



City of Madison

Conditional Use and Demolition

Location
308 North Blair Street

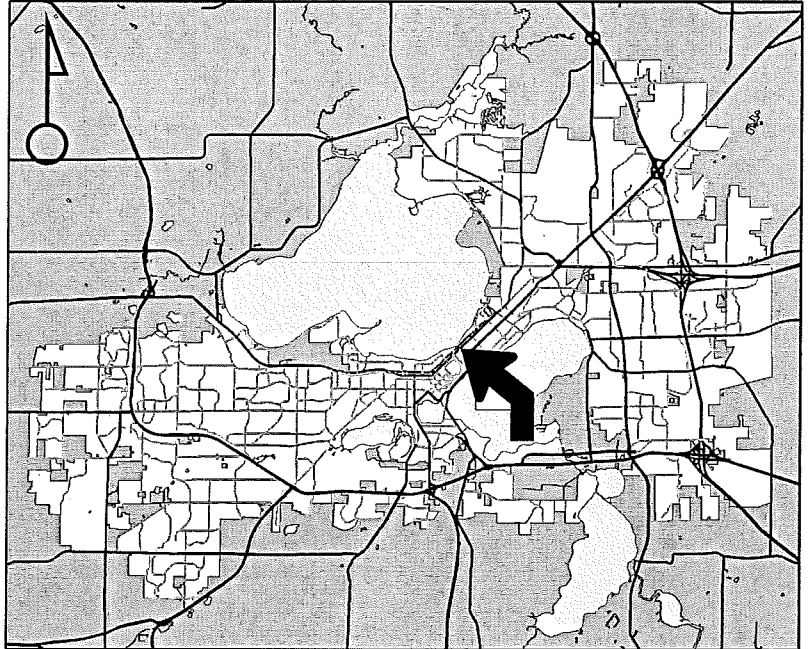
Project Name
RPG Demolition

Applicant
Michael Matty-Renaissance Property Group/
Chris Oddo-InSite Consulting Architects, LLC

Existing Use
Two-family residence

Proposed Use
Demolish two-family residence to
construct 8-unit apartment building

Public Hearing Date
Plan Commission
25 July 2016



For Questions Contact: Jessica Vaughn at: 267-8733 or jvaughn@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 18 July 2016



Date of Aerial Photography : Spring 2013



LAND USE APPLICATION

CITY OF MADISON

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- All Land Use Applications should be filed with the Zoning Administrator at the above address.
- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application.
- This form may also be completed online at: www.cityofmadison.com/developmentcenter/landdevelopment

| FOR OFFICE USE ONLY: | |
|--|--|
| Amt. Paid <u>600-</u> | Receipt No. <u>17490-6009</u> |
| Date Received <u>6/15/16</u> | |
| Received By <u>MSJP</u> | |
| Parcel No. <u>0709-133-1316-3</u> | |
| Aldermanic District <u>2-Zellers</u> | |
| Zoning District <u>DR-1</u> | |
| Special Requirements <u>dh</u> | |
| Review Required By: | |
| <input type="checkbox"/> Urban Design Commission | <input type="checkbox"/> Plan Commission |
| <input type="checkbox"/> Common Council | <input type="checkbox"/> Other: _____ |

Form Effective: February 21, 2013

1. **Project Address:** 308 N. Blair Street
Project Title (if any): _____

2. **This is an application for (Check all that apply to your Land Use Application):**

- Zoning Map Amendment from _____ to _____
- Major Amendment to Approved PD-GDP Zoning Major Amendment to Approved PD-SIP Zoning
- Review of Alteration to Planned Development (By Plan Commission)
- Conditional Use, or Major Alteration to an Approved Conditional Use
- Demolition Permit
- Other Requests: _____

3. **Applicant, Agent & Property Owner Information:**

Applicant Name: Michael Matty **Company:** Renaissance Property Group, LLC
Street Address: 2132 Fordem Ave., Suite 1300 **City/State:** Madison, WI **Zip:** 53704
Telephone: (608) 301-0000 **Fax:** () **Email:** mmatty@rpgrentals.com

Project Contact Person: Chris Oddo **Company:** InSite Consulting Architects, LLC
Street Address: 115 E. Main Street, Suite 200 **City/State:** Madison, WI **Zip:** 53703
Telephone: (608) 445-9594 **Fax:** (866) 297-1762 **Email:** chris@icsarc.com

Property Owner (if not applicant): _____
Street Address: _____ **City/State:** _____ **Zip:** _____

4. **Project Information:**

Provide a brief description of the project and all proposed uses of the site: Proposed new three (3) story wood frame apartment building with garden apartment, eight (8) total apartments.

Development Schedule: Commencement August 2016 Completion July 2017

5. Required Submittal Information

All Land Use applications are required to include the following:

- Project Plans** including:*
 - Site Plans (fully dimensioned plans depicting project details including all lot lines and property setbacks to buildings; demolished/proposed/altered buildings; parking stalls, driveways, sidewalks, location of existing/proposed signage; HVAC/Utility location and screening details; useable open space; and other physical improvements on a property)
 - Grading and Utility Plans (existing and proposed)
 - Landscape Plan (including planting schedule depicting species name and planting size)
 - Building Elevation Drawings (fully dimensioned drawings for all building sides, labeling primary exterior materials)
 - Floor Plans (fully dimensioned plans including interior wall and room location)

Provide collated project plan sets as follows:

- **Seven (7) copies** of a full-sized plan set drawn to a scale of 1 inch = 20 feet (folded or rolled and stapled)
- **Twenty Five (25) copies** of the plan set reduced to fit onto 11 X 17-inch paper (folded and stapled)
- **One (1) copy** of the plan set reduced to fit onto 8 ½ X 11-inch paper

* For projects requiring review by the **Urban Design Commission**, provide **Fourteen (14) additional 11x17 copies** of the plan set. In addition to the above information, all plan sets should also include: 1) Colored elevation drawings with shadow lines and a list of exterior building materials/colors; 2) Existing/proposed lighting with photometric plan & fixture cutsheet; and 3) Contextual site plan information including photographs and layout of adjacent buildings and structures. The applicant shall bring samples of exterior building materials and color scheme to the Urban Design Commission meeting.

Letter of Intent: Provide one (1) Copy per Plan Set describing this application in detail including, but not limited to:

- | | | |
|---|---|--|
| • Project Team | • Building Square Footage | • Value of Land |
| • Existing Conditions | • Number of Dwelling Units | • Estimated Project Cost |
| • Project Schedule | • Auto and Bike Parking Stalls | • Number of Construction & Full-Time Equivalent Jobs Created |
| • Proposed Uses (and ft ² of each) | • Lot Coverage & Usable Open Space Calculations | • Public Subsidy Requested |
| • Hours of Operation | | |

Filing Fee: Refer to the Land Use Application Instructions & Fee Schedule. Make checks payable to: *City Treasurer*.

Electronic Submittal: All applicants are required to submit copies of all items submitted in hard copy with their application as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or by e-mail to pcapplications@cityofmadison.com.

Additional Information may be required, depending on application. Refer to the Supplemental Submittal Requirements.

6. Applicant Declarations

Pre-application Notification: The Zoning Code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than **30 days prior to FILING this request**. List the alderperson, neighborhood association(s), and business association(s) AND the dates you sent the notices:
Sent written notice to alderperson Zeller, Capitol Neighborhoods President on May 12, 2016.

→ If a waiver has been granted to this requirement, please attach any correspondence to this effect to this form.

Pre-application Meeting with Staff: Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

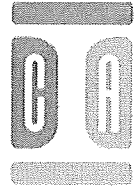
Planning Staff: JLV/JW Date: 5/17/16 Zoning Staff: Matt Tucker Date: 5/17/16

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of Applicant Michael Matty Relationship to Property: Owner

Authorizing Signature of Property Owner  Date 6/15/16

June 15, 2016



City of Madison – Zoning Administrator
215 Martin Luther King Jr. Blvd.; Room LL-100
PO Box 2985
Madison, WI 53701-2985

RE: 308 North Blair Street – Proposed Apartment Building

This packet of material is submitted to the City of Madison Zoning Administrator for a Land Use Application for the above mentioned project.

It is our intent to submit a comprehensive packet of information for review and approval by the City of Madison Departments.

Attachments included in this packet (32 copies @ 11x17):

- Land Use Application
- Required Drawings with proposed project information
 - Site, Grading and Utility Plans
 - Landscape Plan
 - Building Elevation Drawings
 - Floor Plans
 - Supplemental Material
- Letter of Intent
- Filing Fee

Please contact me at (608) 445-9594, if you have any questions or need further information.

Thank You,

Chris A. Oddo, AIA

Principal

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Letter of Intent:

To: City of Madison Zoning Administrator

RE: **308 North Blair Street – Proposed Apartment Building**

PROJECT TEAM

Client

Renaissance Property Group, LLC

2132 Fordem Avenue, Suite 100

Madison, WI 53704

608.301.0001

Michael Matty – Managing Member

Architectural & Landscape

InSite Consulting Architects, LLC

115 East Main Street

Suite #200

Madison, WI 53703

608.445.9594

Site Survey

Burse Surveying and Engineering, Inc.

2801 International Lane, Suite 101

Madison, WI 53704

608.250.9263

EXISTING CONDITIONS

Presently, a (2) story wood frame and wood sided house occupy this lot at 308 North Blount Street where the new building is proposed to be developed. See attached existing site survey.

PROJECT SCHEDULE

It is our intent to issue 100% completed construction documents for bid in August of this year, 2016. Construction would start by or before September of this year and be completed by the summer of 2017.

