



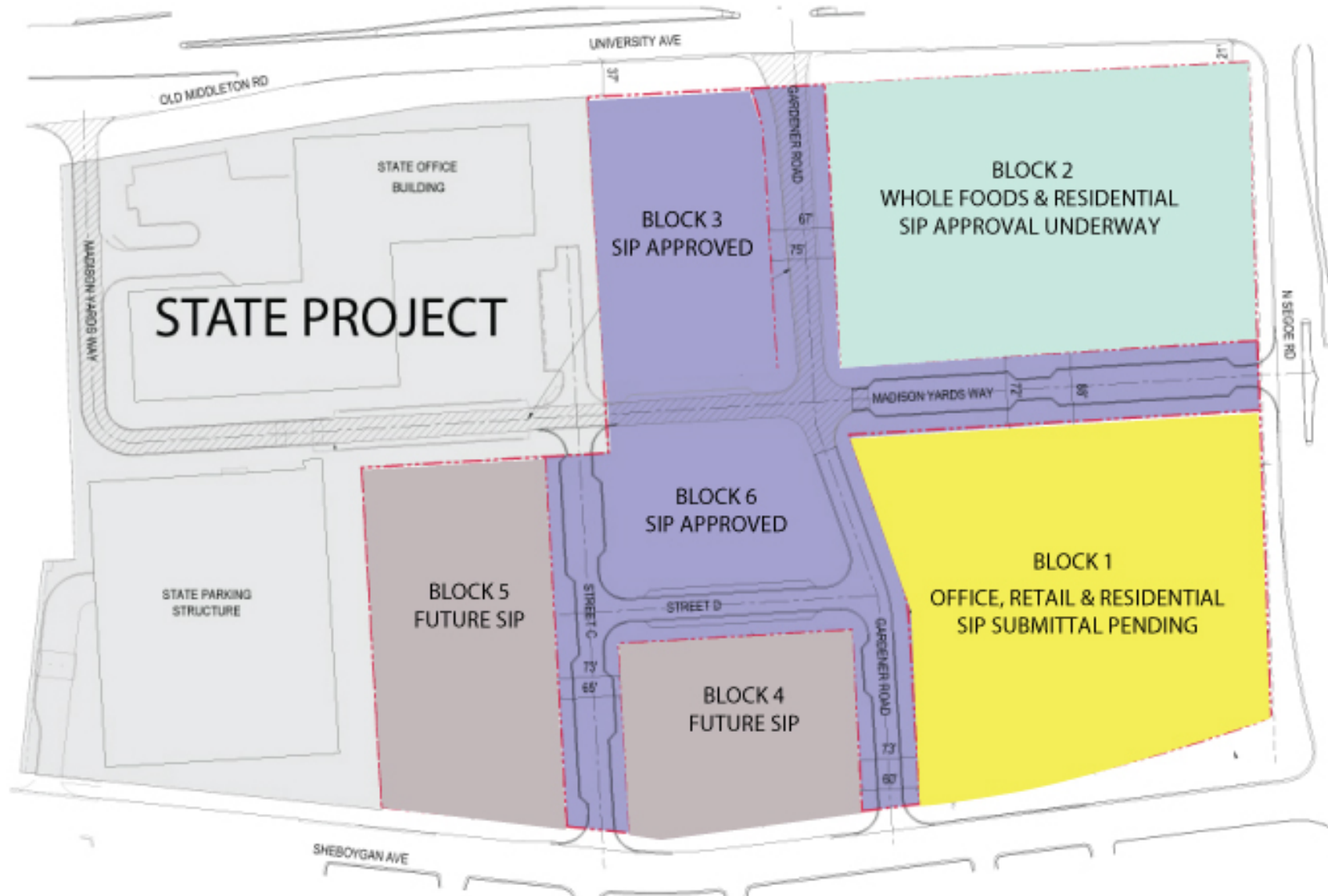
SMITH **Gilbane**

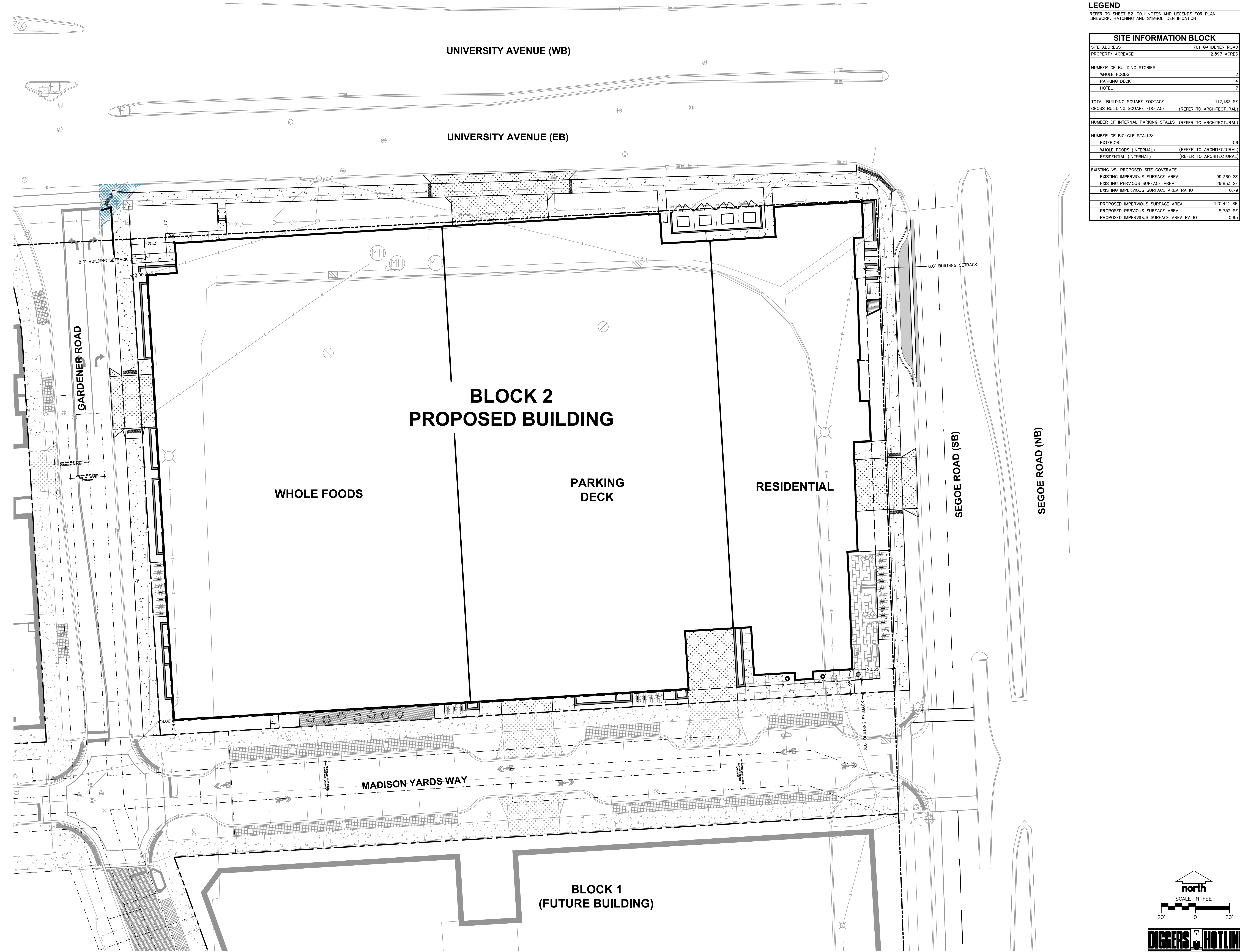


MADISON YARDS
HILL FARMS

Madison Yards At Hill Farms
Block 2 UDC Presentation
January 13, 2021

Block 2: Whole Foods & Residential





LEGEND

REFER TO SHEET B2-C0.1 NOTES AND LEGENDS FOR PLAN LINEWORK, HATCHING AND SYMBOL IDENTIFICATION

SITE INFORMATION BLOCK	
SITE ADDRESS	701 GARDENER ROAD
PROPERTY ACREAGE	2.897 ACRES
NUMBER OF BUILDING STORIES	
WHOLE FOODS	2
PARKING DECK	4
HOTEL	7
TOTAL BUILDING SQUARE FOOTAGE	
GROSS BUILDING SQUARE FOOTAGE	112,183 SF (REFER TO ARCHITECTURAL)
NUMBER OF INTERNAL PARKING STALLS (REFER TO ARCHITECTURAL)	
NUMBER OF BICYCLE STALLS:	
EXTERIOR	56
WHOLE FOODS (INTERNAL)	(REFER TO ARCHITECTURAL)
RESIDENTIAL (INTERNAL)	(REFER TO ARCHITECTURAL)
EXISTING VS. PROPOSED SITE COVERAGE	
EXISTING IMPERVIOUS SURFACE AREA	99,360 SF
EXISTING PERVIOUS SURFACE AREA	26,833 SF
EXISTING IMPERVIOUS SURFACE AREA RATIO	0.79
PROPOSED IMPERVIOUS SURFACE AREA	
PROPOSED PERVIOUS SURFACE AREA	120,441 SF
PROPOSED IMPERVIOUS SURFACE AREA RATIO	0.95



CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE | WAUSAU
APPLETON | KENOSHA | CHICAGO
COEUR D'ALENE

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
SMITH Gilbane

CLIENT ADDRESS:
241 N. BROADWAY, SUITE 400
MILWAUKEE, WI 53202

PROJECT:
MADISON YARDS AT HILL FARMS BLOCK 2

PROJECT LOCATION:
701 GARDENER ROAD
MADISON, WI 53705

REVIEW DRAWING
NOT TO BE USED FOR CONSTRUCTION

PLAN MODIFICATIONS:

#	Date:	Description:
1	01.24.2020	WHOLE FOODS DD SUBMITTAL
2	02.28.2020	GMP SET
3	11.18.2020	LAND USE - UDC RESUBMITTAL
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Design/Drawn:
Approved:

SHEET TITLE:
BLOCK 2 OVERALL SITE PLAN

SHEET NUMBER:
B2-C1.0

JSD PROJECT NO: 19-0366



File: I:\2019\190366 - Block 2\DWG\Chin\Landscaping\Sheet\190366_B2-C1.0_SITE PLAN.dwg Layer: C1.0 User: lysyala Plotter: Nov 17, 2020 5:09pm Xref:

