

**APPLICATION FOR  
URBAN DESIGN COMMISSION  
REVIEW AND APPROVAL**

**AGENDA ITEM # \_\_\_\_\_  
Project # \_\_\_\_\_**

DATE SUBMITTED: <u>SEPT. 27, 2005</u>	<b>Action Requested</b>
UDC MEETING DATE: <u>OCT. 19, 2005</u>	<input type="checkbox"/> Informational Presentation
	<input checked="" type="checkbox"/> Initial Approval and/or Recommendation
	<input checked="" type="checkbox"/> Final Approval and/or Recommendation

PROJECT ADDRESS: 26 SCHROEDER COURT  
ALDERMANIC DISTRICT: 1ST

OWNER/DEVELOPER (Partners and/or Principals) <u>CAPITOL REAL ESTATE, LLC</u> <u>123 N. BLOUNT ST. SUITE #604</u> <u>MADISON WI 53703</u>	ARCHITECT/DESIGNER/OR AGENT: <u>ARCHITECTURAL DESIGN CONSULTANTS</u> <u>161 HORIZON DR. SUITE #102</u> <u>VERONA WI 53593</u>
CONTACT PERSON: <u>KEVIN LEDERER</u>	<u>PHIL SCHMIDT, BA</u>
Address: _____	_____
Phone: <u>608-836-6368</u>	<u>608-848-2324</u>
Fax: <u>608-287-0267</u>	<u>608-848-5122</u>
E-mail address: _____	<u>pqs@adci.wis</u>

- TYPE OF PROJECT:  
(See Section A for:)
- Planned Unit Development (PUD)
    - General Development Plan (GDP)
    - Specific Implementation Plan (SIP)
  - Planned Community Development (PCD)
    - General Development Plan (GDP)
    - Specific Implementation Plan (SIP)
  - Planned Residential Development (PRD)
  - New Construction or Exterior Remodeling in an Urban Design District \* (A public hearing is required as well as a fee)
  - School, Public Building or Space (Fee may be required)
  - New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 50,000 Sq. Ft.
  - Planned Commercial Site

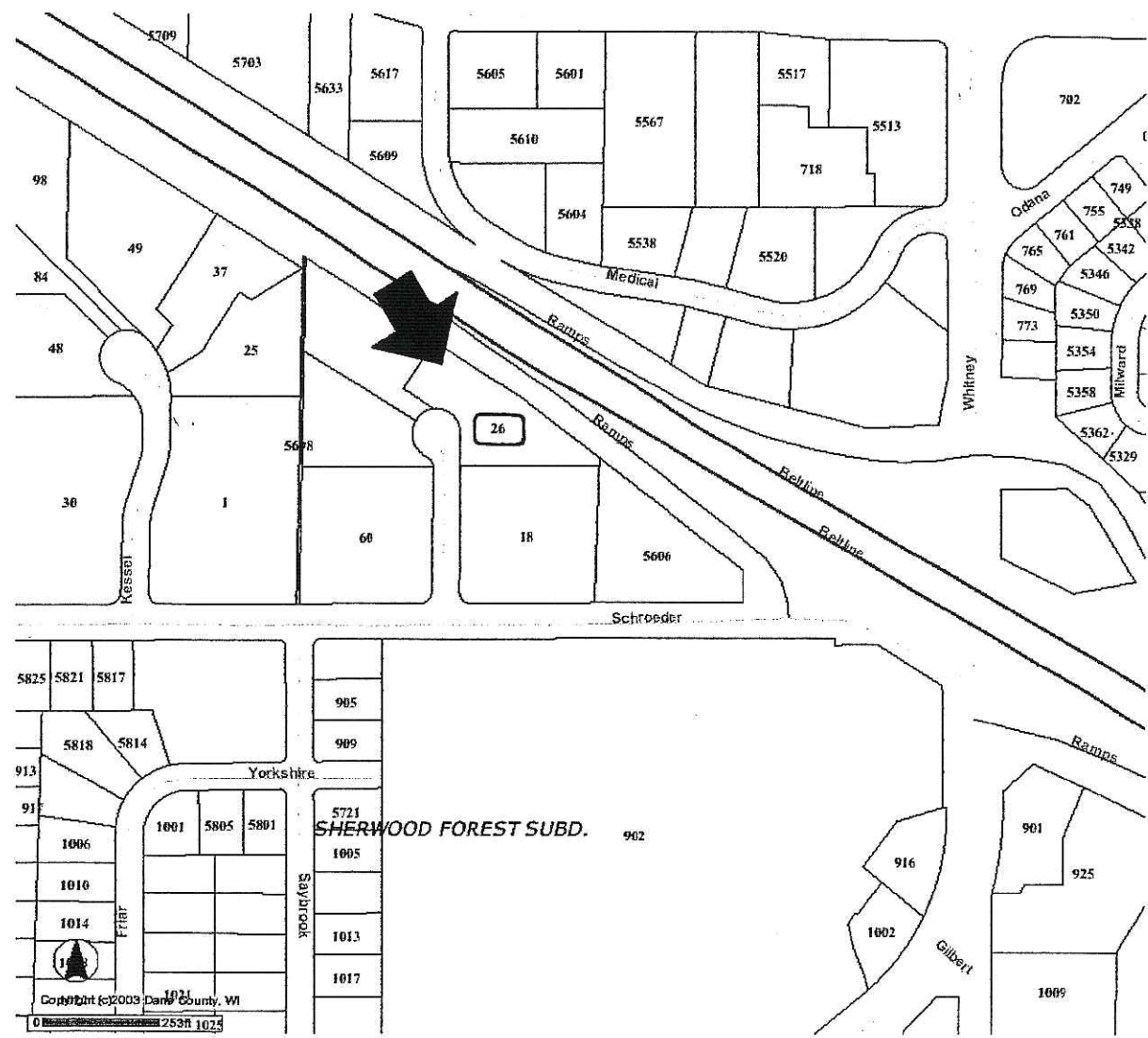


(See Section B for:)  
 New Construction or Exterior Remodeling in C4 District (Fee required)

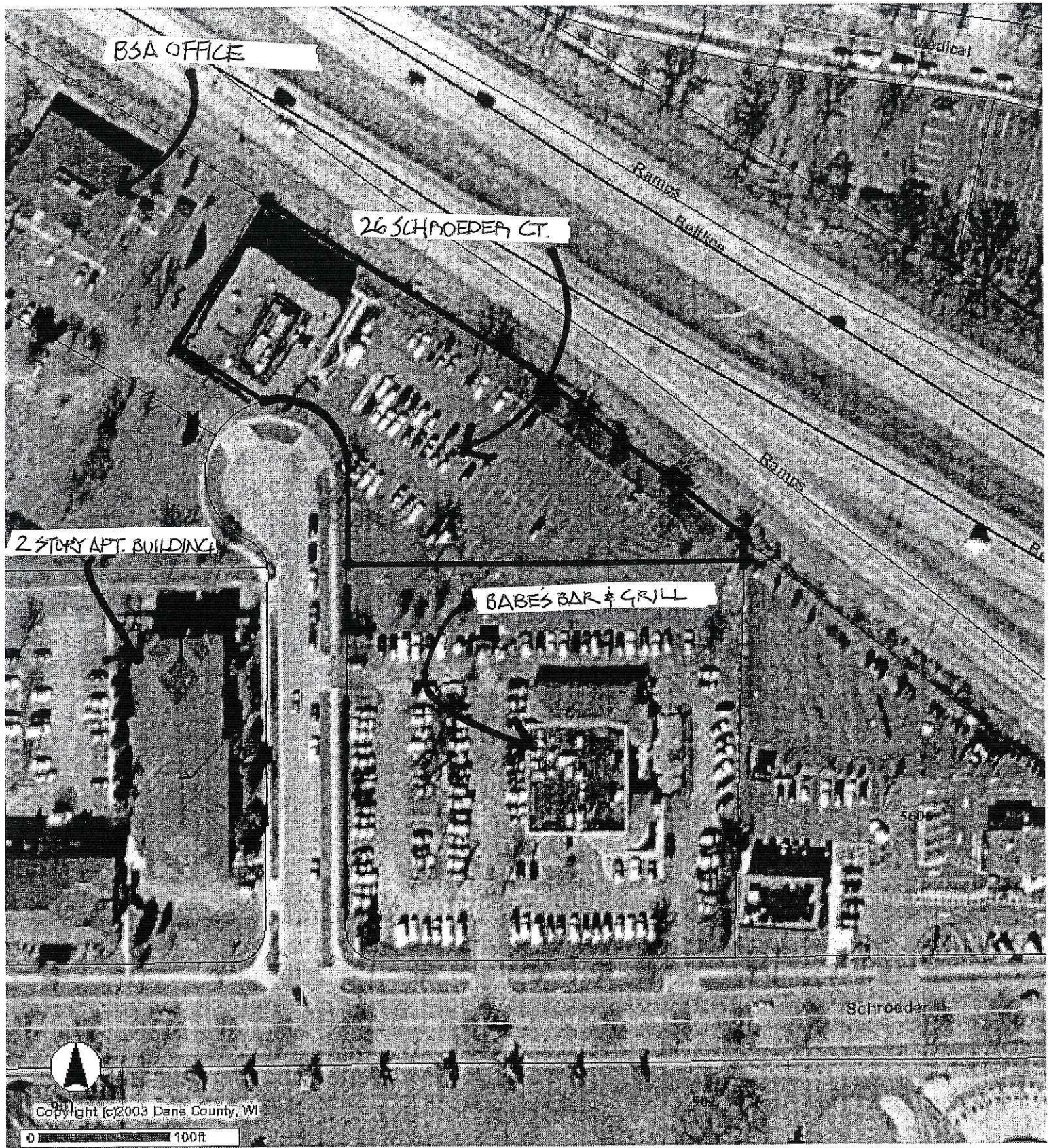
(See Section C for:)  
 R.P.S.M. Parking Variance (Fee required)

(See Section D for:)  
 Comprehensive Design Review\* (Fee required)  
 Street Graphics Variance\* (Fee required)  
 Other \_\_\_\_\_

\*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)



**Location Map**

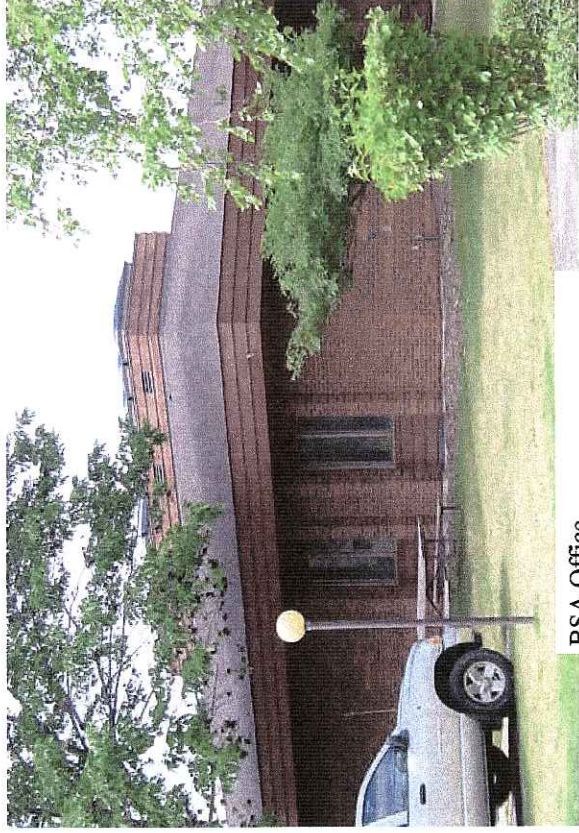




Schroeder Court Apartments



Babe's Bar & Grill



BSA Office

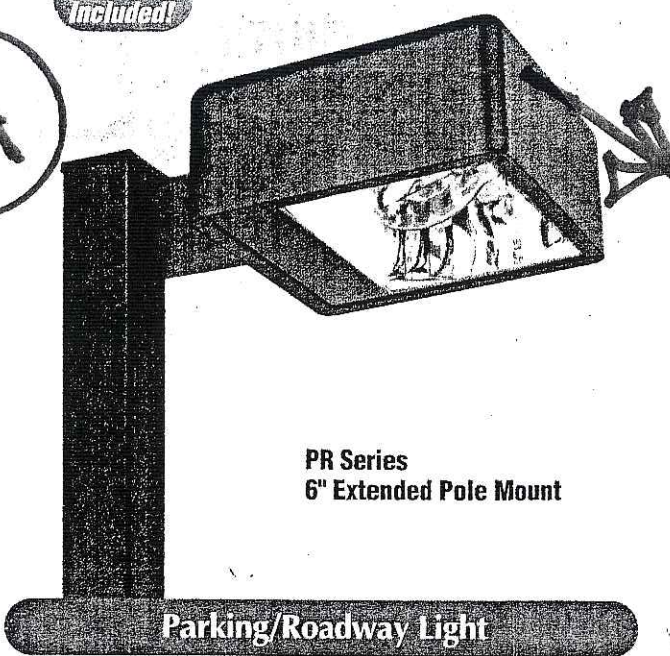


Kessler Square Office

New improved photometric performance



Lamp Included!



PR Series  
6" Extended Pole Mount

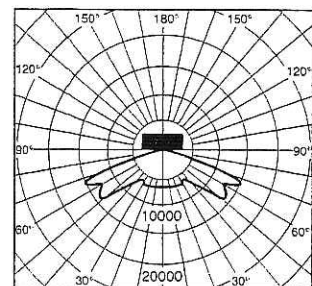
Parking/Roadway Light

You'll see an increase in street side efficiency with the redesigned reflector and repositioned lamp in the PR Series. The 12-inch and 16-inch housings of the Parking/Roadway Light have a Type III asymmetric distribution pattern. The 22-inch housing has Type II asymmetric distribution. Ideally suited for roadway applications, parking areas or for building-mounted security lighting.

Three Sizes:

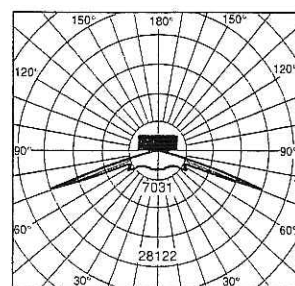
- 12" square x 5" deep (305 x 127 mm)
- 16" square x 6.5" deep (406 x 165 mm)
- 22" square x 9.25" deep (559 x 235 mm)

OLD



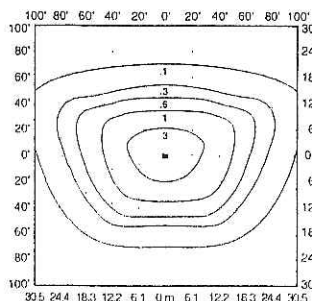
Typical Candlepower Distribution of 400W MH Parking/Roadway Light.

NEW



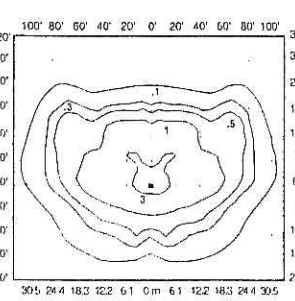
Typical Candlepower Distribution of 400W PSMH Parking/Roadway Light. (Preliminary)

OLD



Isofootcandle plot of one 400W MH Parking/Roadway light at 30' (9.1 m) mounting height, and 0° tilt above horizontal.

NEW



Isofootcandle plot of one 400W PSMH Parking/Roadway Light at 30' (9.1 m) mounting height, and 0° tilt above horizontal. (Preliminary)

PR Series Order Information

Housing Size (sq.)	Wattage/Lamp	Catalog Number	Prepay Price	Mounting Code (Insert Code at * in Catalog #)	Prepay Adder
12"	150W PSMH	MPR*615-M	\$180	1 - 1-1/2" Close Pole Mount	\$8
16"	320W PSMH	PR*632-M	\$198	2 - 6" Extended Pole Mount	\$13
12"	50W MH	MPR*405-D	\$167	3 - 2" Adjustable Fitter	\$22
12"	70W MH	MPR*407-D	\$167	4 - Yoke Mount	\$10
12"	100W MH	MPR*410-D	\$167	6 - 1/2" Adjustable Fitter (12" housing only)	\$10
12"	175W MH	MPR*417-M	\$155		
16"	175W MH	PR*417-M	\$178	K - Round Tube Off-Center	\$132
16"	250W MH	PR*425-M	\$180	Tenon Mount (16" housing only)	
16"	400W MH	PR*440-M	\$191	(For 2-3/8" or 3" O.D.)	
22"	1000W MH	PR*499-M	\$320	M - Round Tube Off-Center	\$118
12"	35W HPS	MPR*503-1	\$146	Direct Mount (16" housing only)	
12"	50W HPS	MPR*505-D	\$151	W - Wall Mount	\$20
12"	70W HPS	MPR*507-M	\$151	B - Without Mounting (hardware)	\$3
12"	100W HPS	MPR*510-M	\$151	(factory-drilled)	
12"	150W HPS	MPR*515-M	\$154		
16"	250W HPS	PR*525-M	\$193		
16"	400W HPS	PR*540-M	\$202		
22"	1000W HPS	PR*599-M	\$394		

Other lamp wattages available—consult factory  
 † Reduced envelope lamp ED28 for 320W PSMH and 400W MH.

