

URBAN DESIGN COMMISSION APPLICATION

UDC

City of Madison
Planning Division
Madison Municipal Building, Suite 017
215 Martin Luther King, Jr. Blvd.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635



FOR OFFICE USE ONLY:

Paid _____ Receipt # _____
Date received _____
Received by _____
Aldermanic District _____
Zoning District _____
Urban Design District _____
Submission reviewed by _____
Legistar # _____

Complete all sections of this application, including the desired meeting date and the action requested.

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.

1. Project Information

Address: _____

Title: _____

2. Application Type (check all that apply) and Requested Date

UDC meeting date requested _____

- New development Alteration to an existing or previously-approved development
 Informational Initial approval Final approval

3. Project Type

- Project in an Urban Design District
 Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
 Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
 Planned Development (PD)
 General Development Plan (GDP)
 Specific Implementation Plan (SIP)
 Planned Multi-Use Site or Residential Building Complex

Signage

- Comprehensive Design Review (CDR)
 Signage Variance (i.e. modification of signage height, area, and setback)

Other

- Please specify _____

4. Applicant, Agent, and Property Owner Information

Applicant name _____ Company _____

Street address _____ City/State/Zip _____

Telephone _____ Email _____

Project contact person _____ Company _____

Street address _____ City/State/Zip _____

Telephone _____ Email _____

Property owner (if not applicant) _____

Street address _____ City/State/Zip _____

Telephone _____ Email _____

5. Required Submittal Materials

- Application Form**
- Letter of Intent**
 - If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
 - For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.
- Development plans** (Refer to checklist on Page 4 for plan details)
- Filing fee**
- Electronic Submittal***

Same as Initial Approval submittal

Each submittal must include fourteen (14) 11" x 17" **collated** paper copies. Landscape and Lighting plans (if required) must be **full-sized and legible**. Please refrain from using plastic covers or spiral binding.

Both the paper copies and electronic copies must be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

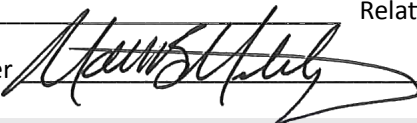
For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

**Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to udcapplications@cityofmadison.com. The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.*

6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with _____ on _____.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant _____ Relationship to property _____

Authorizing signature of property owner  Date 3/11/20

7. Application Filing Fees

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request:

- Urban Design Districts: \$350 (per §35.24(6) MGO).
- Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per §33.24(6)(b) MGO)
- Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO)
- Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO)
- All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

Types of Approvals

There are three types of requests considered by the UDC:

- Informational Presentation. Applicants may, at their discretion, request to make an Informational Presentation to the UDC prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Variance requests)
- Initial Approval. Applicants may, at their discretion, request initial approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information that should be addressed at Final Approval stage.
- Final Approval. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the initial approval must be addressed at this time.

Presentations to the Commission

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics.

When presenting projects to the UDC, applicants must fill out a registration slip provided in the meeting room and present it to the Secretary. Presentations should generally be limited to 5 minutes or as extended by motion by consent of the Commission. The Commission will withhold questions until the end of the presentation.

Applicants are encouraged to consider the use of various graphic presentation material including a locator map, photographs, renderings/model, scale drawings of the proposal in context with adjacent buildings/uses/signs, etc., as may be deemed appropriate to describe the project and its surroundings. Graphics should be mounted on rigid boards so that they may be easily displayed. **Applicants/presenters are responsible for all presentation materials, AV equipment and easels.**

URBAN DESIGN DEVELOPMENT PLANS CHECKLIST

The items listed below are minimal application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

1. Informational Presentation

- Locator Map
- Letter of Intent (If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan
- Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1"= 40' or larger

**** All plans must be legible, including the full-sized landscape and lighting plans (if required)**

2. Initial Approval

- Locator Map
- Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- Landscape Plan and Plant List (*must be legible*)
- Building Elevations in both black & white and color for all building sides (include material callouts)
- PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

3. Final Approval

All the requirements of the Initial Approval (see above), **plus:**

- Grading Plan
- Proposed Signage (if applicable)
- Lighting Plan, including fixture cut sheets and photometrics plan (*must be legible*)
- Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- PD text and Letter of Intent (if applicable)
- Samples of the exterior building materials (presented at the UDC meeting)

abbreviated submission requirements per initial approval UDC report. See electronic submission for UDC report.

Electronic submittal of this application includes original submission files which were initially approved on FEB 12

PD Text provided electronically, Letter of Intent provided electronically and printed.

4. Comprehensive Design Review (CDR) and Variance Requests (*Signage applications only*)

- Locator Map
- Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Variance criteria is required)
- Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- Illustration of the proposed signage that meets Ch. 31, MGO compared to what is being requested.
- Graphic of the proposed signage as it relates to what the Ch. 31, MGO would permit

Memorandum

Date 2/12/2020
Project Name Madison Public Market
Project Number 2019006MPM

To City of Madison Urban Design Commission
From **MSR Design**
510 Marquette Avenue South, Suite 200
Minneapolis, MN 55402
Cc: Brent Pauba – Project Manager at City Engineering

Re: UDC Final Submission

Introduction

Madison Public Market will be a year-round destination featuring a mix of private vendors offering fresh produce from local farmers, culturally diverse prepared food, locally-made food products, handcrafted arts and crafts, and other merchants. More than a retail facility, the Market will also include space for food-based business incubation. The core mission of the Madison Public Market is economic development. The Market aims to create a platform for a diverse mix of entrepreneurs to start businesses, with an emphasis on building on the Madison area's strengths in the food sector. More than just a place for food, however, the Madison Public Market will be a community gathering space that showcases local artists and musicians, offers unique community events, provides community classes, and supports a range of activities that bring the City together.

Location

Madison Public Market will be located at 200 N First St. Oriented on the corner lot of N. First and East Johnson, the site is currently occupied by the City's Fleet Service division. Functioning as a Service and Repair facility for fleet vehicles, the building and surrounding site are inherently utilitarian. Due to Fleet's growing need for an updated facility, the City is in process of designing a modernized Fleet facility to be located on Nakoosa Trail. Construction is anticipated to be complete by fall of 2020. Upon completion 200 N First St. will be fully vacated, then adaptively repurposed to accommodate Madison Public Market.

Existing Building

Originally constructed in 1953, and occupying a 3.34 acre site, the Fleet building is approximately 43,500 SF. Level 1, at 37,900 SF, includes three Service bays with an 18' clear height. Additional spaces occupy the mid-portion of the building. Directly above these spaces is a second story mezzanine that is approximately 5,600 SF. The mezzanine looks over two of the three bays. Fleet's exterior wall is composed of a 12" CMU block structural layer with a 2" EIFS cladding/insulation layer. Original exterior windows were replaced with an aluminum window system

in 1993. A 6" concrete floor slab capable of supporting large vehicle loads can be found throughout the building footprint. The building's roof was replaced in 2013 with a fully adhered EPDM membrane.

The Existing site has several outbuildings that will remain. One currently functions as a police evidence storage shed and will continue to do so into the foreseeable future. Access to this building will be through Madison Public Markets parking lot with security maintained via a new coated chain link fence. – it is anticipated that, once the police department vacates the structure, it could be repurposed as an expansion space for the market. The second structure to remain is a storage building used by Fleet Services. It is in excellent condition, and though no use is planned for it, it will be operated as a part of the Public Market and could be used as future expansion space. A third ancillary structure is the refueling depot and restroom located at the Western Corner of the site. This structure, along with the refueling pumps and associated below ground storage tanks will remain on site and will continue to service city fleet vehicles. Access or fleet vehicles to the refueling depot will be through the Madison Public Market Parking Lot.

Madison Public Market will be a City-owned facility, operated by an independent non-profit operating organization (The Public Market Foundation). The Madison Public Market itself will be an approximately 43,500 square foot two-story volume (with mezzanine and elevator) facility.

Building Program

The Market will consist of the following elements

- **Permanent Vending Stalls** – small to medium-size permanent vending stalls for merchants selling a mix of fresh produce, food products, and ready-to-eat food prepared on site. Some stalls will have full utilities (electrical, plumbing, ventilations systems) while others may just have lighting and access to power and data.
- **Shared Vendor Stalls** – Small size permanent vending stalls designed to accommodate several vendors at one on a rotating schedule. These will be simple stalls with lighting, power, data and lockable, modular storage
- **An Anchor "Storefront" Space** – a larger "storefront" space for an anchor tenant likely to include a restaurant, cafe, deli, butcher shop, or similar. This space will be in the Entry Hall and will be built out as a 'white box' space for this project. The future tenant will complete the build out of this space and be responsible for setting their own operating hours.

- **An Anchor Tenant “Storefront / Integrated” space** – Similar to the Previous Anchor Tenant Space except that it is not a true white box – rather this space will be contiguous to the large South Hall of the Market. A tenant will be targeted who’s offerings can directly enhance the South Hall and the events it hosts.
- **Temporary Vending/Flex Space** - indoor space that may be used for temporary vending, special events, indoor farmers markets, craft fairs, banquets, weddings, and other community uses etc. On a daily basis, the Flex Space will house indoor, temporary stalls that vendors can use for a daily rate.
- **Ag/Food Interpretive Elements, Art, and History** – The Market Hall may include areas for interpretative displays and information about the agriculture, food, and specifically dairy industry in Wisconsin. It may also include gallery space for local artists and for civic story telling. Spaces within the market halls may feature curated local art or historical exhibits.
- **Kitchen/Food Processing Space** – The Market will include kitchen space to be used for food preparation by vendors, and food prep for events.
- **Event Space** - An area designed for community events, pop-up markets, private events, etc.
- **Administrative Office Space** - Small office space for the Madison Public Market management and staff
- **Outdoor Plaza Areas** –The project will include an outdoor plaza area.
- **Loading/Storage** – The Market will include a loading dock, loading area, and storage areas.
- **Parking** – Parking will be provided in the existing surface parking lot.

