

August 26, 2019

Madison Plan Commission
210 Martin Luther King, Jr. Blvd.
Room 201
Madison, WI 53703

SECOND REVISION TO LETTER OF INTENT – Land Use Application
Project: Cox Residence 5454 Lake Mendota Drive

I, Kathleen Cox the homeowner, am seeking approval of a Land Use Application to obtain a Conditional Use Permit and Demolition Permit to remove an existing single-family home and construct a new residence in its place at 5454 Lake Mendota Drive, Madison, WI 53705, in the R1 district. I plan to raze the existing residence and build a new single-family home per the enclosed revised plans. I have worked with Udvari-Solner Design Company, D’Onofrio Kottke and Associates, CGC, Inc. and Landscape Architecture, LLC to develop this comprehensive set of plans.

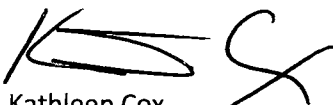
I previously submitted plans for consideration in February 2019 and have an active application open. Based on feedback received on my previous plans, these have been revised to reduce the size of the house and fit within the permitted lakefront setback. I reserve the right to revise the current plans should my lakefront setback change.

The new home design takes into consideration the current architectural integrity of the existing and surrounding homes and will complement the overall aesthetic of the neighborhood. I have notified the Alderperson of District 19, Keith Furman, of my revised plans and provided him with a copy of the plans.

Construction will commence in the winter of 2019 pending approval. The planned home features four bedrooms with 1,628 sq. ft. on the ground floor, 1,938 sq. ft. on the first floor, 2,574 sq. ft. on the second floor, 1,335 sq. ft. in the garage, and 2,520 sq. ft. on the gym floor, with a total of 9,995 sq. ft. of finished and unfinished space. The total lot coverage of the proposed final project (including the existing boathouse and patio under house deck) is 6,481 sq. ft. on the 17,127 sq. ft. lot, which is a 37.8% lot coverage area.

Please review the enclosed documents for further details and feel free to contact me with questions.

Sincerely,


Kathleen Cox
Homeowner

Contact Information

Kathleen Cox, Homeowner (608) 848-8422
Mark Udvari-Solner, Udvari-Solner Design Company (608) 233-1480
Ron Klaas, D’Onofrio Kottke & Associates (608) 833-7530
Michael Schultz, CGC, Inc., (608) 288-4100 x 203





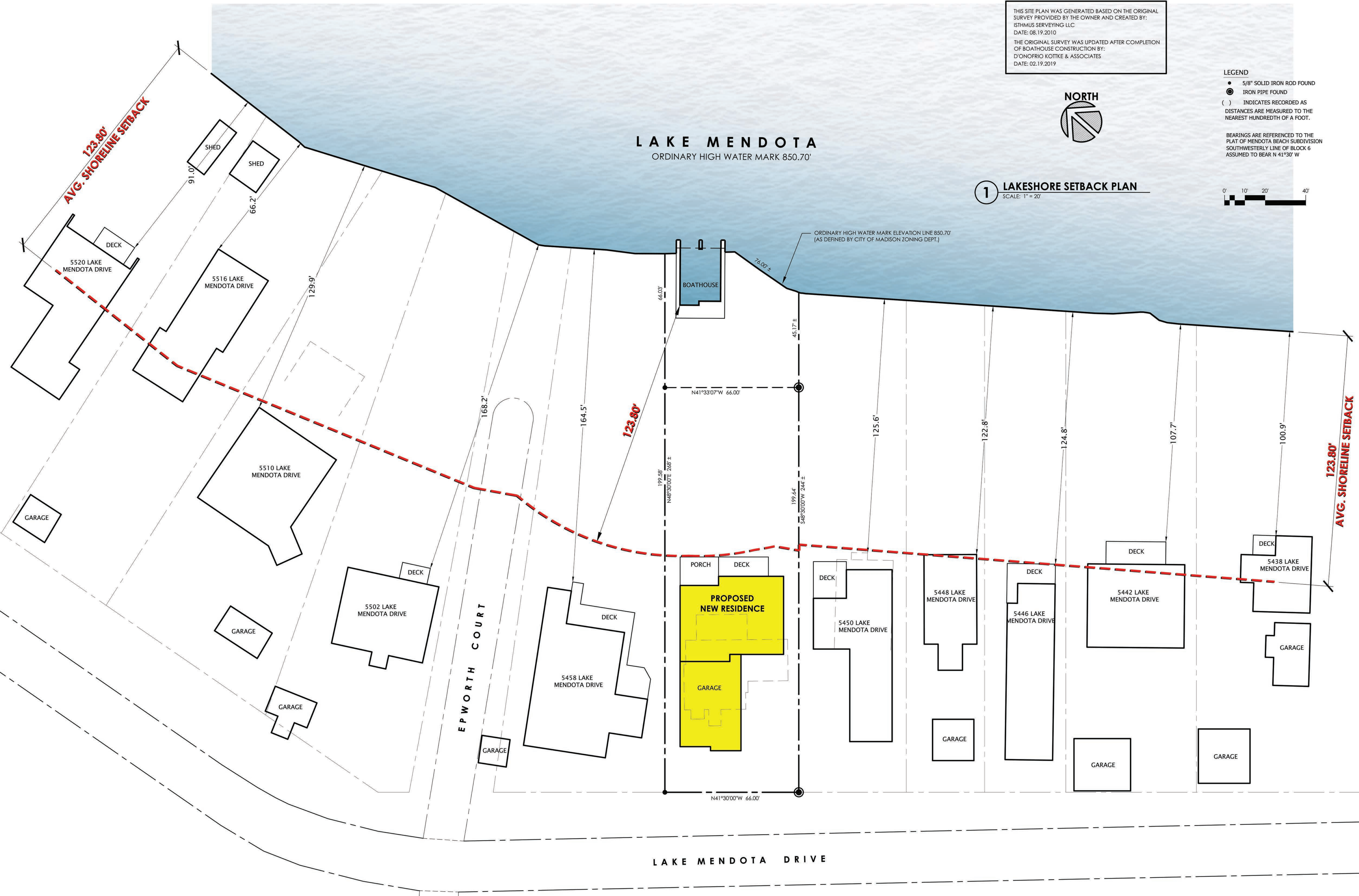
THIS SITE PLAN WAS GENERATED BASED ON THE ORIGINAL SURVEY PROVIDED BY THE OWNER AND CREATED BY:
 ISTHMUS SURVEYING LLC
 DATE: 08.19.2010
 THE ORIGINAL SURVEY WAS UPDATED AFTER COMPLETION OF BOATHOUSE CONSTRUCTION BY:
 D'ONOFRIO KOTTKE & ASSOCIATES
 DATE: 02.19.2019

- LEGEND**
- 5/8" SOLID IRON ROD FOUND
 - ⊙ IRON PIPE FOUND
 - () INDICATES RECORDED AS DISTANCES ARE MEASURED TO THE NEAREST HUNDREDTH OF A FOOT.

BEARINGS ARE REFERENCED TO THE PLAT OF MENDOTA BEACH SUBDIVISION SOUTHWESTERLY LINE OF BLOCK 6 ASSUMED TO BEAR N 41°30' W



1 LAKESHORE SETBACK PLAN
 SCALE: 1" = 20'



udvari solner design company
 2631 university ave. madison, wi 53706-3333
 608-233-1480
 udvari-solner.com
 copyright © 2017

COX RESIDENCE
 MADISON, WISCONSIN
 5454 LAKE MENDOTA DRIVE

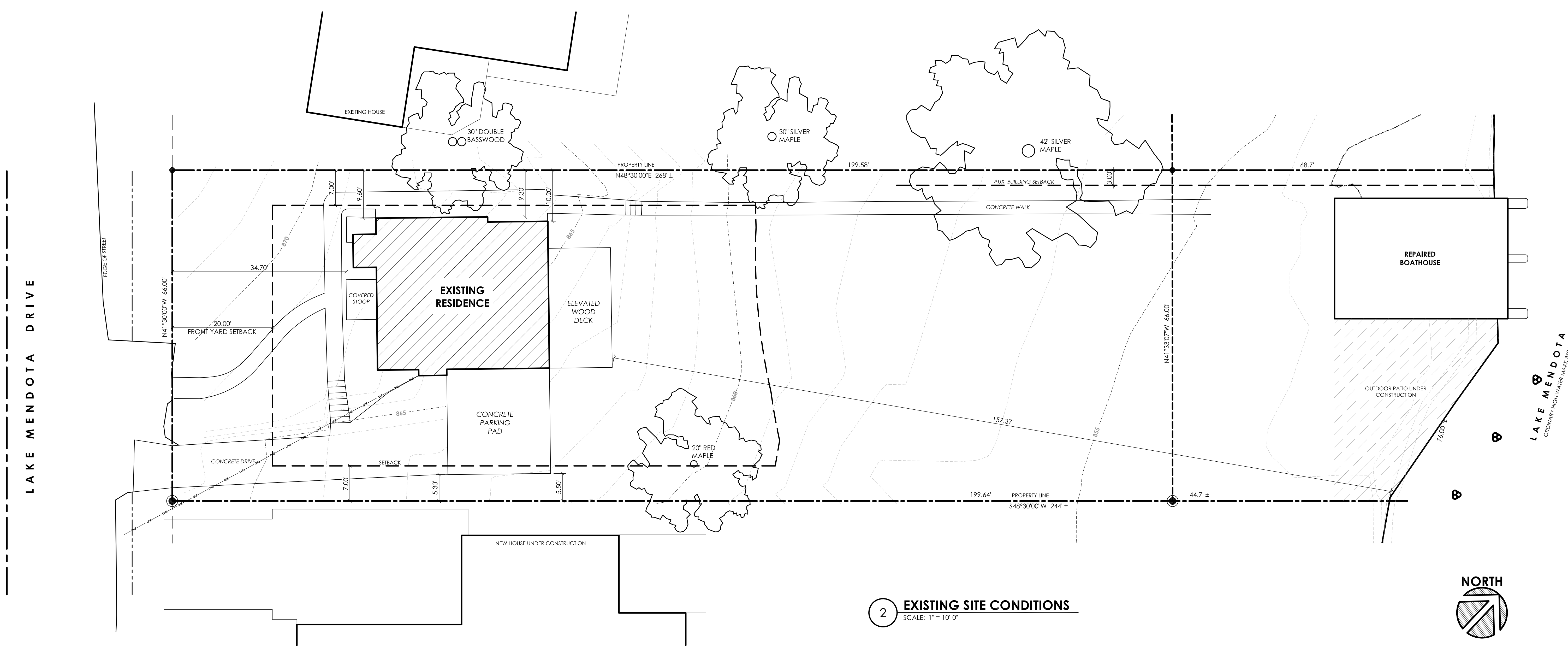
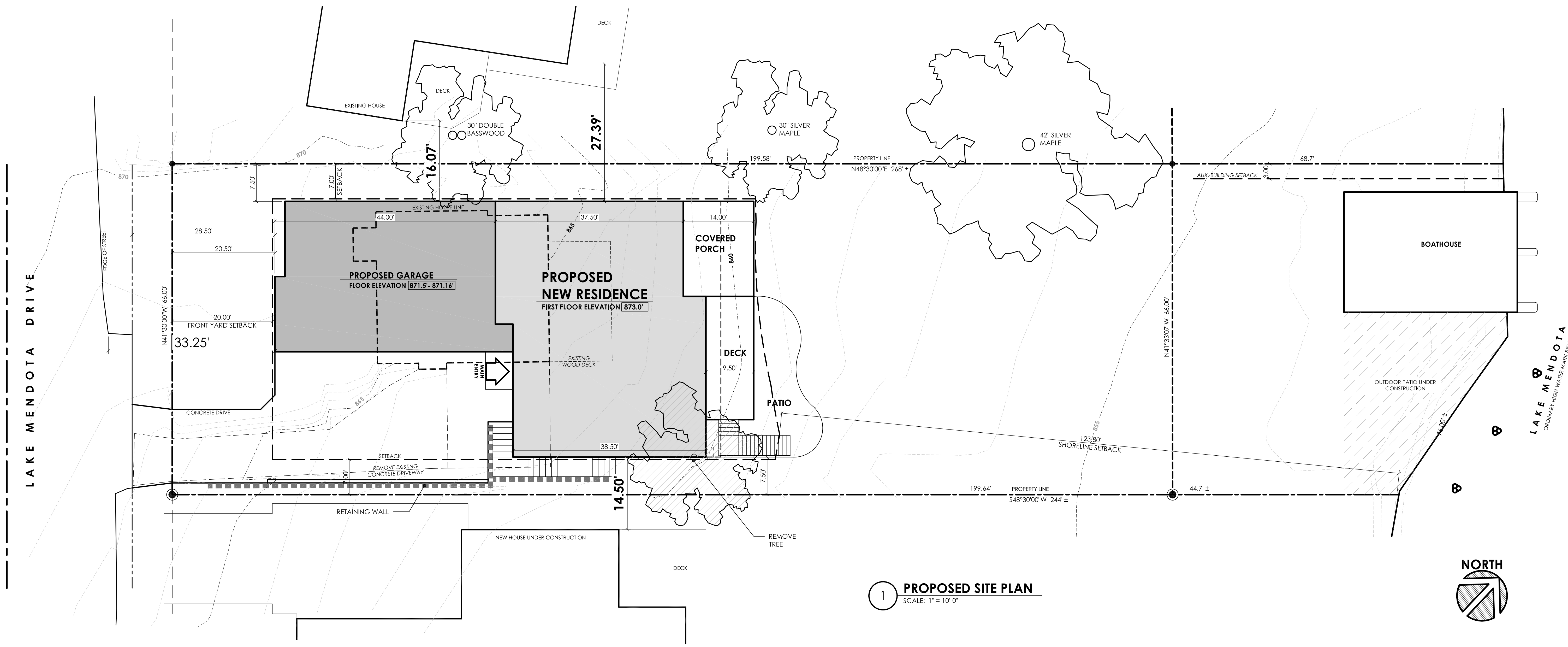
LAKESHORE SETBACK PLAN
 THIS DOCUMENT IS THE PROPERTY OF UDVARISOLNER DESIGN COMPANY AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART NOR BE UTILIZED IN ANY MANNER WITHOUT EXPRESS WRITTEN AUTHORIZATION. AND ARE FOR BIDDING AND CONSTRUCTION PURPOSES ONLY. GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL DIMENSION VERIFICATION FOR ALL CONDITIONS.