Options: (Factory-installed)	Change Description	Add Suffix To	After Suffix	Prepay Adder
277V Reactor Ballast (PSMH only)		27		no adder
120V Reactor ballast (50-150W HPS 12" housing only)		1		deduct \$9
480V ballast (320W PSMH, 175-1000W MH & 70-1000W HPS only)		5		no adder
347V ballast (50W HPS only) (Canada only)		6		\$22
Quad-volt ballast (50-100W MH only)		M		\$5
Tri-volt ballast (320W PSMH, 50-1000W MH & 70-1000W HPS only) (Canada only)		T		no adder
Single Fuse (277V Reactor, 120V, 277V or 347V)		27, 1, 2 or 6	F	\$13
Dual Fuse (208V, 240V or 480V)		3, 4 or 5	F	\$22
Quartz Standby (delay-relay type) (includes 100W Q lamp) (n/a 277V Reactor)		Q		\$49
Uplight Lens Frame		U		\$8
Button Photocell (Factory-installed with all mountings other than 2" Adjustable Fitter)				
NOTE: n/a on 1000W w/120V; all 480V		27, 1, 2, 3, 4 or 6	P	\$15
External Photocell (Factory-installed) (Page 133)				
For fixtures w/1000W, 120V		1	P	\$20
For fixtures w/480V		5	P	\$24

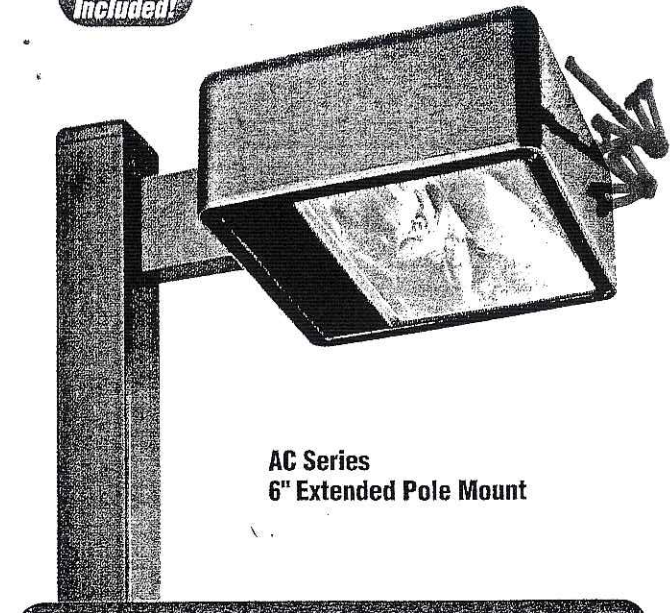
Accessories: (Field-installed)	Prepay Price	12" housing	Prepay Price	16" housing	Prepay Price	22" housing	Prepay Price
Wire Guard	FWG-12	\$13	FWG-16	\$17	FWG-22	\$35	
Backlight Shield	SBL-12	\$5	SBL-16	\$5	SBL-22	\$8	
Button Photocell (Field-installed in fixtures with 2" Adjustable Fitter)							
For fixtures w/120V (n/a on 1000W)		PC-1				\$10	
For fixtures w/208, 240 or 277V		PC-2				\$10	
For fixtures w/347V		PC*6				\$10	

Mountings ..... Page 116  
 Catalog Number Logic/Voltage Suffix Key ..... Page 115  
 Optical Systems ..... Pages 105-107  
 Accessories ..... Page 133  
 Mounting Alternatives ..... Pages 150-151  
 Mounting Brackets ..... Pages 152-153  
 Poles ..... Pages 154-157

Product information available on our web site!  
 (800) 236-7000, 7 a.m. to 6 p.m. CT  
 Order on-line www.ruudlighting.com

**Lamp Included!**

New improved photometric performance

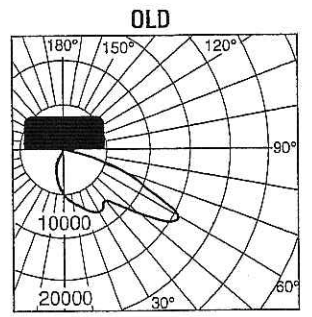


**AC Series  
6\"/>**

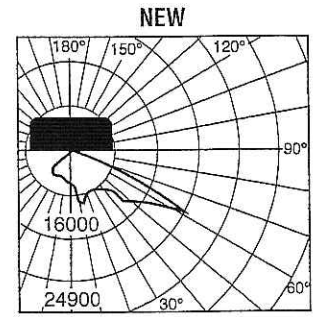
**Area Cutoff Light**

You'll see double-digit increases in street side efficiency with the redesigned reflector and repositioned lamp in the AC Series. This compact forward-throw reflector has a main beam of 60°+ from vertical (30° from horizontal), providing wide lateral distribution and excellent uniformities. A Backlight Shield accessory (standard on Wall Mount) permits precise cutoff adjustability.

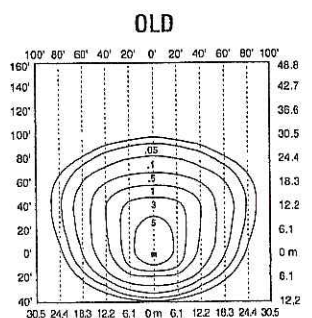
**Three Sizes:**  
 12" square x 5" deep (305 x 127 mm)  
 16" square x 6.5" deep (406 x 165 mm)  
 22" square x 9.25" deep (559 x 235 mm)



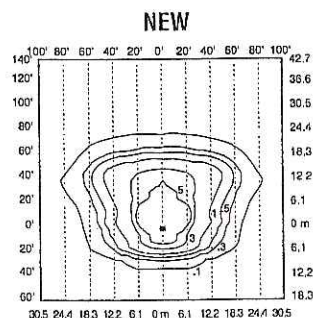
Candlepower distribution curve of 400W MH 16" Area Cutoff Light.



Candlepower distribution curve of 400W MH 16" Area Cutoff Light.



Isofootcandle plot of 400W MH Area Cutoff Light at 25' (7.6 m) mounting height, 0° tilt above horizontal, with backlight shield removed.



Isofootcandle plot of 400W MH Area Cutoff Light at 25' (7.6 m) mounting height, 0° tilt above horizontal, with backlight shield removed.

**AC Series Order Information**

Housing Size (sq.)	Wattage/Lamp	Catalog Number	Prepay Price	Mounting Code (Insert Code at * in Catalog #)	Prepay Adder
12"	150W PSMH	MAC*615-M	\$193	1 = 1-1/2" Close Pole Mount	\$8
16"	320W PSMH	AC*632-M	\$216	2 = 6" Extended Pole Mount	\$13
22"	750W PSMH	AC*675-M	\$396	3 = 2" Adjustable Fitter	\$22
12"	50W MH	MAC*405-D	\$180	4 = Yoke Mount	\$10
12"	70W MH	MAC*407-D	\$180	6 = 1/2" Adjustable Fitter	\$10
12"	100W MH	MAC*410-D	\$180	(12" housing only)	
12"	175W MH	MAC*417-M	\$168	K = Round Tube Off-Center	\$132
16"	175W MH	AC*417-M	\$196	Tenon Mount (16" housing only)	
16"	250W MH	AC*425-M	\$198	(For 2-3/8" or 3" O.D.)	
16"	400W MH	AC*440-M	\$209	M = Round Tube Off-Center	\$118
22"	1000W MH	AC*499-M	\$360	Direct Mount (16" housing only)	
12"	35W HPS	MAC*503-1	\$159	(Direct Fitter for 4" sq. pole)	
12"	50W HPS	MAC*505-D	\$164	W = Wall Mount	\$20
12"	70W HPS	MAC*507-M	\$164	(Backlight Shield is standard)	
12"	100W HPS	MAC*510-M	\$164	B = Without Mounting (hardware)	\$3
12"	150W HPS	MAC*515-M	\$167		
16"	250W HPS	AC*525-M	\$211		
16"	400W HPS	AC*540-M	\$220		

Other lamp wattages available—consult factory  
 † Reduced envelope lamp. ED28 for 320W PSMH and 400W MH; BT37 for 1000W MH.

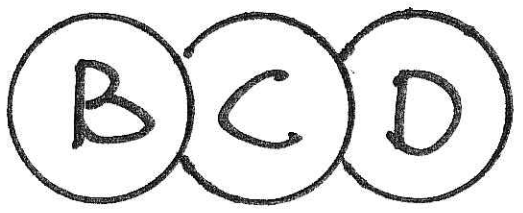
Options: (Factory-installed)	Change Suffix To	Add After Suffix	Prepay Adder
277V Reactor Ballast (PSMH only)	27		no adder
120V Reactor ballast (50-150W HPS 12" housing only)	1		deduct \$9
480V ballast (320W PSMH, 175-1000W MH & 70-400W HPS only)	5		no adder
347V ballast (50W HPS only) (Canada only)	6		\$22
Quad-volt ballast (50-100W MH only)	M		\$5
Tri-volt ballast (320W PSMH, 50-1000W MH & 70-400W HPS only) (Canada only)	T		no adder
Single Fuse (277V Reactor, 120V, 277V or 347V)	27, 1, 2 or 6	F	\$13
Dual Fuse (208V, 240V or 480V)	3, 4 or 5	F	\$22
Quartz Standby (delay-relay type) (includes 100W Q lamp) (n/a 277V Reactor)	Q		\$49
Button Photocell (Factory-installed with all mountings other than 2" Adjustable Fitter)			
NOTE: n/a on 1000W w/120V; all 480V	27, 1, 2, 3, 4 or 6	P	\$15

External Photocell (Factory-installed) (Page 133)	Change Suffix To	Add After Suffix	Prepay Adder
For fixtures w/1000W, 120V	1	P	\$20
For fixtures w/480V	5	P	\$24

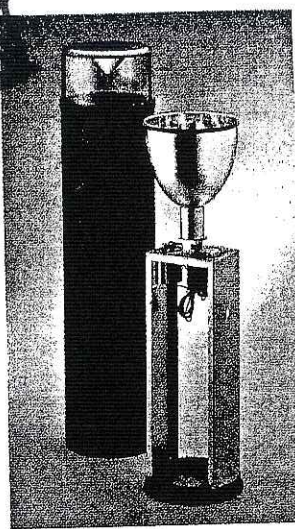
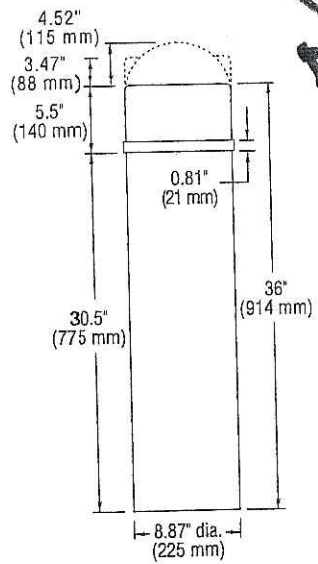
Accessories: (Field-installed)	Prepay Price	Prepay Price	Prepay Price
12" housing	16" housing	22" housing	
Wire Guard FWG-12	\$13	FWG-16 \$17	FWG-22 \$35
Backlight Shield SBL-12	\$5	SBL-16 \$5	SBL-22 \$8

Button Photocell (Field-installed in fixtures with 2" Adjustable Fitter)	Catalog #	Prepay Price
For fixtures w/120V (n/a on 1000W)	PC-1	\$10
For fixtures w/208, 240 or 277V	PC-2	\$10
For fixtures w/347V	PC*6	\$10

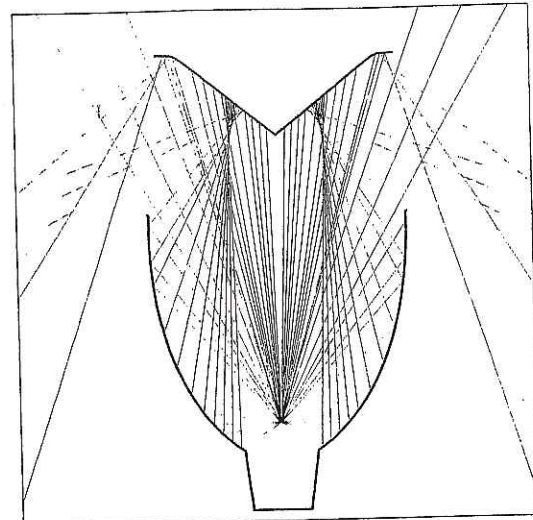
Mountings ..... Page 116  
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 Accessories ..... Page 133  
 Mounting Alternatives ..... Pages 150-151  
 Mounting Brackets ..... Pages 152-153  
 Poles ..... Pages 154-157



Ask for details on 60 day no-risk sample orders!  
 (800) 236-7000, 7 a.m. to 6 p.m. CT  
 Order on-line [www.ruudlighting.com](http://www.ruudlighting.com)

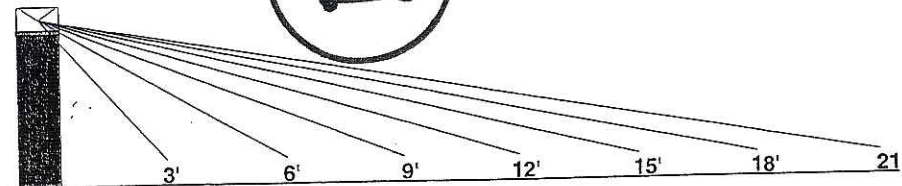


The aluminum extrusion simply slides over the steel frame and base for quick and easy installation.

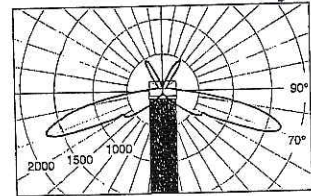


This ray trace illustrates the computer-designed, patented optics of the unique Round Bollard.

**HC Series Clear Lens**

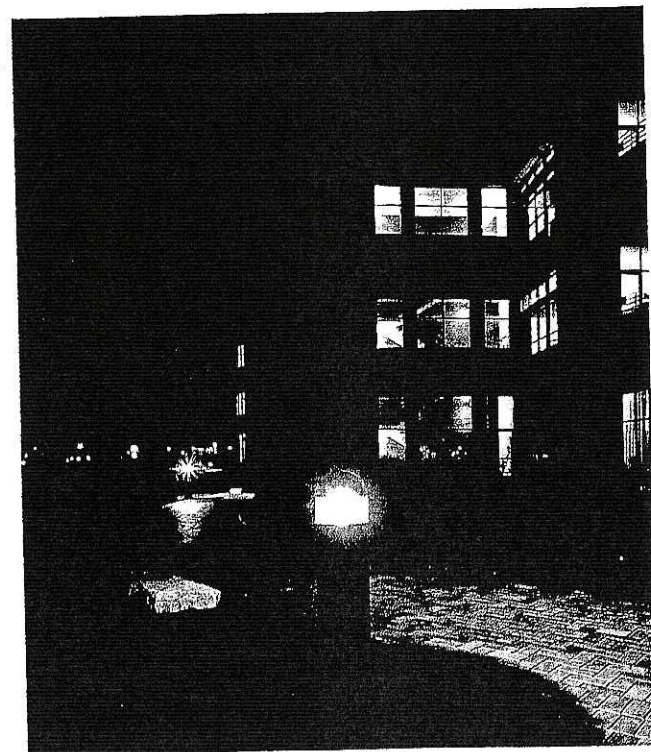


Lamp	Lumens	3'	6'	9'	12'	15'	18'	21'
50W MH	3400	1.79	4.38	2.33	.90	.36	.17	.09
70W MH	5600	2.95	7.22	3.85	1.47	.59	.28	.15
100W MH	9000	4.74	11.60	6.18	2.37	.95	.45	.24
35W HPS	2250	1.34	1.97	.94	.41	.18	.08	.05
50W HPS	4000	2.38	3.50	1.67	.73	.31	.15	.08
70W HPS	6400	3.81	5.60	2.67	1.17	.50	.24	.13
100W HPS	9500	5.66	8.31	3.97	1.73	.74	.36	.19



Candlepower distribution curve of 100W MH Round Bollard with clear, flat top lens.

Use the chart above to determine initial footcandle levels at grade for the HC Series Round Bollard with clear, flat top lens.



Low-copper cast aluminum housing with DeltaGuard®



Luma After-Sunset® Directional Flood

**Directional Flood Order Information**

Catalog Number	Finish	Volts	Wattage/ Lamp Type	Prepay Price
GL80-BK	Black	12	MR16 bi-pin base thru 50W†	\$40
GL80-VE	Verde	12	MR16 bi-pin base thru 50W†	\$45
GL81-BK	Black	12	PAR36 thru 75W†	\$54
GL81-VE	Verde	12	PAR36 thru 75W†	\$58

† Order lamp separately.

**Mounting Accessories (Field-installed)**

Description	Catalog #	Price
Single Mount Cast Junction Box Cover (for 1 fixture)	DAF-JB1(a)	\$15
Dual Mount Cast Junction Box Cover (for 2 fixtures)	DAF-JB2(a)	\$15

(a) Specify Finish Color: BK = Black, VE = Verde

Ground Mount Post	PGM-1BK	\$36
Conduit Slipfitter (can be used with Ground Mount Post)	MNH-2BK	\$11

**Fixture Accessories (Field-installed)**

Description	Catalog #	Price
Color Filters (for use with GL80 fixtures)	DAF-CF1*	\$7
Color Filters (for use with GL81 fixtures)	DAF-CF4*	\$16

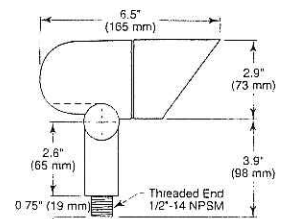
\* Specify color: Red (R), Green (G), Amber (A), Blue (B)

UL Listed for wet locations.