View Southwest



University Avenue

View Northwest



Gardener Road

Madison Yards Way

Segoe Road

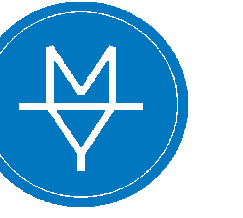
Sheboygan Avenue

View Southeast



View at Madison Yards Way & Gardener Road



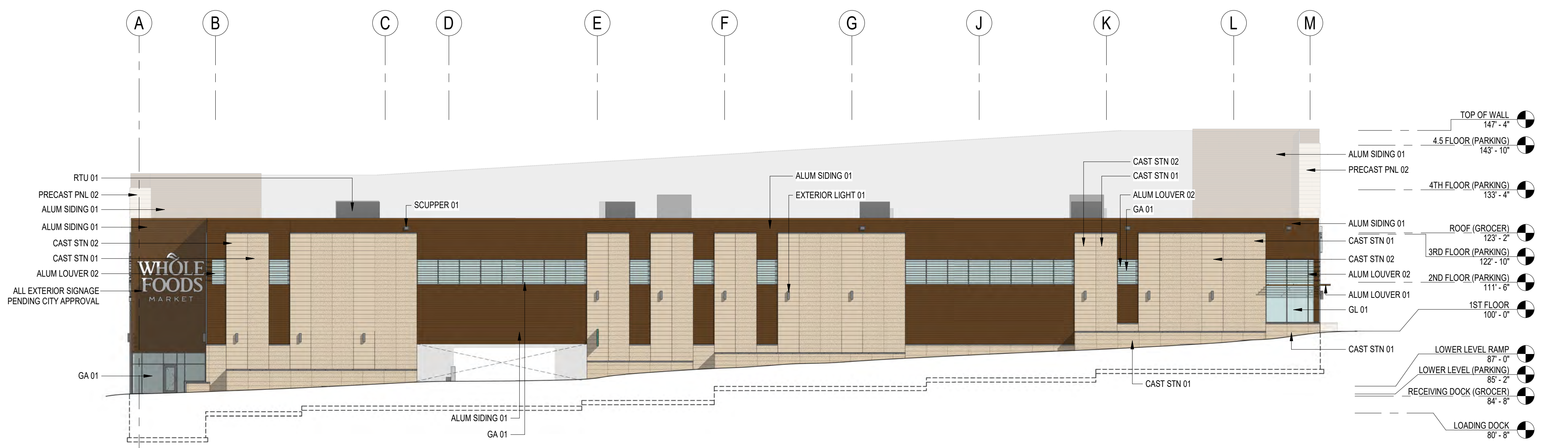


NOT FOR
CONSTRUCTION

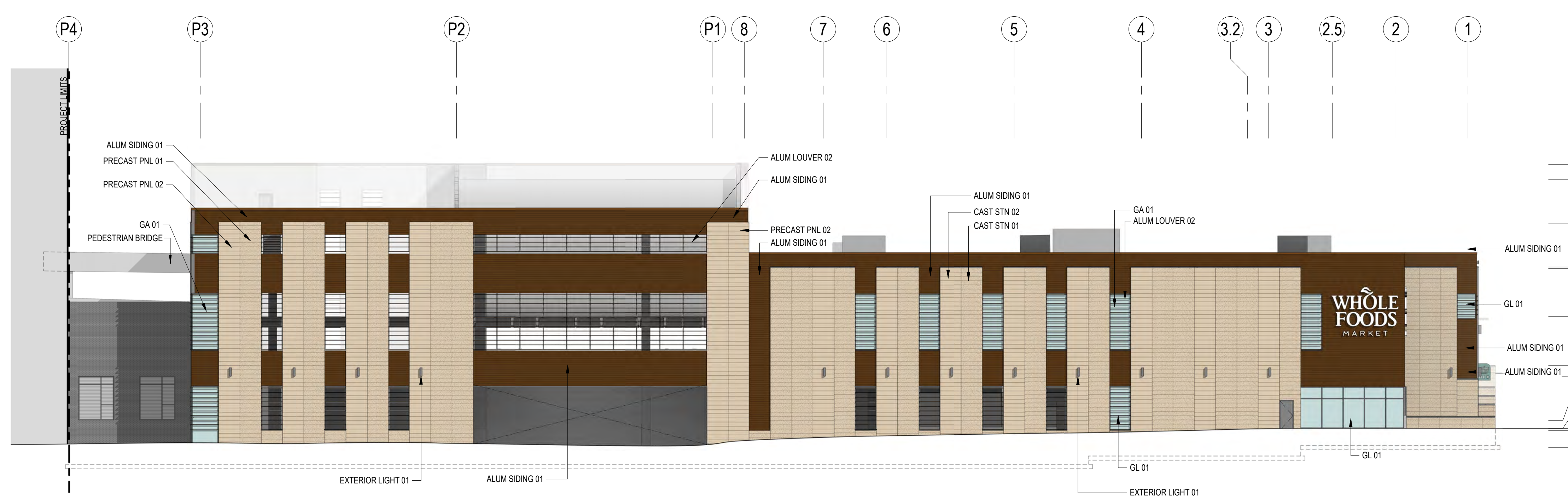
- EXTERIOR ELEVATION GENERAL NOTES**
1. ALL SIGNAGE SUBJECT TO APPROVAL BY CITY OF MADISON
 2. ALL METAL SURFACES EXPOSED TO VIEW (INCLUDING MISCELLANEOUS METALS, PIPING, MECHANICAL EQUIPMENT, LADDERS, STAIRS, RAILING, COLUMNS, PLATFORMS, ETC.) SHALL BE PAINTED, U.N.O.
 3. WINDOWS ARE ALUMINUM STOREFRONT U.N.O.
 4. CONTROL JOINTS IN CMU BACKUP TO BE OFFSET FROM CONTROL JOINTS IN MASONRY/STONE VENEER. CONTROL JOINTS AT CMU BACKUP MAXIMUM 20" SPACING.
 5. PROVIDE CONTROL JOINTS AT INSIDE CORNERS OF BRICK AND STONE.

ASSEMBLIES & COMPONENTS

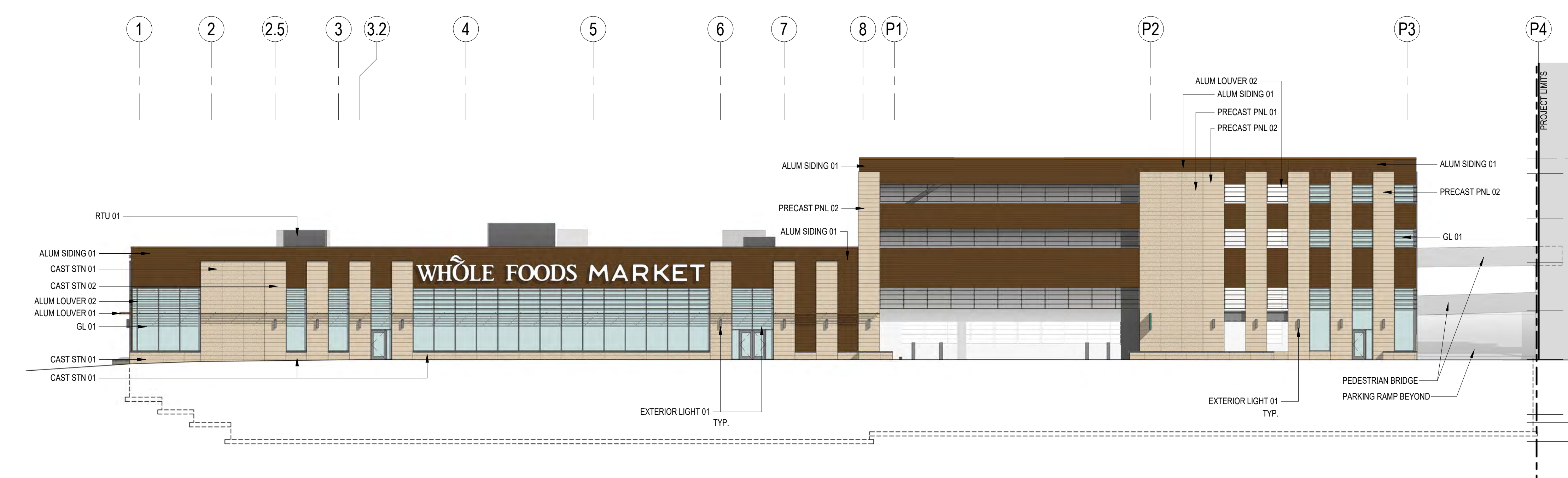
ALUM LOUVER 01	DECORATIVE HORIZONTAL EXTRUDED ALUMINUM WOOD-LOOK LOUVER. BASIS OF DESIGN: LONGBOARD FIXED LOUVER SYSTEM
ALUM LOUVER 02	DECORATIVE VERTICAL EXTRUDED ALUMINUM WOOD-LOOK LOUVER. BASIS OF DESIGN: LONGBOARD FIXED LOUVER SYSTEM
ALUM SIDING 01	ALUMINUM WOOD-LOOK SIDING SYSTEM-- SEE ELEVATIONS FOR SIZE AND COURSING. COLOR TBD. BASIS OF DESIGN: LONGBOARD PLANK SYSTEM
CAST STN 01	CAST STONE MASONRY - SEE ELEVATIONS FOR SIZE AND COURSING. COLOR TBD. BASIS OF DESIGN: STONECAST PRODUCTS FULL DEPTH VENEER