Urban Design District and Zoning Analysis

The property falls within Urban Design District 4 (UDD 4). The UDD 4 code was established to improve the appearance of those major transportation corridors east of the Capitol Square which constitute a major entrance to the City of Madison, to preserve and enhance the property values in the district, and to avoid a substantial depreciation of the property values in the district.

UDD 4 requirements relating to this property were assessed and the following requirements identified, with provisions related this particular property listed after each requirement.

Code Ref (all based on 34.24 (11))	Category / Source	Required	Provided	Notes
(d)1.a.	Public Rights of Way	Landscape with appropriate trees and shrubs per city Forester.	Soft landscape trees, shrubs and as much local, native species as possible (no non-native grasses)	Planting plan will also feature room for rotating seasonal displays
1.b.ii	Guidelines	Where width is sufficient, consider earth berms.	Widths of soft landscaping are not sufficient.	
2.a.i.	Off-Street Parking and Loading	Reference New Approach to Parking Lot Landscaping	Still to be referenced	Parking space quantity requirement for the success of the project may require a variance, depending on impact of referenced ordinance.
2.a.ii		Quantity of parking spaces to follow Ordinance Chapter 28.	Complies – see table below.	
2.b.i		Parking to side or rear	Complies – see site plan.	
2.b.ii		Use landscaped berms where possible to hide parking	Not possible due to existing structures to remain on E. Johnson portion of MPM site	City Refueling Depot
2.b.iii		Avoid use of chain link fences.	No chain link fences planned for MPM property.	MMSD has requested black colored chain link fence around their adjusted property use zone. This may also be requested at Refueling Depot to remain
2.b.iv		Integrate parking and loading into overall site design	This has been done – see overall site plan.	

3.a.i	Signs	Comply with Ordinance Chapter 31	See table below.	Majority of sign design review subject to work and application by foundations branding consultant
3.a.ii		Integrate signs into architecture.	Signs are painted typographic signs and should fit the industrial aesthetic well.	
3.a.iii		Electronic changeable signs shall not change more than once per hour.	No electronic changeable copy signs planned	
3.b.i		Signs to identify activity without imposing of view of residents.	Every intention for signs to relate directly to MPM without blocking views by neighbors.	
3.b.ii		Sign to be appropriate to type of activity and clientele	Every intention for signs to relate directly to MPM.	
3.b.iii		Signs to be designed to be legible.	No intention to provide non-legible signs.	
3.b.iv		Signs not to cover landscape features or significant structures.	No intention of covering landscape features. Signage is integrated into building façade	
3.b.v		Illuminated signs should be lit internally or from ground, not with fixtures projecting from the signs.	There are no site located signs. All signs are on building facades and are illuminated with building mounted fixtures	
3.b.vi		Illuminated signs to have dark background and illuminated text.	Will comply if this sign type is used, and if zoning ordinance permits it. See table below.	
4.a.i	Building Design	Use low maintenance exterior materials consistent with other buildings in area.	Materials are existing and new, and will be similar to materials used on adjacent commercial properties.	Some materials will be unique for MPM, but visually harmonious, or complementary to surroundings.

4.a.ii		Screen mechanical elements mounted to roofs or on ground pads.	Mechanical equipment at roof is small and limited in type and quantity. Screens are not currently included	Through 3d view studies we believe screening required for exhaust fans and small condenser units would be larger and more obtrusive than the mechanical units themselves
4.b.ii		Large unbroken exterior facades shall be avoided.	Existing building facades along N. 1 st St and E. Johnson St are broken up.	
4.b.iv		Major exterior remodels to be compatible with existing adjacent buildings.	Exterior remodeling will be within existing openings with materials that are compatible with the original on the building, and with existing, adjacent commercial developments.	
5.a.i	Lighting	Exterior lighting to illuminate building facades, pedestrian walks and spaces, parking and service areas.	Exterior lighting considers this. Lighting specific to this project is provided to illuminate building murals and other artwork, as well as patio spaces at the perimeter of the building	
5.a.iii		Exterior lighting to be adequate, but not excessive.	Exterior lighting will conform with this as part of responsible, environmentally sensitive lighting design	
5.a.iv		Height and number of lighting standards to be appropriate to building, its function and to the neighborhood.	Exterior lighting will conform with this as part of responsible, environmentally sensitive lighting design	
5.a.v		Off-street parking lighting to conform with Ordinances in 10.08 and 10.085.	Off-street parking lighting conforms with this	

5.b.i.		Architectural lighting to be free from glare and of type to complement the existing development in the district.	Architectural lighting will be free from glare.	The fixture type will be contemporary to complement the contemporary nature of this project and "raise the bar" for architectural lighting in the neighborhood.
5.b.i.		Security lighting to provide safe illumination levels without reflecting lighting onto adjacent properties.	Security lighting will be provided by pedestrian, parking and architectural lighting, and will conform with the general lighting ordinance in preventing light level across the property line.	The exception to this may be along the MMSD property line at the widened access drive that extends over MMSD property line: lighting may need to extend onto the drive pavement planned on a portion of MMSD's property, per agreement between MMSD and City Engineering. There are also increased operational lighting levels which need to be met at the city refueling depot which remain – lighting may spill from this depot across the property line at the NW corner
6.a.i.	Landscaping	Landscaping to be used for functional and decorative purposes, and screening where needed.	The landscape plan being developed will conform with this in being functional and beautiful, and provide screening where it makes sense from a visual standpoint.	Landscaping includes a functional rain garden, seasonal displays to highlight the market and screening elements to obscure the refueling depot.
6.b.i. and ii		Include plants that will provide interest and color during the entire year.	Plantings will be local, native species and provide interest and color to the extent that local, native species naturally provide that.	Rotating seasonal displays will also facilitate this
6.b.iv.		Planting beds to be edged and mulched.	Edges will be provided to planting beds.	Mulching and other maintenance will be determined by the Owner/MPM.

(e)	Utility Service	Re-locate overhead wire utilities underground.	Road improvements currently underway on N. 1 st St and E. Johnson may be addressing some of this.	City Engineering and Traffic Engineering to determine how much of this will happen with the road improvements currently taking place. large utility pole at N 1 st is still on site.

Reference is also made to Chapters 28 and 31 of Madison Zoning Code, with the requirements for this particular site use and size, and respective project provisions, listed below. Per UDD 4, between the table above and the table below, the most restrictive requirement prevails.

Traditional Employment District (TE) (PDD?)

Code Ref	Category / Source	Required	Provided	Notes
28.084 (3)	Lot Area	6,000 sf	152,800 sf	Existing lots consolidated: t.b.c. by revised plat
	Lot width	50 ft	340 ft at narrowest width along N. First St.	existing
	Setbacks	Front: none	5 ft when modified by new road edge along N. First St.	existing
		Side: 2-story = 6 ft	15 ft to property line. 42 ft with MMSD easement.	existing
		Rear: 20 ft	140 ft at closest point on main building to rear property line	existing
	Maximum lot coverage	85%	32%	existing
	Minimum height	22 ft	22 ft	Existing, t.b.c.
	Max height	5 stories / 68 ft	2 stories / 22 ft	
28.131	Accessory buildings			
b)	Max. percentage of rear yard setback	50%	12.8 %	existing
c)	Max. height	15 ft	15 ft	existing
28.134 (2)	Height limit exceptions	...water towers, flag poles, comms towers.		
Dane County Zoning Code: 78.05	Dane County Regional Airport Height Limit Poster	1009 ft max: Site is at 852 ft, so height limit is 1,009 - 852 = 157 ft		
28.141 Table I-2	Parking requirements apply to buildings	1 per 400 sf min.: @ 23,153sf of general	113 spaces	

	exceeding 25,000 sf GFA	retail = 58 spaces min and 116 max.		
	If overall building area is used for calculation:	1 per 400 sf min.: 43,500 sf = 109 spaces min.	113 spaces	
	Bicycle minimum	1 per 2,000 sf = 12 bicycle spaces	90 spaces,	Some may be replaced with Ucycle station
28.141 (13)(b)	Off-street loading	Retail 20k to 100k sf: 2 loading spaces	3 loading spaces provided	One space has access to at grade hydraulic lift
Signage		Permitted	Provided	
31.021 (c)	Use Group 3 (TE)			
31.07 (2)(a)	Wall, Roof and above-roof signs	1 per façade, and no more than 4 per building.	Building signage will be used on 3 of the 4 facades, plus on the new canopies at market entry points.	Vendor signage will be contained within the window system of the existing wall openings in a controlled signage band 24" high.
(b)	Parapet signs	No more than 4ft tall	None planned.	
(4)(a)	Tenant Signs: building frontages vary.	2 sq.ft sign area per lineal ft of tenant frontage.	East façade has tenant signs. See 31.07	
(4)(b)	Building Signs: Net area > 25,000sf.	30% of (2 sq.ft sign area per lineal ft of building frontage) = 152 sq. ft on N. 1 st St and 109 sq.ft on East Johnson side.	Building signage is painted directly to building façade and illuminated by building mounted lights.	Final signage design by owners branding consultant
31.071	Canopy Signs	May be displayed on the fascia of a canopy in lieu of a wall sign. Stay within the canopy limits.	No building signage on loading dock canopy. Some wayfinding signage and clearance signage will be present	
31.15 Table 1	Pole Signs: 2-3 Lanes, 35-44 mph	16ft high, 50 sf for one side or 100 sf total for many sides.	None proposed	
31.15 Table 2	Promotional banners and flags	Permitted, subject to PCED Director approval.	None proposed	Market Operator and Tenants may pursue this on their own later