PROPOSED USES

The entire proposed new building will be used for residential.

- Garden Level = 1,812 nsf ((2) one bedroom apartments, bike storage & mech. Space)
- 1st Floor Level = 2,014 sf ((2) two bedroom apartments)
- 2nd Floor Level = 2,014 sf ((2) two bedroom apartments)
- 3rd Floor Level = 2,014 sf ((2) two bedroom apartments)

HOURS OF OPERATION

24/7/365

BUILDING SQUARE FOOTAGE

- See above

NUMBER OF DWELLINGS UNITS

Total of (8) apartment units

AUTO and BIKE PARKING STALLS

There are (0) automobile parking stalls provided in this project.

There are (8) covered bike parking stalls and (1) external bike parking stalls provided in this project.

LOT COVERAGE & USABLE OPEN SPACE CALCULATIONS

Lot Area = 6,551 sf

Lot Coverage = 2,014 sf

Usable open space calculation:

Required: 560 sf = 40 sf x (14) bedrooms

Provided: 2,889 sf

VALUE OF LAND

The land is valued at \$91,400.

ESTIMATE OF PROJECT COST

The estimated project cost is \$ TBD.

NUMBER OF CONSTRUCTION & FULLTIME EQUIVALENT JOBS CREATED

The estimated number of construction jobs created is (5) FTE.

The estimated number of fulltime equivalent jobs created is (1/4) FTE.

PUBLIC SUBSIDY REQUESTED

No public subsidy is requested for this project.

ADDITIONAL PROJECT INFORMATION:

We presented this proposed project at a publicly notified meeting on June 14th to interested Capitol Neighborhood residence. Our intent is to secure a support letter from the Capitol Neighborhoods Association Board prior to July Plan Commission meeting.

The proposed project meets or exceeds all zoning requirements for the current zoning, DR1.

Vaughn, Jessica

From: Michael Matty [mmatty@rpgrentals.com]
Sent: Thursday, May 12, 2016 8:31 AM
To: president@capitolneighborhoods.org; ledell.zellers@gmail.com; Zellers, Ledell
Cc: Chris Oddo; Vaughn, Jessica
Subject: Demolition Notice
Attachments: 308 N Blair - Concept Package - 5-3-16 .pdf; ATT00001.htm; 308 n Blair.jpeg; ATT00002.htm

Jeff and Ledell:

Good morning

This is our 'official' 30 day notice of our request to demo the houses at 308 N Blair and replace it with a 3 story walk-up 8 unit. The proposed building is allowed under the current zoning code as a conditional use. We will be meeting with City Staff per the demolition requirement and Chris Oddo has requested that meeting for next week. Our hope is to make the June 15th submittal deadline with City of Madison Planning.

Enclosed is our initial concept package including diagrams, lot survey, how the building will orientate on the street and initial drawings and floor plans. These are draft documents. It is the same package plus a little more information that we gave previously to you Ledell. Also enclosed is a small picture of the existing house. The large garden in the back of the lot will remain and the new building will be built on the Eastern front portion of the existing lot.

If you have any questions please feel to contact me. 301.0001 is my direct line.

Michael

July 6, 2016

City of Madison – Zoning Administrator
215 Martin Luther King Jr. Blvd.; Room LL-100
PO Box 2985
Madison, WI 53701-2985



RE: **308 North Blair Street – Proposed Apartment Building**

The attached supplemental information is submitted to the City of Madison Zoning Administrator for a Land Use Application for the above mentioned project.

Attachments included in this packet (17 copies @ 11x17):

- Cover letter
- Site, Grading and Utility Plans
 - **updated with Usable Open Space & loading zone**
- Building Elevations & Floor Plans
 - **updated with back porches**

UPDATED Usable open space calculation:

Required: 560 sf = 40 sf x (14) bedrooms

Provided: **670 sf = 426 sf (ground) + 244 sf (porches)**

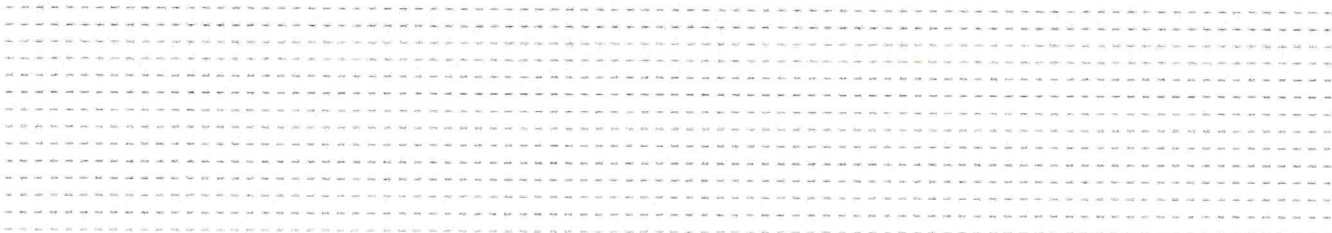
NOTE: The proposed loading zone will be used only for periodic small vehicle (cars & pick-up trucks) loading and unloading to maintain the existing garden in the back of the lot. This loading zone will not be used for frequent commercial deliveries or long term delivery truck parking.

Please contact me at (608) 445-9594, if you have any questions or need further information.

Thank You,

Chris A. Oddo, AIA

Principal





VICINITY MAP
SCALE: NONE



308 N. Blair St. - Apartments

308 N. Blair St.

Madison, WI 53703



GENERAL NOTES

- ALL DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STATE OF WISCONSIN BUILDING CODE LATEST EDITION.
- CONTRACTOR(S) ARE RESPONSIBLE FOR VERIFICATION OF, AND COORDINATION WITH, ALL DIMENSIONS SHOWN ON THESE DRAWINGS RELATIVE TO EXISTING CONDITIONS PRIOR TO BEGINNING WORK.
- CONTRACTOR SHALL REPORT IMMEDIATELY TO THE ARCHITECT ANY DIMENSION(S) OR DISCREPANCIES VERBALLY, A WRITTEN REPORT SHOULD PROMPTLY FOLLOW. CONTRACTOR SHALL CEASE WORK IN THE AFFECTED AREA UNTIL DIRECTED BY THE ARCHITECT.
- THE CONTRACTOR SHALL PROVIDE ALL METHODS AND EQUIPMENT FOR PROTECTING THE BUILDING, ALL MATERIALS, AND PERSONNEL FROM FIRE OR OTHER DAMAGE PRIOR TO STARTING. THE CONTRACTOR SHALL SUBMIT THE APPROVED METHODS AND EQUIPMENT IN WRITING FOR THE OWNER AND ARCHITECT'S REVIEW PRIOR TO STARTING WORK.
- THE CONTRACTOR SHALL COMPLY WITH ALL SAFETY AND HEALTH LAWS AND REGULATIONS.
- THE CONTRACTOR SHALL PROVIDE ALL SHORING, BRACING, SHEATHING, REQUIRED FOR THE SAFETY AND PROPER EXECUTION OF THE WORK.
- EXECUTION OF THE WORK WILL INVOLVE CONSIDERATION FOR ALLOWING THE OWNER TO CONTINUE THE OPERATION OF THE BUILDING AND THE BUSINESS IN THE FACILITY AND ADJACENT FACILITIES. PRIOR TO THE AWARD OF THE CONTRACT, THE CONSTRUCTION SCHEDULE PREPARED BY THE CONTRACTOR SHALL BE SUBMITTED TO THE ARCHITECT AND SHALL BE COORDINATED WITH THE FACILITIES DEPARTMENT. OWNER'S APPROVAL OF THE PROPOSED SCHEDULE SHALL SUPERCEDE THE CONTRACT PROVIDED THE OVERALL TIME IS NOT CHANGED.
- THE CONTRACTOR SHALL REVIEW ALL EXISTING CONDITIONS TO DETERMINE ALL SERVICES (ELECTRICAL, MECHANICAL AND PLUMBING) AFFECTED BY THE REPAIR WORK. THE CONTRACTOR SHALL MAKE NECESSARY TEMPORARY CONNECTIONS TO MAINTAIN EXISTING SERVICES TO ALL AREAS OF THE BUILDING DIRECTLY AND INDIRECTLY AFFECTED BY THE WORK. THE CONTRACTOR SHALL SUBMIT METHODS AND SCHEDULE OF CONNECTIONS TO THE OWNER FOR APPROVAL PRIOR TO BEGINNING WORK.
- AS THE WORK PROGRESSES, THE CONTRACTOR SHALL PRODUCE "AS-BUILT" DRAWINGS FOR THE INSTALLATION OF ALL REPAIR ITEMS UNDER THE CONTRACT. THE ARCHITECT WILL PROVIDE THE GENERAL CONTRACTOR WITH A SET OF REPRODUCIBLE PLANS FOR THIS PURPOSE. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE AS-BUILT DRAWINGS ACCORDING TO THE JOB PROGRESS. EACH PAY REQUEST SUBMITTED BY THE CONTRACTOR SHALL BE ACCOMPANIED BY A COPY OF THE UPDATED AS-BUILT DRAWINGS.
- THE CONTRACTOR SHALL CALL "DIGGER'S HOTLINE" AT 800-242-8511, 48 HOURS (EXCLUDING WEEKENDS AND/OR HOLIDAYS) PRIOR TO DIGGING ANY EXCAVATION. "DIGGER'S HOTLINE" WILL CONTACT UTILITY COMPANIES TO LOCATE AND MARK THEIR UNDERGROUND FACILITIES. NO SUCH WORK SHALL COMMENCE PRIOR TO VERIFICATION THAT ALL UTILITIES HAVE RESPONDED.
- PROTECT TREES, SHRUBS, LAWNS, AND OTHER FEATURES WITHIN PROJECT LIMITS. RESTORE DAMAGED FEATURES TO ORIGINAL CONDITION.