CAST STN 02	CAST STONE MASONRY - SEE ELEVATIONS FOR SIZE AND COURSING. COLOR TBD. BASIS OF DESIGN: STONECAST PRODUCTS FULL DEPTH VENEER.
EXTERIOR LIGHT 01	EXTERIOR DOWN-LIGHT SCONCE
GA 01	ALUMINUM FRAMED ENTRANCES AND STOREFRONTS. BASIS OF DESIGN: KAWNEER 601T GLAZING SYSTEM
GL 01	GLAZING - VISION GLASS: 1" INSULATED GLAZING UNIT
PRECAST PNL 01	PRE-CAST PANEL 01 - PRECAST WALL PANEL W/ MASONRY LOOK FORMLINER COLOR AND TEXTURE TO MATCH CAST STN 01
PRECAST PNL 02	PRE-CAST PANEL 02 - PRECAST WALL PANEL W/ MASONRY LOOK FORMLINER COLOR AND TEXTURE TO MATCH CAST STN 02
RTU 01	ROOFTOP UNIT - COORDINATE W/MECHANICAL
SCUPPER 01	PREFINISHED ALUMINUM SCUPPER TO MATCH ALUM SIDING 01



3 COLOR - WEST ELEVATION
1/16" = 1'-0"
SCALE: 1/16" = 1'-0"



2 COLOR - NORTH ELEVATION
1/16" = 1'-0"
SCALE: 1/16" = 1'-0"



1 COLOR - SOUTH ELEVATION
1/16" = 1'-0"
SCALE: 1/16" = 1'-0"

Revisions

GMP/SIP PACKAGE

Drawing Date
NOVEMBER 17, 2020

**MADISON YARDS:
BLOCK 2 - GROCER
BASE CORE & SHELL**
UNIVERSITY AVENUE AT GARDNER ROAD

Project No. SUMMIT SMITH/GILBANE
219143.00

Sheet Title
EXTERIOR ELEVATIONS

Copyright © 2020 Kahler Slater, Inc. All rights reserved.
104 Shookoe St., Richmond, Virginia 23219
Telephone 804.787.2500
111 West Wisconsin Avenue, Milwaukee, Wisconsin 53203
Telephone 414.272.2000 Fax 414.272.2001
722 Williamson Street, Madison, Wisconsin 53703
Telephone 608.263.6300 Fax 608.263.6317
125 South Clark Street, Suite 675-2, Chicago, Illinois 60603
Telephone 312.789.4516