Mitch Karr, AIA, Associate
612. 359. 3255 | mitch@msrdesign.com



Madison Public Market

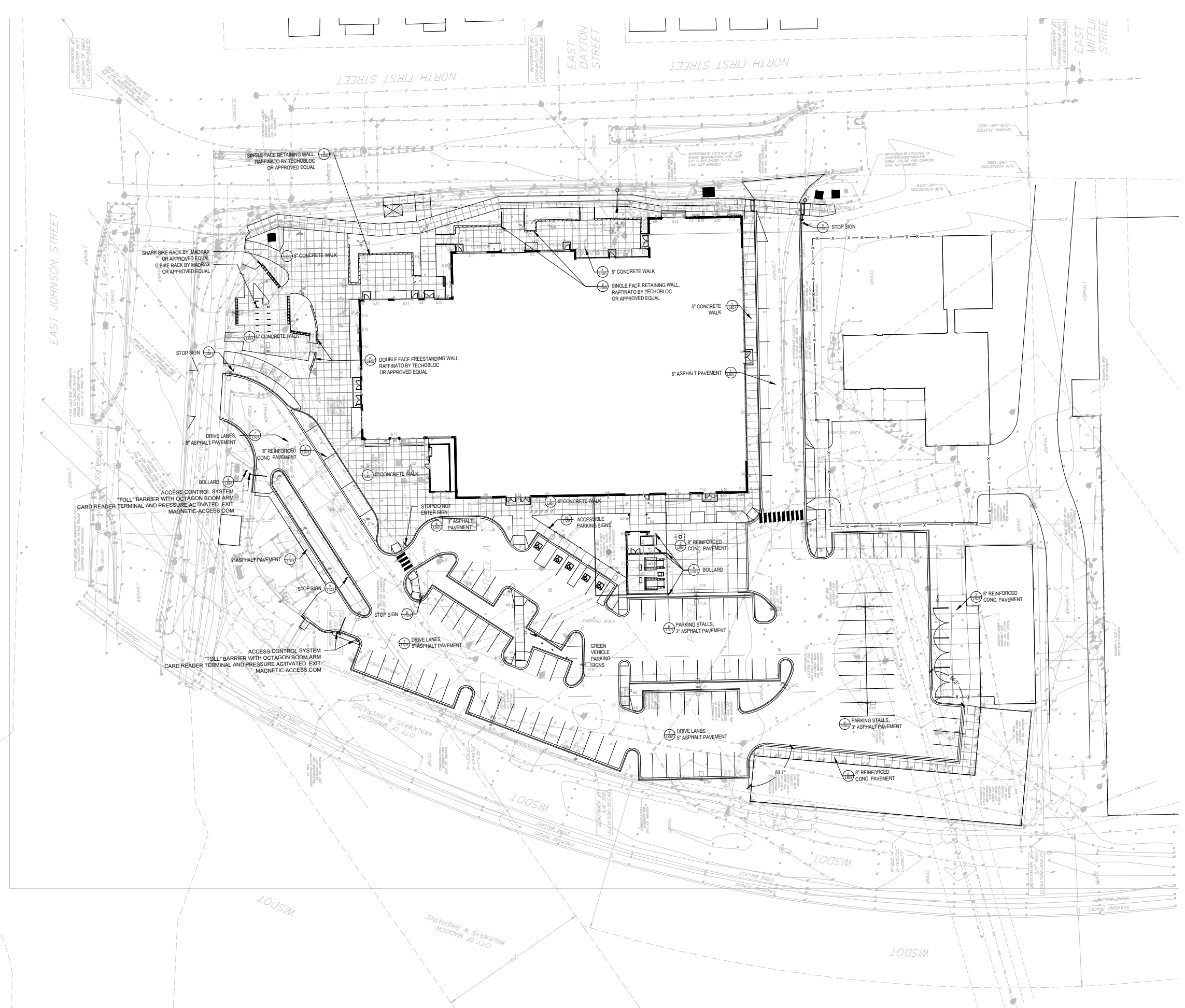
Urban Design Commission Final Approval Application

03-09-2020

MSRDesign

MSRDesign

Landscape and plantings at north and east side of site



- Architecture and Interiors
MSRDesign
 510 Marquette Avenue South, Suite 200
 Minneapolis, MN 55402 | 612.379.0338
- MEP Engineer
MEP Associates, LLC
 850 Blue Center Rd #175
 Eagan, MN 55121 | 651.379.9120
- Civil Engineer
Vierbicher
 999 Fournier Dr. Suite 201,
 Madison, WI 53717 | 608.826.0832
- Landscape Architect
Ken Saiki Design
 1110 S. Park St.
 Madison, WI 53715 | 608.251.3800
- Structural Engineering,
 Fire Protection Engineering, Technology and AV
IMEG Corporation, Inc.
 1800 Denning Way, Suite 200,
 Madison, WI 53702
- Lighting Design
Mazzetti, Inc.
 1600 Stout St., Suite 450
 Denver, CO 80202 | 720.544.3044
- Commercial Kitchen Design
Boelter Premier
 7120 Northland Terrace,
 Minneapolis, MN 55428 | 763.544.8800

Project No. 2018000.00
MADISON PUBLIC MARKET
 202 N First St, Madison, WI 53704

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the Laws of the State of Wisconsin.
 Architect Seal

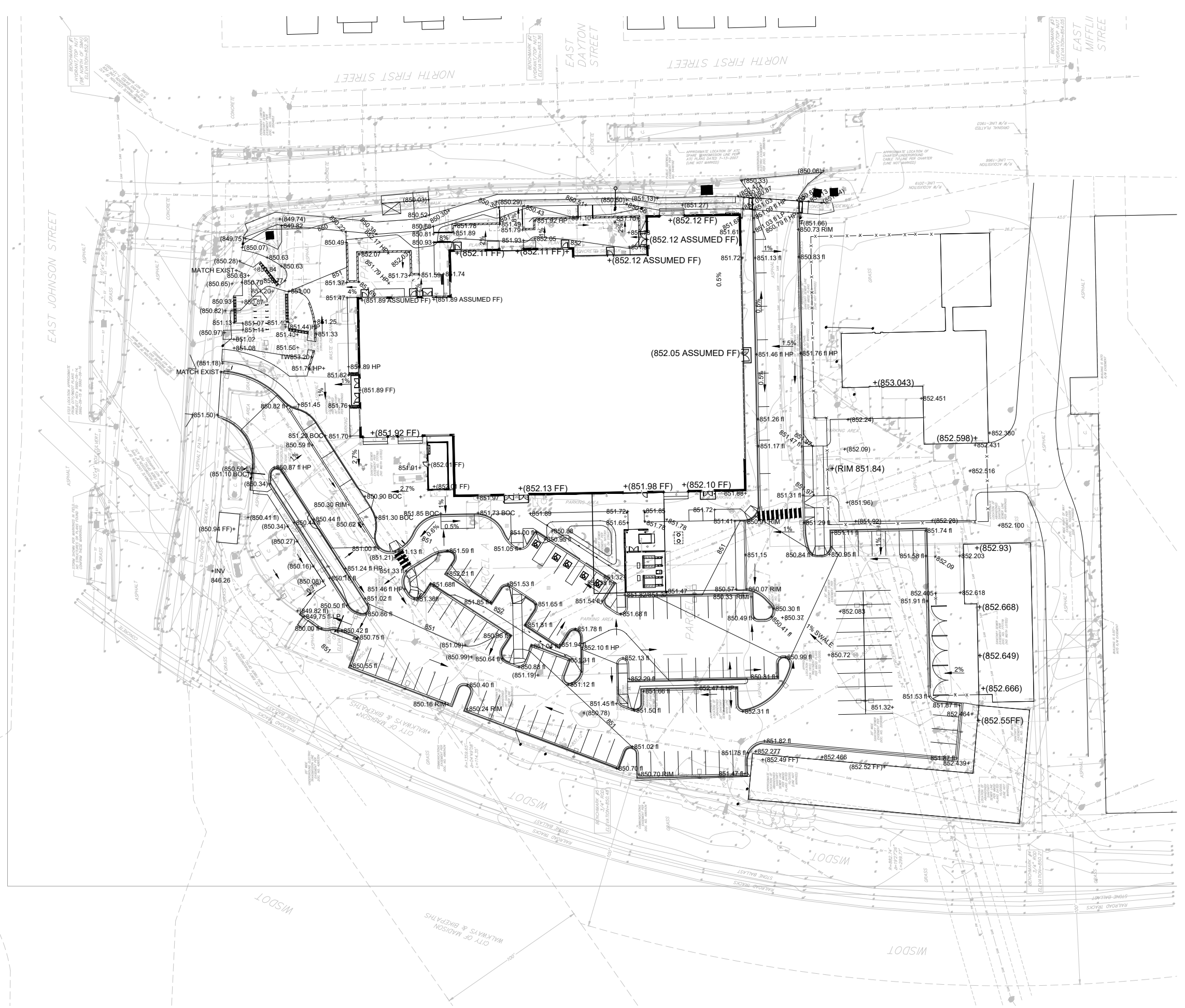
Signature _____
 Print Name _____
 Date _____ License No _____

UDC FINAL APPROVAL

ISSUE / REVISION

Mark	Date	Description
06.04.2019	SITE + BUILDING DESIGN 1 PRICING ISSUE	
06.12.2019	UDC INFORMATIONAL SUBMISSION	
08.16.2019	SITE + BUILDING DESIGN 2 PRICING ISSUE	
11.13.2019	100% CDP DOCUMENTS	
02.18.2020	CD PRICING ISSUE	
03.11.2020	UDC FINAL APPROVAL	

LAYOUT PLAN
L100



Architecture and Interiors
MSRDesign
 510 Marquette Avenue South, Suite 200
 Minneapolis, MN 55402 | 612.375.0235

MEP Engineer
MEP Associates, LLC
 850 Blue Canyon Rd #175
 Eagan, MN 55121 | 651.379.9120

Civil Engineer
Vierbicher
 999 Forner Dr, Suite 201
 Madison, WI 53717 | 608.826.0932

Landscape Architect
Ken Saiki Design
 1110 S. Park St.
 Madison, WI 53715 | 608.251.3800

Structural Engineering,
 Fire Protection Engineering, Technology and AV
IMEG Corporation, Inc.
 1800 Deming Way, Suite 200,
 Madison, WI 53702

Lighting Design
Mazzetti, Inc.
 1600 Stout St, Suite 450
 Denver, CO 80202 | 720.444.0044

Commercial Kitchen Design
Boelter Premier
 7120 Northland Terrace,
 Minneapolis, MN 55428 | 763.544.8800

Project No: 2019000.00

MADISON PUBLIC MARKET
 202 N First St, Madison, WI 53704

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the Laws of the State of Wisconsin.