Planning	Page 187
Transformers and Cable	Page 188-189
Accessories	Page 203-207
Lamp Selection	Page 295-296



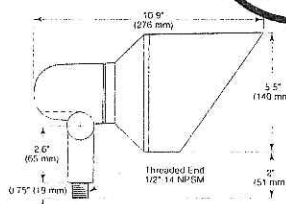
**GL80**  
12V  
MR16 bi-pin thru 50W  
Available in black or verde DeltaGuard® finish. Stake and patented pigtail connector included.



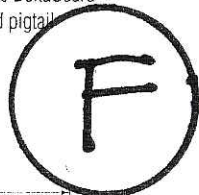
GL80



**GL81**  
12V  
PAR36 thru 75W  
Available in black or verde DeltaGuard® finish. Stake and patented pigtail connector included.



GL81



**Wall Lighting**

A stucco wall, basket-weave or stone exterior are ideal surfaces to light because of the inherent surface changes. Provides security as well as aesthetic appeal. Position fixtures 12"-24" (305-610 mm) from the wall for a scalloped effect. Position fixtures 3"-6" (76-152 mm) from the wall for a grazed high relief effect. Use flood or wide flood lamp.

Luma After-Sunset  
Directional Flood

R U D L I G H T I N G

Ask for details on 60-day, no-risk sample orders  
(800) 236-7000, 7 a.m. to 6 p.m. CT  
Order on-line [www.ruudlighting.com](http://www.ruudlighting.com)





# Schroeder Court Development

Madison

Wisconsin

### GENERAL DRAWING SYMBOLS


### FOUNDATION DRAWING SYMBOLS

	= TOP OF FOUNDATION
	= TOP OF LEDGE
	= TOP OF FOOTING
	= TOP OF PIER
	= FTG TYPE & ELEVATION
	= STRUCTURAL SLAB TYPE
	= BASE PLATE TYPE
	= FLOOR ELEVATION
	= STEP IN FOOTING
	= STEP IN WALL

### STRUCTURAL DRAWING SYMBOLS

	= WOOD BEAM
	= WOOD POST
	= STEEL BEAM
	= STEEL COLUMN
	= HEADER

<b>Project:</b>	Schroeder Court Development 26 Schroeder Court Madison, WI
<b>Owner:</b>	Capitol Real Estate, LLC 123 N. Blount, Suite 604 Madison, WI 53703 Phone Number: (608) 287-0267
<b>Architect/Engineer:</b>	Architectural Design Consultants, Inc. 161 Horizon Dr., Suite 102 Verona, Wisconsin 53593 Phone Number: (608) 848-2324 Fax Number: (608) 848-5122
<b>Site Consultant:</b>	Jenkins Survey & Design 161 Horizon Drive, Suite 101 Verona, WI 53593 Phone Number: (608) 848-5060 Fax Number: (608) 848-2255
<b>Structural Consultant:</b>	Pierce Engineers, Inc. 10 West Mifflin Street Madison, WI 53703 Phone Number: (608) 256-7304 Fax Number: (608) 256-7306
<b>General Contractor:</b>	Diamond Builders 161 Horizon Drive, Suite Verona, WI 53593 Phone Number: 608-848-8878 Fax Number: 608-848-8896

<b>Project Number:</b>	04-33	
<b>Occupancy:</b>	<b>Major Use:</b> <input type="checkbox"/> A Assembly <input checked="" type="checkbox"/> B Business/Office <input type="checkbox"/> E Educational <input type="checkbox"/> F Factory/Industrial <input type="checkbox"/> H Hazardous <input type="checkbox"/> I Institutional/Daycare/CBRF <input checked="" type="checkbox"/> M Mercantile/Retail <input type="checkbox"/> R Residential <input type="checkbox"/> S Storage <input type="checkbox"/> U Utility/Misc.	<b>Sub Use:</b> <input type="checkbox"/> A1 <input type="checkbox"/> A2 <input type="checkbox"/> A3 <input type="checkbox"/> A4 <input type="checkbox"/> A5 <input type="checkbox"/> B <input type="checkbox"/> C <input type="checkbox"/> F1 <input type="checkbox"/> F2 <input type="checkbox"/> H1 <input type="checkbox"/> H2 <input type="checkbox"/> H3 <input type="checkbox"/> H4 <input type="checkbox"/> H5 <input type="checkbox"/> I1 <input type="checkbox"/> I2 <input type="checkbox"/> I3 <input type="checkbox"/> I4 <input type="checkbox"/> M1 <input type="checkbox"/> M2 <input type="checkbox"/> M3 <input type="checkbox"/> M4 <input type="checkbox"/> R1 <input type="checkbox"/> R2 <input type="checkbox"/> R3 <input type="checkbox"/> R4 <input type="checkbox"/> S1 <input type="checkbox"/> S2 <input type="checkbox"/> U
<b>Class of Construction:</b>	<input type="checkbox"/> I A <input type="checkbox"/> I B <input type="checkbox"/> II A <input type="checkbox"/> II B <input type="checkbox"/> III A <input type="checkbox"/> III B <input type="checkbox"/> IV <input checked="" type="checkbox"/> V A <input type="checkbox"/> V B	<b>Number of Stories above Grade Plane:</b> <b>Number of Floor Levels:</b> <input type="checkbox"/> Non-separated uses for Mixed Occupancies <input type="checkbox"/> Separated uses for Mixed Occupancies
<b>Fire Protection:</b>	<b>Spnknkr Systems</b> <input type="checkbox"/> None <input type="checkbox"/> Partial per NFPA ___ <input checked="" type="checkbox"/> Full per NFPA 13 <b>Plan Preparation Submittal:</b> <input type="checkbox"/> Included <input type="checkbox"/> Separate <input checked="" type="checkbox"/> By Others	
	<b>Smoke Detection Systems</b> <input type="checkbox"/> None <input type="checkbox"/> Partial per NFPA ___ <input checked="" type="checkbox"/> Full per NFPA ___ <b>Plan Preparation Submittal:</b> <input type="checkbox"/> Included <input type="checkbox"/> Separate <input checked="" type="checkbox"/> By Others	
	<b>Fire Alarm Systems</b> <input type="checkbox"/> None <input type="checkbox"/> Partial per NFPA ___ <input checked="" type="checkbox"/> Full per NFPA ___ <b>Plan Preparation Submittal:</b> <input type="checkbox"/> Included <input checked="" type="checkbox"/> Separate <input checked="" type="checkbox"/> By Others	
<b>Flammable/Combustible Liquids:</b>	<input checked="" type="checkbox"/> Not Present <input type="checkbox"/> Present	
<b>Floor Areas:</b>	<b>Total Building Areas:</b> 10,080 = Basement Floor      7,024 = Third Floor 10,080 = First Floor      37,264 = Total 10,080 = Second Floor	
<b>Building Footprint:</b>	10,080 = Square Feet	
<b>Building Occupant Load:</b>	558 = Persons	

<b>INDEX OF DRAWINGS:</b>
TS TITLE SHEET

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<b>C1.2</b>	SITE DETAILS	(ARCH)
<b>C2.0</b>	EROSION CONTROL, GRADING, & UTILITY PLAN	(CIVIL)
<b>C2.1</b>	DETAILS	(CIVIL)
<b>C3.1</b>	LANDSCAPE PLANTING PLAN	(L. ARCH)
<b>C4.2</b>	SITE LIGHTING PLAN	(ARCH)

<b>P1.1</b>	PERSPECTIVES	(ARCH)
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<b>A4.1</b>	SECTIONS	(ARCH)
<b>A4.1</b>	SECTIONS	(ARCH)
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<b>S1.1</b>	FOUNDATION PLAN	(STRUCT)
<b>S2.1</b>	FOUNDATION DETAILS	(STRUCT)
<b>S3.2</b>	FIRST-FLOOR FRAMING	(STRUCT)
<b>S3.3</b>	SECOND-FLOOR FRAMING	(STRUCT)
<b>S3.4</b>	THIRD-FLOOR FRAMING	(STRUCT)
<b>S3.5</b>	ROOF FRAMING	(STRUCT)
<b>S4.1</b>	STRUCTURAL DETAILS	(STRUCT)
<b>S4.2</b>	STRUCTURAL DETAILS	(STRUCT)

<b>Project Number:</b>	04-33	
<b>Snow Loads:</b>	<b>Ground Snow Load:</b> 35 PSF <b>Terrain Category:</b> B <b>Building Importance Category:</b> I <b>Thermal Factor:</b> Ct = 1.0 <b>Snow Exposure Factor:</b> Ce = 0.9	
<b>Wind Loads:</b>	<b>Basic Wind Speed:</b> 90 MPH <b>Exposure Category:</b> B <b>Building Importance Category:</b> I	
<b>Seismic Loads:</b>	<b>Site Class:</b> D <b>Seismic Use Group:</b> I <b>Seismic Design Category:</b> A	

LOCATION MAP  
NO SCALE



Preliminary Plans Not For Construction

**ADCI Architectural Design Consultants Inc.**  
 161 Horizon Drive Suite 102  
 Verona, WI 53593  
 Phone: (608) 848-2324 Fax: (608) 848-5122

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Schroeder Court Development  
 Wisconsin  
 Madison

Drawn By: ADCI Staff  
 Checked By: Phil Schmitt  
 Date: Sep 21, 2005  
 Scale: As Noted  
 Job Number: V04-33  
 Sheet Number: **TS**

<b>ISSUED FOR:</b>	<b>DATE:</b>
PLANNING COMMISSION SUBMITTAL	SEP. 21, 2005
URBAN DESIGN COMMISSION SUBMITTAL	SEP. 26, 2005

**ARCHITECTURAL:**  
 I HEREBY CERTIFY THAT THE PLANS AND SPECIFICATIONS LISTED AS ARCHITECTURAL DRAWINGS WERE PREPARED BY ME UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT UNDER THE STATUTES OF THE STATE OF WISCONSIN.

Architectural Design Consultants, Inc.

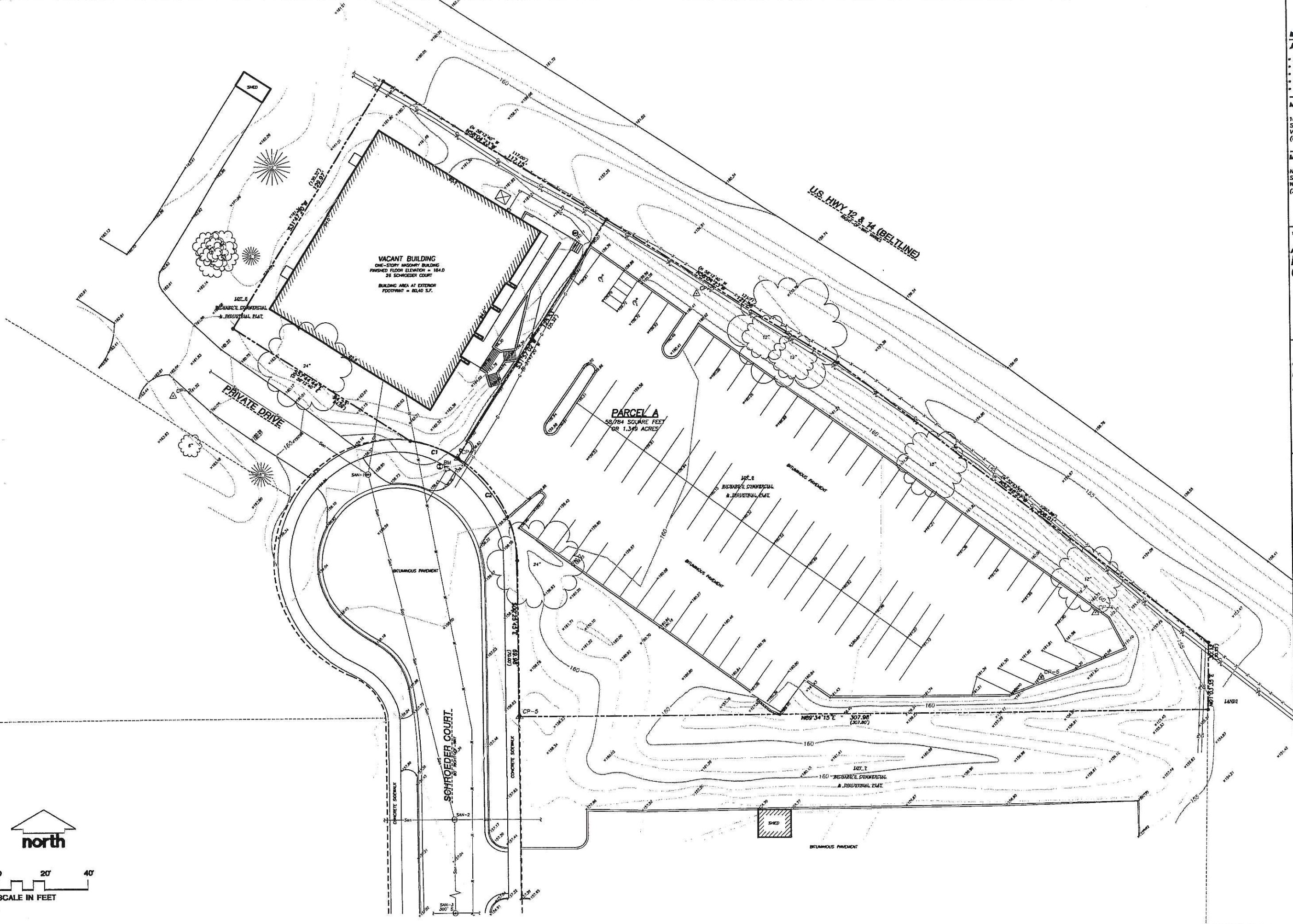
**STRUCTURAL:**  
 I HEREBY CERTIFY THAT THE PLANS AND SPECIFICATIONS LISTED AS STRUCTURAL DRAWINGS WERE PREPARED BY ME UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ENGINEER UNDER THE STATUTES OF THE STATE OF WISCONSIN.

Pierce Engineers, Inc.

**CIVIL:**  
 I HEREBY CERTIFY THAT THE PLANS AND SPECIFICATIONS LISTED AS CIVIL DRAWINGS WERE PREPARED BY ME UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ENGINEER UNDER THE STATUTES OF THE STATE OF WISCONSIN.

General Engineering Company

File: J:\2005\051973\Draw\051973 exist.dwg Layout: EXISTING CONDITIONS User: jds Date: Sep 21, 2005 - 8:05am Xref:



**JSD** - Engineers - Surveyors  
**Jenkins Survey & Design, Inc.**  
 • SURVEYING AND MAPPING  
 • CIVIL ENGINEERING  
 • TRANSPORTATION ENGINEERING  
 • PLANNING & DEVELOPMENT  
 • CONSTRUCTION MANAGEMENT

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 Waukesha, Wisconsin 53186  
 (262) 513-8866

PREPARED FOR:  
**ARCHITECTURAL DESIGN CONSULTANTS INC.**  
 161 HORIZON DRIVE  
 VERONA, WI 53593

PROJECT:  
**SCHROEDER COURT DEVELOPMENT**

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ITEM	DATE
Drawn: JSP	09/19/05
Checked: JES	09/20/05
Approved: WJ	09/20/05
City of Motion Submitted	09/21/05

SEAL/SIGNATURE

SHEET TITLE  
**EXISTING SITE CONDITIONS**

SHEET NUMBER  
**C-1.0**

JSD PROJECT NUMBER  
 05-1973

JSD PROJECT FILE  
 1

SCALE  
 1"=20'


  
 TO DETERMINE LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
   
**CALL DIGGERS HOTLINE**
  
 1-800-242-6511
   
**TOLL FREE**
  
 FAX A LOCATE 1-800-388-3860
   
 TDD (FOR HEARING IMPAIRED) 1-800-542-2289
   
 WISCONSIN STATUTE (SC.2015 - 1874)
   
 REQUIRES MINIMUM OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.
   