| | |
|-------------------------|-------|
| PROJECT NO: | 13-17 |
| CAD TECH: | AAC |
| PLAN REVIEWER: | MUS |
| DOCUMENT RELEASE DATES: | |

| | |
|---------------------------|--|
| PLAN COMMISSION SUBMITTAL | |
| ZONING/PLAN COMMISSION | |
| REVISED | |

| | |
|------------|--|
| 01.07.2019 | |
| 03.08.2019 | |
| 09.26.2019 | |

1.1



GENERAL NOTES:
ALL CONSTRUCTION TO BE EXECUTED IN CONFORMANCE WITH THE FOLLOWING: PLANS AND SPECIFICATIONS, STATE OF WISCONSIN UNIFORM DWELLINGS CODE, ALL OTHER APPLICABLE CODES.
CONTRACTOR TO CONTACT DIGGER'S HOTLINE AT LEAST THREE DAYS PRIOR TO THE START OF CONSTRUCTION.
CONSTRUCTION LIMITS WITHIN THE SITE PLAN: ALL CONTRACT WORK, MATERIALS, STORAGE AND CONTRACTOR'S EQUIPMENT SHALL BE CONFINED TO THESE CONSTRUCTION LIMITS. CONTRACTOR SHALL NOT USE NEIGHBORING PROPERTY FOR ANY PURPOSE. DAMAGE TO THE OWNER'S PROPERTY OR ADJACENT PROPERTIES SHALL BE REPAIRED OR RESTORED TO ITS ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
THESE DRAWINGS ARE FOR BIDDING AND CONSTRUCTION PURPOSES ONLY.
THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL ACCURACY AND DIMENSION VERIFICATION FOR ALL CONDITIONS.
THESE CONSTRUCTION DOCUMENTS ARE THE PROPERTY OF UDVARI-SOLNER DESIGN CO. AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART, NOR MAY THEY BE UTILIZED IN ANY MANNER WITHOUT EXPRESS WRITTEN AUTHORIZATION FROM UDVARI-SOLNER DESIGN COMPANY. UNAUTHORIZED USE OF THESE DOCUMENTS SUBJECTS THE USER TO LIABILITY FOR DAMAGES. ANY DESIGN CHANGE OR STRUCTURAL MODIFICATION MUST BE APPROVED BY THE OWNER IN WRITING.

PLAN INDEX

| | |
|------|--------------------------------------|
| 1.0 | SITE PLAN & EXISTING SITE CONDITIONS |
| C100 | GRADING & EROSION CONTROL PLAN |
| L1 | LANDSCAPE PLAN |
| 3.1 | ROOF PLAN |
| 4.0 | GYM, LEVEL PLAN |
| 4.1 | GROUND FLOOR PLAN |
| 4.2 | FIRST FLOOR PLAN |
| 4.3 | SECOND FLOOR PLAN |
| 6.0 | ELEVATIONS |
| 6.1 | ELEVATIONS |

KATHY COX RESIDENCE
5454 LAKE MENDOTA DRIVE
CITY OF MADISON, DANE COUNTY, WI

SQUARE FOOTAGE

| | |
|--------------------------------------|-------------|
| LOT AREA | 17,127 S.F. |
| LOT WIDTH | 66'-0" |
| FRONT YARD SETBACK (20' REQ'D) | 20'-6" |
| REAR YARD SETBACK (123.8' REQ'D) | 124'-2" |
| SIDE YARD SETBACK (7'-0' REQ'D) | 7'-6" |
| 2 STORY HEIGHT (35'-0" MAX.) | 34'-4 3/4" |
| STRUCTURE FOOTPRINT | 3,273 S.F. |
| DECK | 501 S.F. |
| DRIVEWAY/STOOP/PATIO | 1,877 S.F. |
| BOATHOUSE | 830 S.F. |
| TOTAL COVERAGE | 6,481 S.F. |
| LOT COVERAGE (50% MAX.) | 37.8% |
| USABLE OPEN SPACE (11,000 S.F. MIN.) | 8,775 S.F. |

udvari solner design company

PROJECT NO: 13-17
CAD TECH: ERC
PLAN REVIEWER: MUS
DOCUMENT RELEASE DATES:

PROPOSED NEW RESIDENCE FOR KATHY COX
5454 LAKE MENDOTA DRIVE
CITY OF MADISON
DANE COUNTY, WISCONSIN

udvari-solner design company

PLAN APPROVAL SIGNATURES:

CLIENT NAME _____ DATE _____

CLIENT NAME _____ DATE _____

IMPORTANT NOTES:
THESE DRAWINGS ARE FOR BIDDING PURPOSES ONLY. FINAL STRUCTURAL SYSTEMS AND DETAILS TO BE DETERMINED. THESE CONSTRUCTION DOCUMENTS ARE THE PROPERTY OF THE OWNER AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART, NOR MAY THEY BE UTILIZED IN ANY MANNER WITHOUT EXPRESS WRITTEN AUTHORIZATION FROM THE OWNER. UNAUTHORIZED USE OF THESE DOCUMENTS SUBJECTS THE USER TO LIABILITY FOR DAMAGES.