Architect Seal

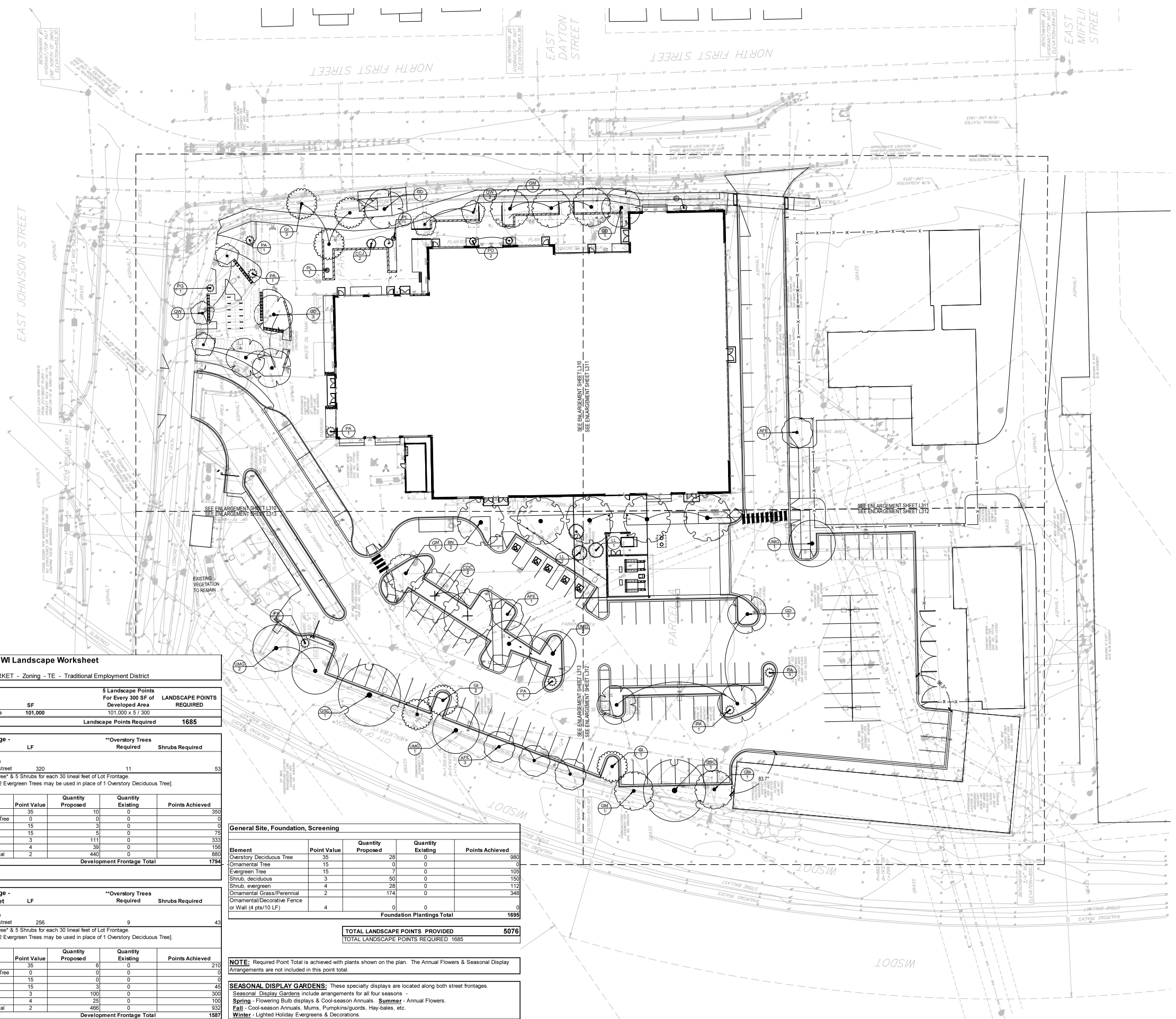
Signature _____
 Print Name _____
 Date _____ License No. _____

UDC FINAL APPROVAL

ISSUE / REVISION

Mark	Date	Description
06.04.2019	06.04.2019	SITE - BUILDING DESIGN 1 PRICING ISSUE
08.12.2019	08.12.2019	UDC INFORMATIONAL SUBMISSION
09.16.2019	09.16.2019	SITE - BUILDING DESIGN 2 PRICING ISSUE
11.13.2019	11.13.2019	100% CDIP DOCUMENTS
03.18.2020	03.18.2020	CD PRICING ISSUE
03.11.2020	03.11.2020	UDC FINAL APPROVAL

GRADING PLAN
L200



City of Madison, WI Landscape Worksheet
 13-Aug-19
 MADISON PUBLIC MARKET - Zoning - TE - Traditional Employment District

Developed Lots	SF	5 Landscape Points For Every 300 SF of Developed Area	LANDSCAPE POINTS REQUIRED
Total NEW Developed Area	101,000	101,000 x 5 / 300	1685

Development Frontage - North First Street	LF	**Overstory Trees Required	Shrubs Required
Total LF of Street Frontage Between Bldg /Parking & street	320	11	53
1 Overstory Deciduous Tree* & 5 Shrubs for each 30 lineal feet of Lot Frontage. [*2 Ornamental Trees or 2 Evergreen Trees may be used in place of 1 Overstory Deciduous Tree]			

Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Overstory Deciduous Tree	35	10	0	350
Ex. Significant Specimen Tree	0	0	0	0
Ornamental Tree	15	3	0	45
Evergreen Tree	15	5	0	75
Shrub, deciduous	3	111	0	333
Shrub, evergreen	4	39	0	156
Ornamental Grass/Perennial	2	440	0	880
Development Frontage Total				1784

Development Frontage - East Johnson Street	LF	**Overstory Trees Required	Shrubs Required
Total LF of Street Frontage Between Bldg /Parking & street	256	9	43
1 Overstory Deciduous Tree* & 5 Shrubs for each 30 lineal feet of Lot Frontage. [*2 Ornamental Trees or 2 Evergreen Trees may be used in place of 1 Overstory Deciduous Tree]			

Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Overstory Deciduous Tree	35	6	0	210
Ex. Significant Specimen Tree	0	0	0	0
Ornamental Tree	15	0	0	0
Evergreen Tree	15	3	0	45
Shrub, deciduous	3	100	0	300
Shrub, evergreen	4	25	0	100
Ornamental Grass/Perennial	2	466	0	932
Development Frontage Total				1587

Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Overstory Deciduous Tree	35	28	0	980
Ornamental Tree	15	0	0	0
Evergreen Tree	15	7	0	105
Shrub, deciduous	3	50	0	150
Shrub, evergreen	4	28	0	112
Ornamental Grass/Perennial	2	174	0	348
Ornamental/Decorative Fence or Wall (4 pts/10 LF)	4	0	0	0
Foundation Plantings Total				1695

TOTAL LANDSCAPE POINTS PROVIDED 5076
TOTAL LANDSCAPE POINTS REQUIRED 1685

NOTE: Required Point Total is achieved with plants shown on the plan. The Annual Flowers & Seasonal Display Arrangements are not included in this point total.

SEASONAL DISPLAY GARDENS: These specialty displays are located along both street frontages.
 Seasonal Display Gardens includes arrangements for all four seasons -
Spring - Flowering Bulb displays & Cool-season Annuals. **Summer** - Annual Flowers.
Fall - Cool-season Annuals, Mums, Pumpkins/gourds, Hay-bales, etc.
Winter - Lighted Holiday Evergreens & Decorations.