Sheet No.
A2-A10C



EXTERIOR ELEVATION GENERAL NOTES

1. ALL SIGNAGE SUBJECT TO APPROVAL BY CITY OF MADISON
2. ALL METAL SURFACES EXPOSED TO VIEW (INCLUDING MISCELLANEOUS METALS, PIPING, MECHANICAL EQUIPMENT, LADDERS, STAIRS, RAILING, COLUMNS, PLATFORMS, ETC.) SHALL BE PAINTED U.N.O.
3. WINDOWS ARE ALUMINUM STOREFRONT U.N.O.
4. CONTROL JOINTS IN CMU BACKUP TO BE OFFSET FROM CONTROL JOINTS IN MASONRY/STONE VENEER. CONTROL JOINTS AT CMU BACKUP MAXIMUM 28" SPACING.
5. PROVIDE CONTROL JOINTS AT INSIDE CORNERS OF BRICK AND STONE.

ASSEMBLIES & COMPONENTS

ALUM LOUVER 01	DECORATIVE HORIZONTAL EXTRUDED ALUMINUM WOOD-LOOK LOUVER. BASIS OF DESIGN: LONGBOARD FIXED LOUVER SYSTEM
ALUM LOUVER 02	DECORATIVE VERTICAL EXTRUDED ALUMINUM WOOD-LOOK LOUVER. BASIS OF DESIGN: LONGBOARD FIXED LOUVER SYSTEM
ALUM SIDING 01	ALUMINUM WOOD-LOOK SIDING SYSTEM - SEE ELEVATIONS FOR SIZE AND COURSING. COLOR TBD. BASIS OF DESIGN: LONGBOARD PLANK SYSTEM
CAST STN 01	CAST STONE MASONRY - SEE ELEVATIONS FOR SIZE AND COURSING. COLOR TBD. BASIS OF DESIGN: STONECAST PRODUCTS FULL DEPTH VENEER
CAST STN 02	CAST STONE MASONRY - SEE ELEVATIONS FOR SIZE AND COURSING. COLOR TBD. BASIS OF DESIGN: STONECAST PRODUCTS FULL DEPTH VENEER
EXTERIOR LIGHT 01	EXTERIOR DOWN-LIGHT SCONCE
GA 01	ALUMINUM FRAMED ENTRANCES AND STOREFRONTS. BASIS OF DESIGN: KAWNEER 601T GLAZING SYSTEM
ROOF EDGE 01	PREFINISHED METAL ROOF EDGE SYSTEM. COLOR TO MATCH MF-1



- ROOF EDGE 01
- ALUM SIDING 01
- CAST STN 01
- CAST STN 02
- ALUM LOUVER 02
- ALUM LOUVER 01
- EXTERIOR LIGHT 01
- GA 01
- CAST STN 01

1 SOUTHWEST PERSPECTIVE
NOT TO SCALE



- ROOF EDGE 01
- ALUM SIDING 01
- ALUM LOUVER 02
- ALUM LOUVER 01
- GA 01
- CAST STN 01
- CAST STN 02

2 SOUTHEAST PERSPECTIVE
NOT TO SCALE



- ALUM SIDING 01
- ALUM LOUVER 02

3 SOUTHEAST PERSPECTIVE 2
NOT TO SCALE

NOT FOR CONSTRUCTION

Revisions

GMP/SIP PACKAGE

Drawing Date
NOVEMBER 17, 2020

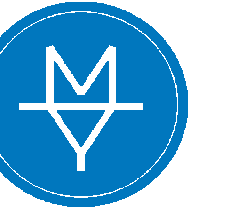
MADISON YARDS:
BLOCK 2 - GROCER
BASE CORE & SHELL
UNIVERSITY AVENUE AT GARDNER ROAD

Project No. SUMMIT SMITH/GILBANE
219143.00

Sheet Title
EXTERIOR
PERSPECTIVES

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125 South Clark Street, Suite 675-2, Chicago, Illinois 60603
Telephone 312.789.4516

Sheet No.
A2-A20



EXTERIOR ELEVATION GENERAL NOTES	ASSEMBLIES & COMPONENTS	
1. ALL SIGNAGE SUBJECT TO APPROVAL BY CITY OF MADISON	ALUM LOUVER 01	DECORATIVE HORIZONTAL EXTRUDED ALUMINUM WOOD-LOOK LOUVER. BASIS OF DESIGN: LONGBOARD FIXED LOUVER SYSTEM
2. ALL METAL SURFACES EXPOSED TO VIEW (INCLUDING MISCELLANEOUS METALS, PIPING, MECHANICAL EQUIPMENT, LADDERS, STAIRS, RAILING, COLUMNS, PLATFORMS, ETC.) SHALL BE PAINTED U.N.O.	ALUM LOUVER 02	DECORATIVE VERTICAL EXTRUDED ALUMINUM WOOD-LOOK LOUVER. BASIS OF DESIGN: LONGBOARD FIXED LOUVER SYSTEM
3. WINDOWS ARE ALUMINUM STOREFRONT U.N.O.	ALUM SIDING 01	ALUMINUM WOOD-LOOK SIDING SYSTEM - SEE ELEVATIONS FOR SIZE AND COURSING. COLOR TBD. BASIS OF DESIGN: LONGBOARD PLANK SYSTEM
4. CONTROL JOINTS IN CMU BACKUP TO BE OFFSET FROM CONTROL JOINTS IN MASONRY/STONE VENEER. CONTROL JOINTS AT CMU BACKUP MAXIMUM 28" SPACING.	CAST STN 01	CAST STONE MASONRY - SEE ELEVATIONS FOR SIZE AND COURSING. COLOR TBD. BASIS OF DESIGN: STONECAST PRODUCTS FULL DEPTH VENEER
5. PROVIDE CONTROL JOINTS AT INSIDE CORNERS OF BRICK AND STONE.	CAST STN 02	CAST STONE MASONRY - SEE ELEVATIONS FOR SIZE AND COURSING. COLOR TBD. BASIS OF DESIGN: STONECAST PRODUCTS FULL DEPTH VENEER
	EXTERIOR LIGHT 01	EXTERIOR DOWN-LIGHT SCIENCE
	GA 01	ALUMINUM FRAMED ENTRANCES AND STOREFRONTS. BASIS OF DESIGN: KAWNEER 601T GLAZING SYSTEM
	ROOF EDGE 01	PREFINISHED METAL ROOF EDGE SYSTEM. COLOR TO MATCH MF-1



3 NORTHWEST PERSPECTIVE
NOT TO SCALE

ROOF EDGE 01
ALUM SIDING 01
CAST STN 02
CAST STN 01
GA 01
ALUM LOUVER 02
EXTERIOR LIGHT 01

NOT FOR
CONSTRUCTION

Revisions

GMP/SIP PACKAGE

Drawing Date
NOVEMBER 17, 2020

MADISON YARDS:
BLOCK 2 - GROCER
BASE CORE & SHELL

UNIVERSITY AVENUE AT GARDNER ROAD

Project No. SUMMIT SMITH/GILBANE
219143.00

Sheet Title
EXTERIOR
PERSPECTIVES

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125 South Clark Street, Suite 675-2, Chicago, Illinois 60603
Telephone 312.789.4516