 V04-33 Site Notes 1-C

PARKING SUMMARY	
<b>PARKING STALLS REQUIRED:</b>	
Office Space:	17,104 sq. ft.
Retail Space:	10,080 sq. ft.
<b>Total:</b>	<b>27,184 sq. ft.</b>
Reserved parking stalls:	27/84/500
	81 Stalls
<b>PARKING STALLS PROVIDED:</b>	
Regular Stalls:	65 Stalls
Physically Disabled:	4 Stalls
<b>Total Stalls Provided:</b>	<b>69 Stalls</b>
Dedicated Tree Island:	1 Stall

ZONING SUMMARY	
Zoning Classification:	CSL General Commercial District
Front Yard Setback:	NA
Side Yard Setback:	NA
Rear Yard Setback:	50'
Floor Area Ratio:	.46

PROPERTY SUMMARY	
Lot Area:	
Square Feet:	58,785 Sq. Ft.
Acres:	1.35 Acres
Improvements:	
Asphalt Paving:	24,345 Sq. Ft.
Sidewalk & Plaza:	4,082 Sq. Ft.
Building:	10,142 Sq. Ft.
<b>Total:</b>	<b>38,569 Sq. Ft.</b>
Green Space:	20,220 Sq. Ft.
	34.4%

PARKING LOT PLAN SITE INFORMATION BLOCK	
Site Address:	26 Schroeder Ct.
Site Acreage (Total):	1.35 (66,785 sq. ft.)
Number of Building Stories (Above Grade):	3
Building Height:	35'-0"
CMR Type of Construction (New Structure or Addition):	VA
Total Square Footage of Building:	37,264 (Including Basement)
Use of Property:	CSL
Gross Square Feet of Office:	17,104
Gross Square Feet of Retail Area:	10,080
Number of Employees in Warehouse:	NA
Number of Employees in Production Area:	NA
Capacity of Restaurant/Place of Assembly:	NA
Number of Bicycle Stalls Shown:	10
Number of Parking Stalls:	
	SHOWN
Small Car:	20
Large Car:	65
Accessible:	4
<b>TOTAL:</b>	<b>69</b>
Number of Trees Shown:	12

**Preliminary Plans Not For Construction**

**Schroeder Court Development**

**Site Plan**

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 161 Horizon Drive D Suite 102  
 Verona, WI 53593  
 Tel: 608.785.1111 Fax: 608.785.1112  
 www.adci.com

**ADCI**

Wisconsin

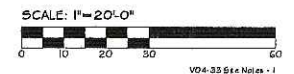
Madison

Drawn By: A. [Name]  
 Checked By: D. [Name]  
 Date: Sept 2005  
 Scale: As Shown  
 Job Number: V083

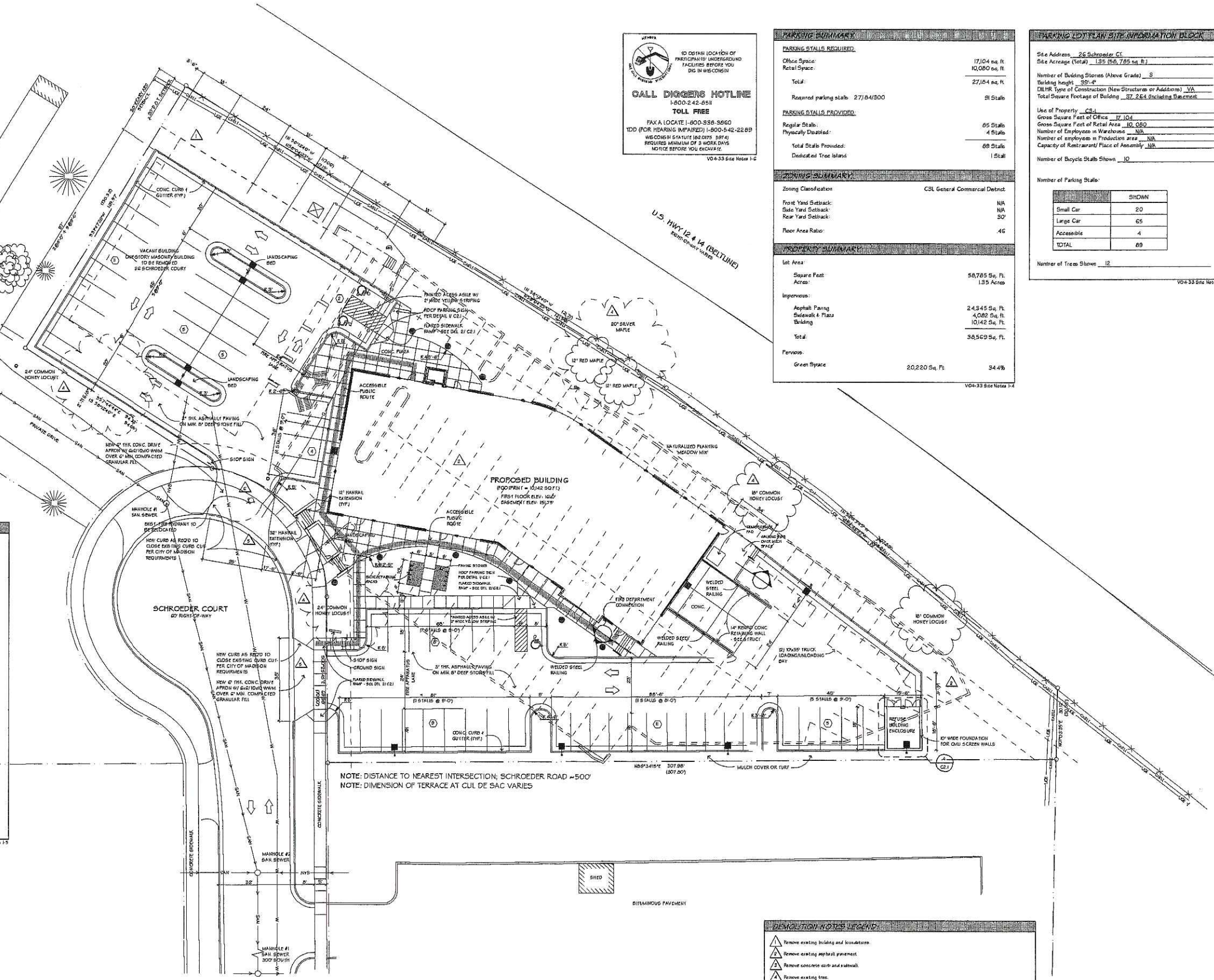
Sheet # **C11**

- GENERAL SITE NOTES - Where Applicable:**
- Contractors shall obtain necessary permits and approvals for grading on R.O.W. curb cuts and drives.
  - All site information is based on available data from local governmental agencies and utility companies. All site information shall be verified by the contractor prior to start of construction.
  - Verify compliance with county and state zoning and building ordinances.
  - Verify location of telephone service and requirements of Phone Company.
  - Plumbing contractor shall verify location, size and depth of sanitary sewer, storm sewer and water mains and coordinate all lateral connections to main with local municipality.
  - HVAC contractor shall verify location and depth of gas mains and coordinate gas lateral connections, route to building, and placement of gas meter with the local gas company.
  - Electrical contractor shall verify location and size of primary distribution service and coordinate extension of service to the building and location of transformer with the local electric company.
  - Remove all topsoil and unstable material from within building limits, at parking, at drive and at walls. Fill to final grades these areas with structural granular material compacted to a minimum of 95% of ASTM D698-70 the standard proctor.
  - Excavations for footings shall be approved by an Engineer prior to placement of foundation construction.
  - Soils Engineer shall be present during fill operations and a representative number of field density tests shall be taken on site as filled.
  - Property lines and building shall be located by a registered Land Surveyor.

**SITE PLAN**

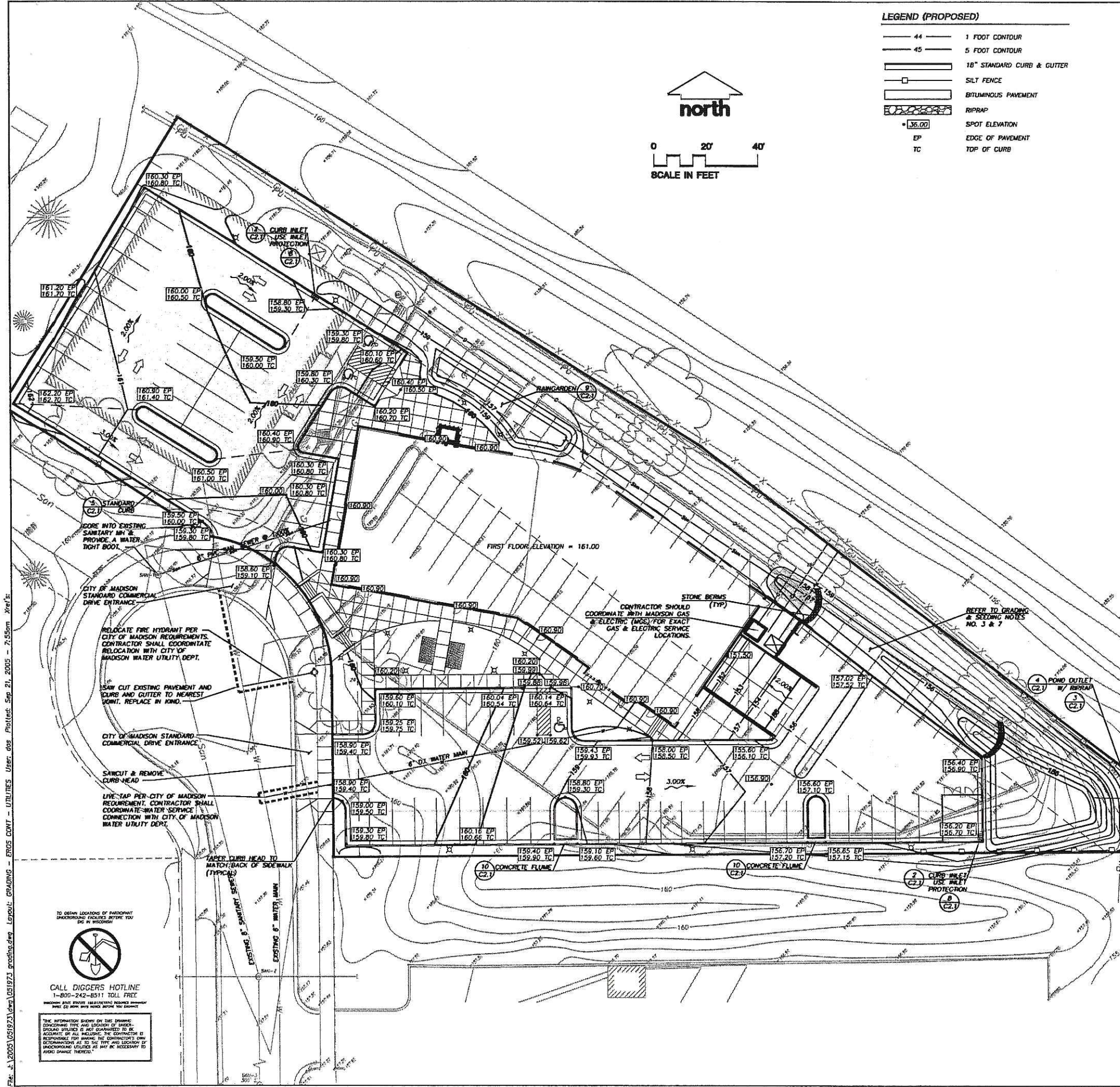


V04-33 Site Notes - 1



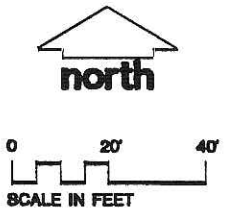
- DEMOLITION NOTES/LEGEND:**
- ▲ Remove existing building and foundations.
  - ▲ Remove existing asphalt pavement.
  - ▲ Remove concrete curb and sidewalk.
  - ▲ Remove existing trees.
  - ▲ Remove concrete curb and sidewalk as required for new curb cut.
  - ▲ Retain existing hydrant. See utility plan.

V04-33 Site Notes 1-E



**LEGEND (PROPOSED)**

— 44 —	1 FOOT CONTOUR
— 45 —	5 FOOT CONTOUR
—	18" STANDARD CURB & GUTTER
□	SILT FENCE
▨	BITUMINOUS PAVEMENT
▩	RIPRAP
• 36.00	SPOT ELEVATION
EP	EDGE OF PAVEMENT
TC	TOP OF CURB



- GENERAL NOTES**
- REFER TO SHEET C-1.0 FOR EXISTING CONDITIONS NOTES AND LEGEND.
  - NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION.
  - ALL WORK IN THE ROW AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION.
- CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS**
- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE STORM WATER MANAGEMENT TECHNICAL STANDARDS (REFERRED TO AS BMP'S). IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS.
  - INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO BMP'S.
  - INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
  - INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
  - EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.
  - INSTALL A TRACKING PAD, 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE. TRACKING PADS ARE TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED BY THE CITY OF MADISON.
  - INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES.
  - INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES IN ACCORDANCE WITH BMP'S.
  - EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
    - PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
    - BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
    - DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH BMP'S PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
  - STONE CHECK DAMS SHALL BE PLACED IN FRONT OF SILT FENCING IN ANY LOW AREA.
  - APPLY ANIONIC POLYMER TO DISTURBED AREAS IF EROSION BECOMES PROBLEMATIC.
  - ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, AND/OR ENGINEER SHALL BE INSTALLED WITHIN 24 HOURS.

- UTILITY NOTES**
- DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
  - IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
  - LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
  - ALL CONSTRUCTION SIGNING TO BE IN ACCORDANCE WITH THE CITY OF MADISON AND WISCONSIN DEPARTMENT OF TRANSPORTATION REQUIREMENTS.
  - ALL SANITARY SEWER PIPES WITHIN THE R.O.W. SHALL BE PVC PIPE CONFORMING TO ASTM D3034.
  - MAINTAIN A 10'-FOOT MINIMUM HORIZONTAL SEPARATION BETWEEN THE SANITARY SEWER AND WATERMAINS. PROVIDE 18" MINIMUM VERTICAL SEPARATION WHERE SEWER CROSSES OVER WATER.
  - THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED.
  - GRANULAR BACKFILL MATERIALS ARE REQUIRED IN ALL UTILITY TRENCHES UNDER SIDEWALKS AND PROPOSED PAVED AREAS. ALL UTILITY TRENCH BACKFILL SHALL BE COMPACTED PER SPECIFICATIONS.
  - RESTORATION OF THE EXISTING ROADWAY RIGHT-OF-WAYS ARE CONSIDERED INCIDENTAL AND SHOULD BE PART OF THE COST OF THE UNDERGROUND IMPROVEMENTS AND SHOULD INCLUDE CURB & GUTTER, SIDEWALK, TOPSOIL, FERTILIZER, SEEDING AND MULCHING.
  - THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND WISCONSIN DOT, DCOM, AND WISCONSIN DNR.
  - PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
    - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
    - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
    - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
    - NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
    - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION.
  - THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
  - THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
  - ANY SANITARY SEWER, SANITARY SEWER LATERALS, WATERMAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AND AT THE CONTRACTOR'S EXPENSE.
  - CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
  - CONTRACTOR SHALL NOTIFY CITY OF MADISON PUBLIC WORKS A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES.
  - HYDRANTS AND HYDRANT VALVES SHALL BE LOCATED WITHIN THE TERRACE.
  - ALL PRIVATE SANITARY BUILDING SEWER PIPE AND TUBING SHALL CONFORM TO COMM 84.30-3.
  - ALL PRIVATE STORM BUILDING PIPE AND TUBING SHALL CONFORM TO COMM 84.30-6.
  - ALL PRIVATE PIPE AND TUBING FOR WATER SERVICE SHALL CONFORM TO COMM 84.30-7.

- PAVING NOTES**
- ALL PAVING SHALL CONFORM TO "STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION," APPLICABLE TO THE CITY OF MADISON ORDINANCES.
  - MINIMUM PAVEMENT DESIGN TO BE DETERMINED BY GEOTECHNICAL ENGINEER BASED UPON GEOTECHNICAL REPORT.
- GRADING AND SEEDING NOTES**
- ALL DISTURBED AREAS SHALL BE SEEDING AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SEED MIX TO BE IN ACCORDANCE WITH CITY OF MADISON REQUIREMENTS.
  - CONTRACTOR TO USE A SEEDING RATE OF 2 LBS. PER 1000 S.F. FOR TURF AREAS.
  - ALL SLOPES EXCEEDING 5:1, CONVEYING STORMWATER RUNOFF SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING OR APPLICATION OF A WOOD APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED. CONTRACTOR SHALL PROVIDE PRODUCT SPECIFICATIONS TO PROJECT ENGINEER FOR APPROVAL.
  - ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
  - CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES WITH SILT FENCING FOR EROSION CONTROL UNTIL CONSTRUCTION IS COMPLETED.
  - CONTRACTOR SHALL SCARIFY ALL COMPACTED PERVIOUS AREAS PRIOR TO SEEDING AND MULCHING.
  - CONTRACTOR SHALL CHISEL-PLow OR DEEP TILL WITH DOUBLE TINES THE SWALES AND DETENTION AREAS JUST PRIOR TO SEEDING TO PROMOTE INFILTRATION.
  - CONTRACTOR SHALL WATER ALL NEWLY SEEDING AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
  - DETENTION POND SHALL BE SEEDING USING "DETENTION BASIN WET PRAIRIE MIX" AS DISTRIBUTED BY PRAIRIE NURSERY (OR APPROVED EQUAL). CONTRACTOR SHALL USE A SEEDING RATE OF 10 lbs. PER ACRE.
  - CONTRACTOR TO LINE DRAINAGE SWALES WITH CLASS II, TYPE B EROSION MAT.