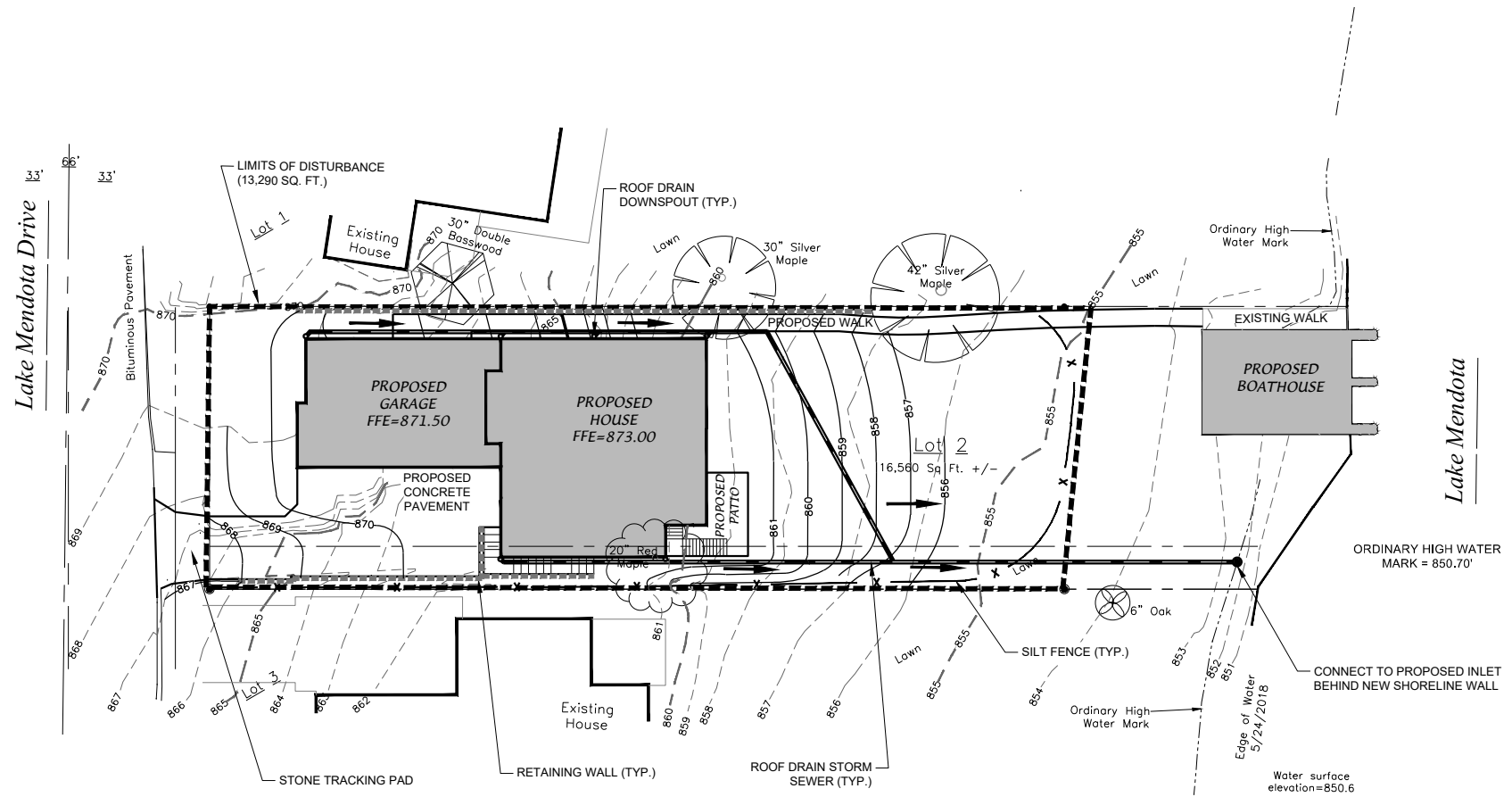
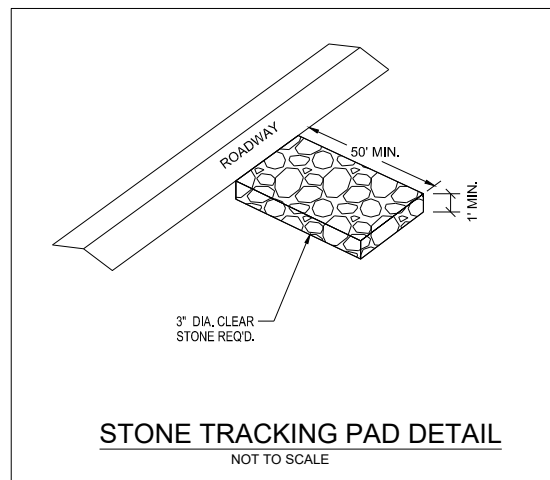
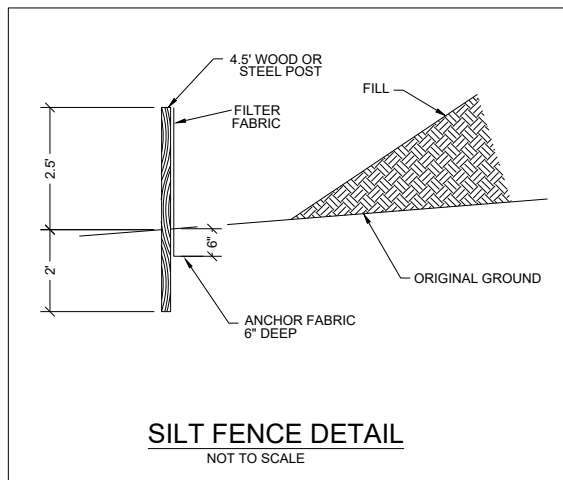
01.08.2019 PRELIMINARY
03.08.2019 PRELIMINARY REVISED
08.27.2019 PRELIMINARY REVISED

1.0



GRADING AND EROSION CONTROL NOTES:

1. CONSTRUCTION SCHEDULE:
 - INSTALL EROSION CONTROL = 04/01/2019
 - GRADE AND CONSTRUCT DRIVEWAY = 04/01/2019 - 06/21/19
 - CONSTRUCT BUILDING = 04/01/19 - 04/01/20
 - PERMANENT RESTORATION (GRASS SEED) OF ALL DISTURBED AREAS = 04/01/20
2. NO LAND DISTURBANCE ACTIVITIES SHALL BEGIN UNTIL ALL EROSION CONTROL BMP'S ARE INSTALLED PER CITY SPECIFICATIONS.
3. ALL EROSION CONTROL MEASURES SHOWN ON THE PLAN ARE TO BE MAINTAINED UNLESS NOTED.
4. ALL DISTURBED AREAS SHALL RECEIVE A MINIMUM OF 4" OF TOPSOIL, FERTILIZER, SEED AND MULCH. SEED MIXTURE SHALL BE WISCONSIN DOT SEED MIX #40 OR EQUIVALENT APPLIED AT A RATE OF 5 POUNDS PER 1,000 SQ. FT. ON ALL DISTURBED AREAS. ANNUAL RYEGRASS AT A RATE OF 1 1/2 POUNDS PER 1,000 SQ. FT. SHALL BE ADDED TO THE MIXTURE.
5. ANY SOIL STOCKPILE ON SITE FOR MORE THAN 7 DAYS SHALL BE STABILIZED WITH MULCH, VEGETATIVE COVER, TARP, OR OTHER MEANS APPROVED BY THE CITY INSPECTOR.
6. EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THE PROJECT. EROSION CONTROL MEASURES SHOWN ON THE APPROVED PLAN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECOGNIZING AND CORRECTING EROSION CONTROL PROBLEMS THAT OCCUR AS A RESULT OF CONSTRUCTION ACTIVITIES.
7. INSPECTION & MAINTENANCE SCHEDULE:
 - ALL EROSION CONTROL MEASURES MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF THE TIME 0.5 INCHES OF RAIN IS PRODUCED.
 - ALL MAINTENANCE WILL FOLLOW THE INSPECTIONS WITHIN 24 HOURS.
8. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE CITY INSPECTOR, SHALL BE INSTALLED WITHIN 24 HOURS.



D'ONOFRIO KOTTKE AND ASSOCIATES, INC.
7530 Westward Way, Madison, WI 53717
Phone: 608.833.7500 • Fax: 608.833.1089
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

GRADING AND EROSION CONTROL PLAN

COX RESIDENCE

5454 LAKE MENDOTA DRIVE
MADISON, WI 53703



SCALE: 1" = 20'
(PAGE SIZE: 22x34)

DATE: 08-26-19
REVISED:

DRAWN BY: NGO

FN: 18-05-179

Sheet Number:
C100



LANDSCAPE ARCHITECTURE, LLC
Artistic Landscape Design and Project Management

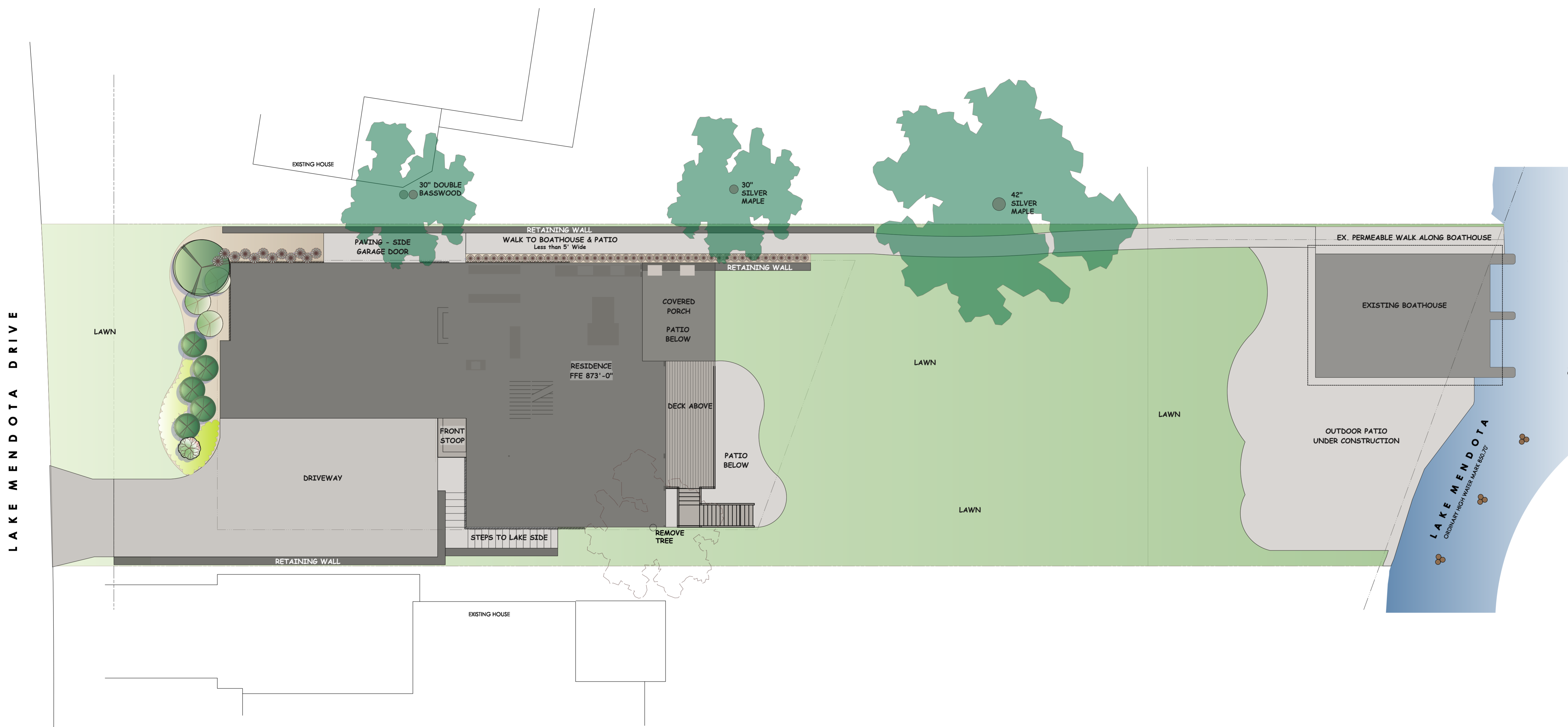
Phone: 608.798.1840
www.landscaparc.com

P.O. Box 46129 Madison, Wisconsin 53744

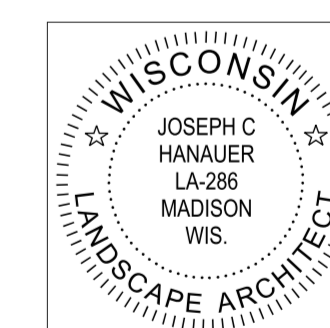


LANDSCAPE PLAN

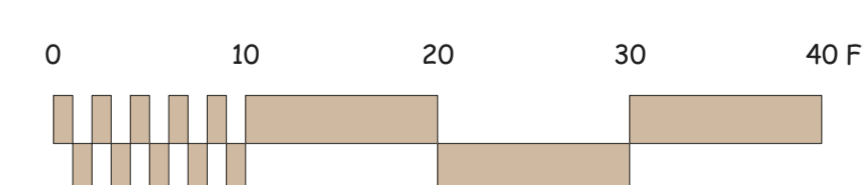
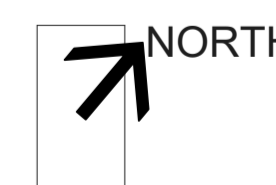
COX RESIDENCE
5454 LAKE MENDOTA DRIVE
MADISON, WISCONSIN



