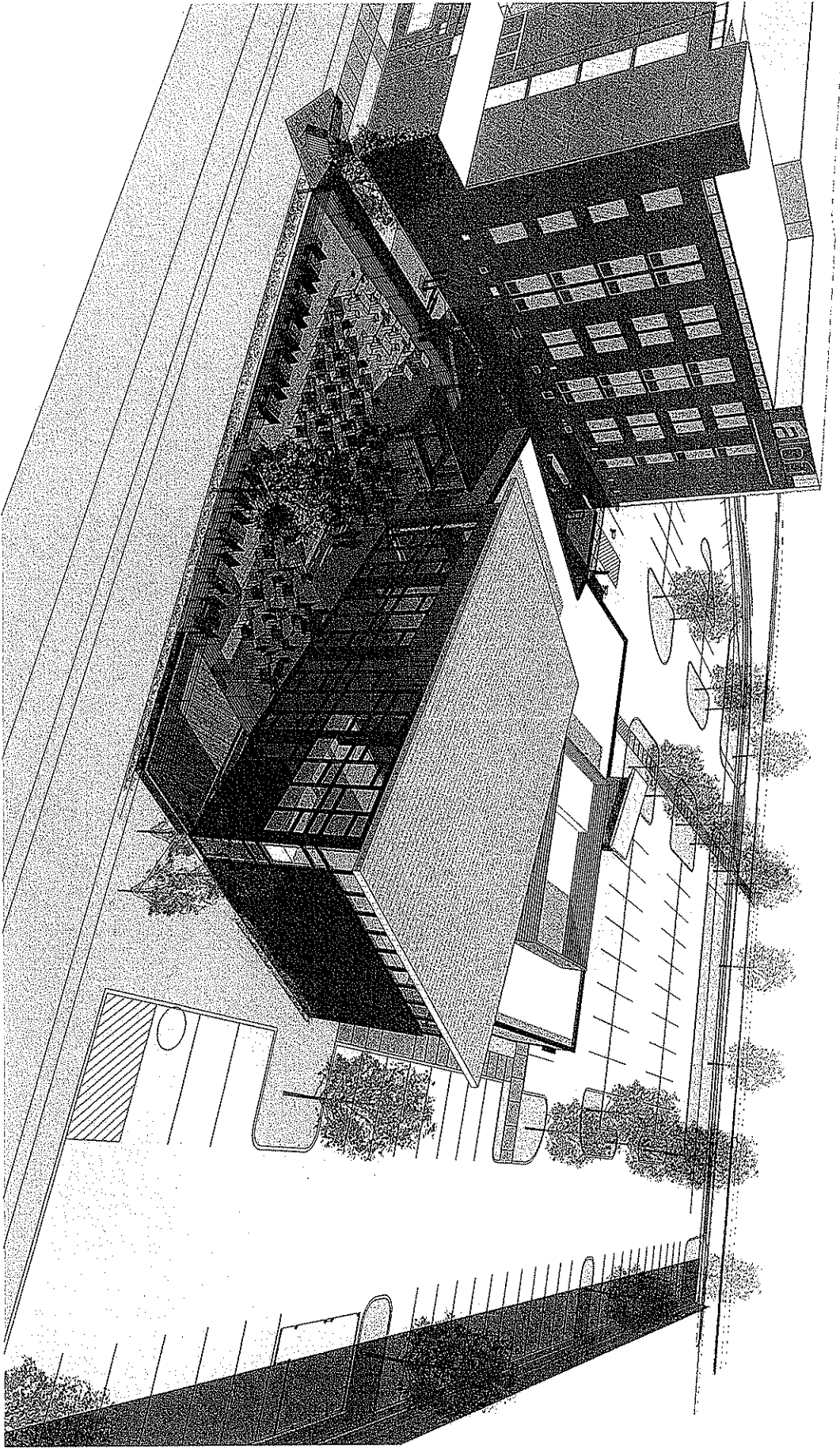




Kahler-Slater  
 design iii  
 SAA  
 STS  
 AECOM

ALOFT  
 A SYSTEM OF HOTELS  
 fratellos  
 WATERFRONT RESTAURANT  
 AND BRECHT

A13 - Front Birds Eye View  
 MADISON • ALOFT / FRATELLO'S  
 23 JULY 2008

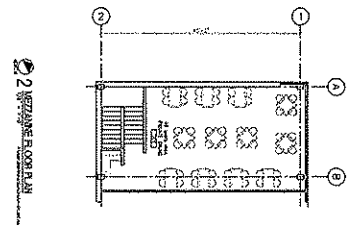


Kahler Slater  
design III  
SVA  
STS | AECOM

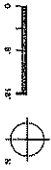
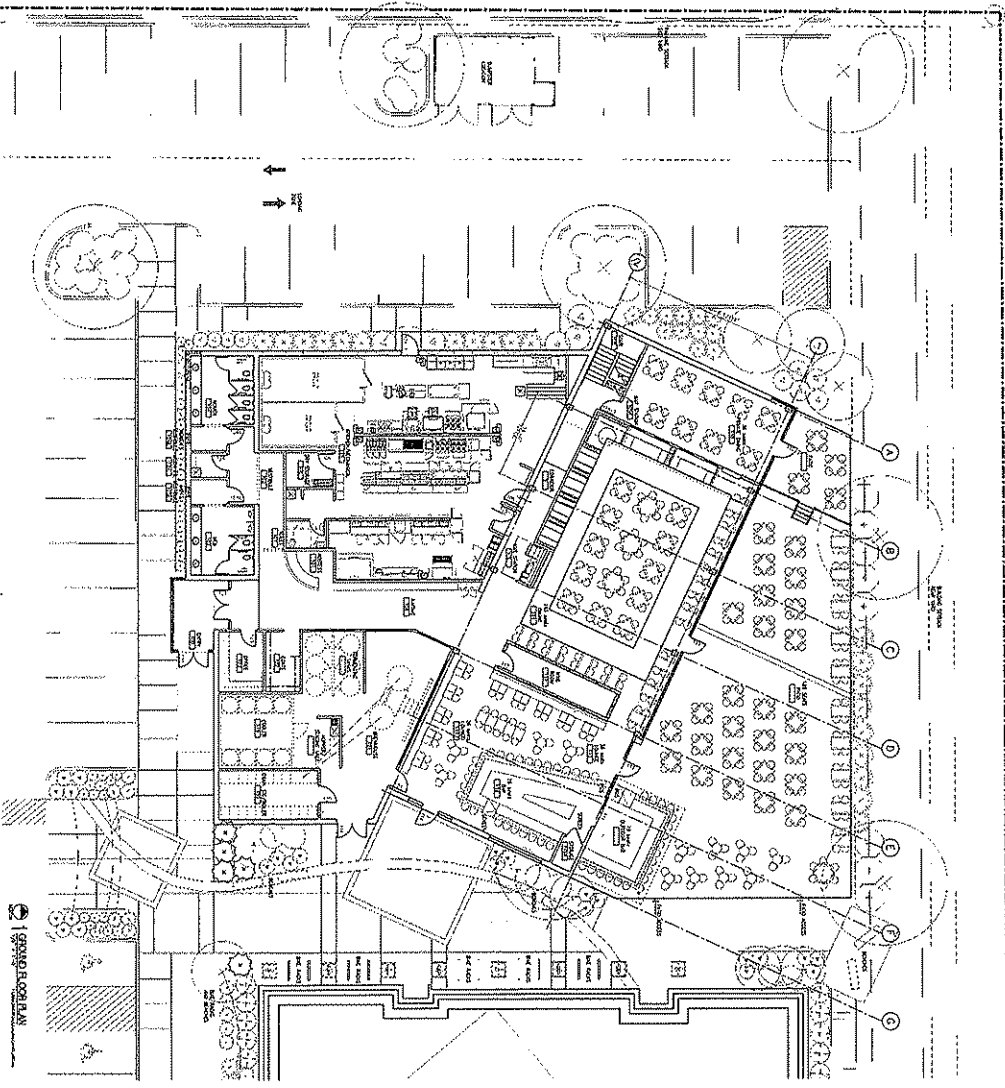
ALOFT  
A DIVISION OF HILTI  
fratellos  
WATERFRONT RESTAURANT  
AND BREWERY

A14 - Rear Bird's Eye View  
MADISON • ALOFT / FRATELLO'S  
23 JULY 2008

BUILDING SUMMARY	
TOTAL GSF	8,623 sf
Ground Floor GSF	8,623 sf
Basement GSF	757 sf
TOTAL GSF GROSS AREA	
Ground floor Dining Room 55	
Private Dining 26	
Restroom Dining 49	
Restroom Lounge 42	
Tailcoat Service 28	
Outdoor patio 29	
Office 20	
Tailcoat Service 28	



2' = 1"



Kahler Slater  
design II  
SMA  
STS  
AECOM

ALOFT  
fratellos  
WATERFRONT RESTAURANT  
AND BREWERY

A15 - Construction Plans  
MADISON • ALOFT / FRATELLO'S  
23 JULY 2008