**JSD - Engineers - Surveyors**  
**Jenkins Survey & Design, Inc.**

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 • CONSTRUCTION MANAGEMENT

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PREPARED FOR:  
**ARCHITECTURAL DESIGN CONSULTANTS INC.**  
 161 HORIZON DRIVE  
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PROJECT:  
**SCHROEDER COURT DEVELOPMENT**

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ITEM	DATE
Drawn: JHP	09/19/05
Checked: DGS	09/20/05
Approved: NPL	09/20/05
City of Madison Submittal	09/21/05

SEAL/SIGNATURE

SHEET TITLE:  
**EROSION CONTROL GRADING & UTILITY PLAN**

SHEET NUMBER:  
**C-2.0**

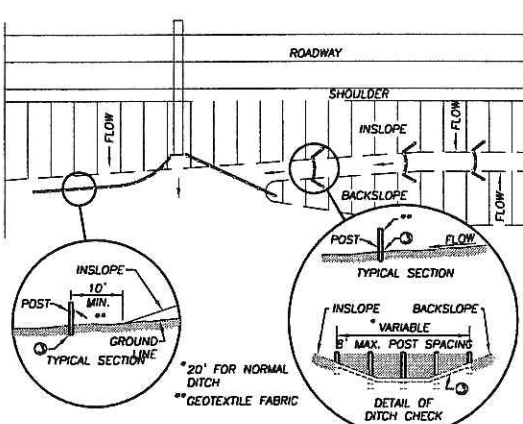
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TO OBTAIN LOCATIONS OF PARTICIPANT UNDERGROUND UTILITIES BEFORE YOU EXCAVATE:

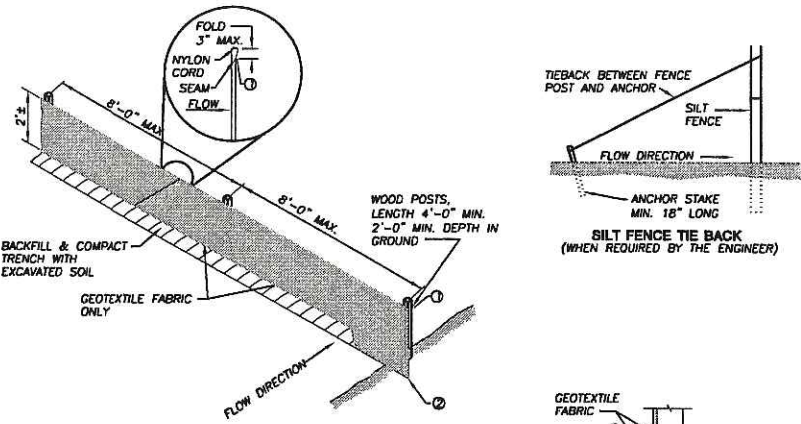
**CALL DIGGERS HOTLINE**  
 1-800-242-8511 TOLL FREE

THE INFORMATION SHOWN ON THIS DRAWING IS THE PROPERTY OF THE ENGINEER. IT IS TO BE USED ONLY FOR THE PROJECT AND LOCATION SPECIFICALLY IDENTIFIED. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. ANY CHANGES TO THE DRAWING OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.



PLAN VIEW  
TYPICAL APPLICATIONS OF SILT FENCE

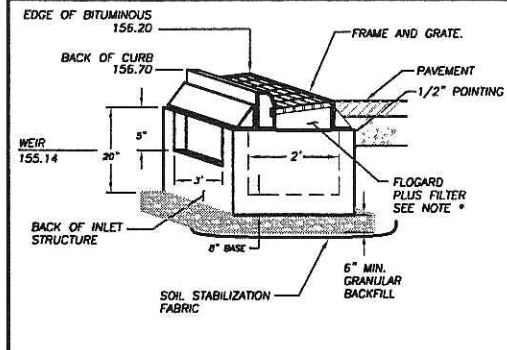
1 SILT FENCE  
C-2.0 N.T.S.



DETAIL OF CONSTRUCTION NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND APPLICABLE SPECIAL PROVISIONS.

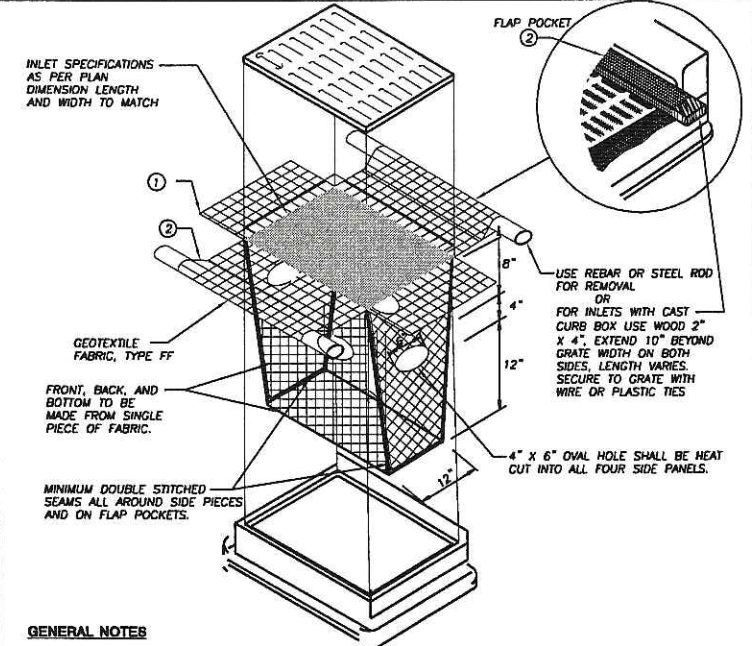
- HORIZONTAL BRACE WITH 2" x 4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS.
- TRENCH SHALL BE A MINIMUM OF 4" WIDE AND 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC, FOLD MATERIAL TO FIT TRENCH AND BACKFILL AND COMPACT TRENCH WITH EXCAVATED SOIL.
- WOOD POSTS SHALL BE A MINIMUM SIZE OF 1 1/8" x 1 1/8" OF OAK OR HICKORY.
- SILT FENCE TO EXTEND ACROSS THE TOP OF PIPE.

NOTE: ADDITIONAL POST DEPTH OR TIE BACKS MAY BE REQUIRED IN UNSTABLE SOILS



INSTALL FLOGARD PLUS CATCH BASIN FILTER INSERT, MANUFACTURED BY KRISTAR ENTERPRISES, INC. OR EQUIVALENT, IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS, RECOMMENDATIONS AND SPECIFICATIONS. DETAILED INFORMATION REGARDING MAINTENANCE AND FILTER REPLACEMENT CAN BE FOUND AT WWW.KRISTAR.COM, OR BY CALLING KRISTAR INDUSTRIES AT (800) 579-8819.

2 CURB INLET (2'X3')  
C-2.0 N.T.S.



GENERAL NOTES

INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.

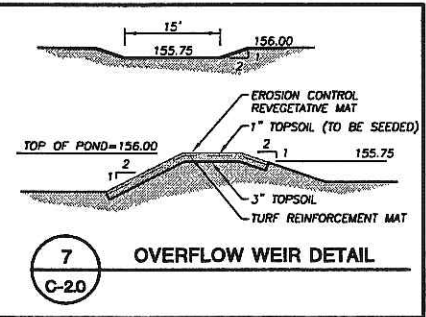
MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

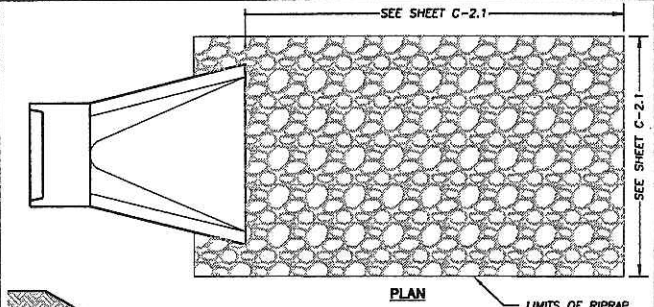
FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.

FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.

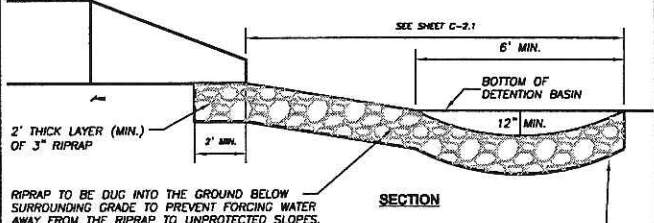
8 INLET PROTECTION, TYPE D  
C-2.0 N.T.S.



7 OVERFLOW WEIR DETAIL  
C-2.0



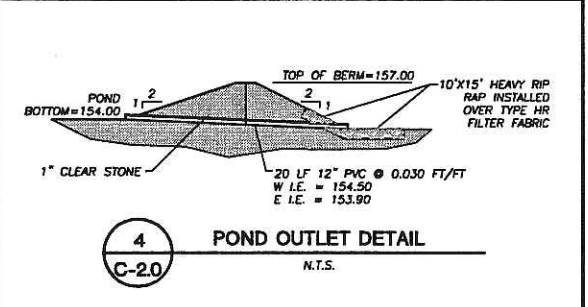
PLAN



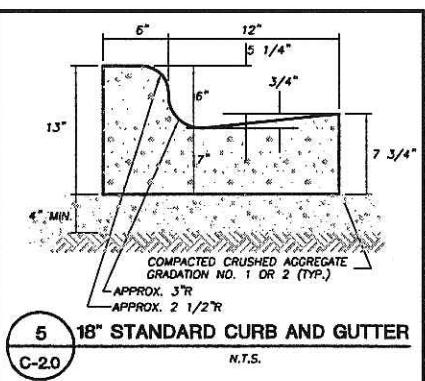
SECTION

TYPE R GEOTEXTILE FABRIC SHALL MEET REQUIREMENTS OF STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, EDITION 1996, SECTION 606 AND SUPPLEMENTAL SPECIFICATIONS, 2002 EDITION.

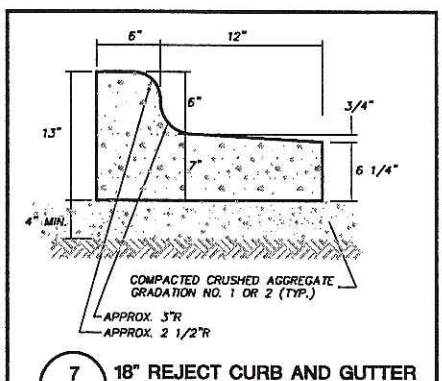
3 RIPRAP DETAIL  
C-2.0 N.T.S.



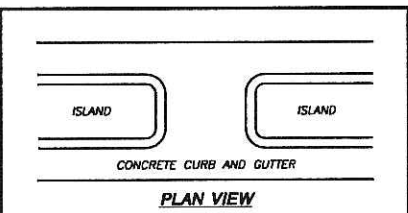
4 POND OUTLET DETAIL  
C-2.0 N.T.S.



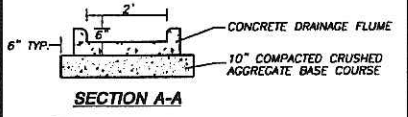
5 18\"/>



7 18\"/>

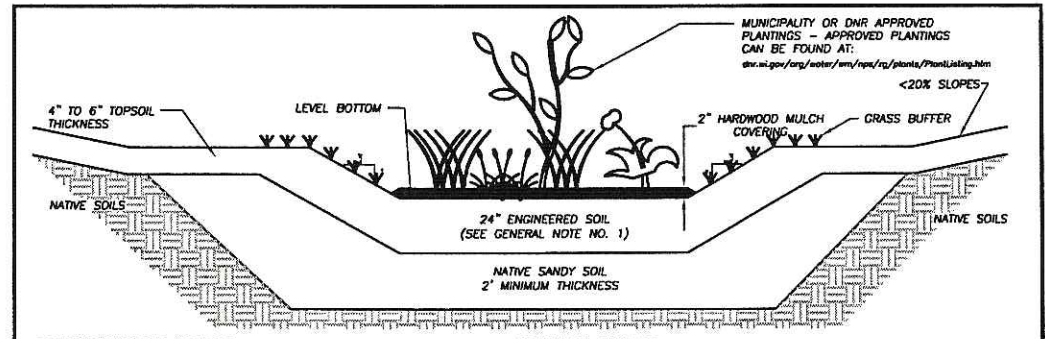


PLAN VIEW



SECTION A-A

10 CONCRETE FLUME  
C-2.0 N.T.S.



CONSTRUCTION NOTES

- CONTRACTOR SHALL OVER EXCAVATE RAIN GARDENS TO A MINIMUM DEPTH OF 2- FEET BELOW FINISH GRADE AND 4\"/>
- IF CLAY IS ENCOUNTERED DURING RAIN GARDEN CONSTRUCTION (CLAY BEING DEFINED AS ANY SOIL THAT HAS >40% FINES PASSING A NO. 200 SIEVE ANALYSIS), THE CONTRACTOR SHALL EXCAVATE, REMOVE AND REPLACE WITH CLEAN ON-SITE SAND/TOPSOIL MIX TO A DEPTH OF 5 FEET BELOW THE LOWEST ELEVATION OF THE RAIN GARDEN, OR AS APPROVED BY THE ENGINEER, SO THAT THE RAIN GARDEN IS HYDRAULICALLY CONNECTED TO ACCEPTABLE PERMEABLE LAYER.
- RAIN GARDEN SUBBASE SHALL BE INSPECTED AND APPROVED BY THE ENGINEER PRIOR TO PLACEMENT OF SANDY AND ENGINEERED SOIL MIXES.
- CONTRACTOR SHALL USE CONSTRUCTION MEANS AS NOT TO COMPACT RAIN GARDEN AREAS.
- RAIN GARDEN BORING DEPTH SHALL BE DEFINED ON GRADING DETAIL PLAN SHEET AS ESTABLISHED BY ENGINEER.

GENERAL NOTES

- OWNER MUST CONSULT LANDSCAPE ARCHITECT OR ECOLOGICAL PLANNING AGENCY FOR APPROPRIATE PLANTS AND PLANTING CONFIGURATIONS.
- CONTRACTOR SHALL INSTALL 24\"/>
- CERTIFIED COMPOST SHALL CONSIST OF: >40% ORGANIC MATTER, <5% ASH CONTENT, pH OF 6-8, AND MOISTURE CONTENT OF 35-50% BY WEIGHT.
- RAIN GARDEN MIXES MUST INCLUDE MULCH AND REVEGETATED BY OWNER TO RESTORE ORIGINAL INFILTRATION RATES.
- ANNUAL RYE/GRASS SHALL BE SEEDING AT 5 LB/ACRE WITH THE SEED MIX IN THE AREAS SURROUNDING RAIN GARDEN, ON SLOPE SLOPES OF RAIN GARDEN, AND OVER ANY LAND THAT DISCHARGES INTO THE RAIN GARDEN FOR EROSION CONTROL.
- STRAW MULCH SHALL BE PLACED IN THE RAIN GARDEN AREAS THAT HAVE BEEN NEWLY SEEDING USING WISCONSIN DOT SPECIFICATION 827.3.2.1 (METHOD A) LOCATED IN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION.
- ALL WORK TO BE CONDUCTED IN CONFORMANCE WITH THE STORM WATER MANAGEMENT PLAN FOR THE PROJECT SITE AS APPROVED BY THE CITY ENGINEER.

9 RAIN GARDEN CROSS SECTION  
C-2.0 N.T.S.

**JSD** Engineers • Surveyors  
**Jenkins Survey & Design, Inc.**

MADISON REGIONAL OFFICE  
161 Horizon Drive  
Suite 101  
Verona, Wisconsin 53593  
(608) 848-5060

MILWAUKEE REGIONAL OFFICE  
N22 W22831 Nancy Court  
Suite 3  
Waukeesa, Wisconsin 53186  
(262) 513-0666

PREPARED FOR:  
**ARCHITECTURAL DESIGN CONSULTANTS, INC**  
161 HORIZON DRIVE  
VERONA, WI 53593

PROJECT  
**SCHROEDER COURT DEVELOPMENT**

Although every effort has been made in preparing these plans and checking them for accuracy, the contractor and subcontractors must check all details and dimensions of their trade and be responsible for the same.

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ITEM	DATE
Drawn: JNF	09/19/05
Checked: BOS	09/20/05
Approved: HPU	09/20/05
City of Madison Submitter	09/21/05

SCALE/SIGNATURE

SHEET TITLE  
**DETAILS**

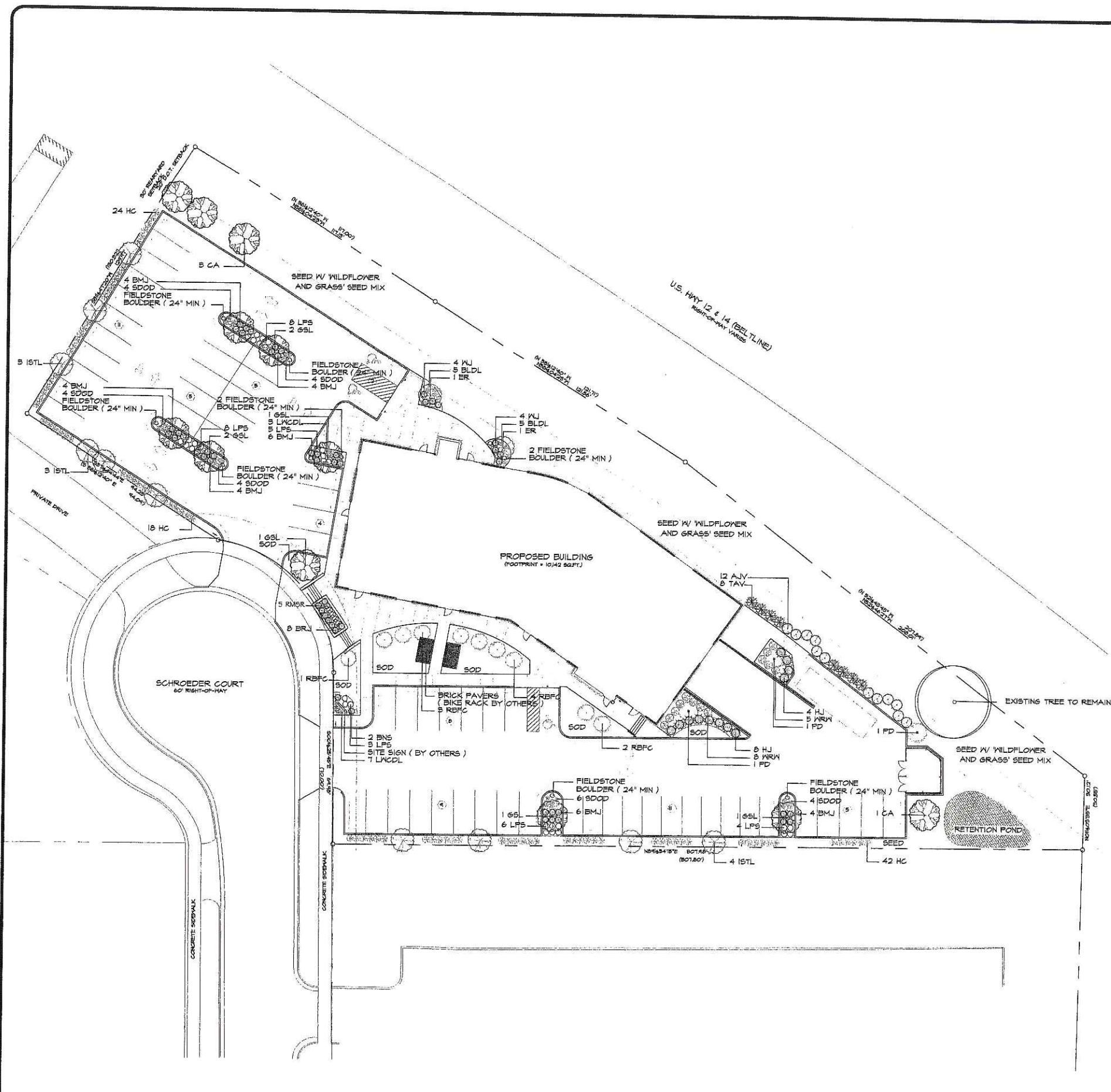
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JSD PROJECT NUMBER  
05-1973