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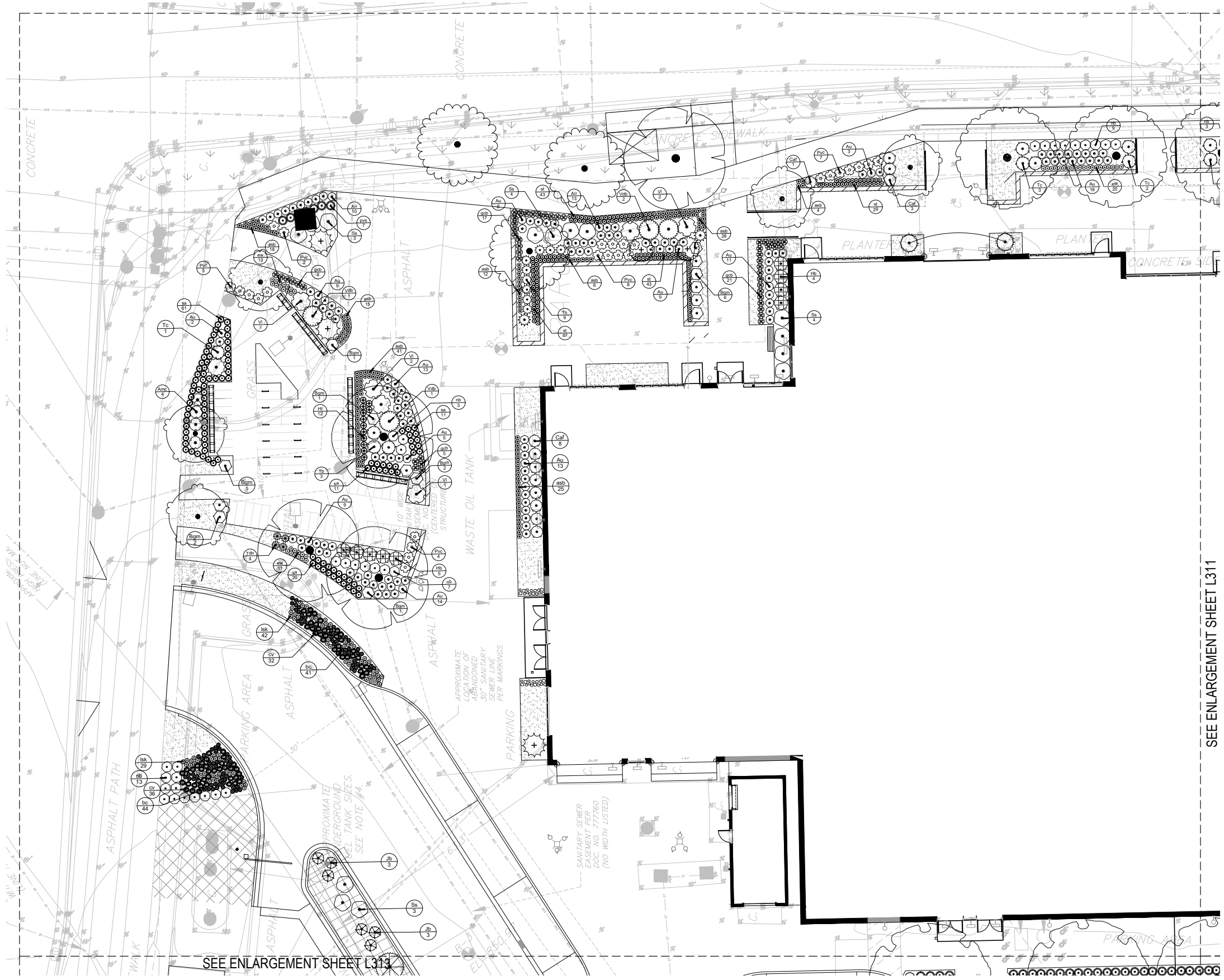
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TREE PLANTING PLAN
L300

LEGEND

-  SHORTGRASS PRAIRIE (SEED)
-  SEASONAL ARRANGEMENTS
-  BIORETENTION BASIN (PLUGS)
-  LAWN (SEED)
-  STONE COBBLES



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DETAIL PLANTING PLAN

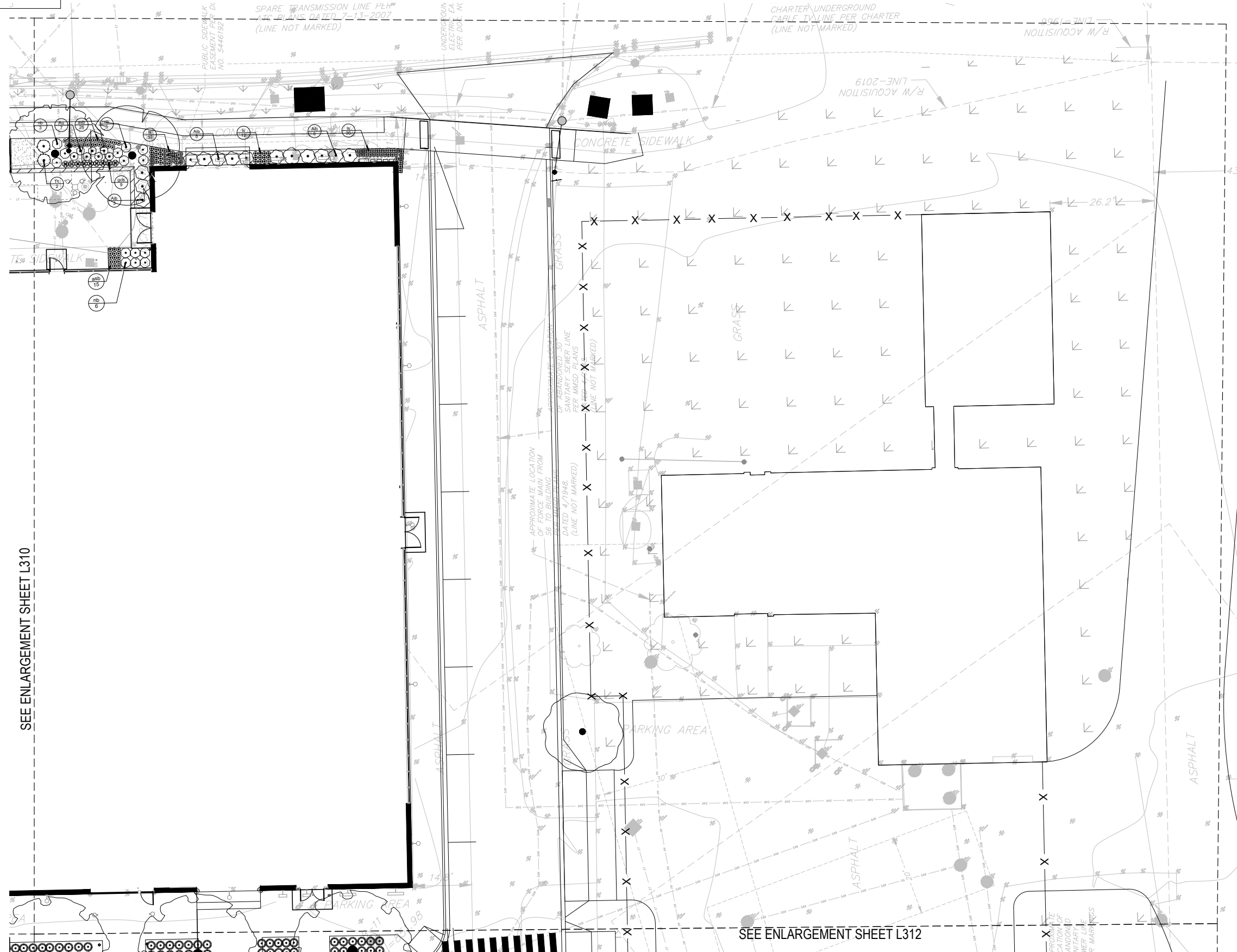
L310

SEE ENLARGEMENT SHEET L311

SEE ENLARGEMENT SHEET L313

LEGEND

	SHORTGRASS PRAIRIE (SEED)
	SEASONAL ARRANGEMENTS
	BIORETENTION BASIN (PLUGS)
	LAWN (SEED)
	STONE COBBLES



SEE ENLARGEMENT SHEET L310

SEE ENLARGEMENT SHEET L312

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11.13.2019	11.13.2019	11.13.2019 100% CDP DOCUMENTS
03.18.2020	03.18.2020	03.18.2020 CD PRICING ISSUE
03.11.2020	03.11.2020	03.11.2020 UDC FINAL APPROVAL

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DETAIL PLANTING PLAN

L311

PLANT SCHEDULE 1

EVERGREEN TREES	CODE	BOTANICAL / COMMON NAME	CONT	CAL	QTY
	PA	Picea abies 'Sherwood Compact' / Norway Spruce	15 gal		3
	PG	Picea glauca 'Yukon Blue' / Yukon Blue Spruce	15 gal		1
	PO	Picea omorika 'De Ruyter' / De Ruyter Serbian Spruce	15 gal		2
	PL	Pinus leucodermis 'Gnome' / Gnome Dwarf Bosnian Pine	15 gal		2
ORNAMENTAL TREES	CODE	BOTANICAL / COMMON NAME	CONT	CAL	QTY
	CCJ	Carpinus caroliniana 'J.N. Upright' / Firespire Muscledwood	15 gal	2" CAL, 8' MIN HT.	2
SHADE TREES	CODE	BOTANICAL / COMMON NAME	CONT	CAL	QTY
	GM	Ginkgo biloba 'Magyar' / Magyar Ginkgo	B & B	2 1/2-3" CAL, 14" MIN HT.	2
	GI	Gleditsia triacanthos 'Impcole' TM / Impcole Honeylocust	B & B	2 1/2-3" CAL, 14" MIN HT.	3
	GD	Gymnocladus dioica 'Espresso' / Espresso Kentucky Coffeetree	B & B	3" CAL	4
	QW	Quercus x warei 'Long' TM / Regal Prince Oak	B & B	2 1/2-3" CAL, 14" MIN HT.	5
DECIDUOUS SHRUBS	CODE	BOTANICAL / COMMON NAME	SIZE	QTY	
	Amc	Aronia melanocarpa 'Low Scape Hedger' / Low Scape Hedger Chokeberry	3 gal	4	
	Au	Aronia melanocarpa 'UCONNAM165' / Lowscape Mound Chokeberry	3 gal	133	
	Caf	Cornus stolonifera 'Arctic Fire' / Arctic Fire Dogwood	5 gal	12	
	Hb	Hydrangea paniculata 'Bobo' / Bobo Hydrangea	5 gal	9	
	Ht	Hydrangea serrata 'Tiny Tuff Stuff' / Tiny Tuff Stuff Hydrangea	3 gal	12	
	Ss	Sorbaria sorbifolia 'Sem' / Sem Ash Leaf Spirea	5 gal	14	
	Vdb	Viburnum dentatum 'Blue Muffin' / Southern Arrowwood	5 gal	4	
	Vi	Viburnum dentatum 'KLMseventeen' TM / Little Joe	5 gal	6	
EVERGREEN SHRUBS	CODE	BOTANICAL / COMMON NAME	SIZE	QTY	
	Bgm	Buxus x 'Green Mound' / Green Mound Boxwood	5 gal	14	
	Jb	Juniperus scopulorum 'Blue Arrow' / Blue Arrow Juniper	5 gal	6	
	Pvc	Pinus mugo 'Valley Cushion' / Valley Cushion Mugo Pine	3 gal	26	
	Tb	Thuja occidentalis 'Bobazam' / Mr. Bowling Ball Arborvitae	5 gal	3	
	Tc	Thuja occidentalis 'Congabe' / Fire Chief Arborvitae	5 gal	6	
	Tdn	Thuja occidentalis 'Danica' TM / Danica Globe Cedar	3 gal	4	
	Th	Thuja occidentalis 'Hetz Midget' / Hetz Midget Arborvitae	3 gal	9	
HERBACEOUS PERENNIALS	CODE	BOTANICAL / COMMON NAME	SIZE	QTY	
	asb	Allium tangulicum 'Summer Beauty' / Summer Beauty Allium	1 gal	149	
	ew	Echinacea purpurea 'PAST02917' TM / PowWow Wild Berry Coneflower	1 gal	44	
	gcb	Geranium x cantabrigiense 'Blokovo' / Blokovo Cranesbill	1 gal	49	
	lsk	Liatris spicata 'Kobold' / Kobold Spike Gayfeather	1 gal	71	
	nb	Nepeta x faassenii 'Blue Wonder' / Catmint	1 gal	32	
	st	Sedum x 'Thundercloud' / Thundercloud Sedum	1 gal	162	
ORNAMENTAL GRASSES	CODE	BOTANICAL / COMMON NAME	SIZE	QTY	
	bc	Bouteloua curtipendula / Side Oats Grama	1 gal	65	
	cv	Carex vulpinoidea / Brown Fox Sedge	1 gal	68	
	pvs	Panicum virgatum 'Shenendoah' / Shenendoah Switch Grass	1 gal	7	
	sa	Sesleria autumnalis / Autumn Moor Grass	1 gal	103	