LAKE MENDOTA DRIVE



Preliminary
not for construction

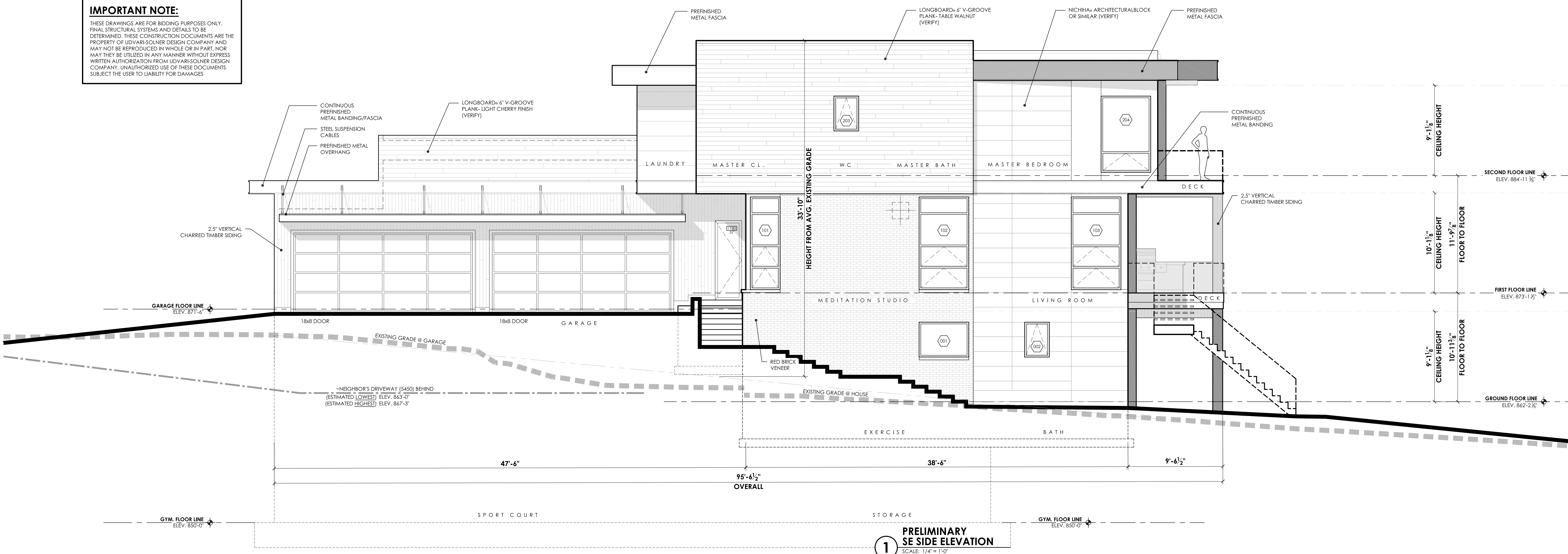


Important Note:
These drawings are for bidding purposes only. Final details and measurements may vary according to site conditions during construction. The Landscape Plan and associated drawings and/or details are the property of Landscape Architecture, LLC and may not be reproduced in whole or in part, nor may they be utilized in any manner without express written authorization from Landscape Architecture, LLC. Unauthorized use of these documents subjects the user to liability for damages.

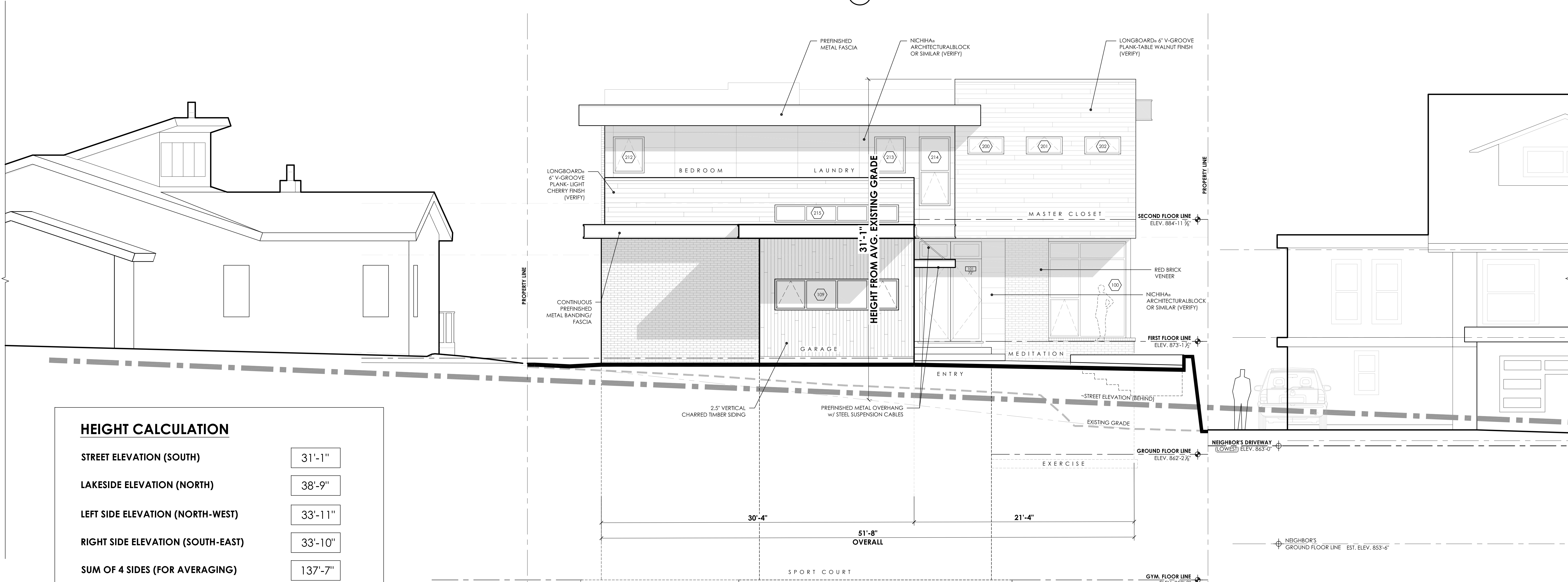
| | |
|----------|-----------------|
| SCALE | 1"=10' |
| DATE | JANUARY 3, 2018 |
| DESIGN | jch |
| REVISION | August 22, 2019 |
| | August 26, 2019 |

IMPORTANT NOTE:

THESE DRAWINGS ARE FOR BIDDING PURPOSES ONLY. FINAL STRUCTURAL SYSTEMS AND DETAILS TO BE DETERMINED. THESE CONSTRUCTION DOCUMENTS ARE THE PROPERTY OF UDVARI-SOLNER DESIGN COMPANY AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART. NOR MAY THEY BE UTILIZED IN ANY MANNER WITHOUT EXPRESS WRITTEN AUTHORIZATION FROM UDVARI-SOLNER DESIGN COMPANY. UNAUTHORIZED USE OF THESE DOCUMENTS SUBJECTS THE USER TO LIABILITY FOR DAMAGES.



1 PRELIMINARY SE SIDE ELEVATION
SCALE: 1/4" = 1'-0"

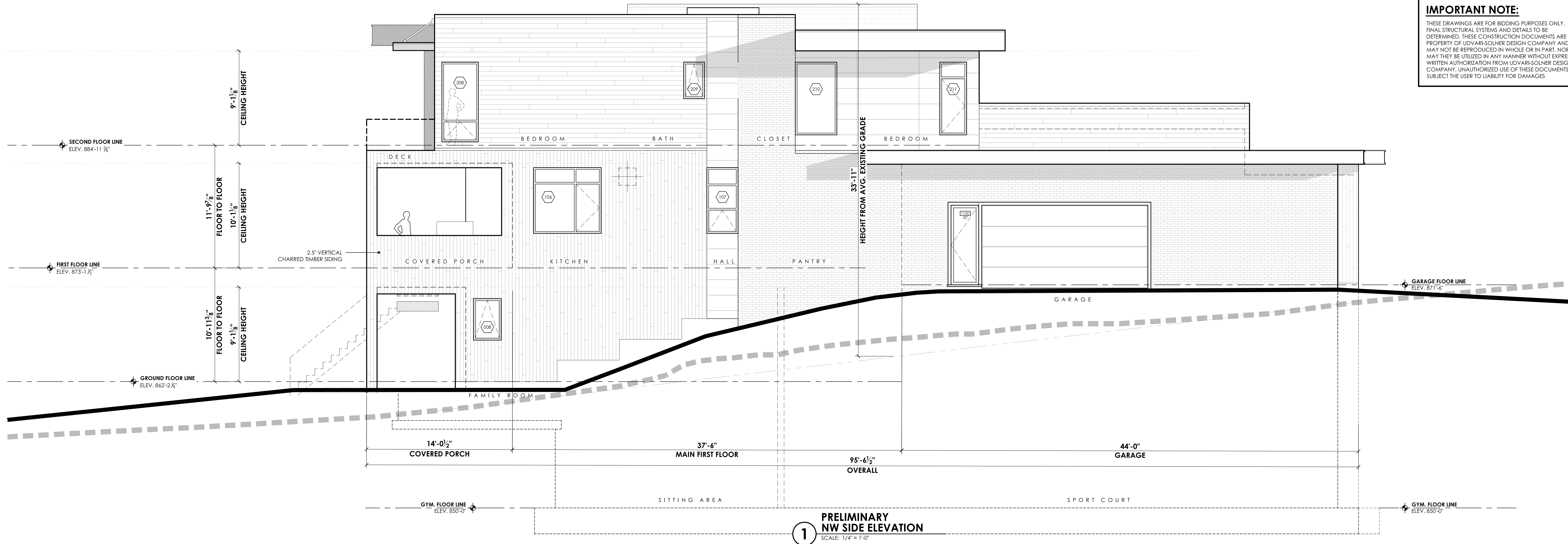


2 PRELIMINARY STREET ELEVATION
SCALE: 1/4" = 1'-0"

HEIGHT CALCULATION

| | |
|-----------------------------------|---------|
| STREET ELEVATION (SOUTH) | 31'-1" |
| LAKESIDE ELEVATION (NORTH) | 38'-9" |
| LEFT SIDE ELEVATION (NORTH-WEST) | 33'-11" |
| RIGHT SIDE ELEVATION (SOUTH-EAST) | 33'-10" |
| SUM OF 4 SIDES (FOR AVERAGING) | 137'-7" |
| 2 STORY HEIGHT (35'-0" MAX. AVG.) | 34'-5" |

IMPORTANT NOTE:
 THESE DRAWINGS ARE FOR BIDDING PURPOSES ONLY. FINAL STRUCTURAL SYSTEMS AND DETAILS TO BE DETERMINED. THESE CONSTRUCTION DOCUMENTS ARE THE PROPERTY OF UDVARI-SOLNER DESIGN COMPANY AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART, NOR MAY THEY BE UTILIZED IN ANY MANNER WITHOUT EXPRESS WRITTEN AUTHORIZATION FROM UDVARI-SOLNER DESIGN COMPANY. UNAUTHORIZED USE OF THESE DOCUMENTS SUBJECT THE USER TO LIABILITY FOR DAMAGES



THIS SHEET PLOTTED ON 9/24/2019 11:07:02 AM BY Dshp

IMPORTANT NOTE:
 THESE DRAWINGS ARE FOR BIDDING PURPOSES ONLY. FINAL STRUCTURAL SYSTEMS AND DETAILS TO BE DETERMINED. THESE CONSTRUCTION DOCUMENTS ARE THE PROPERTY OF UDVARI-SOLNER DESIGN COMPANY AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART, NOR MAY THEY BE UTILIZED IN ANY MANNER WITHOUT EXPRESS WRITTEN AUTHORIZATION FROM UDVARI-SOLNER DESIGN COMPANY. UNAUTHORIZED USE OF THESE DOCUMENTS SUBJECT THE USER TO LIABILITY FOR DAMAGES.