LOCATION MAP

SCALE: NONE

LOCATION



DRAWING INDEX

GENERAL

- A0.01 COVER SHEET, INDEX, GENERAL NOTES
- A0.02 CODE REVIEW PLANS
- A0.03 CODE SUMMARY

SURVEY

SITE DESIGN

- A1.01 SITE DEMO PLAN
- A1.02 ARCHITECTURAL SITE PLAN
- L1.01 LANDSCAPE PLAN
- E1.01 SITE LIGHTING PLAN

STRUCTURAL

ARCHITECTURAL

- A2.00 GARDEN LEVEL FLOOR PLAN
- A2.01 FIRST FLOOR PLAN
- A2.02 SECOND FLOOR PLAN
- A2.03 THIRD FLOOR PLAN
- A2.04 ROOF PLAN
- A3.01 EXTERIOR PERSPECTIVES
- A3.02 BUILDING ELEVATION
- A3.03 BUILDING ELEVATION
- A3.04 BUILDING ELEVATION
- A3.05 LINES OF SITE FOR ROOF UNITS
- A4.01 BUILDING SECTIONS
- A5.01 WALL SECTIONS
- A5.02 WALL SECTIONS
- A5.21 EXTERIOR ENCLOSURE & ROOF DETAILS
- A5.22 EXTERIOR ENCLOSURE & ROOF DETAILS
- A5.23 EXTERIOR ENCLOSURE & ROOF DETAILS
- A6.01 ENLARGED PLANS
- A6.02 ENLARGED PLANS
- A7.01 PARTITION TYPES & DETAILS
- A8.01 DOOR SCHEDULE
- A8.02 DOOR & FRAME TYPES
- A8.03 DOOR DETAILS
- A8.21 WINDOW TYPES
- A8.23 WINDOW DETAILS
- A9.01 INTERIOR ELEVATIONS, TOILET ROOMS
- A9.02 INTERIOR ELEVATIONS, KITCHEN
- A10.00 LOWER LEVEL M.E.P. PLAN
- A10.01 GROUND FLOOR M.E.P. PLAN
- A10.02 SECOND FLOOR M.E.P. PLAN
- A10.03 THIRD FLOOR M.E.P. PLAN
- A11.01 VERTICAL CIRCULATION

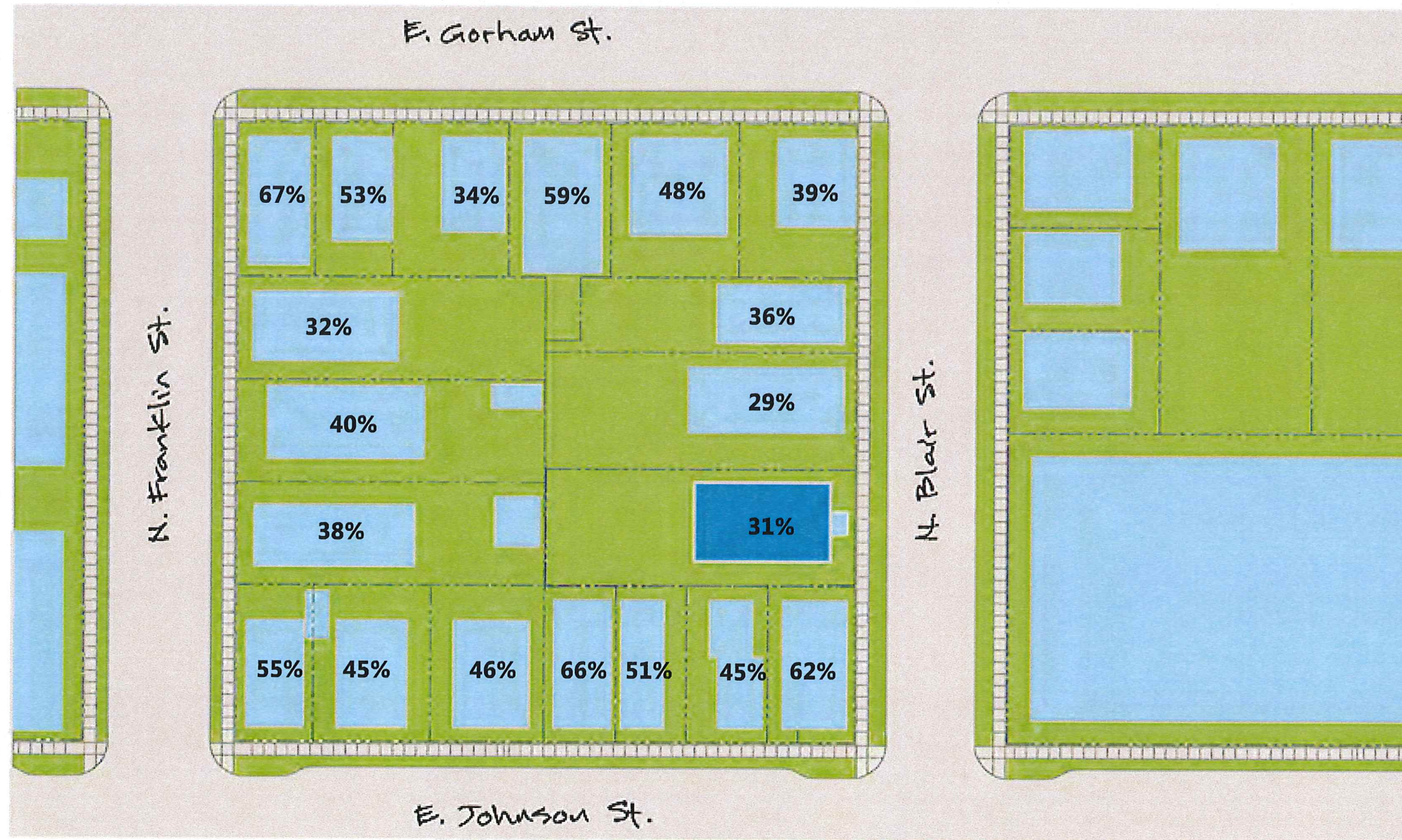
308 North Blair Street - Apartments
308 North Blair Street
Madison, Wisconsin 53703

ICA NO. RPG 16-001

TITLE SHEET, INDEX,
GENERAL NOTES

LAND USE APPLICATION
6/15/16

A0.01



Block Diagram

Zoning Data:

308 North Blair Street - Proposed Apartments

6-Jul-16

| DR1 | Requirements | Provided | Notes |
|----------------------|---|-------------------|---|
| Lot Area | 3,000 sf | 6,549 sf | |
| Lot Width | >3 Units = 40 feet | 50 feet | |
| Front Yard Setback | 15 feet | 10 feet | Permitted set-back to match adjacent properties with 10 feet minimum. |
| Side Yard Setback | 5 feet | 5 and 10 feet | |
| Rear Yard Setback | lesser 20% or 30 feet | 59 feet | |
| Maximum Lot Coverage | 75% | 31% | 2014 (footprint of building) |
| Maximum Height | Downtown Ht. Map = 4 stories | (3) stories | |
| Stepback | Downtown Stepback Map | n/a | |
| Usable Open Space | 40 sf per bedroom 560 | 670 sf | |
| Bike Parking | 1/du (2br du) + 1/2 / (- 8 + 0 = 8 Guest = 1/10 du = 1 | 10 (2'x6') stalls | (8) covered stalls (2) outside |
| Car Parking | (0) stalls | (0) stalls | Loading zone for existing garden only. |