PLANT SCHEDULE 2

ORNAMENTAL TREES	CODE	BOTANICAL / COMMON NAME	CONT	CAL	QTY
	AS	Amelanchier alnifolia 'Standing Ovation' TM / Serviceberry	15 gal	2" CAL, 8' MIN HT.	1
SHADE TREES	CODE	BOTANICAL / COMMON NAME	CONT	CAL	QTY
	AFE	Acer x freemanii 'Ed Gartner' / Redhead Freeman Maple	B & B	2 1/2-3" CAL, 14" MIN HT.	1
	GM	Ginkgo biloba 'Magyar' / Magyar Ginkgo	B & B	2 1/2-3" CAL, 14" MIN HT.	1
	GD	Gymnocladus dioica 'Espresso' / Espresso Kentucky Coffeetree	B & B	3" CAL	1
DECIDUOUS SHRUBS	CODE	BOTANICAL / COMMON NAME	SIZE	QTY	
	Aib	Aronia melanocarpa 'Morton' / Inqois Beauty Black Chokeberry	3 gal	13	
	Au	Aronia melanocarpa 'UCONNAM165' / Lowscape Mound Chokeberry	3 gal	7	
EVERGREEN SHRUBS	CODE	BOTANICAL / COMMON NAME	SIZE	QTY	
	Tc	Thuja occidentalis 'Congabe' / Fire Chief Arborvitae	5 gal	2	
HERBACEOUS PERENNIALS	CODE	BOTANICAL / COMMON NAME	SIZE	QTY	
	asb	Allium tangulicum 'Summer Beauty' / Summer Beauty Allium	1 gal	41	
	gcb	Geranium x cantabrigiense 'Blokovo' / Blokovo Cranesbill	1 gal	9	
	ls	Liriope muscari 'Silvery Sunroof' / Silvery Sunroof Blue Lilyturf	1 gal	72	
	nb	Nepeta x faassenii 'Blue Wonder' / Catmint	1 gal	14	

PLANT SCHEDULE 3

EVERGREEN TREES	CODE	BOTANICAL / COMMON NAME	CONT	CAL	QTY
	LL	Larix laricina / Tamarack	15 gal		1
	PA	Picea abies 'Sherwood Compact' / Norway Spruce	15 gal		2
SHADE TREES	CODE	BOTANICAL / COMMON NAME	CONT	CAL	QTY
	BN	Betula nigra 'Heritage' / Heritage River Birch	15 gal		2
	GM	Ginkgo biloba 'Magyar' / Magyar Ginkgo	B & B	2 1/2-3" CAL, 14" MIN HT.	2
	GI	Gleditsia triacanthos 'Impcole' TM / Impcole Honeylocust	B & B	2 1/2-3" CAL, 14" MIN HT.	1
	GD	Gymnocladus dioica 'Espresso' / Espresso Kentucky Coffeetree	B & B	3" CAL	3
	QSC	Quercus x schuetti / Swamp Bur Oak	B & B	2 1/2-3" CAL, 14" MIN HT.	1
	UMG	Ulmus x 'Morton Glossy' TM / Triumph Elm	B & B	2 1/2-3" CAL, 14" MIN HT.	1
DECIDUOUS SHRUBS	CODE	BOTANICAL / COMMON NAME	SIZE	QTY	
	Cr	Cephalanthus occidentalis 'Balloptics' TM / Fiber Optics Buttonbush	5 gal	1	
	Ss	Sorbaria sorbifolia 'Sem' / Sem Ash Leaf Spirea	5 gal	9	
HERBACEOUS PERENNIALS	CODE	BOTANICAL / COMMON NAME	SIZE	QTY	
	eb	Eupatorium dubium 'Baby Joe' / Dwarf Joe-Pye Weed	1 gal	6	
ORNAMENTAL GRASSES	CODE	BOTANICAL / COMMON NAME	SIZE	QTY	
	pvs	Panicum virgatum 'Shenendoah' / Shenendoah Switch Grass	1 gal	64	

PLANT SCHEDULE 4

EVERGREEN TREES	CODE	BOTANICAL / COMMON NAME	CONT	CAL
	LL	Larix laricina / Tamarack	15 gal	
	PA	Picea abies 'Sherwood Compact' / Norway Spruce	15 gal	
SHADE TREES	CODE	BOTANICAL / COMMON NAME	CONT	CAL
	AFE	Acer x freemanii 'Ed Gartner' / Redhead Freeman Maple	B & B	2 1/2-3" CAL, 14" MIN HT.
	BN	Betula nigra 'Heritage' / Heritage River Birch	15 gal	
	COC	Celtis occidentalis 'Chicagoland' / Common Hackberry	B & B	2 1/2-3" CAL, 14" MIN HT.
	GM	Ginkgo biloba 'Magyar' / Magyar Ginkgo	B & B	2 1/2-3" CAL, 14" MIN HT.
	GI	Gleditsia triacanthos 'Impcole' TM / Impcole Honeylocust	B & B	2 1/2-3" CAL, 14" MIN HT.
	QSC	Quercus x schuetti / Swamp Bur Oak	B & B	2 1/2-3" CAL, 14" MIN HT.
	UMG	Ulmus x 'Morton Glossy' TM / Triumph Elm	B & B	2 1/2-3" CAL, 14" MIN HT.
DECIDUOUS SHRUBS	CODE	BOTANICAL / COMMON NAME	SIZE	
	Am	Aronia melanocarpa 'Morton' TM / Inqois Beauty Black Chokeberry	5 gal	
	Au	Aronia melanocarpa 'UCONNAM165' / Lowscape Mound Chokeberry	3 gal	
	Cr	Cephalanthus occidentalis 'Balloptics' TM / Fiber Optics Buttonbush	5 gal	
	Ss	Sorbaria sorbifolia 'Sem' / Sem Ash Leaf Spirea	5 gal	
EVERGREEN SHRUBS	CODE	BOTANICAL / COMMON NAME	SIZE	
	Jm	Juniperus chinensis 'Mountbatten' / Chinese Juniper	5 gal	
	Jb	Juniperus scopulorum 'Blue Arrow' / Blue Arrow Juniper	5 gal	
	Psm	Pinus mugo 'Slowmound' / Mugo Pine	5 gal	
HERBACEOUS PERENNIALS	CODE	BOTANICAL / COMMON NAME	SIZE	
	asb	Allium tangulicum 'Summer Beauty' / Summer Beauty Allium	1 gal	
	eb	Eupatorium dubium 'Baby Joe' / Dwarf Joe-Pye Weed	1 gal	
	nb	Nepeta x faassenii 'Blue Wonder' / Catmint	1 gal	
ORNAMENTAL GRASSES	CODE	BOTANICAL / COMMON NAME	SIZE	
	pvs	Panicum virgatum 'Shenendoah' / Shenendoah Switch Grass	1 gal	

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03	11.2020	UDC FINAL APPROVAL