JSD PROJECT FILE  
2

SCALE  
NOT TO SCALE

File: J:\2005\051973\051973\_details.dwg Layout: DETAILS User: dos Plotfile: Sep 21, 2005 - 7:52am xref:s



**\* PLANTING SCHEDULE**

SYMBOL	PLANT NAME	QUANTITY	SIZE
CA	SHADE & ORNAMENTAL TREES CINNAMON ASH	4	2" BB
ER	EASTERN REDBUD	2	6" BB
68L	GREENSPIRE LINDEN	8	2" BB
18TL	IVORY SILK TREE LILAC	10	2" BB
PD	PASODA DOGWOOD	8	6" BB
RBFC	RED BARON FL. CRABAPPLE	10	2" BB
AJV	DECIDUOUS SHRUBS AUTUMN JAZZ VIBURNUM	12	8" BB
HC	HEDGE COTONEASTER	84	24" C6
LPS	LITTLE PRINCESS SPIREA	34	18" C6
RMR	RED WEDGELAND SHRUB ROSE	5	18" C6
WRN	KINE & ROSES WEIGELA	15	18" C6
BMJ	EVERGREEN TREES & SHRUBS BROADMOOR JUNIPER	32	18" BB
BNS	BIRD'S NEST SPRUCE	2	18" BB
BRJ	BLUE RUG JUNIPER	8	18" BB
HJ	HUGHES JUNIPER	12	18" BB
TAV	TECHNEY ARBOR VITAE	8	4" BB
KU	WISCONSIN JUNIPER	8	18" BB
BLDL	PERENNIALS BELA LUGOSI DAYLILY	10	1 GAL
LAGDL	LITTLE WINE CUP DAYLILY	10	1 GAL
SDOO	STELLA D'ORO DAYLILY	26	1 GAL

**\* PLAN NOTES**

A) FOUNDATION AND PARKING LOT ISLAND PLANTINGS TO RECEIVE #2 'BARABOO' WASHED GRAVEL. SPREAD TO A 2-3" DEPTH OVER FABRIC WEED BARRIER AND EDGED WITH VALLEY VIEW 'BLACK DIAMOND' BED EDGINGS.

B) SPECIMEN PLANTINGS AND PERIMETER SHRUB GROUPINGS TO RECEIVE MULCH RINGS AND MULCH BEDS OF HARDWOOD SHREDDED BARK MULCH SPREAD TO A 3-4" DEPTH OVER FABRIC WEED BARRIER. MULCH RINGS TO BE 4' DIAMETER AND MULCH BEDS TO BE 4' WIDE. ALL EDGES WILL BE SPARED TO A 4" DEPTH.

C) ALL LAWN AREAS NOTED AS 'SOD' TO BE FINE GRADED SODDED W/ PREMIUM BLUEGRASS SOD AND FERTILIZED W/ 10-10-10 FERTILIZER AT A RATE OF 1# N / 1,000 SF.

D) DISTURBED AREAS BETWEEN PARKING / BUILDING FOUNDATION & BELTLINE HIGHWAY RIGHT-OF-WAY TO BE FINE GRADED AND SEEDED W/ REINDERS 'WILDFLOWER AND GRASS SEED MIX' AT A RATE OF 1# / 1,000 SF, FERTILIZED W/ 10-10-10 FERTILIZER AT A RATE OF 1# N / 1,000 SF AND COVERED W/ CHOPPED WHEAT STRAW MULCH AT A 1/2" DEPTH.

E) REMAINING LAWN AREAS TO BE FINE GRADED, SEEDED W/ REINDERS 'DELUXE 50' SEED BLEND AT A RATE OF 3# / 1,000 SF, FERTILIZED W/ 10-10-10 FERTILIZER AT A RATE OF 1# N / 1,000 SF AND COVERED W/ CHOPPED WHEAT STRAW MULCH AT A 1/2" DEPTH.

F) RETENTION PONDS TO BE FINE GRADED, SEEDED W/ REINDERS 'WISCONSIN NATIVE WETLAND' SEED MIX AT A RATE OF 1/4# / 1,000 SF, FERTILIZED W/ 10-10-10 FERTILIZER AT A RATE OF 1# N / 1,000 SF AND COVERED W/ 'CURLX' EROSION CONTROL MATTING.

G) BRICK PAVERS TO BE 'DESERT SAND' TUMBLED HOLLAND PAVERS, MANUFACTURED BY COUNTY MATERIALS CORP., INSTALLED OVER A 6" COMPACTED GRAVEL BASE, 'ENVIROBOND' JOINT STABILIZING SAND TO BE SWEPT BETWEEN PAVEMENT JOINTS UPON INSTALLATION, PAVERS TO BE EDGED W/ 'DIAMOND LOK' PAVEMENT EDGINGS.

**CITY OF MADISON LANDSCAPING REQUIREMENTS**

REQUIREMENT	POINTS	
REGULAR PARKING STALLS	50	
PHYSICALLY HANDICAPPED STALLS	10	
TOTAL PARKING STALLS	60	
CRITERIA		
3 TREES REQUIRED		
285 LANDSCAPE POINTS REQUIRED		
<b>SOLUTION</b>		
5 CANOPY TREE	● 95 PTS	485
15 EVERGREEN SHRUB	● 5 PTS	46
116 DECIDUOUS SHRUB	● 2 PTS	236
<b>TOTAL POINTS</b>		<b>767</b>

STATE LAW REQUIRES YOU TO NOTIFY OWNERS AND OPERATORS OF TRANSPORTATION FACILITIES AT LEAST THREE WORKING DAYS BEFORE YOU DIG.

**DIGGERS HOTLINE**

TOLL-FREE 1-800-242-8811

REVISIONS


**BADGER LANDSCAPE, LLC**  
 LANDSCAPE ARCHITECT  
 JAY GEHLER, ASLA  
 SUN PRAIRIE, WI 53590  
 JGEHLER@AOL.COM

PRELIMINARY LANDSCAPE PLAN  
 SCHROEDER COURT DEVELOPMENT  
 SCHROEDER COURT, MADISON, WISCONSIN

CLIENT  
 ARCHITECTURAL DESIGN CONSULTANTS, INC.  
 161 HORIZON DRIVE, SUITE 102, VERONA, WI

DRAWN BY  
 JAY GEHLER, ASLA

SHEET  
 L1\*

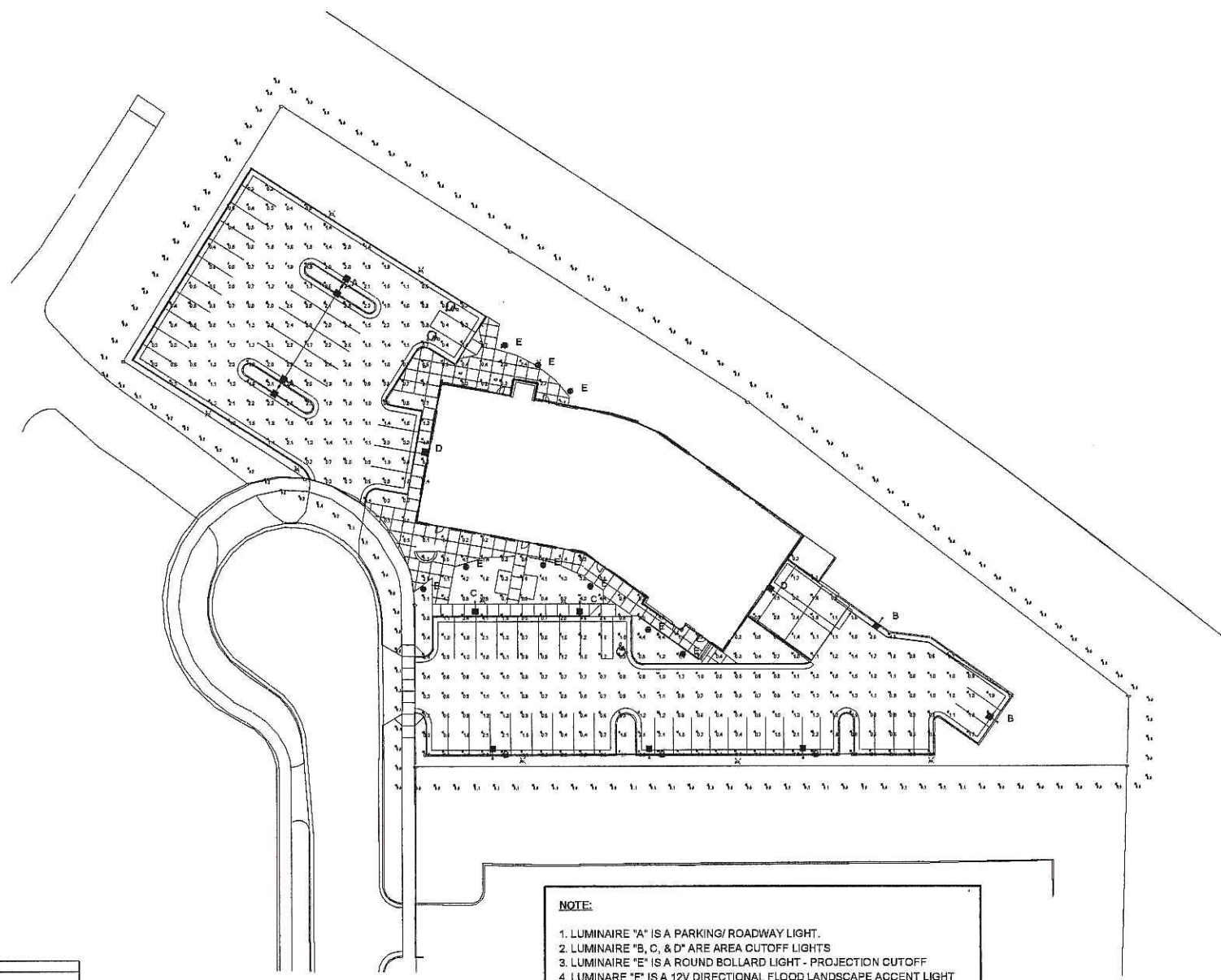
DATE  
 20 SEPTEMBER 2005

SCALE  
 1" = 20'

FILE  
 SCHROEDER.DWG

NORTH

**RUUD LIGHTING**



**NOTE:**

- LUMINAIRE "A" IS A PARKING/ ROADWAY LIGHT.
- LUMINAIRE "B, C, & D" ARE AREA CUTOFF LIGHTS
- LUMINAIRE "E" IS A ROUND BOLLARD LIGHT - PROJECTION CUTOFF
- LUMINAIRE "F" IS A 12V DIRECTIONAL FLOOD LANDSCAPE ACCENT LIGHT
- LIGHTING WILL BE CONTROLLED BY AN ADJUSTABLE TIMER LOCATED IN THE BUILDING ELECTRICAL ROOM

Symbol	Qty	Label	Arrangement	Lumens	LLF	Description
⊙	4	A	SINGLE	12800	0.650	PR2417-M, 175W MH
⊙	8	B	SINGLE	12800	0.650	AC2417-M, 175W MH, SBL-18
⊙	2	C	SINGLE	8100	0.650	AC2416-M, 150W MH, SBL-18
⊙	2	D	SINGLE	8100	0.650	MAC2416-M, 150W MH, SBL-12
⊙	8	E	SINGLE	8000	0.650	HCD05-D, 50W MH
⊙	4	F	SINGLE	—	0.650	GL61-BK PAR 36, 50W MH

**ADDITIONAL EQUIPMENT:**  
 (5) PS4S22C1B2 - 4' x 22' SQ. STEEL POLE  
 (7) PS4S22C2B2 - 4' x 22' SQ. STEEL POLE

**MOUNTING HEIGHTS:**  
 A and B = 24.6' AFG  
 C = 14.6' AFG  
 D = 12' AFG

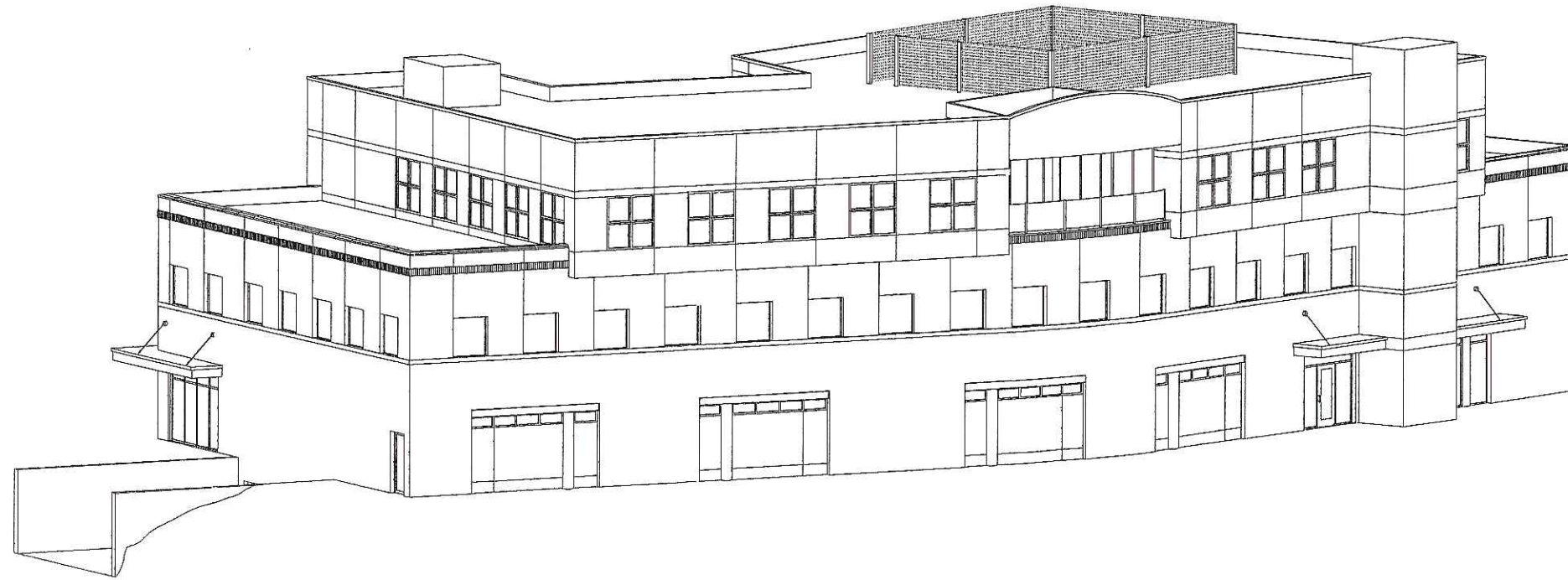
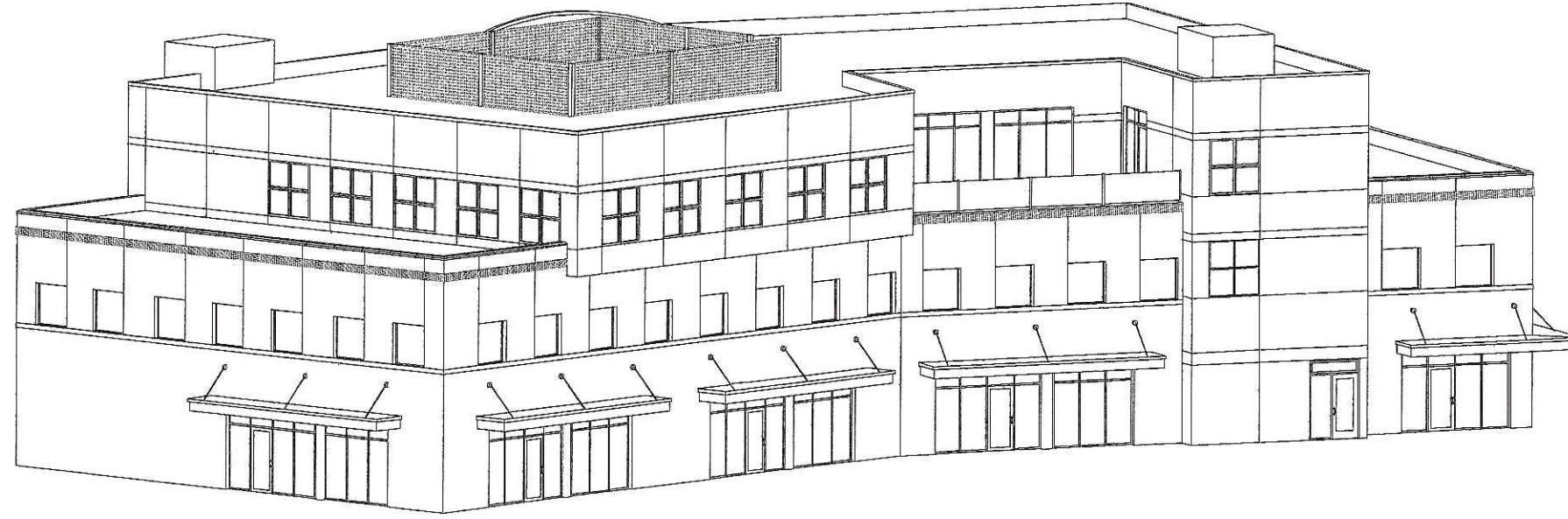
PROPOSED POLES MEET 120 MPH WINDS

LOWER LOT	UPPER LOT
Illuminance Values(Fc)	Illuminance Values(Fc)
Average =1.04	Average =1.35
Maximum =2.6	Maximum =3.4
Minimum =0.3	Minimum =0.3
Avg/Mn Ratio=3.47	Avg/Mn Ratio=4.50
Max/Mn Ratio=8.33	Max/Mn Ratio=11.33

10' FROM PROPERTY LINE ARE TAKEN FROM AFG

<b>RUUD LIGHTING</b>		Date: 8/2/05	Scale: 1"=30'	Drawn by: Chris Strom
800.236.7009 USA - www.ruudlighting.com - 905.671.1991 CAN		Project Name: 11806 - 28 SCHROEDER CT		
		Filename: 60906A01.DWG		
FOOTCANDLES CALCULATED AT GRADE** LUMEN MEAN LUMENS				
Name: Summary				
Project: All Projects				
Label	Avg	Max	Min	Max/Min
GRADE	1.26	7.1	0.34	21.00
10' FROM P.L.	0.02	0.4	0.00	0.00

Information re: this drawing on this lighting design are based on project parameters provided to Ruud Lighting used in conjunction with luminaires listed, procedures conducted under laboratory conditions. Actual project conditions affecting from these design parameters may affect final results. The customer is responsible for verifying compliance with any applicable electrical, lighting, or energy code.