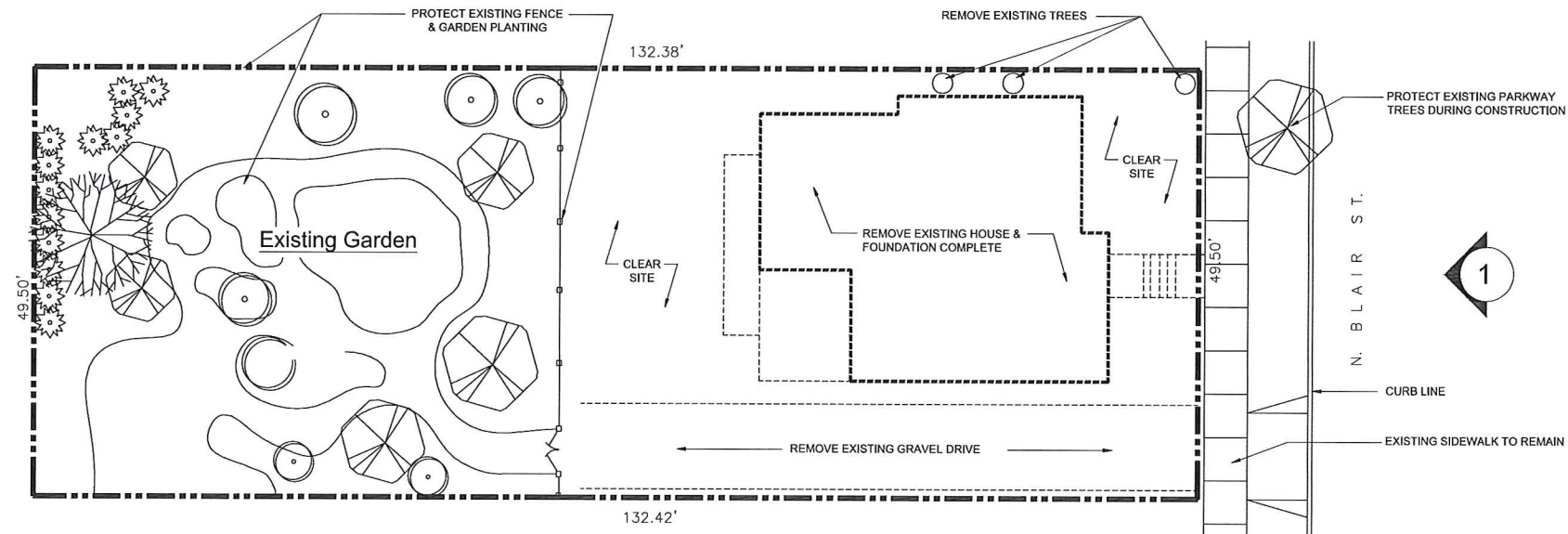
1 308 N. BLAIR STREET

DEMO NOTES

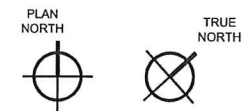
1. CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO CONSTRUCTION MANAGER PRIOR TO BEGINNING WORK.
2. ITEMS THAT ARE TO BE REMOVED, AND REINSTALLED, OR SAVED ARE TO BE TAGGED AND CAREFULLY STORED (SEE OWNER FOR LOCATION).
3. THE CONSTRUCTION DOCUMENTS INDICATE THE OVERALL AREAS OF WORK. INCIDENTAL WORK ASSOCIATED, BUT NOT SHOWN ON THE CONSTRUCTION DOCUMENTS, MAY BE REQUIRED OUTSIDE THE PROJECT AREAS. THIS WORK IS PART OF THE CONTRACT, AND IS TO BE COMPLETED IN ACCORDANCE WITH THE CONTRACT REQUIREMENTS, AT NO ADDITIONAL COST TO THE OWNER.
4. ALL ITEMS INDICATED TO REMAIN ARE TO BE PROTECTED FROM DAMAGE. DAMAGED ITEMS ARE TO BE PATCHED & REPAIRED, OR REPLACED AS REQUIRED TO MATCH ADJACENT SURFACE, AT NO ADDITIONAL COST TO THE OWNER.
5. PROVIDE SHORING AS NECESSARY TO STABILIZE SOIL AND PROTECT EXISTING ADJACENT PROPERTIES DURING EXCAVATION AND BACK FILL.



INSITE CONSULTING ARCHITECTS



1 SITE DEMO PLAN
A01.01 SCALE: 1" = 10'-0"



308 North Blair Street - Apartments
308 North Blair Street
Madison, Wisconsin 53703

ICA NO. RPG 16-001

SITE DEMO PLAN

LAND USE APPLICATION
UPDATE
7/7/16

A1.01



Exterior - Back



Exterior - Side



Exterior - Side



Exterior - Close Up - Back Porch



Exterior - Front



Interior - Basement



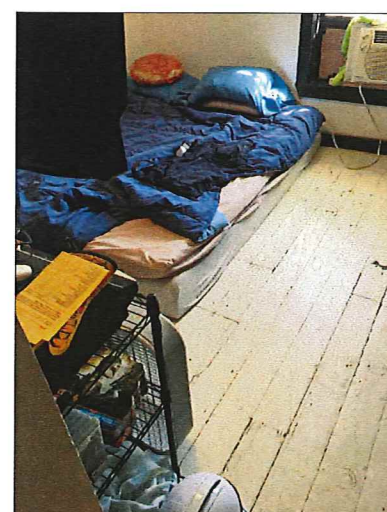
Interior - Kitchen



Interior - Bathroom



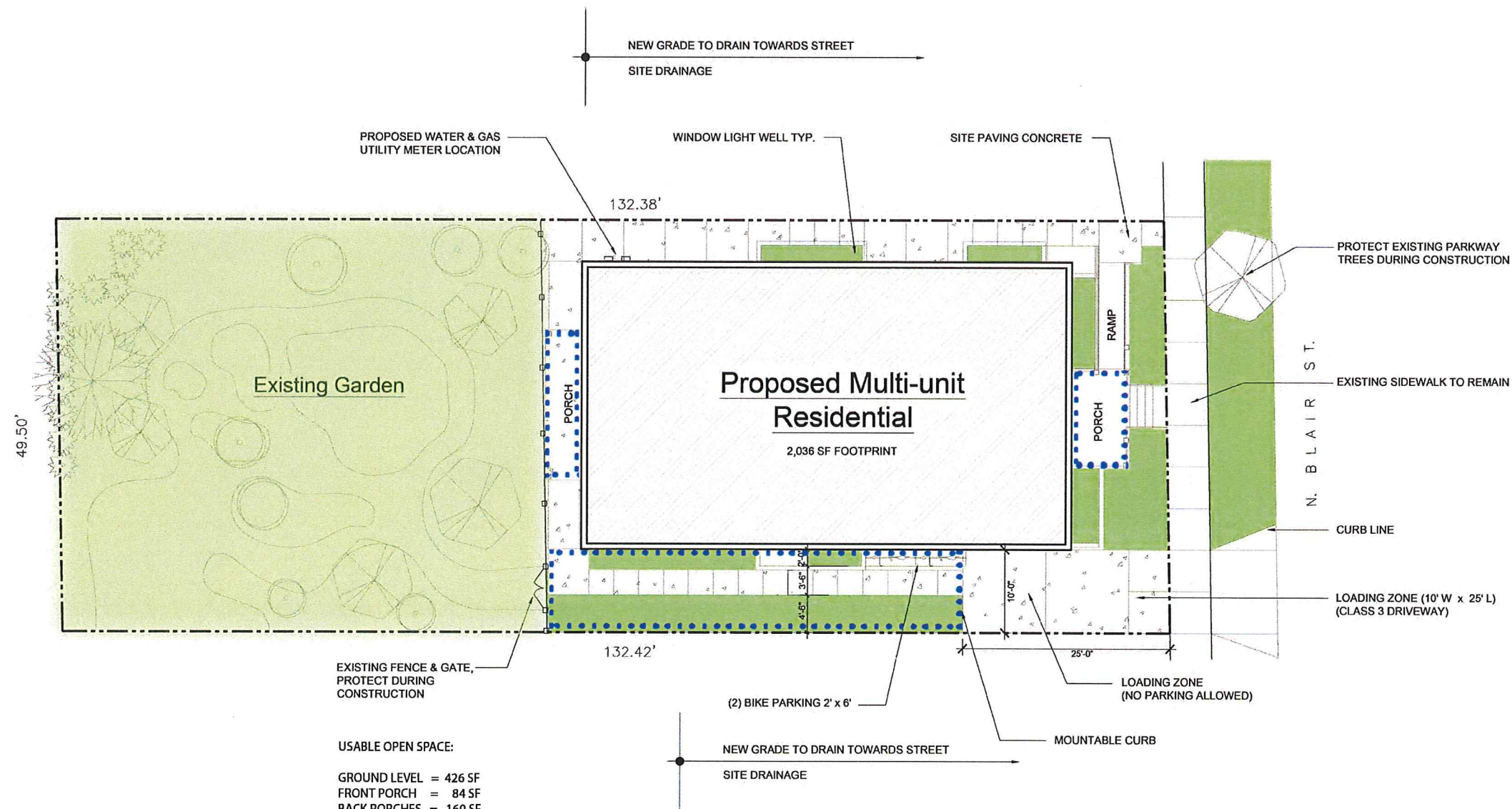
Interior - Living Room



Interior - Bedroom



- GENERAL NOTES:**
1. RESTORE ALL PAVING SURFACES AND CURBS IMPACTED BY WORK.
 2. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE AND REPAIR OF EXISTING PAVING IMPACTED BY CONSTRUCTION OPERATIONS. PATCH EXISTING SITE PAVING AFFECTED, EVEN IF NOT SPECIFICALLY INDICATED ON THESE PLANS.
 3. MATCH EXISTING ELEVATION OF PAVEMENT ELEVATIONS TO MAINTAIN EXISTING GRADES. PITCH SLABS TO PROVIDE POSITIVE SIDEWALK DRAINAGE WHERE REQUIRED. DOVETAIL ALL NEW SIDEWALK PAVING WITH EXISTING.
 4. PRIOR TO FABRICATION OF SIDEWALK OR FRAMING OF FORM-WORK, CONTRACTOR(S) SHALL SUBMIT A FIELD LAYOUT DRAWING DEPICTING REPLACEMENT SIDEWALK PLAN WITH TOOLED JOINT LOCATIONS. ALLOW FOR OWNER & ARCHITECT REVIEW. INCLUDE STAKE MARKS ON PROPERTY FOR ON-SITE REVIEW.