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PLANT LISTS

L314

NOT FOR CONSTRUCTION

EIFS cladding – Repair and Replacement

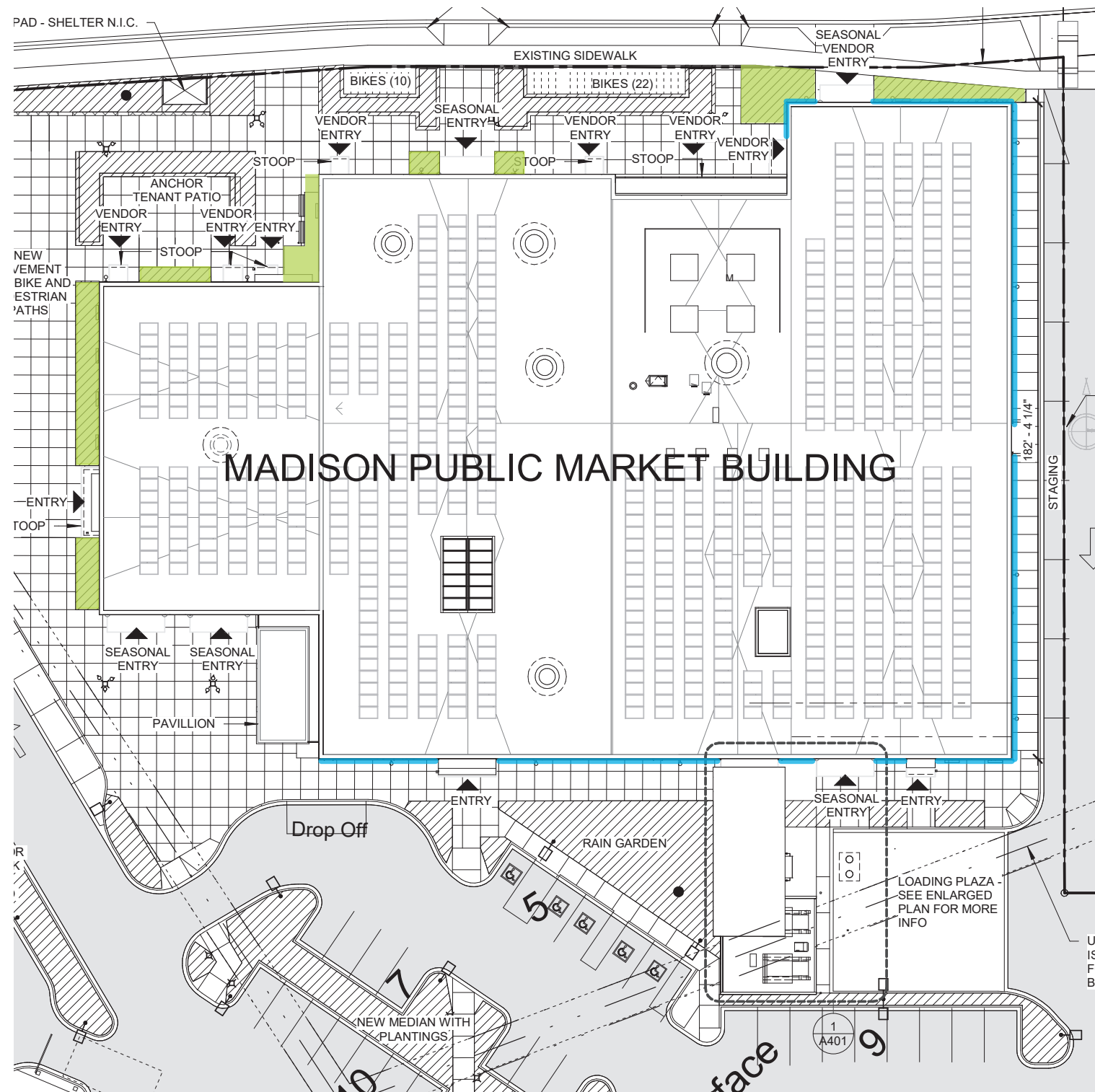
EIFS cladding | existing conditions





EIFS cladding | existing conditions



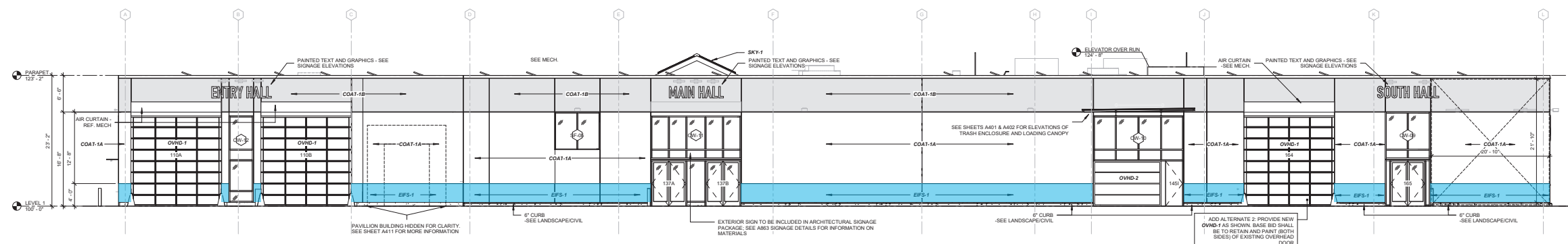
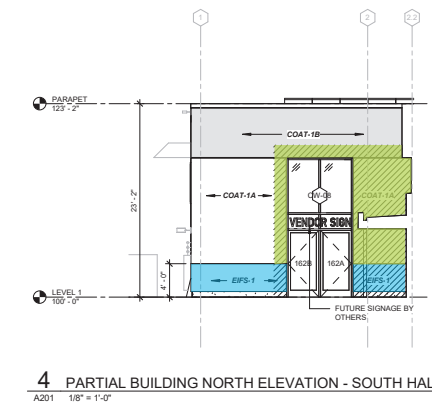
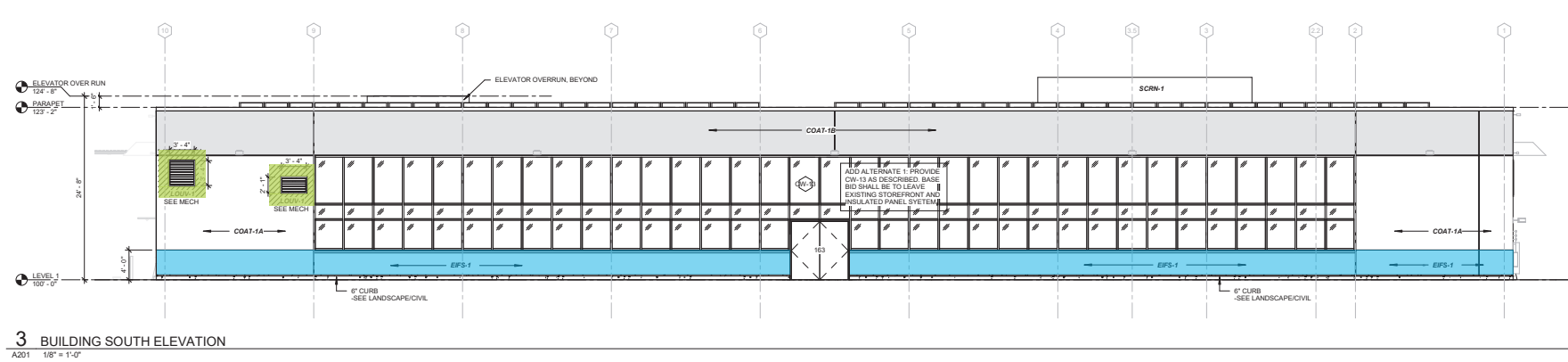
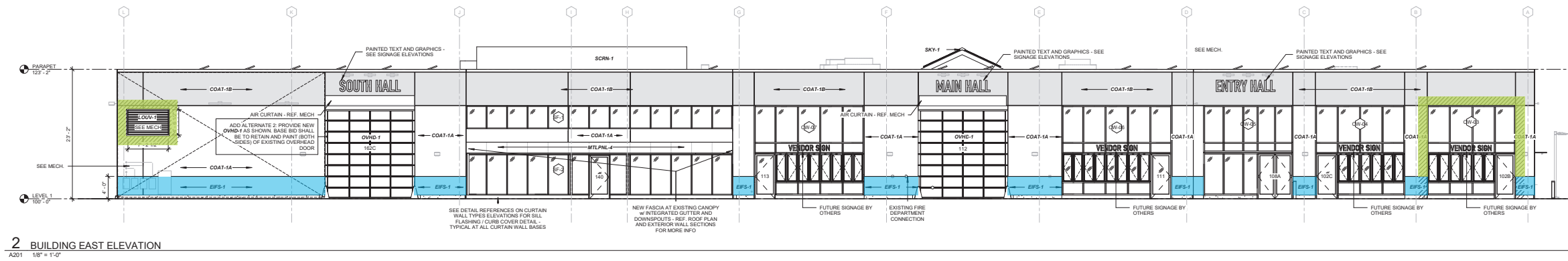
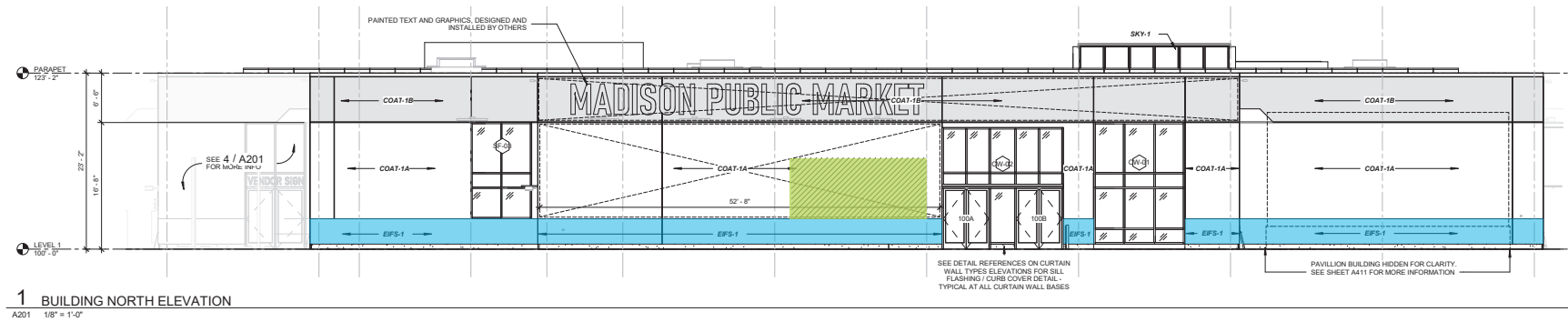
EIFS cladding | site relation