Sheet No.
A2-A21



2 NORTHWEST PERSPECTIVE
NOT TO SCALE

ROOF EDGE 01
ALUM SIDING 01
ALUM LOUVER 02
CAST STN 01
CAST STN 02
EXTERIOR LIGHT 01
GA 01

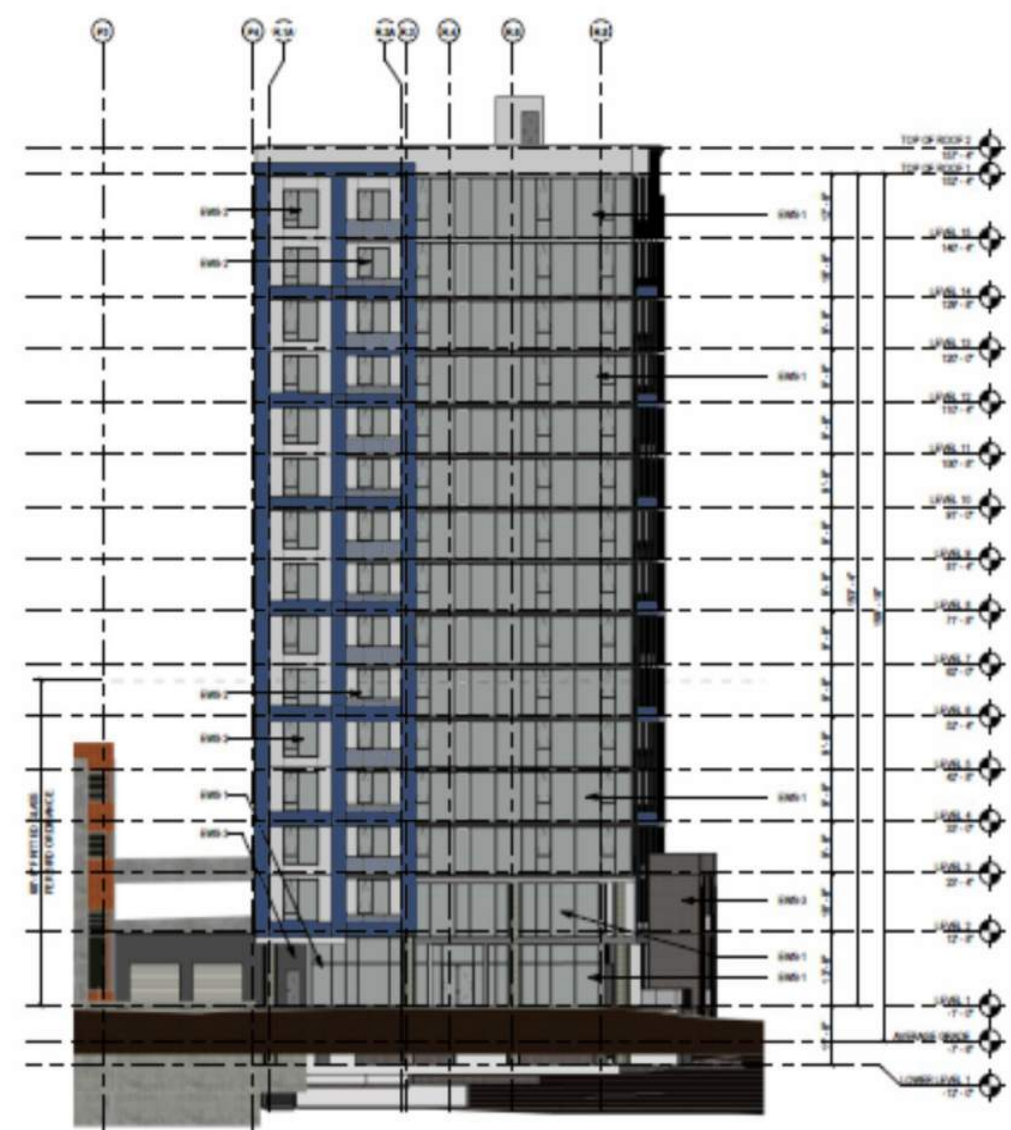


1 SOUTHWEST PERSPECTIVE
NOT TO SCALE

ROOF EDGE 01
ALUM SIDING 01
CAST STN 01