**Preliminary Plans Not For Construction**

REV	DATE	DESCRIPTION

Cad Release Files  
V04-23 Layout Book 3A

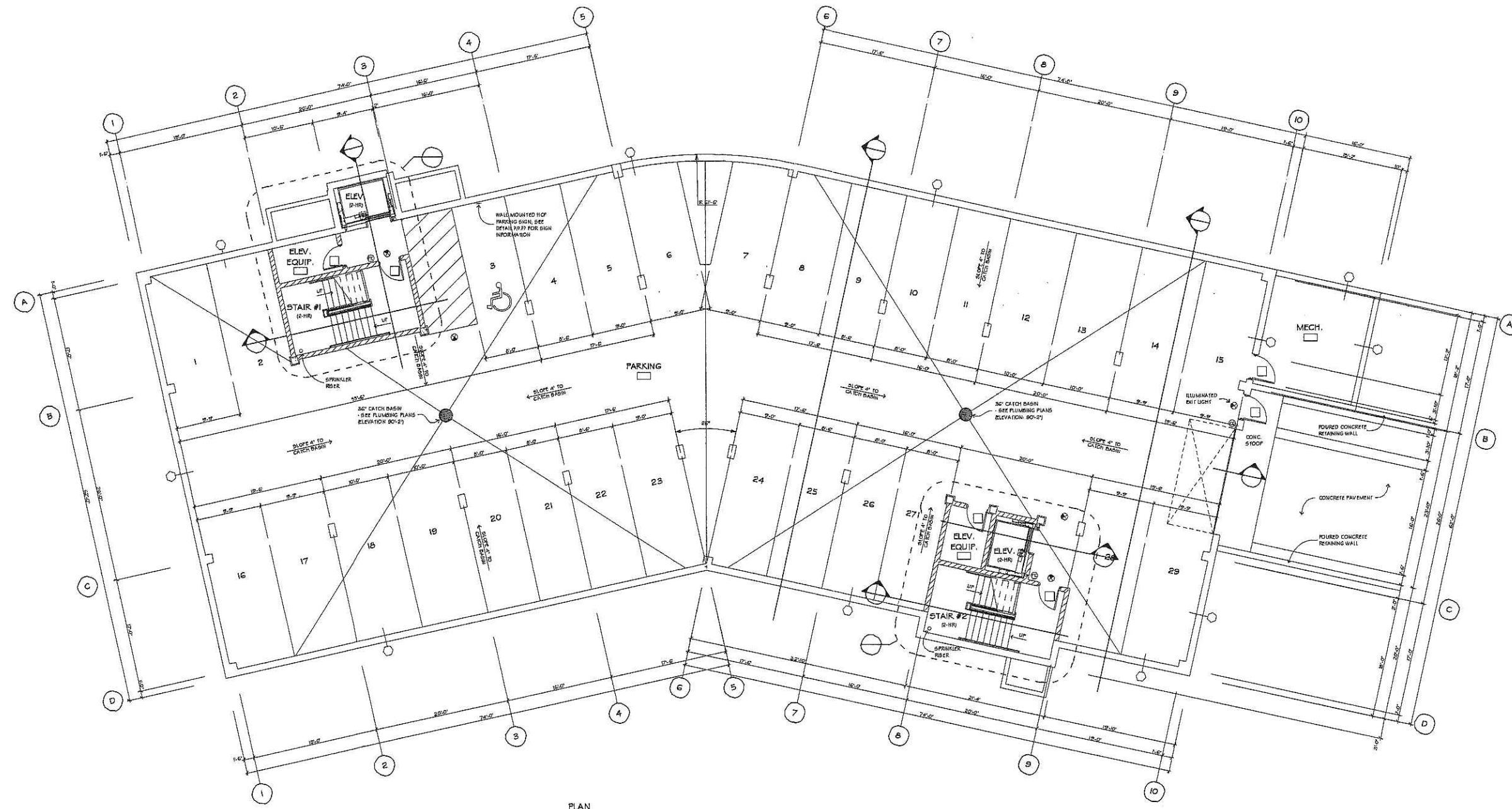
**ADCI**  
**Architectural Design Consultants Inc.**  
 161 Horizon Drive □ Suite 102  
 Verona, WI 53593  
 Phone: (608) 848-2324 Fax: (608) 848-5122  
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Madison Wisconsin  
 Schroeder Court Development  
 Axons

Drawn By: ADI Staff  
 Checked By: F. Schmidt  
 Date: Sep 19, 2005  
 Scale: As Noted  
 Job Number: V04-23

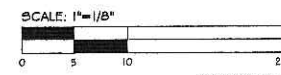
Sheet Number  
**P1.1**





**BASEMENT PLAN**

SCALE: 1/8" = 1'-0"



VD4-33 Date Notes - 2



*Preliminary Plans Not For Construction*

Madison  
Schroeder Court Development



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Basement Plan @ 1/8"

BY	DATE	DESCRIPTION

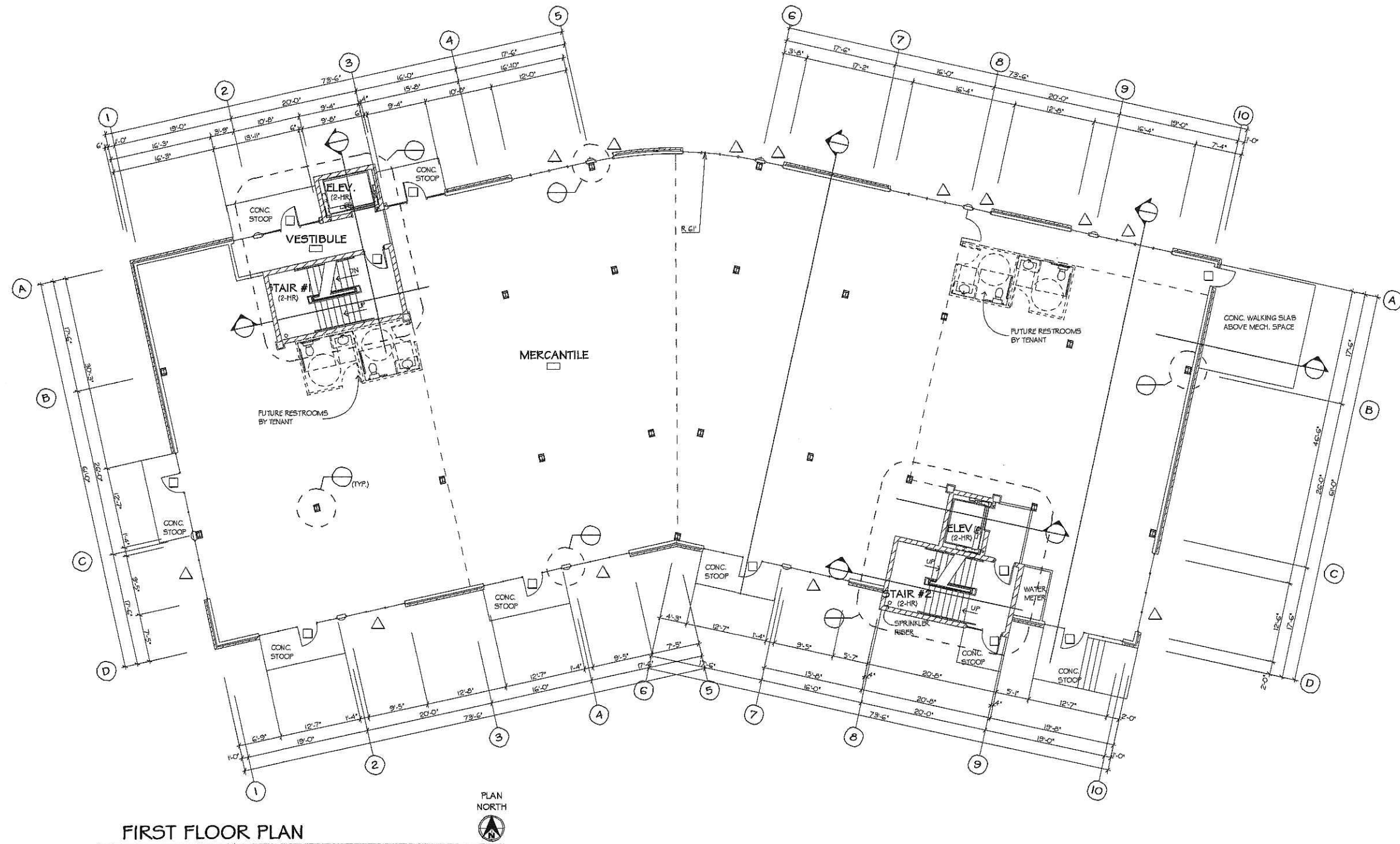
NO.	REVISION	DATE
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2		

VD4-23 Level Base Rm
VD4-33 Floor Plan pth
Basement Plan by
VD4-33 Basemat @ 1/8" pth

Ref Reference File

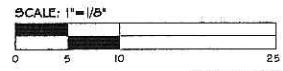
Drawn By: ADCI Staff  
Checked By: P. Schmidt  
Date: Sep 20, 2005  
Scale: As Noted  
Job Number: VD4-33

Shed Number
<b>A1.1</b>



**FIRST FLOOR PLAN**

SCALE: 1/8" = 1'-0"



**Preliminary Plans Not For Construction**



**Architectural Design Consultants Inc.**  
 161 Horizon Drive Suite 102  
 Verona, WI 53593  
 Phone: (608) 848-2324 Fax: (608) 848-5172

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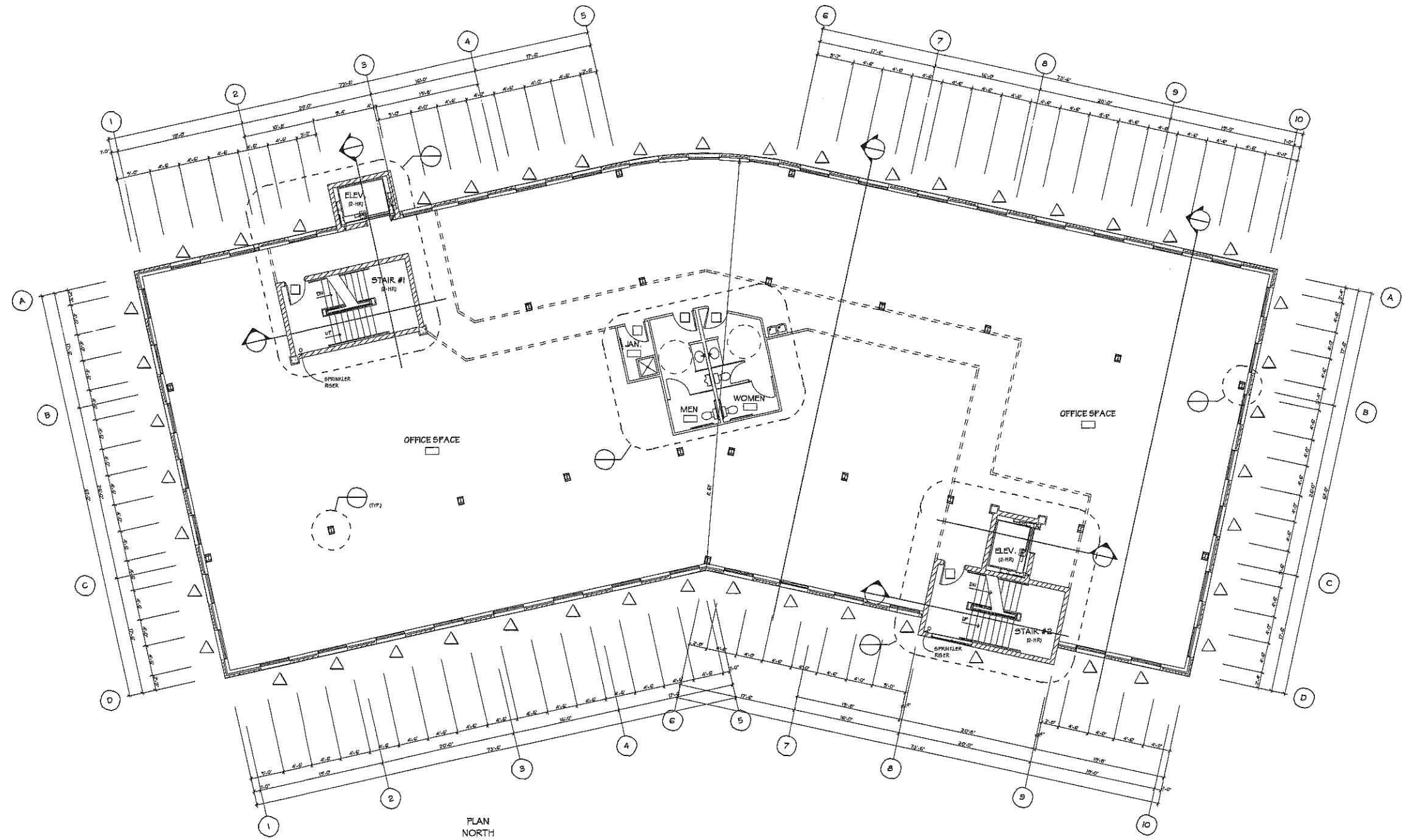
Madison Wisconsin  
 Schroeder Court Development  
 First Floor Plan @ 1/8"

Drawn By: ADCl Staff  
 Checked By: D. Kieler  
 Date: Sep 1, 2009  
 Scale: As Noted  
 Job Number: V04-33

Sheet Number  
**A1.2**

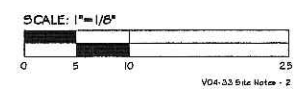
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Old Reference File:  
 V04-33 Layout Book #1  
 V04-33 Floor Plan #1  
 First Floor Plan by  
 V04-33 First Floor @ 1/8" = 1'-0"



**SECOND FLOOR PLAN**

SCALE: 1/8" = 1'-0"



**Preliminary Plans Not For Construction**

Schroeder Court Development

Madison

Wisconsin

Second Floor Plan @ 1/8"

**ADCI Architectural Design Consultants Inc.**  
161 Horizon Drive Suite 102  
Verona, WI 53593  
Phone: (608) 848-2324 Fax: (608) 848-5122