IMPORTANT NOTE:
 WIND BRACING REQUIREMENTS PER WISCONSIN UNIFORM DWELLING CODE COMM 21.25(8) ARE THE RESPONSIBILITY OF THE BUILDER OR GENERAL CONTRACTOR. UDVARI-SOLNER DESIGN COMPANY TO REVIEW AND APPROVE FINAL WIND BRACING DESIGN.

ROOF JOIST SPECIFICATIONS
WEB STIFFENER REQUIREMENTS
 WEB STIFFENERS ARE REQUIRED AT ALL HANGER AND BIRDSMOUTH CUT LOCATIONS. WEB STIFFENERS ARE ALSO REQUIRED AT ALL INTERMEDIATE BEARING LOCATIONS WHERE THE JOIST BEARING LENGTH IS LESS THAN 5'-0". TJI/15DF JOISTS DO NOT REQUIRE WEB STIFFENERS AT INTERMEDIATE BEARING LOCATIONS.

MINIMUM NAILING REQUIREMENTS

- NAIL TJI JOISTS AT BEARINGS WITH 2-10D NAILS, 1-1/2" MIN. FROM END TO MINIMIZE SPLITTING.
- NAIL TJI JOIST BLOCKING PANELS OR RIM JOIST TO BEARING PLATE WITH 10D BOX NAILS AT 4' O.C. TOE-NAIL SHEAR BLOCKING OR RIM BOARD TO BEARING PLATE WITH 10D BOX NAILS AT 6' O.C.

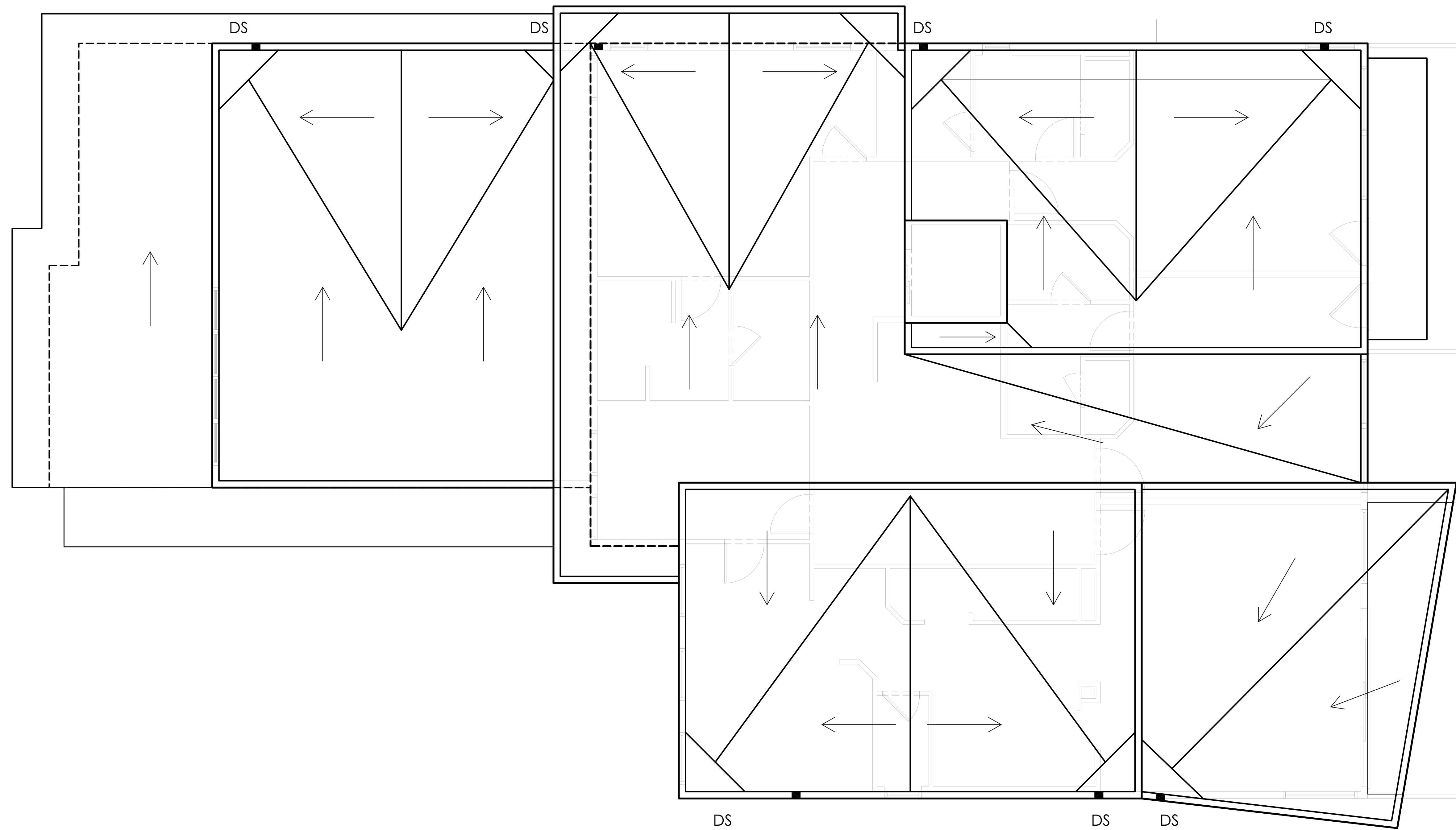
LATERAL SUPPORT TO PREVENT JOIST ROLLOVER
 ALL ROOF JOISTS MUST BE LATERALLY SUPPORTED AT CANTILEVER AND END BEARINGS TO PREVENT JOIST ROLLOVER. USE TJI JOIST BLOCKING PANELS, SHEAR BLOCKING, RIM BOARD OR HANGERS.

ROOF TRUSS DESIGN CRITERIA

LIVE LOAD
 ROOF LOAD: 30.0 P.S.F.
 SNOW LOAD: 30.0 P.S.F.

DEAD LOAD
 ROOF LOAD: 15.0 P.S.F.
 TOTAL: 45.0 P.S.F.

GENERAL NOTES
 CROSS BRACING - 2x4s
 ANCHOR TRUSS TO TOP PLATE WITH METAL PLATE CONNECTORS
 GABLE EXTENSIONS - 2x6 @ 16" O.C.
 ROOF TRUSS SPACING - 24" O.C.
 USE STRAP TYPE TRUSS HANGER @ GIRDER TO SUPPORT COMMON TRUSSES
 HOUSE ROOF PITCHES - SEE ROOF PLAN
 VERIFY TRUSS DIMENSIONS WITH 1/2" PLANS
 FIELD VERIFY ALL DIMENSIONS
 PROVIDE ROOF CANT WHERE REQUIRED TO PROVIDE PROPER DRAINAGE



1 PRELIMINARY ROOF PLAN
 SCALE: 1/4" = 1'-0"

udvari solner design company
 2631 university ave.
 madison, wi 53713
 608.253.1450
 udvarisolner.com

COX RESIDENCE
 MADISON, WISCONSIN
 548 LAKE MENDOTA DRIVE

ROOF PLAN
 THE DOCUMENT IS THE PROPERTY OF UDVARI-SOLNER DESIGN COMPANY AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART, NOR BE UTILIZED IN ANY MANNER WITHOUT EXPRESS WRITTEN AUTHORIZATION FROM UDVARI-SOLNER DESIGN COMPANY. UNAUTHORIZED USE OF THESE DOCUMENTS SUBJECT THE USER TO LIABILITY FOR DAMAGES.

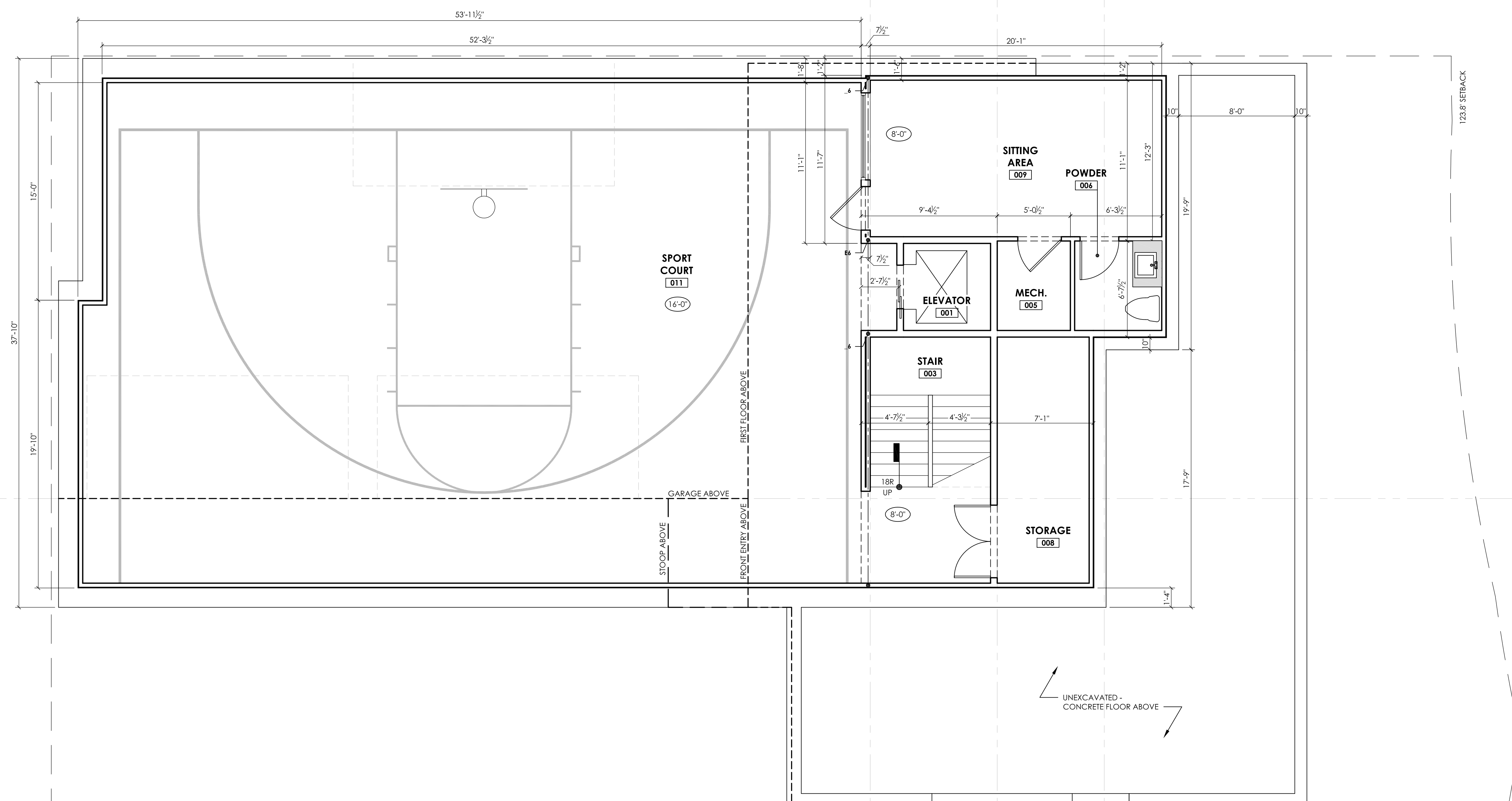
| | |
|-------------------------|-------|
| PROJECT NO: | 13-17 |
| CAD TECH: | AAC |
| PLAN REVIEWER: | MUS |
| DOCUMENT RELEASE DATES: | |