CAST STN 02
ALUM LOUVER 02
ALUM LOUVER 01
EXTERIOR LIGHT 01
GA 01
CAST STN 01

View at University Avenue & Segoe Road

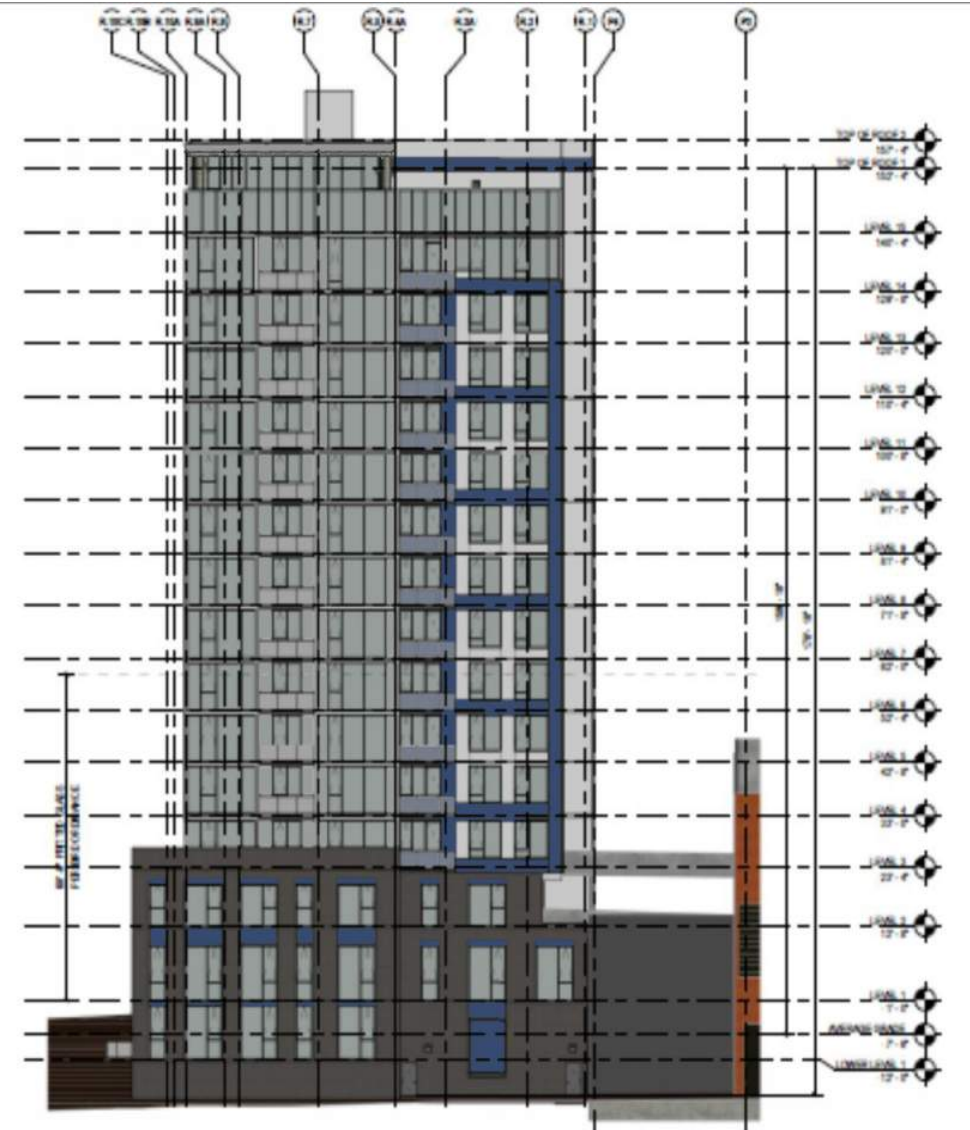




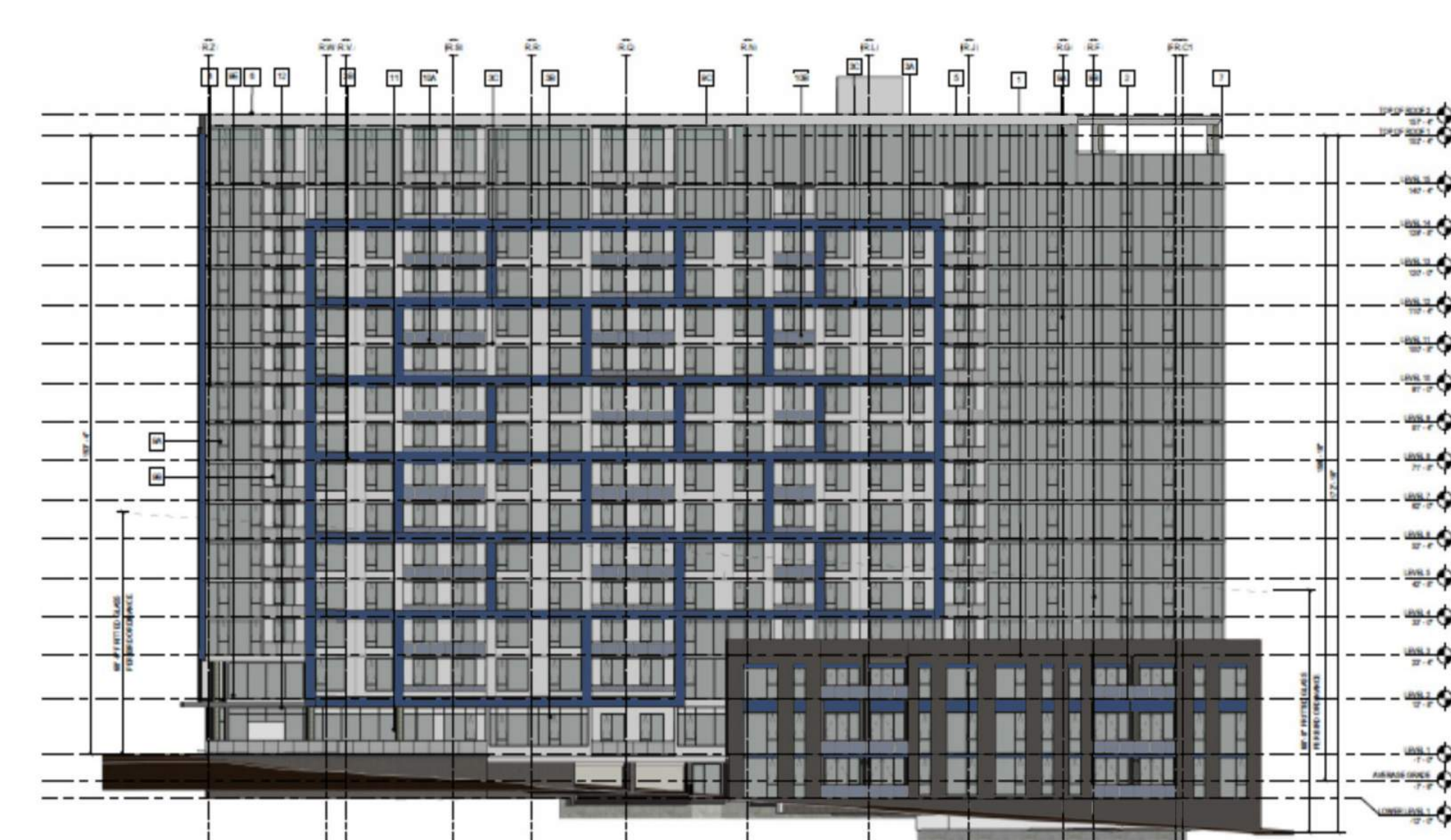
SOUTH ELEVATION



WEST ELEVATION



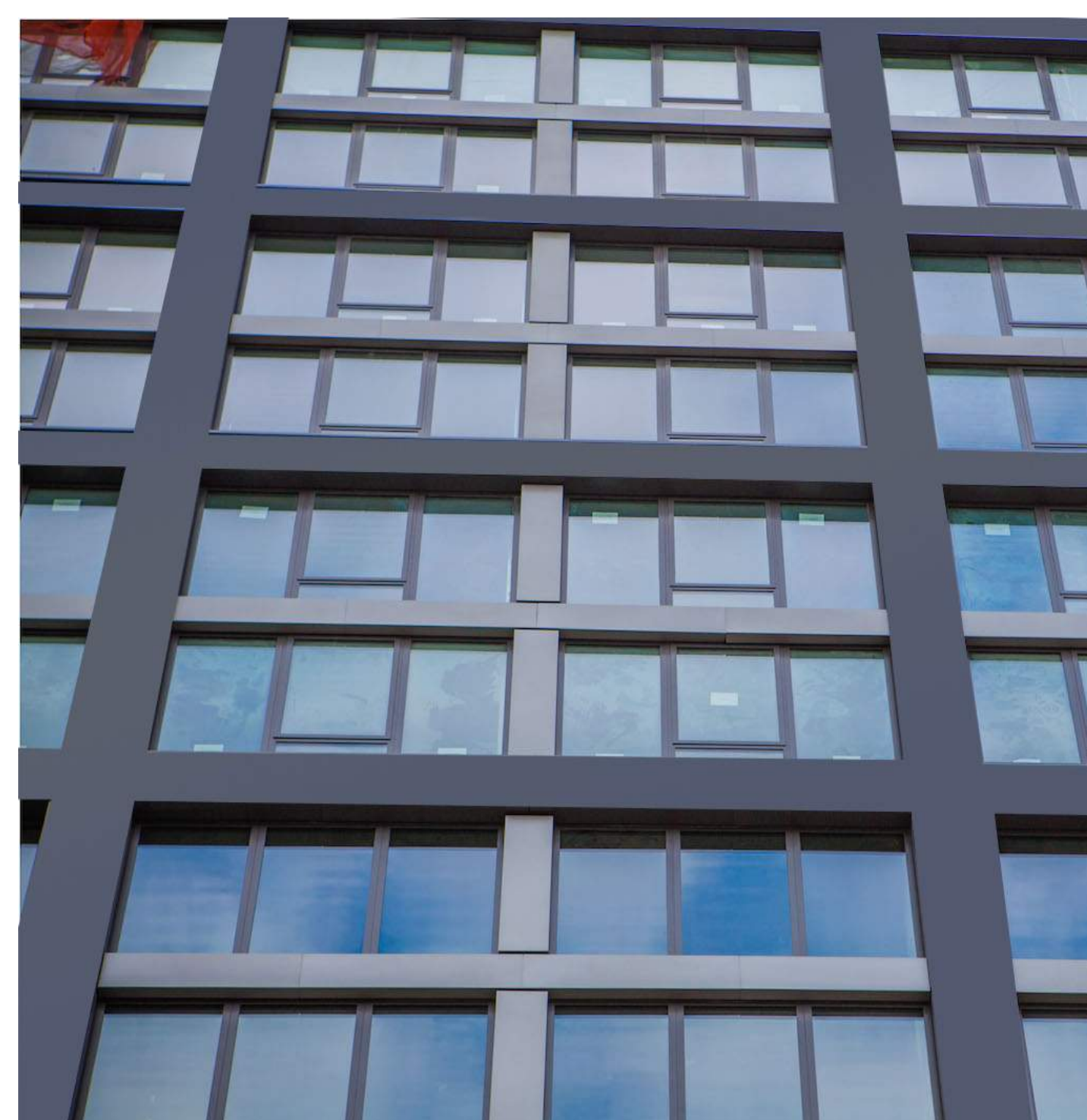