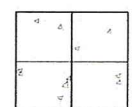



USABLE OPEN SPACE:
 GROUND LEVEL = 426 SF
 FRONT PORCH = 84 SF
 BACK PORCHES = 160 SF
TOTAL U.O.S. = 670 SF

1 ARCHITECTURAL SITE PLAN
 A1.02 SCALE: 1/8" = 1'-0"



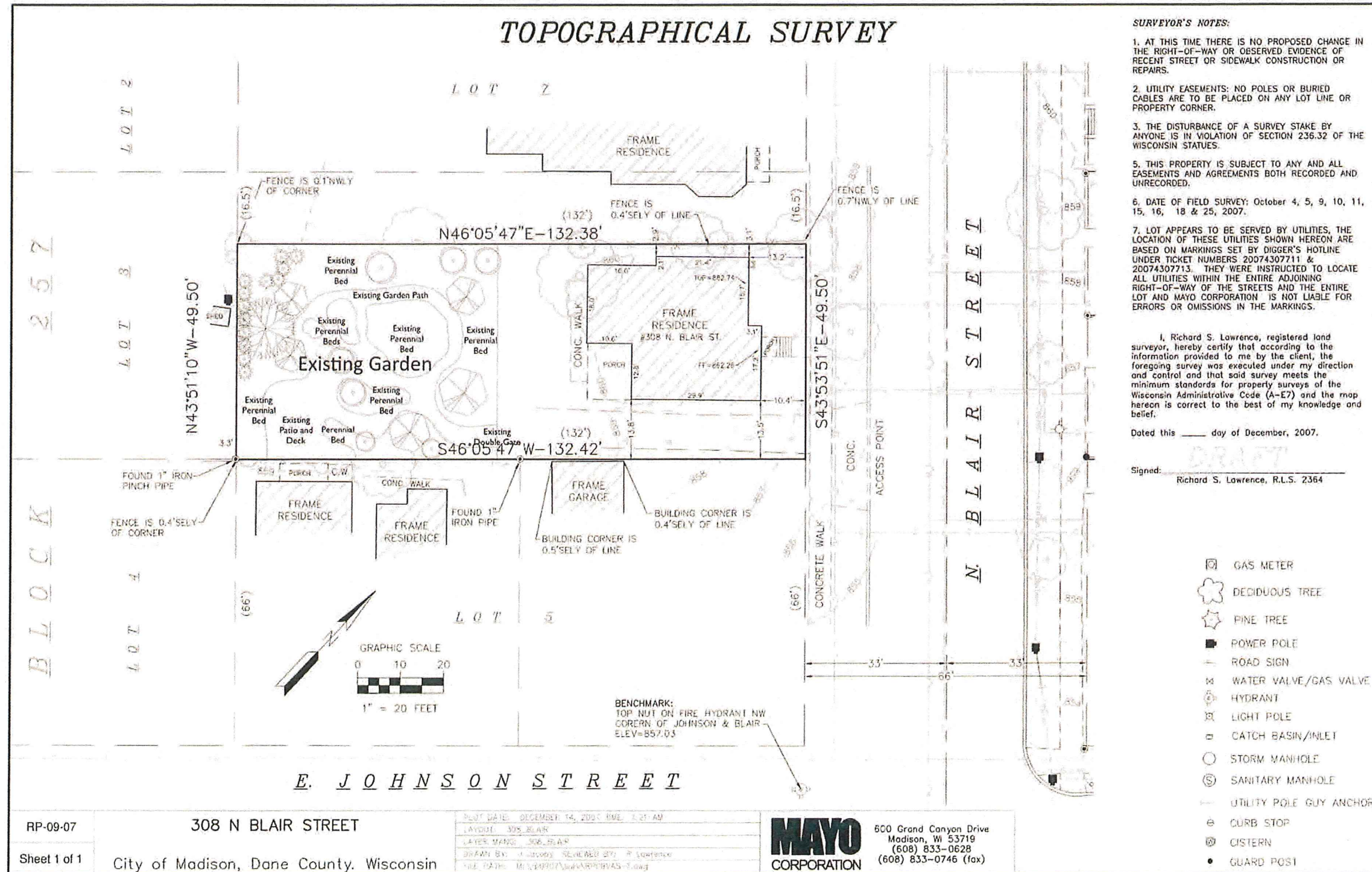
LEGEND

-  NEW CONCRETE PAVING. SEE FIRST FLOOR PLAN FOR PAVEMENT JOINT LOCATIONS, STAIRS AND RAMP.
-  NEW ASPHALT PAVING (NOT USED)

308 North Blair Street - Apartments
 308 North Blair Street
 Madison, Wisconsin 53703

ICA NO. RPG 16-001
 ARCHITECTURAL SITE PLAN
 LAND USE APPLICATION
 6/15/16
A1.02

TOPOGRAPHICAL SURVEY



- SURVEYOR'S NOTES:**
1. AT THIS TIME THERE IS NO PROPOSED CHANGE IN THE RIGHT-OF-WAY OR OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
 2. UTILITY EASEMENTS: NO POLES OR BURIED CABLES ARE TO BE PLACED ON ANY LOT LINE OR PROPERTY CORNER.
 3. THE DISTURBANCE OF A SURVEY STAKE BY ANYONE IS IN VIOLATION OF SECTION 236.32 OF THE WISCONSIN STATUTES.
 5. THIS PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS AND AGREEMENTS BOTH RECORDED AND UNRECORDED.
 6. DATE OF FIELD SURVEY: October 4, 5, 9, 10, 11, 15, 16, 18 & 25, 2007.
 7. LOT APPEARS TO BE SERVED BY UTILITIES, THE LOCATION OF THESE UTILITIES SHOWN HEREON ARE BASED ON MARKINGS SET BY DIGGER'S HOTLINE UNDER TICKET NUMBERS 20074307711 & 20074307713. THEY WERE INSTRUCTED TO LOCATE ALL UTILITIES WITHIN THE ENTIRE ADJOINING RIGHT-OF-WAY OF THE STREETS AND THE ENTIRE LOT AND MAYO CORPORATION IS NOT LIABLE FOR ERRORS OR OMISSIONS IN THE MARKINGS.

I, Richard S. Lawrence, registered land surveyor, hereby certify that according to the information provided to me by the client, the foregoing survey was executed under my direction and control and that said survey meets the minimum standards for property surveys of the Wisconsin Administrative Code (A-E7) and the map hereon is correct to the best of my knowledge and belief.

Dated this ____ day of December, 2007.

Signed: Richard S. Lawrence, R.L.S. 2364

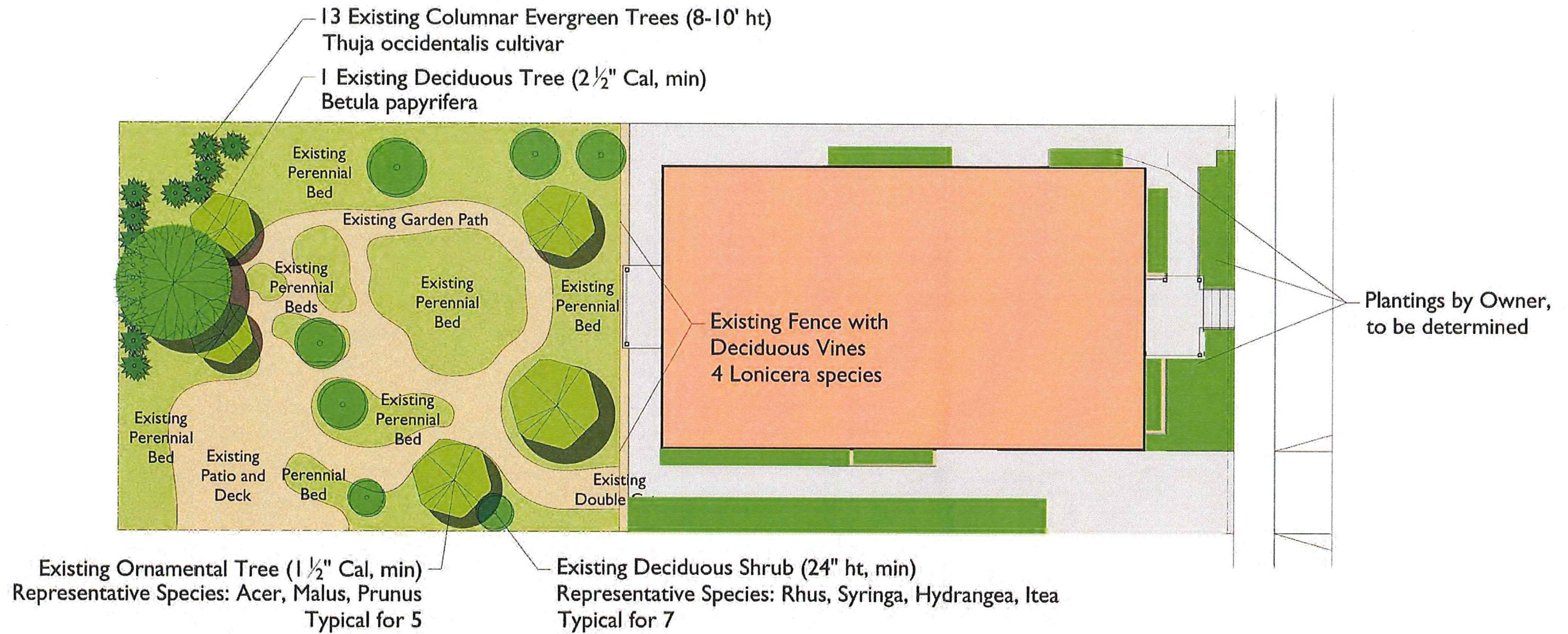
- GAS METER
- DECIDUOUS TREE
- PINE TREE
- POWER POLE
- ROAD SIGN
- WATER VALVE/GAS VALVE
- HYDRANT
- LIGHT POLE
- CATCH BASIN/INLET
- STORM MANHOLE
- SANITARY MANHOLE
- UTILITY POLE GUY ANCHOR
- CURB STOP
- CISTERN
- GUARD POST

| | | | |
|--------------|---|---|--|
| RP-09-07 | 308 N BLAIR STREET | PLOT DATE: DECEMBER 14, 2007 TIME: 1:21 AM LAYOUT: 308 BLAIR LAYER NAME: 308 BLAIR DRAWN BY: M. JACOBY CHECKED BY: R. LAWRENCE FILE PATH: M:\PROJECTS\308BLAIR\308-1.dwg | MAYO CORPORATION 500 Grand Canyon Drive Madison, WI 53719 (608) 833-0628 (608) 833-0746 (fax) |
| Sheet 1 of 1 | City of Madison, Dane County, Wisconsin | | |