| | |
|------------|---------------------|
| 01.08.2019 | PRELIMINARY |
| 03.08.2019 | PRELIMINARY REVISED |
| 08.27.2019 | PRELIMINARY REVISED |

3.1

IMPORTANT NOTE:
 THESE DRAWINGS ARE FOR BIDDING PURPOSES ONLY. FINAL STRUCTURAL SYSTEMS AND DETAILS TO BE DETERMINED. THESE CONSTRUCTION DOCUMENTS ARE THE PROPERTY OF UDVARI-SOLNER DESIGN COMPANY AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART, NOR MAY THEY BE UTILIZED IN ANY MANNER WITHOUT EXPRESS WRITTEN AUTHORIZATION FROM UDVARI-SOLNER DESIGN COMPANY. UNAUTHORIZED USE OF THESE DOCUMENTS SUBJECT THE USER TO LIABILITY FOR DAMAGES.

udvari
solner
design
company
 2631 university ave.
madison, wi
608.233.1490
udvarisolner.com



- PLAN SYMBOLS**
- C.O. CASED OPENING
 - S SINK
 - DW DISH WASHER
 - U.C. UNDER COUNTER
 - REF REFRIGERATOR
 - W WASHING MACHINE
 - D DRYER
 - WC WATER CLOSET
 - FD FLOOR DRAIN
 - 100/32 DOOR NUMBER AND WIDTH
 - 100 WINDOW NUMBER
 - 8'-0" CEILING HEIGHT
 - ROOM**
 - 100 ROOM NAME AND NUMBER
 - 2/4 DETAIL NUMBER SHEET NUMBER

- KEY NOTES**
- 1 CABINETS AND COUNTERTOPS BY OTHERS. SEE CABINET SUPPLIER'S DRAWINGS FOR DETAILS AND SPECIFICATIONS.
 - 2 SOLID SHELVES AND POLES.
 - 3 SOLID SHELVES.
 - 4 FIREPLACE SURROUND REQUIRED. SEE SPECIFICATIONS.
 - 5 CABINETS AND COUNTERTOPS BY GENERAL CONTRACTOR.

1 GYM LEVEL FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 ALL GYM LEVEL SQUARE FEET
 2,520



COX RESIDENCE
 548 LAKE MENDOTA DRIVE
 MADISON, WISCONSIN

GYM LEVEL FLOOR PLANS
 THE DOCUMENT IS THE PROPERTY OF UDVARI-SOLNER DESIGN COMPANY AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART, NOR BE UTILIZED IN ANY MANNER WITHOUT EXPRESS WRITTEN AUTHORIZATION FROM UDVARI-SOLNER DESIGN COMPANY. UNAUTHORIZED USE OF THESE DOCUMENTS SUBJECT THE USER TO LIABILITY FOR DAMAGES.

PROJECT NO:
13-17
 CAD TECH:
AAC
 PLAN REVIEWER:
MUS
 DOCUMENT RELEASE DATES:

PRELIMINARY
01.08.2019
 PRELIMINARY REVISED
03.08.2019
 PRELIMINARY REVISED
08.27.2019

4.0

IMPORTANT NOTE:
 THESE DRAWINGS ARE FOR BIDDING PURPOSES ONLY. FINAL STRUCTURAL SYSTEMS AND DETAILS TO BE DETERMINED. THESE CONSTRUCTION DOCUMENTS ARE THE PROPERTY OF UDVARI-SOLNER DESIGN COMPANY AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART, NOR MAY THEY BE UTILIZED IN ANY MANNER WITHOUT EXPRESS WRITTEN AUTHORIZATION FROM UDVARI-SOLNER DESIGN COMPANY. UNAUTHORIZED USE OF THESE DOCUMENTS SUBJECT THE USER TO LIABILITY FOR DAMAGES.

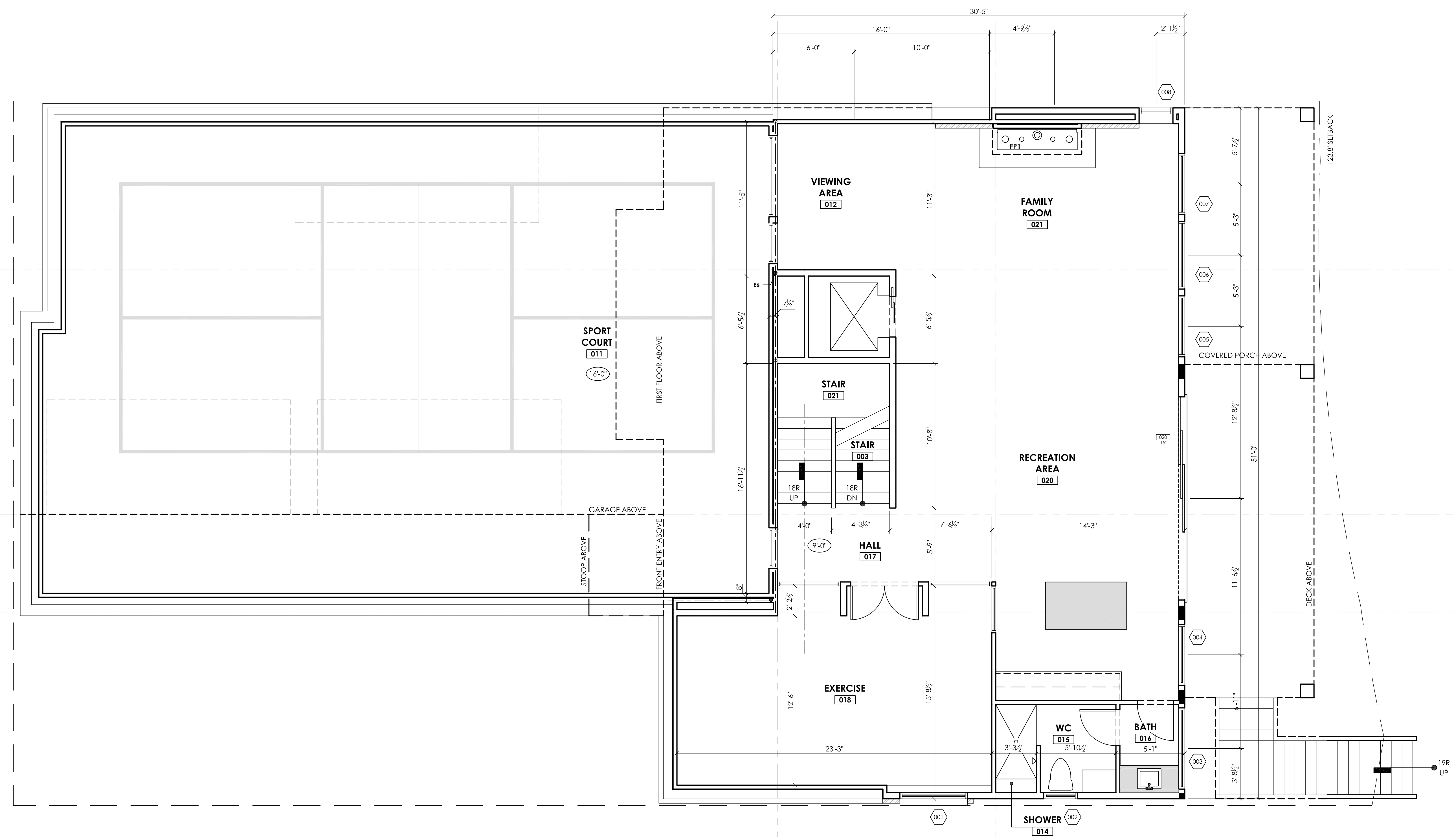
udvari
solner
design
company
 2631 university ave.
madison, wi
608.233.1450
udvarisolner.com

COX RESIDENCE
 MADISON, WISCONSIN
 548 LAKE MENDOTA DRIVE

GROUND FLOOR PLAN
 THE DOCUMENT IS THE PROPERTY OF UDVARI-SOLNER DESIGN COMPANY AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART, NOR BE UTILIZED IN ANY MANNER WITHOUT WRITTEN AUTHORIZATION AND EXPRESS WRITTEN CONSENT FROM UDVARI-SOLNER DESIGN COMPANY. UNAUTHORIZED USE OF THESE DOCUMENTS SUBJECT THE USER TO LIABILITY FOR DAMAGES.