NORTH ELEVATION



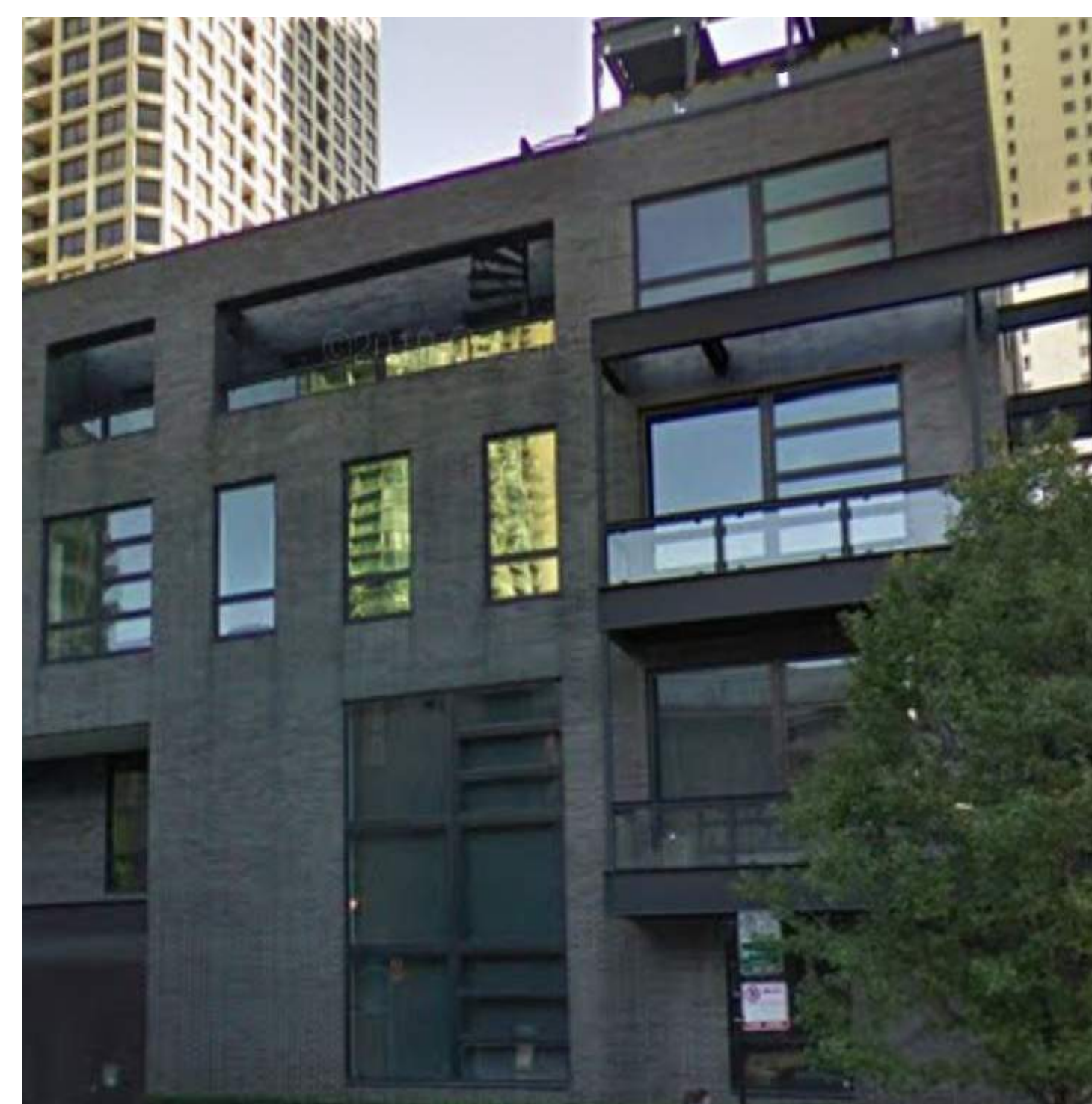
EAST ELEVATION



EWS-1 ALUMINUM AND GLASS WINDOW WALL /SLAB EDGE COVER SYSTEM (SIM)



EWS-2 INSULATED METAL PANEL/ALUMINUM WINDOWS (SIM)



EWS-3 BRICK VENEER BASE DETAIL (SIM)



EWS-4 METAL WALL PANEL (SIM)