Site Survey & Existing Conditions





Landscape Points Schedule

| Plant Type | Pts | Qty | Sub-Total |
|--|-----|-----|-----------|
| Existing Overstory Deciduous Trees | 35 | 1 | 35 |
| Existing Tall Evergreen Trees | 35 | 13 | 455 |
| Existing Ornamental Trees | 15 | 5 | 75 |
| Existing Deciduous Shrubs | 7 | 3 | 21 |
| Total Provided (perennials, vines and grasses are not included in total) | | | 586 |
| Total Required (Developable Area 4,641 x 5 points/300 sf = 77.35) | | Say | 78 |



INSITE CONSULTING ARCHITECTS

Landscape Plan & Planting Schedule





North Blair Street - Streetscape



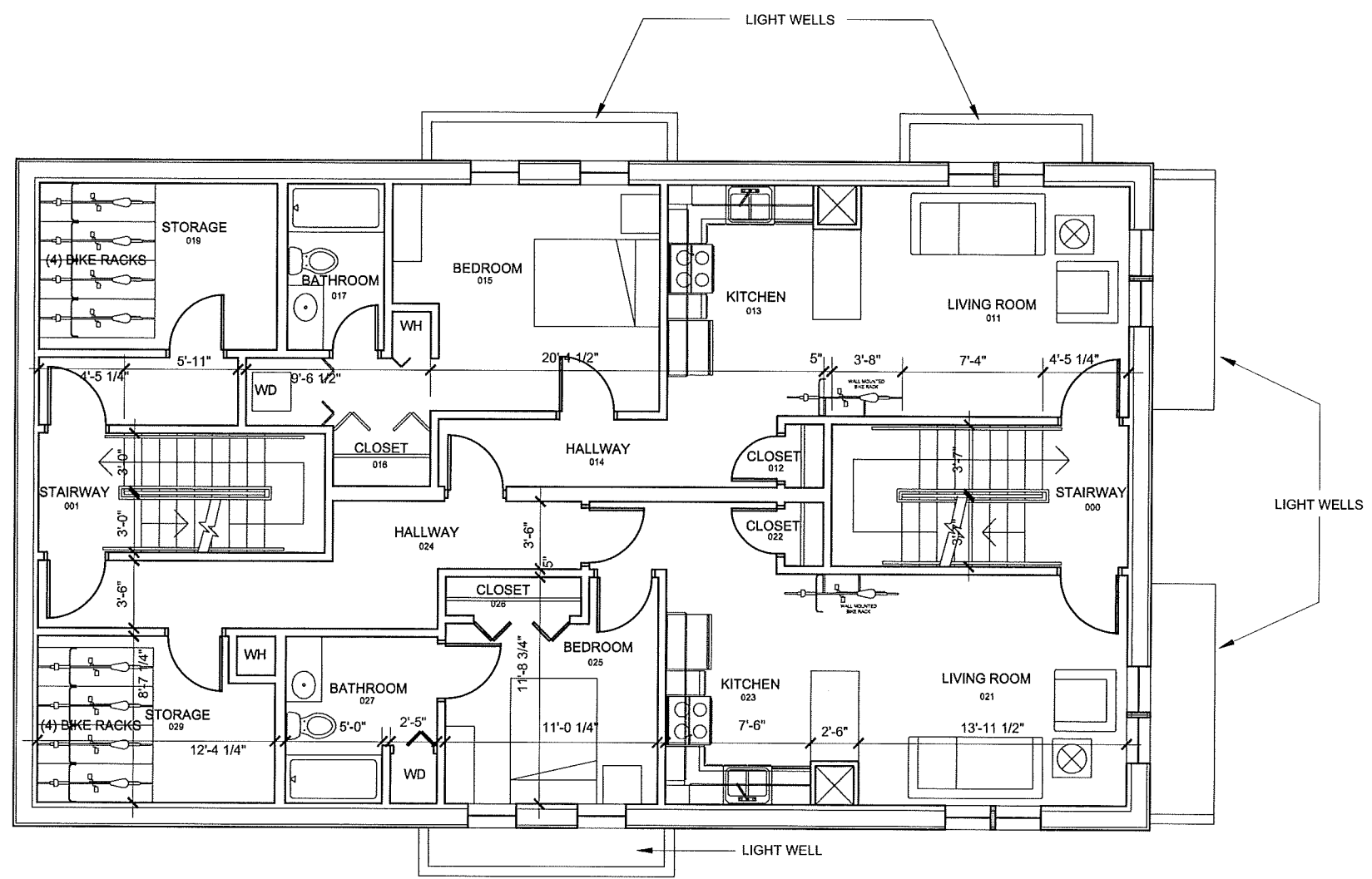
North Blair Street - Existing

Streetscape and Photos of Existing Houses



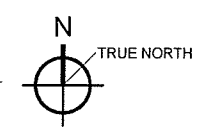
Exterior Elevation - East





308 North Blair Street - Apartments
 308 North Blair Street
 Madison, Wisconsin 53703

1 GARDEN LEVEL FLOOR PLAN
 A2.00 SCALE: 1/4" = 1'-0"



ICA NO. RPG 16-001

GARDEN LEVEL FLOOR PLAN

LAND USE APPLICATION UPDATE 7/7/16

A2.00



InSite Consulting Architects
115 E. Main / STE 200
Madison, Wisconsin 53703
608-204-0825
866-297-1762 (fax)
info@icsarc.com



RENAISSANCE PROPERTY GROUP, LLC

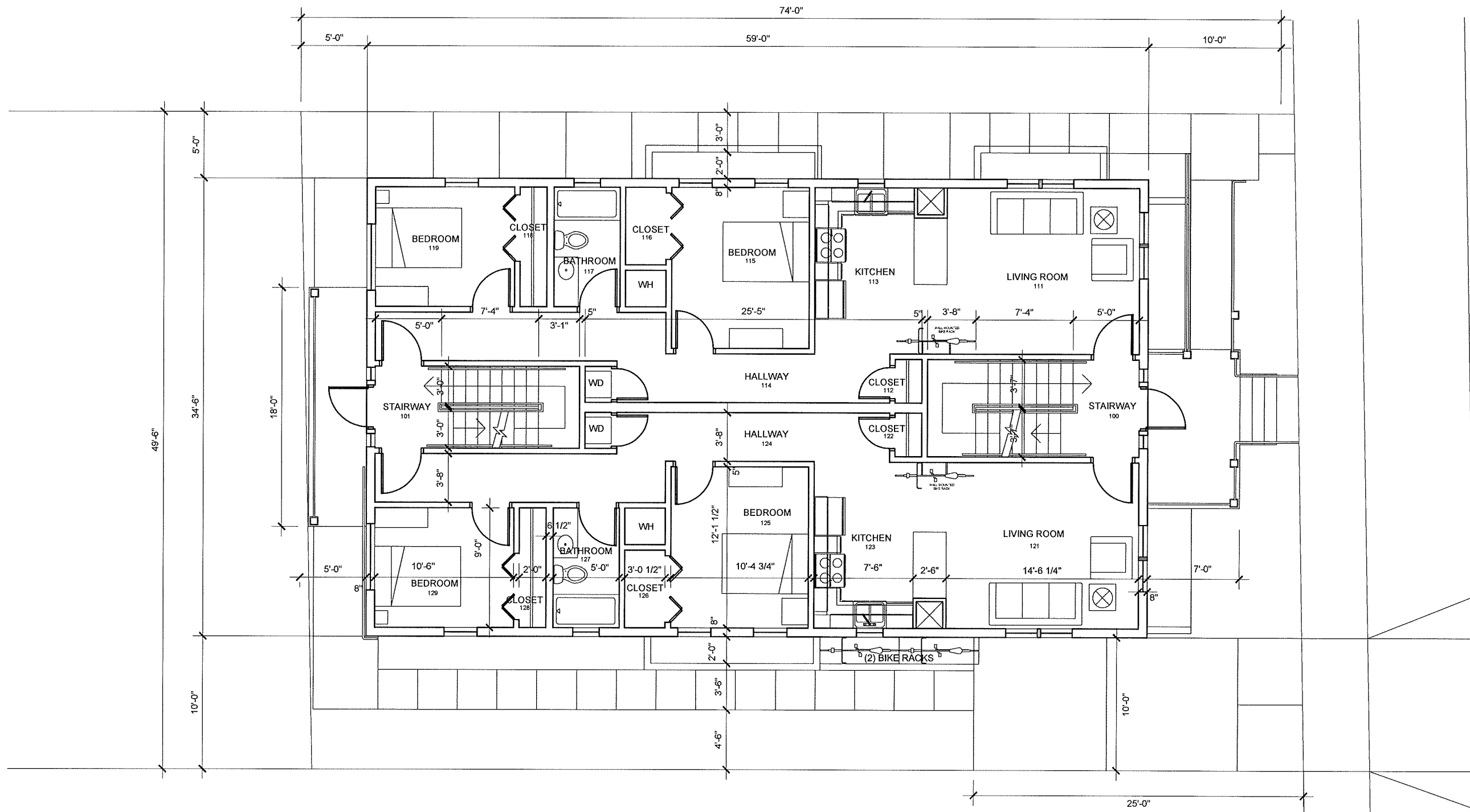
308 North Blair Street - Apartments
308 North Blair Street
Madison, Wisconsin 53703