PROJECT NO: 13-17
 CAD TECH: AAC
 PLAN REVIEWER: MUS
 DOCUMENT RELEASE DATES:
 01.08.2019 PRELIMINARY
 03.08.2019 PRELIMINARY REVISED
 08.27.2019 PRELIMINARY REVISED

4.1



- PLAN SYMBOLS**
- C.O. CASED OPENING
 - S SINK
 - DW DISH WASHER
 - U.C. UNDER COUNTER
 - REF REFRIGERATOR
 - W WASHING MACHINE
 - D DRYER
 - WC WATER CLOSET
 - FD FLOOR DRAIN
 - 001 DOOR NUMBER AND WIDTH
 - 000 WINDOW NUMBER
 - 8'-0" CEILING HEIGHT
 - ROOM**
 - 100 ROOM NAME AND NUMBER
 - 2/4 DETAIL NUMBER SHEET NUMBER

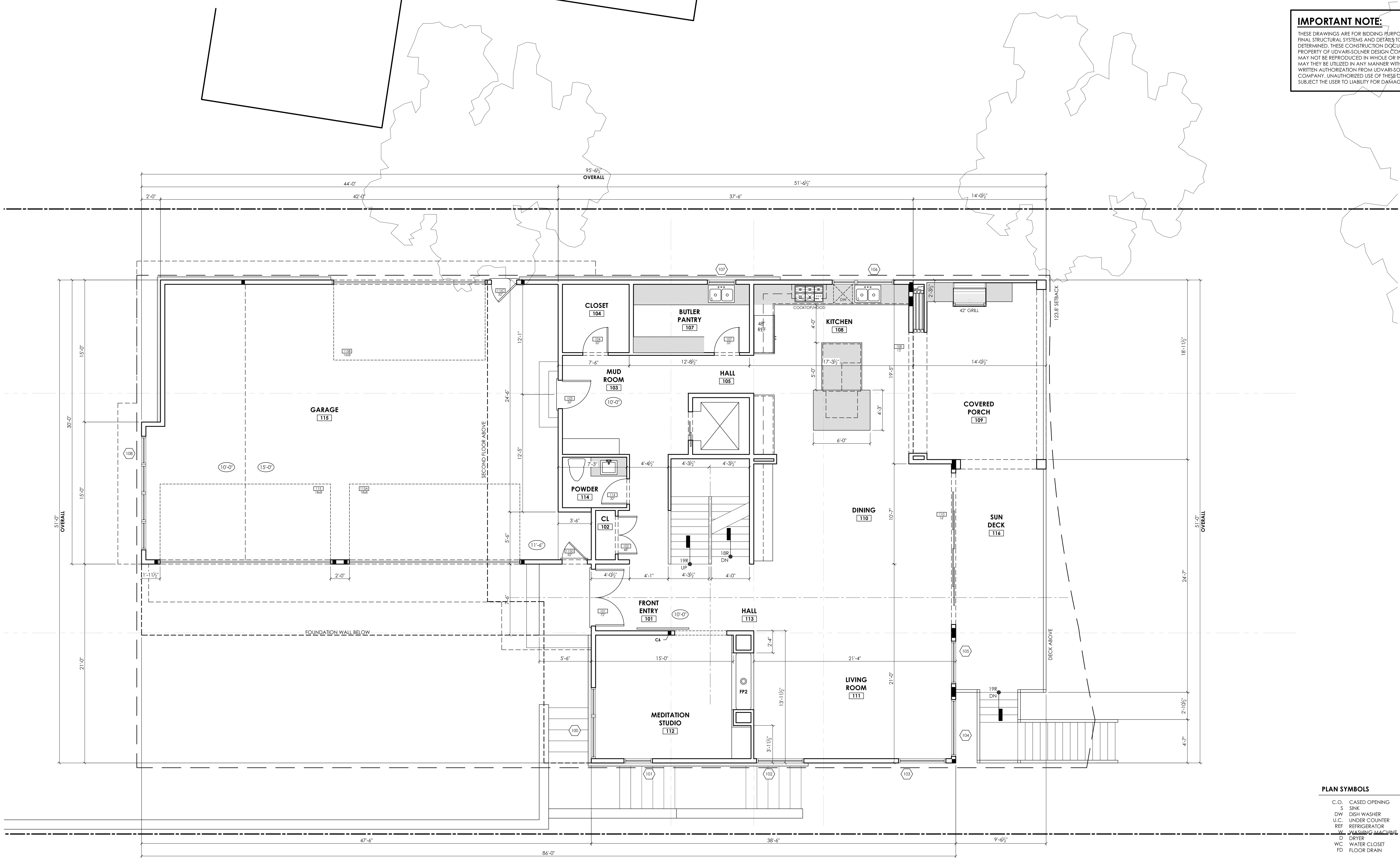
- KEY NOTES**
- ◇ CABINETS AND COUNTERTOPS BY OTHERS. SEE CABINET SUPPLIER'S DRAWINGS FOR DETAILS AND SPECIFICATIONS.
 - ◇ 2 SOLID SHELVES AND POLES.
 - ◇ 5 SOLID SHELVES.
 - ◇ FIREPLACE SURROUND REQUIRED. SEE SPECIFICATIONS.
 - ◇ CABINETS AND COUNTERTOPS BY GENERAL CONTRACTOR.

1 GROUND FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 FINISHED GROUND FLOOR LIVING SPACE SQUARE FEET
 1,628



IMPORTANT NOTE:
 THESE DRAWINGS ARE FOR BIDDING PURPOSES ONLY. FINAL STRUCTURAL SYSTEMS AND DETAILS TO BE DETERMINED. THESE CONSTRUCTION DOCUMENTS ARE THE PROPERTY OF UDVARI-SOLNER DESIGN COMPANY AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART, NOR MAY THEY BE UTILIZED IN ANY MANNER WITHOUT EXPRESS WRITTEN AUTHORIZATION FROM UDVARI-SOLNER DESIGN COMPANY. UNAUTHORIZED USE OF THESE DOCUMENTS SUBJECT THE USER TO LIABILITY FOR DAMAGES.

udvari
solner
design
company
 2631 university ave.
madison, wi
608.233.1450
udvarisolner.com



PLAN SYMBOLS

- C.O. CASED OPENING
- S SINK
- DW DISH WASHER
- U.C. UNDER COUNTER
- REF REFRIGERATOR
- W WASHING MACHINE
- D DRYER
- WC WATER CLOSET
- FD FLOOR DRAIN
- DOOR NUMBER AND WIDTH
- WINDOW NUMBER
- CEILING HEIGHT
- ROOM**
- ROOM NAME AND NUMBER
- DETAIL NUMBER
- SHEET NUMBER

KEY NOTES

- 1 CABINETS AND COUNTERTOPS BY OTHERS. SEE CABINET SUPPLIER'S DRAWINGS FOR DETAILS AND SPECIFICATIONS.
- 2 2 SOLID SHELVES AND POLES.
- 3 5 SOLID SHELVES.
- 4 FIREPLACE SURROUND REQUIRED. SEE SPECIFICATIONS.
- 5 CABINETS AND COUNTERTOPS BY GENERAL CONTRACTOR.

1 FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

FINISHED FIRST FLOOR LIVING SPACE SQUARE FEET
1,938

GARAGE SQUARE FEET
1,335



COX RESIDENCE

FIRST FLOOR PLAN

PROJECT NO:
13-17

CAD TECH:
AAC

PLAN REVIEWER:
MUS

DOCUMENT RELEASE DATES:

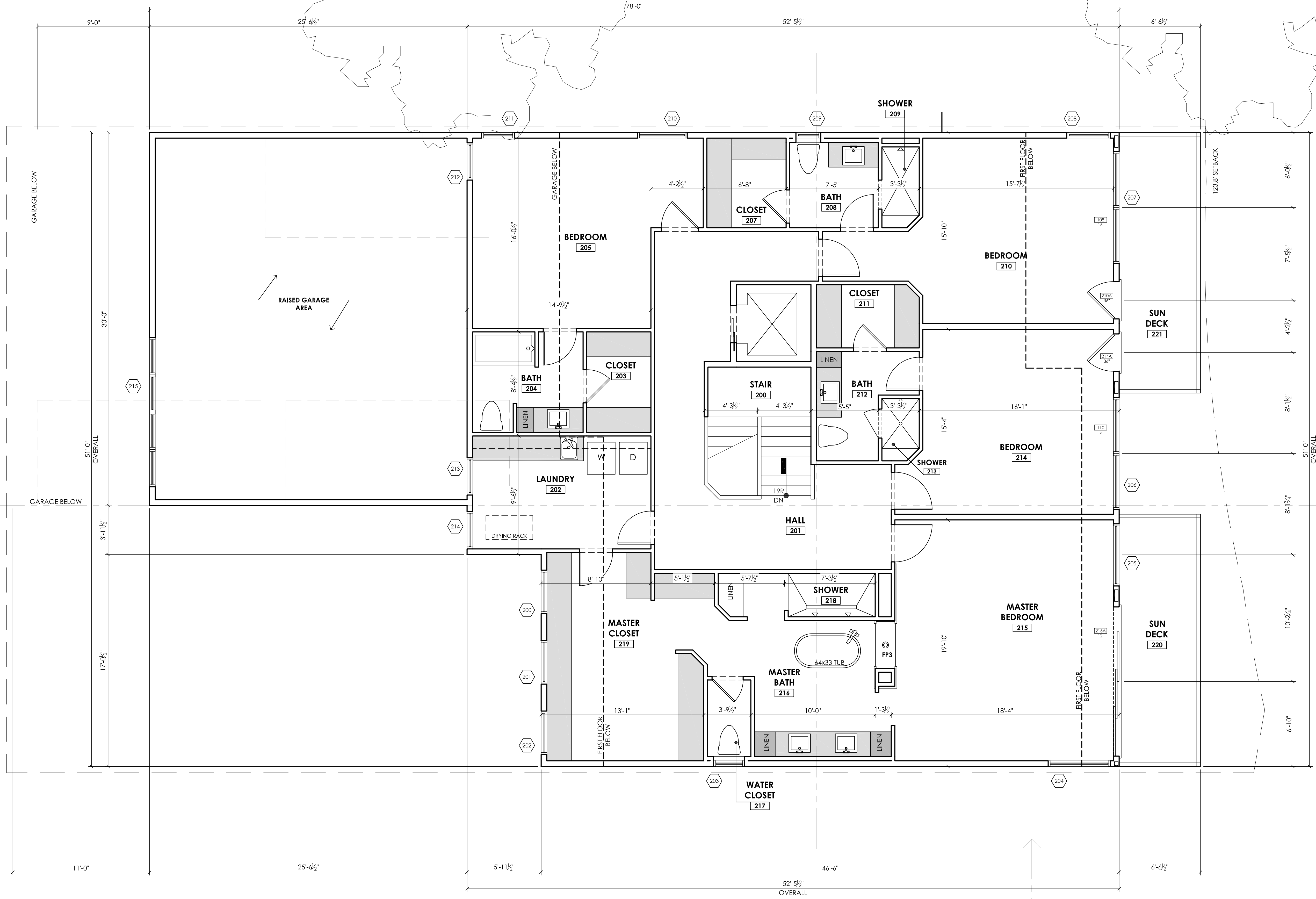
01.08.2019 PRELIMINARY
 03.08.2019 PRELIMINARY REVISED
 08.27.2019 PRELIMINARY REVISED

4.2

THIS SHEET PLOTTED ON 9/24/2019 11:09:02 AM BY Dshpjm

IMPORTANT NOTE:
 THESE DRAWINGS ARE FOR BIDDING PURPOSES ONLY. FINAL STRUCTURAL SYSTEMS AND DETAILS TO BE DETERMINED. THESE CONSTRUCTION DOCUMENTS ARE THE PROPERTY OF UDVARI-SOLNER DESIGN COMPANY AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART, NOR MAY THEY BE UTILIZED IN ANY MANNER WITHOUT EXPRESS WRITTEN AUTHORIZATION FROM UDVARI-SOLNER DESIGN COMPANY. UNAUTHORIZED USE OF THESE DOCUMENTS SUBJECTS THE USER TO LIABILITY FOR DAMAGES.

udvari
solner
design
company
 2631 university ave.
 madison, wi
 608.233.1450
 udvarisolner.com



- PLAN SYMBOLS**
- C.O. CASED OPENING
 - S SINK
 - DW DISH WASHER
 - U.C. UNDER COUNTER
 - REF REFRIGERATOR
 - W WASHING MACHINE
 - D DRYER
 - WC WATER CLOSET
 - FD FLOOR DRAIN
 - 100/30 DOOR NUMBER AND WIDTH
 - 100 WINDOW NUMBER
 - 8'-0" CEILING HEIGHT
- ROOM**
- 100 ROOM NAME AND NUMBER
- KEY NOTES**
- 1 CABINETS AND COUNTERTOPS BY OTHERS. SEE CABINET SUPPLIER'S DRAWINGS FOR DETAILS AND SPECIFICATIONS.
 - 2 2 SOLID SHELVES AND POLES.
 - 3 5 SOLID SHELVES.
 - 4 FIREPLACE SURROUND REQUIRED. SEE SPECIFICATIONS.
 - 5 CABINETS AND COUNTERTOPS BY GENERAL CONTRACTOR.