DECORATIVE LIGHT FIXTURE AT RESIDENTIAL BALCONY



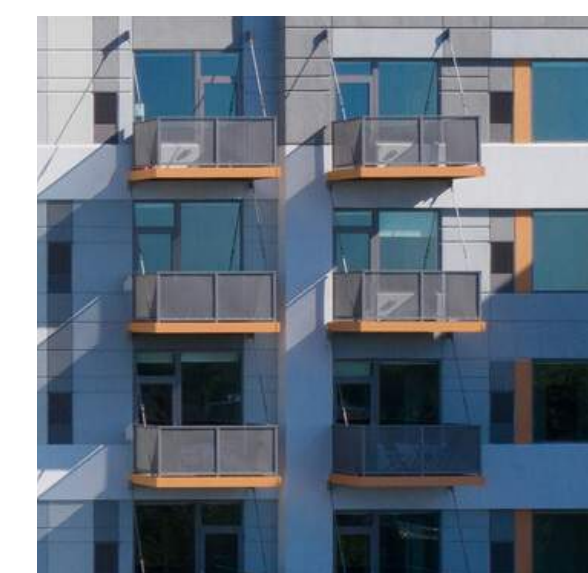
GUARDIAN SunGuard - AG 43



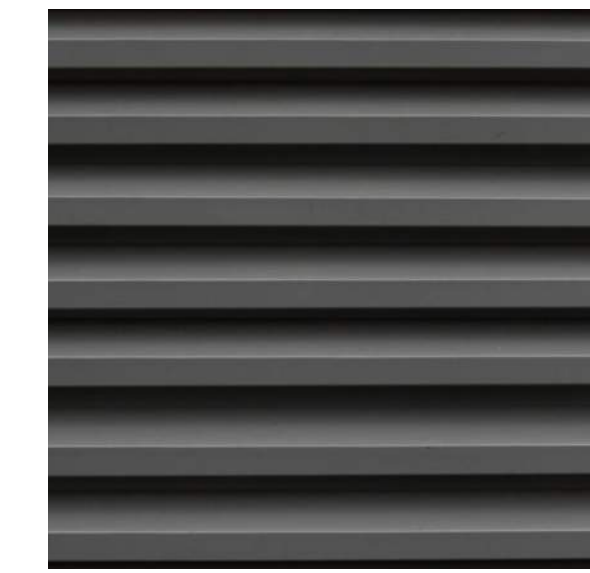
GUARDIAN SunGuard - AG 50



ALUMINUM STOREFRONT AT RETAIL BASE



PREFINISHED PERFORATED METAL PANEL RAILING SYSTEM - DARK GRAY



CORRUGATED ARCHITECTURAL METAL PANEL - MEDIUM GRAY



MODULAR BRICK - GRAY BLEND



Architecture + Planning
888.456.5849
ktgy.com



MADISON YARDS - BLOCK 2
MADISON, WI

MATERIALS SAMPLE BOARD

REVIEW DRAWING
NOT TO BE USED
FOR CONSTRUCTION

PLAN MODIFICATIONS:

#	Date	Description
1	01.24.2020	WHOLE FOODS DD SUBMITTAL
2	02.29.2020	GMP SET
3	11.18.2020	LAND USE - UDC RESUBMITTAL
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Design/Drawn: MWS
Approved: KJV

SHEET TITLE:
**BLOCK 2
OVERALL LANDSCAPE
PLAN**

SHEET NUMBER:
B2-L1.0

LEGEND
REFER TO SHEET B2-CO.1 NOTES AND LEGENDS FOR PLAN
LINEWORK, HATCHING AND SYMBOL IDENTIFICATION

PLANT LIST	SEE SHEET L2.0 FOR COMPREHENSIVE PLANT SCHEDULE
ORNAMENTAL TREES	CODE BOTANICAL / COMMON NAME
	AAB <i>Amelanchier x grandiflora</i> 'Autumn Brilliance' / Autumn Brilliance Serviceberry M.S.
TALL EVERGREEN TREE	CODE BOTANICAL / COMMON NAME
	PCC <i>Pinus cembra</i> 'Chalet' / Chalet Swiss Stone Pine
	THP <i>Thuja occidentalis</i> 'Pyramidalis' / Pyramidalis Cedar
OVERSTORY DECIDUOUS TREE	CODE BOTANICAL / COMMON NAME
	BN <i>Betula nigra</i> 'BNMTF' TM / Dura Heat River Birch
DECIDUOUS SHRUBS	CODE BOTANICAL / COMMON NAME
	AM <i>Aronia melanocarpa</i> 'Morton' TM / Iroquois Beauty Black Chokeberry
	AMS <i>Aronia melanocarpa</i> 'UCONNAM166' TM / Low Scape Hedger Chokeberry
	CF <i>Cornus stolonifera</i> 'Farrow' / Arctic Fire Dogwood
	HB <i>Hydrangea paniculata</i> 'ILVOBO' TM / Boba Panicked Hydrangea
	HLL <i>Hydrangea paniculata</i> 'Little Lime' / Little Lime Hydrangea
	HLQ <i>Hydrangea paniculata</i> 'Little Quick Fire' / Little Quick Fire Hydrangea
	PHC <i>Physocarpus opulifolius</i> 'Center Glow' / Center Glow Ninebark
EVERGREEN SHRUBS	CODE BOTANICAL / COMMON NAME
	PP <i>Pinus mugo</i> 'Pumilio' / Mugo Pine
	TME <i>Taxus x media</i> 'Everlow' / Yew
PERENNIALS & GRASSES	CODE BOTANICAL / COMMON NAME
	CMW <i>Calamintha nepeta</i> 'Montrose White' / Montrose White Catmint
	EP <i>Echinacea purpurea</i> 'PAS702918' TM / PowWow White Coneflower
	EF <i>Echinacea</i> x 'Firebird' / Firebird Coneflower
	ET <i>Echinacea</i> x 'Tiki Torch' / Coneflower
	GT <i>Geranium</i> x 'Tiny Monster' / Tiny Monster Geranium
	LK <i>Liatris spicata</i> 'Kobold' / Spike Gayfeather
	PVN <i>Panicum virgatum</i> 'North Wind' / Northwind Switch Grass
	PVS <i>Panicum virgatum</i> 'Shenandoah' / Switch Grass
	RFS <i>Rudbeckia fulgida speciosa</i> / Showy Coneflower
	SNC <i>Salvia nemorosa</i> 'Cardonna' / Cardonna Perennial Salvia
	SH <i>Sporobolus heterolepis</i> 'Tara' / Prairie Dropseed

UNIVERSITY AVENUE (WB)

UNIVERSITY AVENUE (EB)

**BLOCK 2
PROPOSED BUILDING**

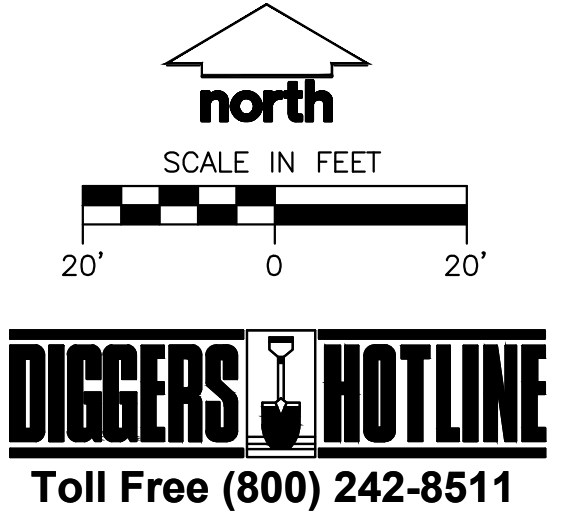
WHOLE
FOODS

PARKING
STRUCTURE

RESIDENTIAL

MADISON YARDS WAY

**BLOCK 1
(FUTURE BUILDING)**



DIGGERS HOTLINE
Toll Free (800) 242-8511

EXISTING FIBER OPTIC LINE SHOWN FOR GRAPHIC REPRESENTATION ONLY. EXACT LOCATION TO BE CONFIRMED BY CONTRACTOR PRIOR TO EXCAVATION.

R-O-W STREET TREES: CONTRACTOR SHALL CONTACT CITY FORESTRY (608)-266-4816 AT LEAST ONE WEEK PRIOR TO PLANTING TO SCHEDULE INSPECTING THE NURSERY STOCK AND REVIEW PLANTING SPECIFICATIONS WITH THE LANDSCAPER.

THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDED/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENT.

GARDENER ROAD

SEGOE ROAD (SB)

BLOCK 6 PLANTINGS (REFER TO BLOCK 6 PLAN SET, TYP.)

BLOCK 6 PLANTINGS (REFER TO BLOCK 6 PLAN SET, TYP.)

BLOCK 6 PLANTINGS (REFER TO BLOCK 6 PLAN SET, TYP.)