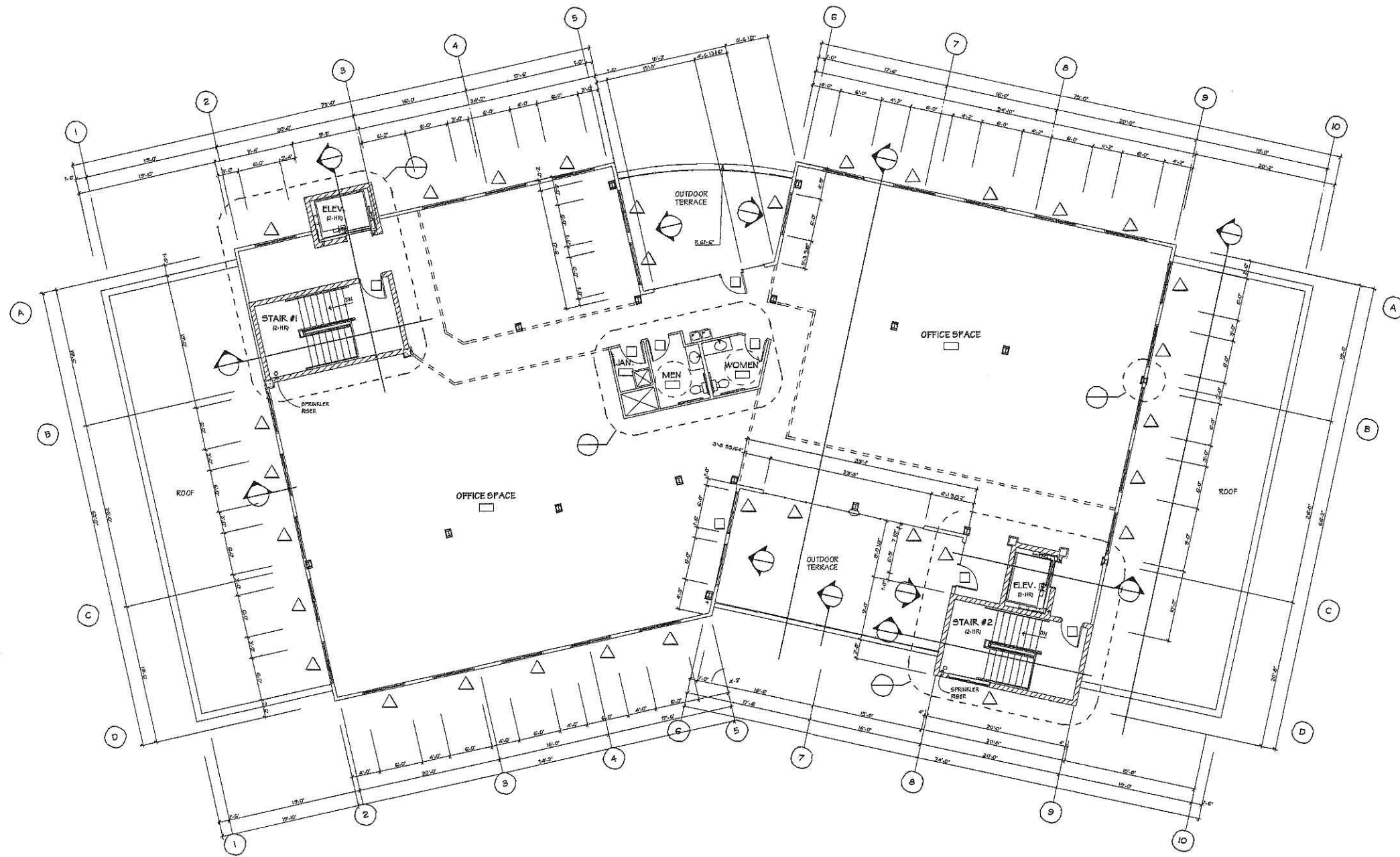
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NO.	DATE	DESCRIPTION

Call Reference File:  
V04-SS Layout Book in  
V04-SS Floor Plan.pdf  
Second Floor Plan by  
V04-SS Second Floor 1-8.dwg

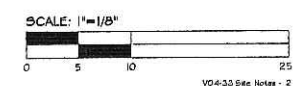
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Checked By: D. Kiefer  
Date: Sep 6, 2005  
Scale: As Noted  
Job Number: V04-SS

Sheet Number  
**A1.3**



**THIRD FLOOR PLAN**

SCALE: 1/8" = 1'-0"



*Preliminary Plans Not For Construction*

Madison  
 Schroeder Court Development  
 Wisconsin  
 Third Floor Plan @ 1/8"

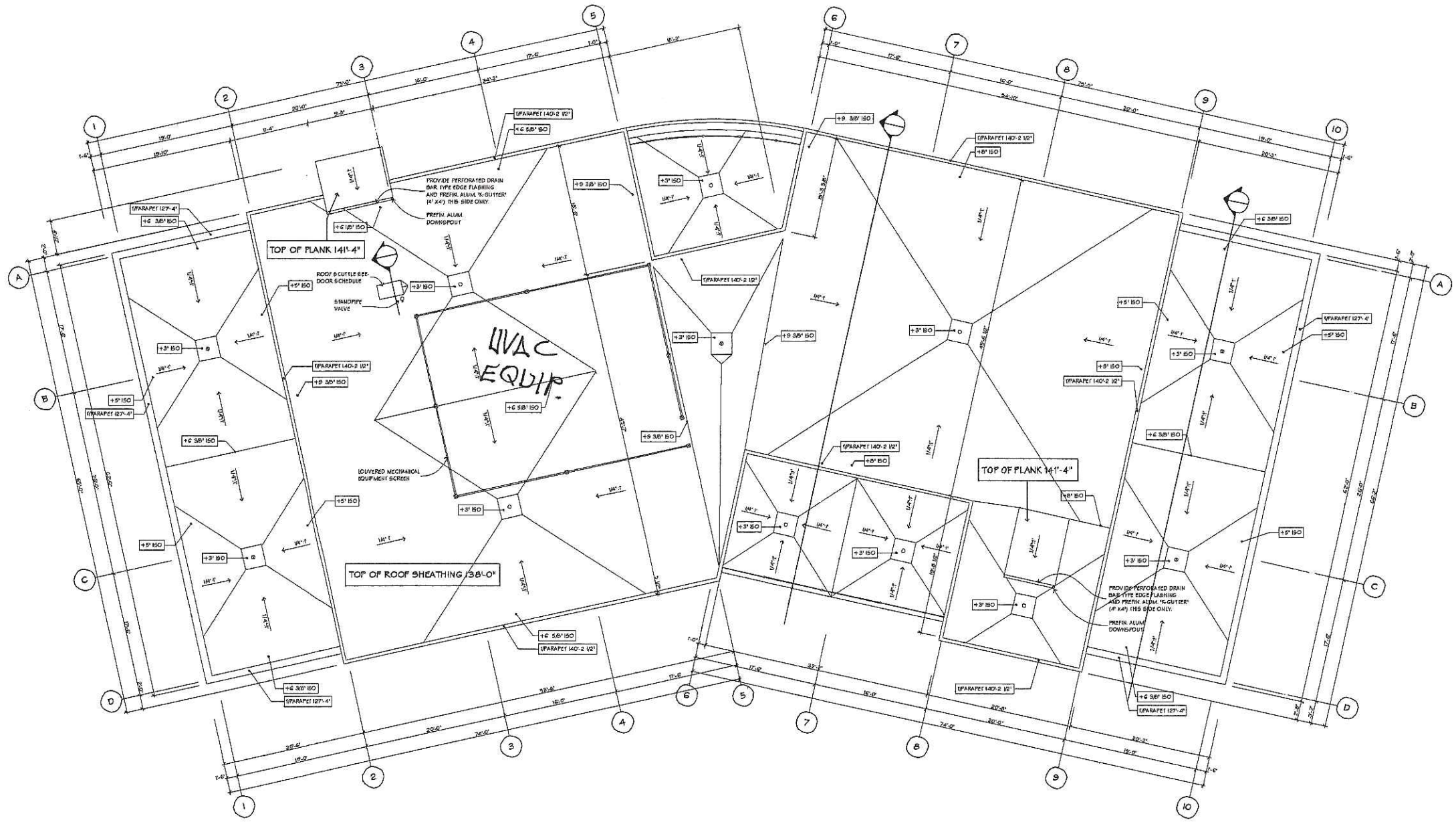
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 Checked By: D. Kueler  
 Date: Sep 1, 2005  
 Scale: As Noted  
 Job Number: VO4-33

Sheet Number:  
**A1.4**

REVISION	

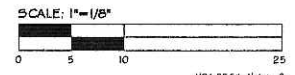
Dat Reference File  
 VO4-33 Layout Size: 24k  
 VO4-33 Floor Plan: 24k  
 Third Floor Plan  
 VO4-33 Third Floor @ 1/8"

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**ROOF PLAN**

SCALE: 1/8" = 1'-0"



**Preliminary Plans Not For Construction**

Madison  
 Schroeder Court Development  
 Wisconsin

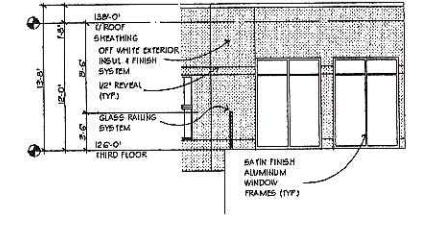
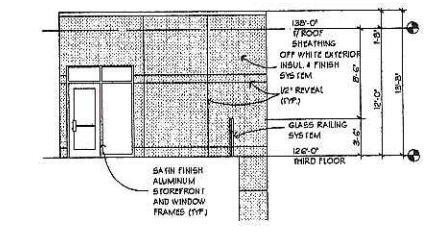
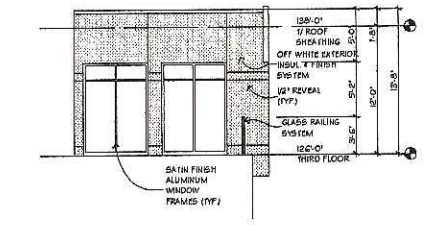
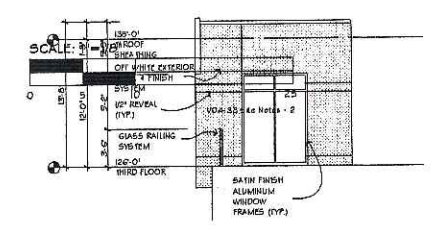
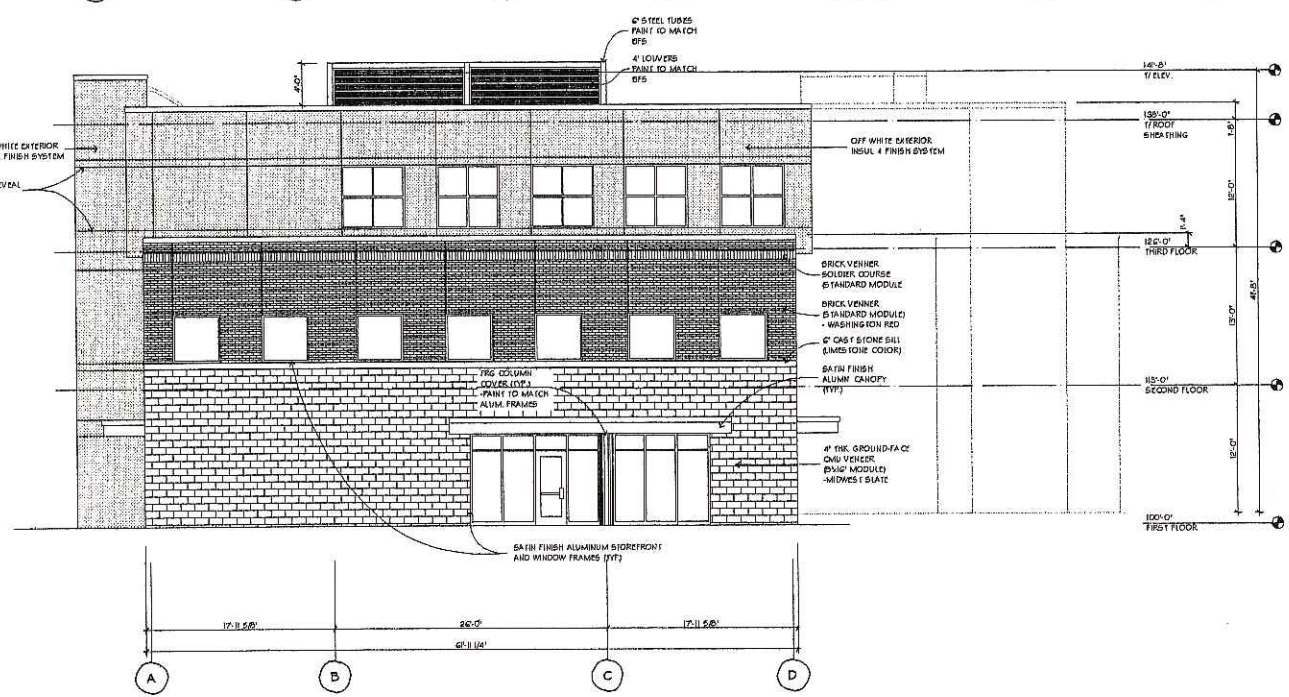
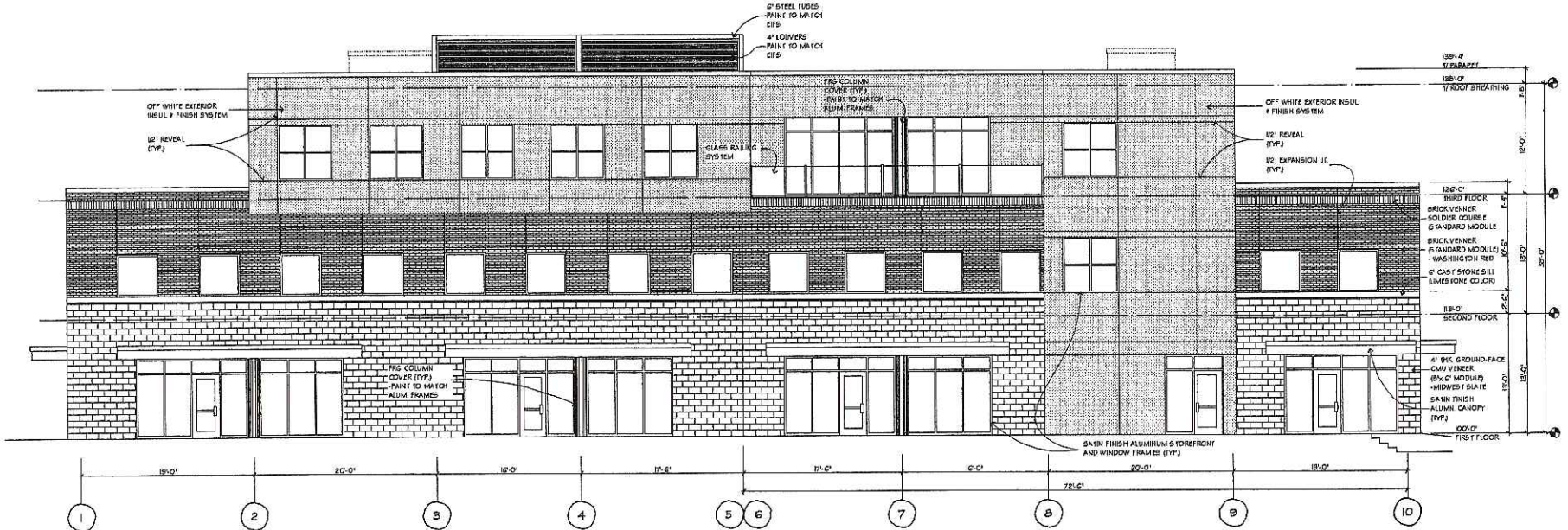
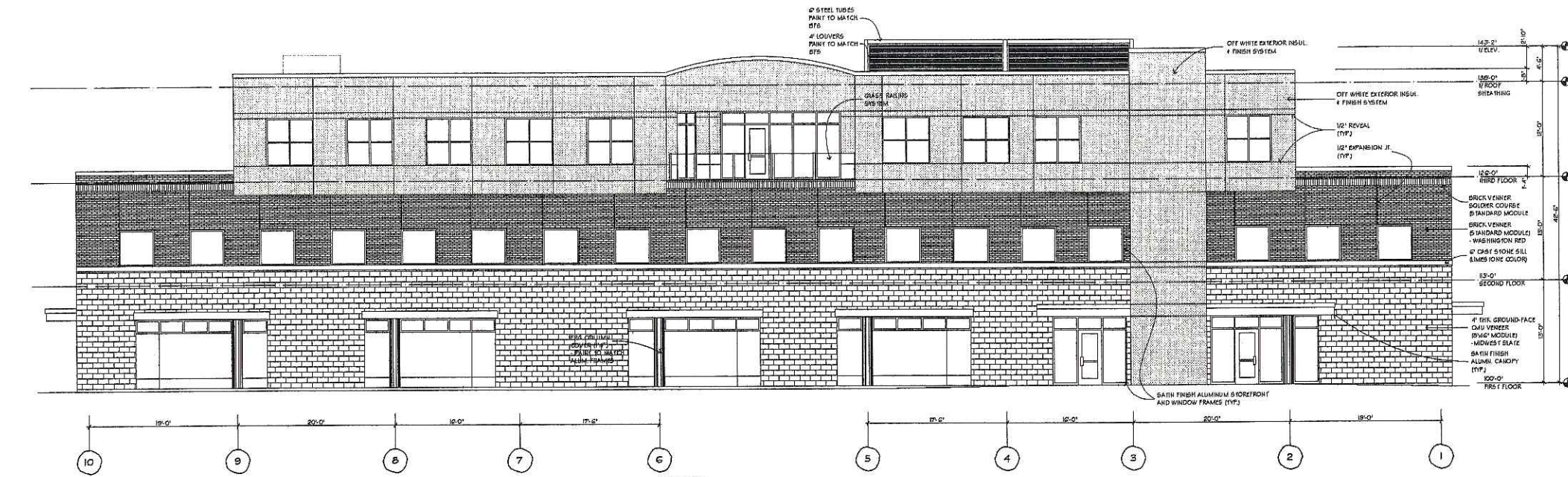
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Schroeder Court Development Pres Elevations

Madison Wisconsin

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