1 SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

FINISHED SECOND FLOOR LIVING SPACE SQUARE FEET
 2,574 INCLUDES ELEVATOR & STAIR



COX RESIDENCE
 MADISON, WISCONSIN
 548 LAKE MENDOTA DRIVE

SECOND FLOOR PLAN
 THIS DOCUMENT IS THE PROPERTY OF UDVARI-SOLNER DESIGN COMPANY AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART, NOR BE UTILIZED IN ANY MANNER WITHOUT EXPRESS WRITTEN AUTHORIZATION FROM UDVARI-SOLNER DESIGN COMPANY. UNAUTHORIZED USE OF THESE DOCUMENTS SUBJECTS THE USER TO LIABILITY FOR DAMAGES.

PROJECT NO:
13-17
 CAD TECH:
AAC
 PLAN REVIEWER:
MUS
 DOCUMENT RELEASE DATES:

PRELIMINARY 01.08.2019
 PRELIMINARY REVISED 03.08.2019
 PRELIMINARY REVISED 08.27.2019

4.3



DESIGN CONCEPTS FOR

5454
LAKE MENDOTA DRIVE
MADISON WISCONSIN

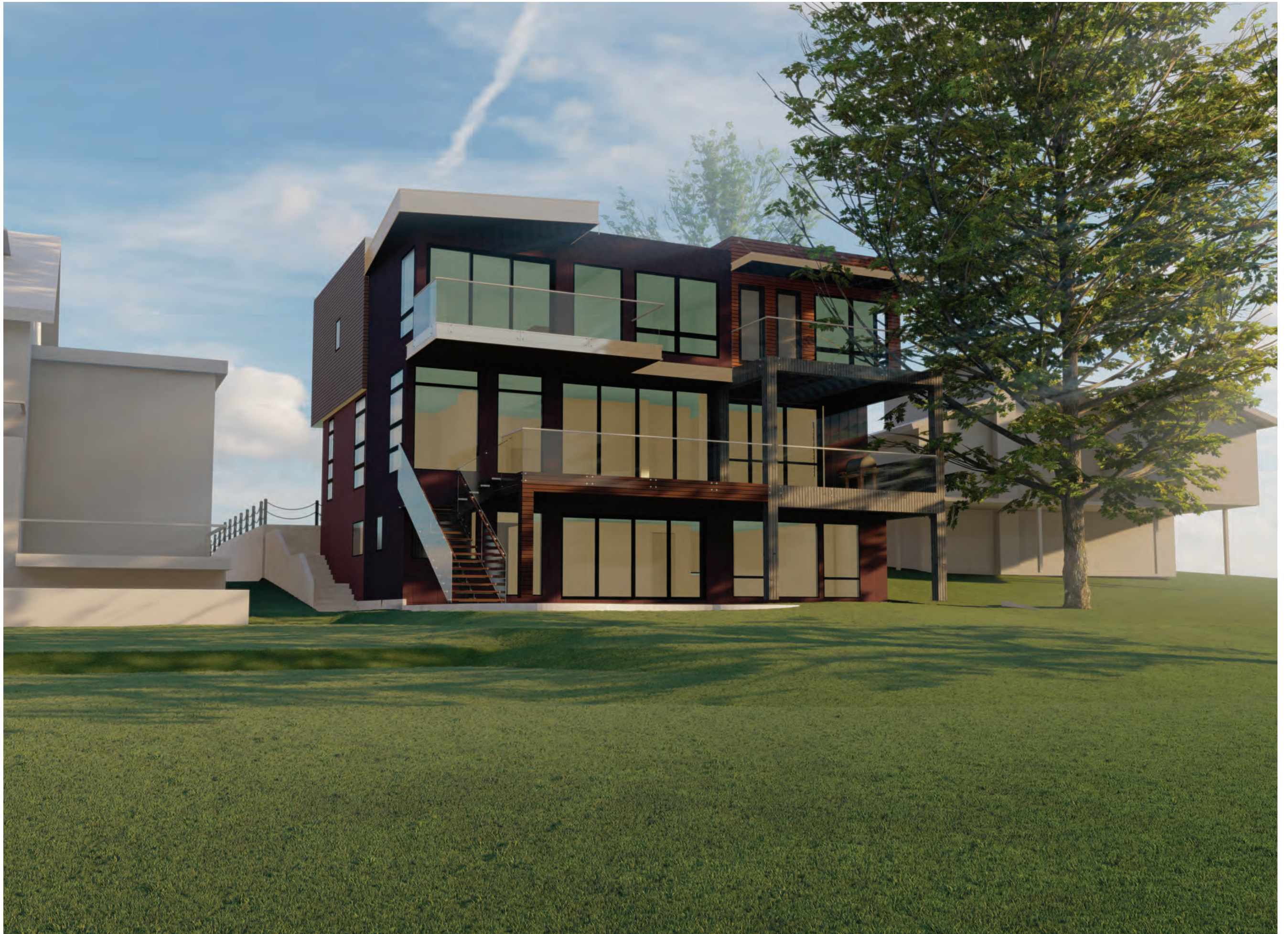
Disclaimer: This is a conceptual rendering and may not depict the final design



DESIGN CONCEPTS FOR

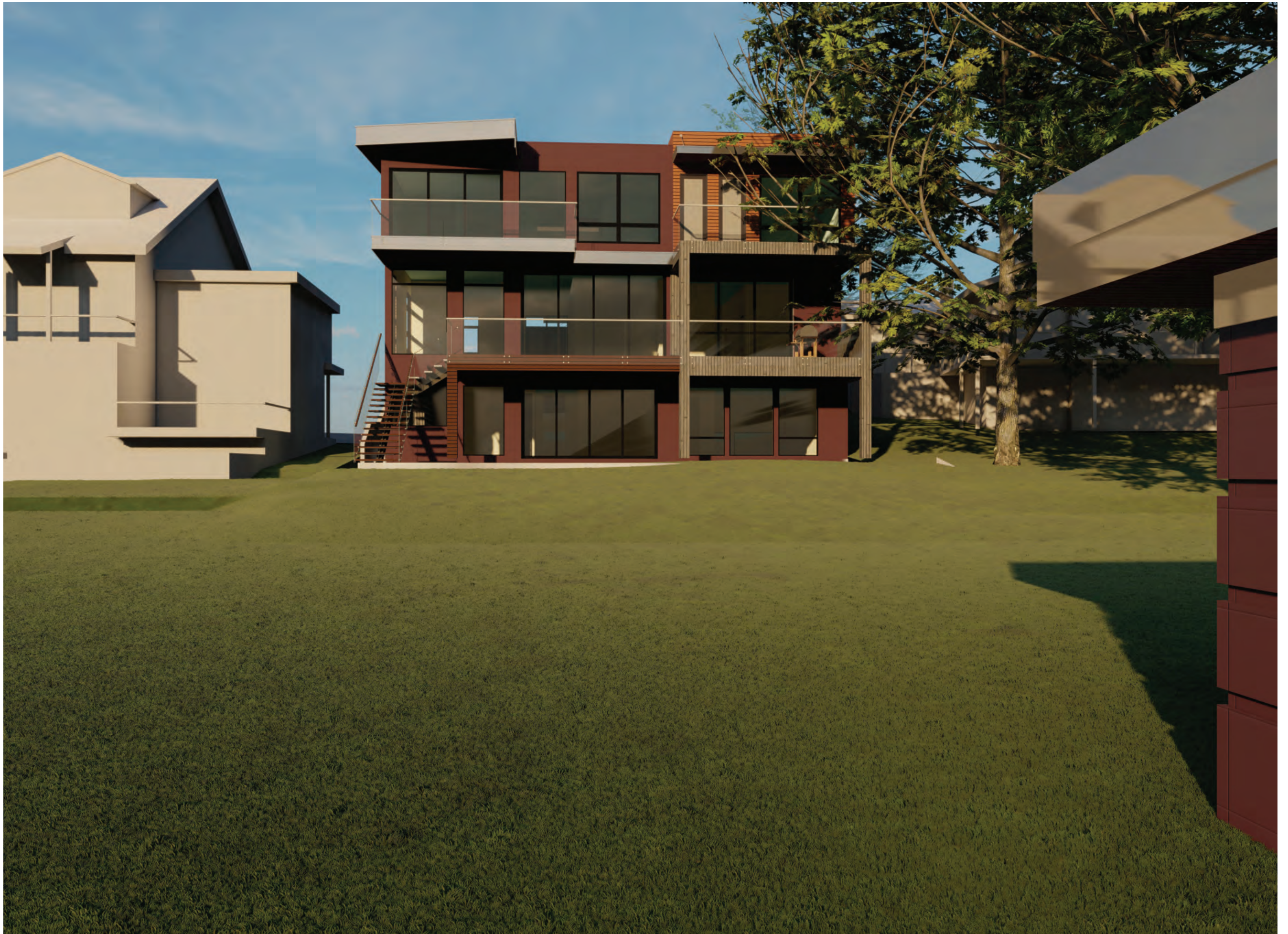
5454
LAKE MENDOTA DRIVE
MADISON WISCONSIN

Disclaimer: This is a conceptual rendering and may not depict the final design



DESIGN CONCEPTS FOR

5454
LAKE MENDOTA DRIVE
MADISON WISCONSIN



DESIGN CONCEPTS FOR

5454
LAKE MENDOTA DRIVE
MADISON WISCONSIN



DESIGN CONCEPTS FOR

5454
LAKE MENDOTA DRIVE
MADISON WISCONSIN

Disclaimer: This is a conceptual rendering and may not depict the final design



DESIGN CONCEPTS FOR

5454
LAKE MENDOTA DRIVE
MADISON WISCONSIN