ICA NO. RPG 16-001

FIRST FLOOR PLAN

LAND USE APPLICATION
6/15/16

A02.01



1 FIRST FLOOR PLAN
A02.01 SCALE: 1/4" = 1'-0"



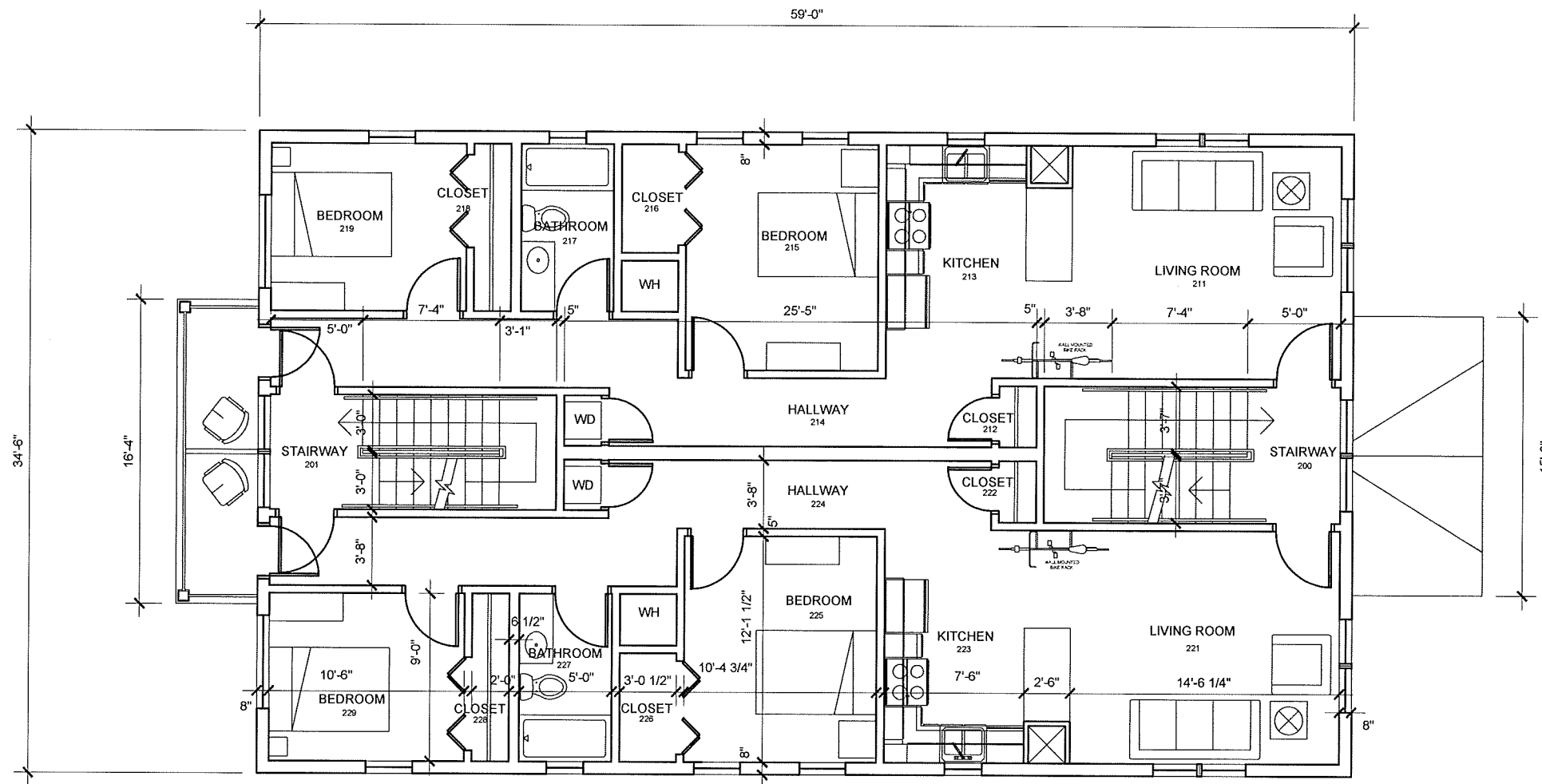


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115 E. Main / STE 200
Madison, Wisconsin 53703
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1 SECOND FLOOR PLAN
A02.02 SCALE: 1/4" = 1'-0"

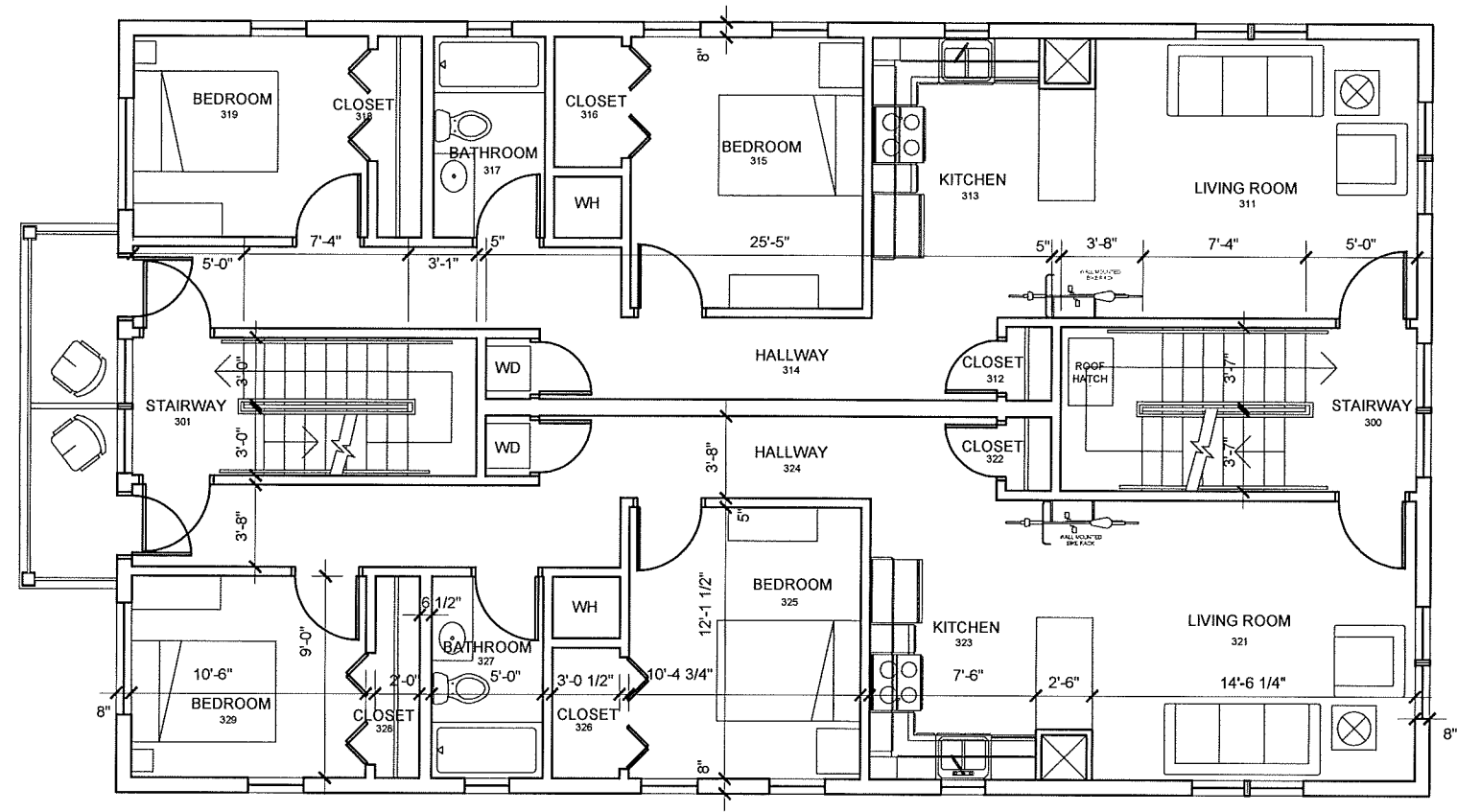


ICA NO. RPG 16-001

SECOND FLOOR PLAN

LAND USE APPLICATION
6/15/16

A02.02



1 THIRD FLOOR PLAN
 A02.03 SCALE: 1/4" = 1'-0"

N
 TRUE NORTH

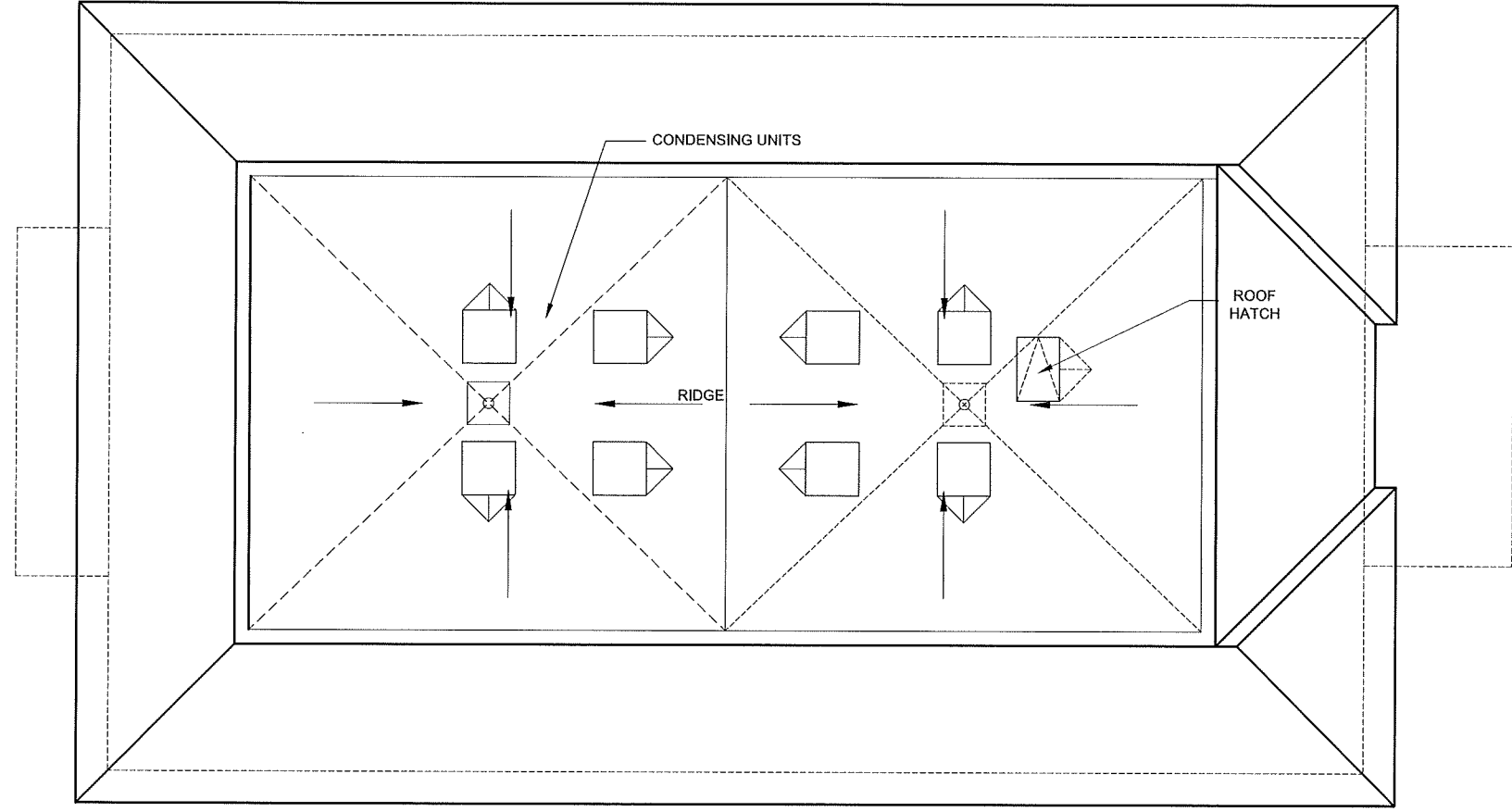
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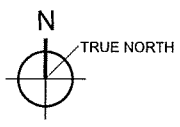
THIRD FLOOR PLAN

LAND USE APPLICATION
 6/15/16

A02.03



1 ROOF PLAN
 A2.04 SCALE: 1/4" = 1'-0"



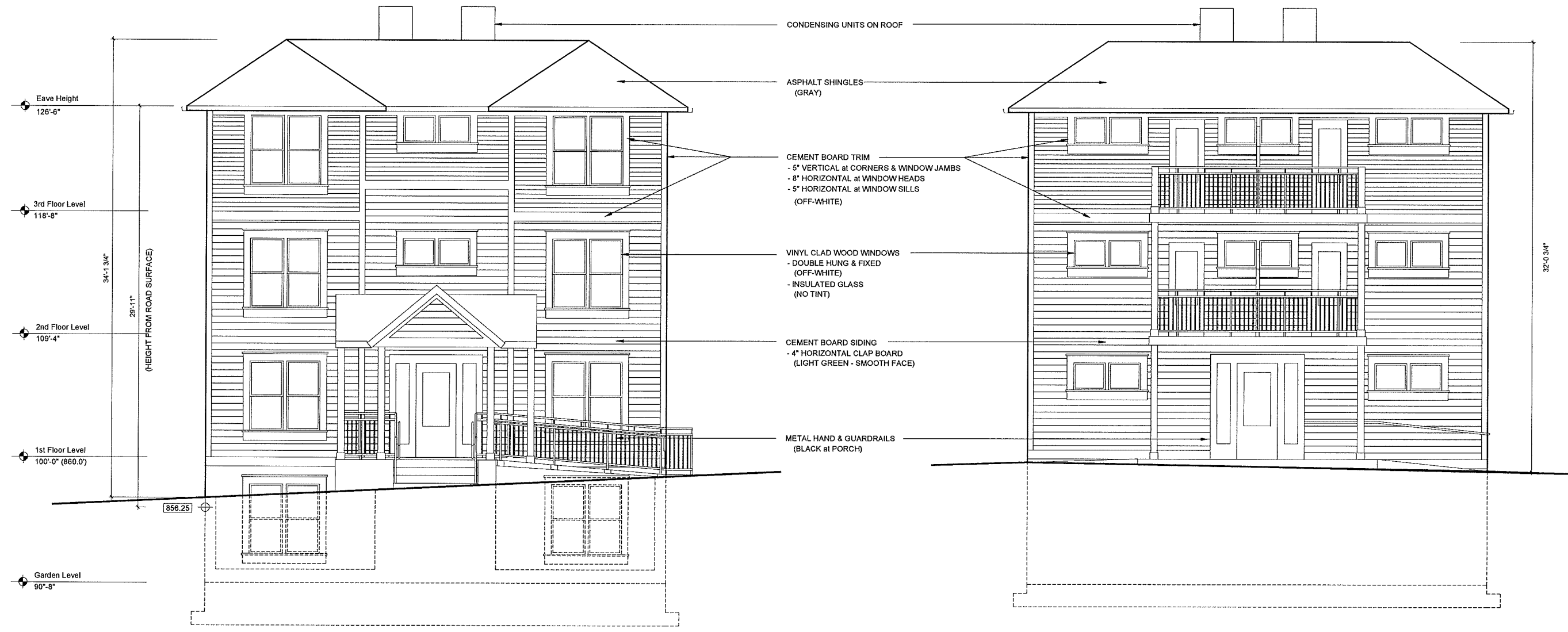
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ROOF PLAN

LAND USE APPLICATION
 UPDATE
 7/7/16

A2.04



1 EAST EXTERIOR ELEVATION
 A3.02 SCALE: 1/4" = 1'-0"

1 WEST EXTERIOR ELEVATION
 A3.02 SCALE: 1/4" = 1'-0"

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SOUTH EXTERIOR ELEVATION

50% REVIEW SET 7/8/16

A3.03



1 SOUTH EXTERIOR ELEVATION
 A3.03 SCALE: 1/4" = 1'-0"



308 North Blair Street - Apartments
 308 North Blair Street
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1 NORTH EXTERIOR ELEVATION
 A3.04 SCALE: 1/4" = 1'-0"

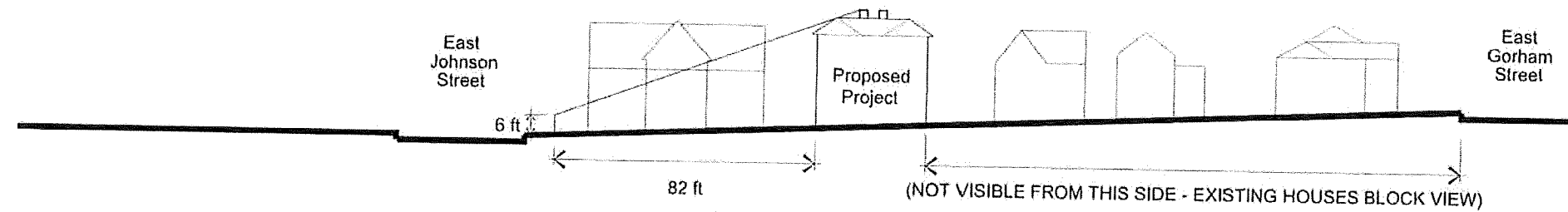
ICA NO. RPG 16-001
 NORTH EXTERIOR ELEVATION
 50% REVIEW SET 7/8/16

A3.04

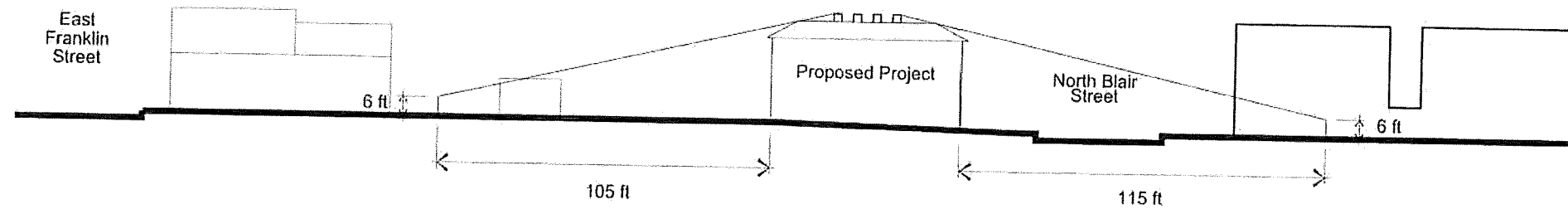


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InSite Consulting Architects
115 E. Main / STE 200
Madison, Wisconsin 53703
608-204-0825
855-297-1782 (fax)
info@iscarc.com



Section - Looking West



Section - Looking North

308 Blair Street - Apartments
308 Blair Street
Madison, Wisconsin 53703

ICA NO. 5PG 16-001

LINES OF SITE
FOR ROOF UNITS

LAND USE APPLICATION
6/15/16

A03.05