-  planter beds adjacent to exterior walls
-  protection curb

EIFS cladding | replacement

- new drainable EIFS system
- patching of existing EIFS system
- *all other areas painted



EIFS cladding – Specification and Durability

EIFS cladding | specification

Drainable EIFS system with reinforcing mesh

2.3 EIFS SYSTEMS

- A. Drainable system (**EIFS-1**):
 1. Basis of Design: Dryvit Systems, Inc. Outsulation Plus MD.
 2. General: The Dryvit Outsulation Plus MD System shall be an Exterior Insulation and Finish System (EIFS), Class PB, consisting of an air/water-resistive barrier, an adhesive, expanded polystyrene insulation board, base coat, reinforcing mesh(es) and finish. Field applied.
 - a. The system shall be terminated a minimum of 8 inches above finished grade.
 3. Reinforcing Mesh: Panzer Mesh 20 Oz. EIMA "Ultra High". Refer to Drawings for location.
 4. Weather Barrier: Backstop NT-VB Spray
 5. Base Coat: Dryflex
 6. Color: Refer to Drawings for application of **COAT-1** and **COAT-2**
- B. Non-draining system to match the existing (**EIFS-2**):
 1. Basis of Design: Dryvit Systems, Inc. Outsulation System.
 2. General: An Exterior Insulation and Finish System, Class PB, consisting of an adhesive, expanded polystyrene insulation board, base coat, reinforcing mesh(es) and finish. Mechanically attached. Field applied.
 - a. The system shall be terminated a minimum of 8 inches above finished grade.
 3. System: Non-cementitious Base Coat (NCB)
 4. Color: Refer to Drawings for application of **COAT-1** and **COAT-2**
 5. Texture: Freestyle.



EIFS COLOR: COAT-1B



EIFS COLOR: COAT-1A

EIFS cladding | durability

ASTM E 2486 test for impact resistance

d. Impact Resistance: In accordance with ASTM E 2486* (formerly EIMA Standard 101.86):

Reinforcing Mesh ¹ /Weight oz/yd ² (g/m ²)	Minimum Tensile Strengths	EIMA Impact Classification	EIMA Impact Range		Impact Test Results	
			in-lbs	(Joules)	in-lbs	(Joules)
Standard - 4.3 (146)	150 lbs/in (27 g/cm)	Standard	25-49	(3-6)	36	(4)
Standard Plus - 6 (203)	200 lbs/in (36 g/cm)	Medium	50-89	(6-10)	56	(6)
Intermediate™ - 12 (407)	300 lbs/in (54 g/cm)	High	90-150	(10-17)	108	(12)
Panzer® 15 ² - 15 (509)	400 lbs/in (71 g/cm)	Ultra High	>150	(>17)	162	(18)
Panzer 20² - 20.5 (695)	550 lbs/in (98 g/cm)	Ultra High	>150	(>17)	352	(40)
Detail Mesh® Short Rolls - 4.3 (146)	150 lbs/in (27 g/cm)	n/a	n/a	n/a	n/a	n/a
Corner Mesh™ - 7.2 (244)	274 lbs/in (49 g/cm)	n/a	n/a	n/a	n/a	n/a

* ASTM E 2568 Standard Specification for PB Exterior Insulation and Finish Systems.
 1. It shall be colored blue and bear the Dryvit logo for product identification
 2. Shall be used in conjunction with Standard Mesh (recommended for areas exposed to high traffic)

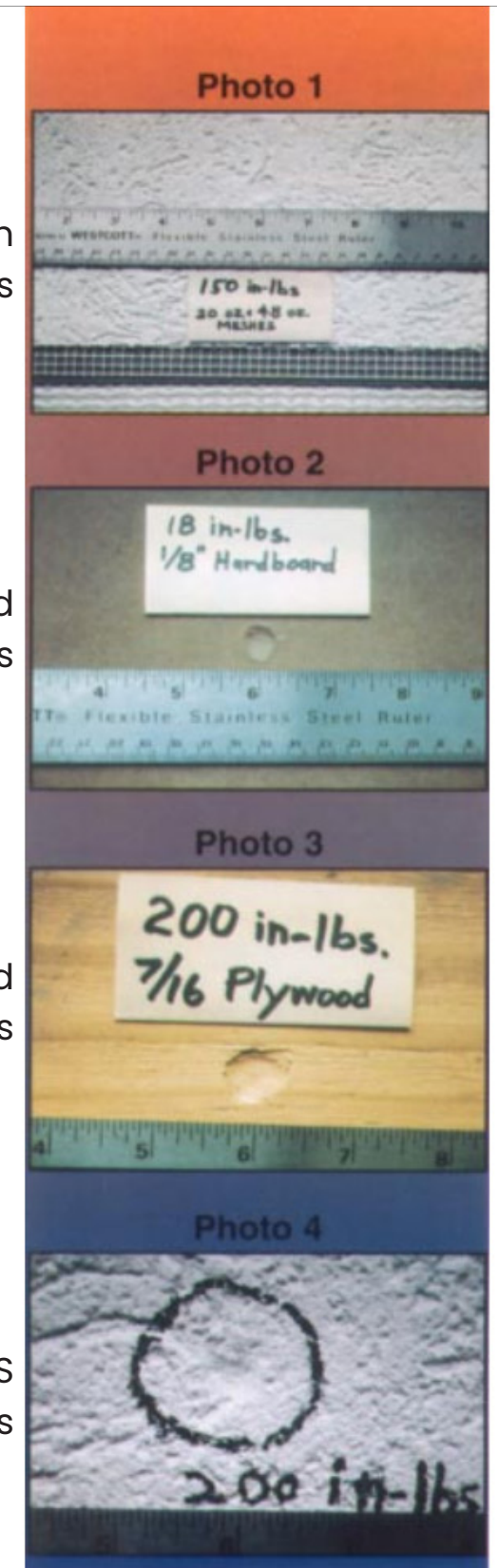
Table 1. ASTM E2486 Impact Classifications for EIFS

Classification	Impact Range
Standard Impact Resistance	2.8 – 5.6 J (25 – 49 inch-lbs)
Medium Impact Resistance	5.7 – 10.1 J (50– 89 inch-lbs)
High Impact Resistance	10.2 – 17.0 J (90– 150 inch-lbs)
Ultra High Impact Resistance	Over 17.0 J (150 inch-lbs)

High Impact Testing

[video link](#)

20 oz reinforcing mesh
200 in/lbs



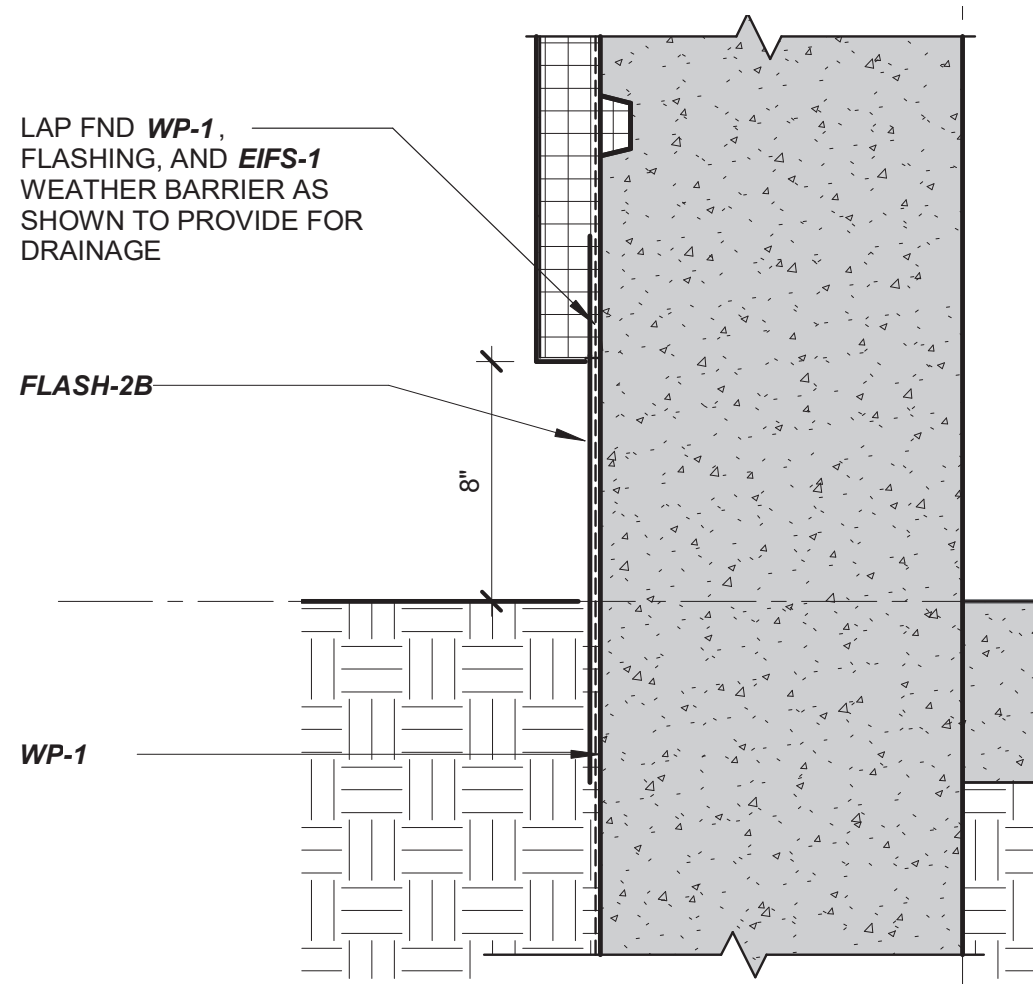
hardboard
200 in/lbs

plywood
200 in/lbs

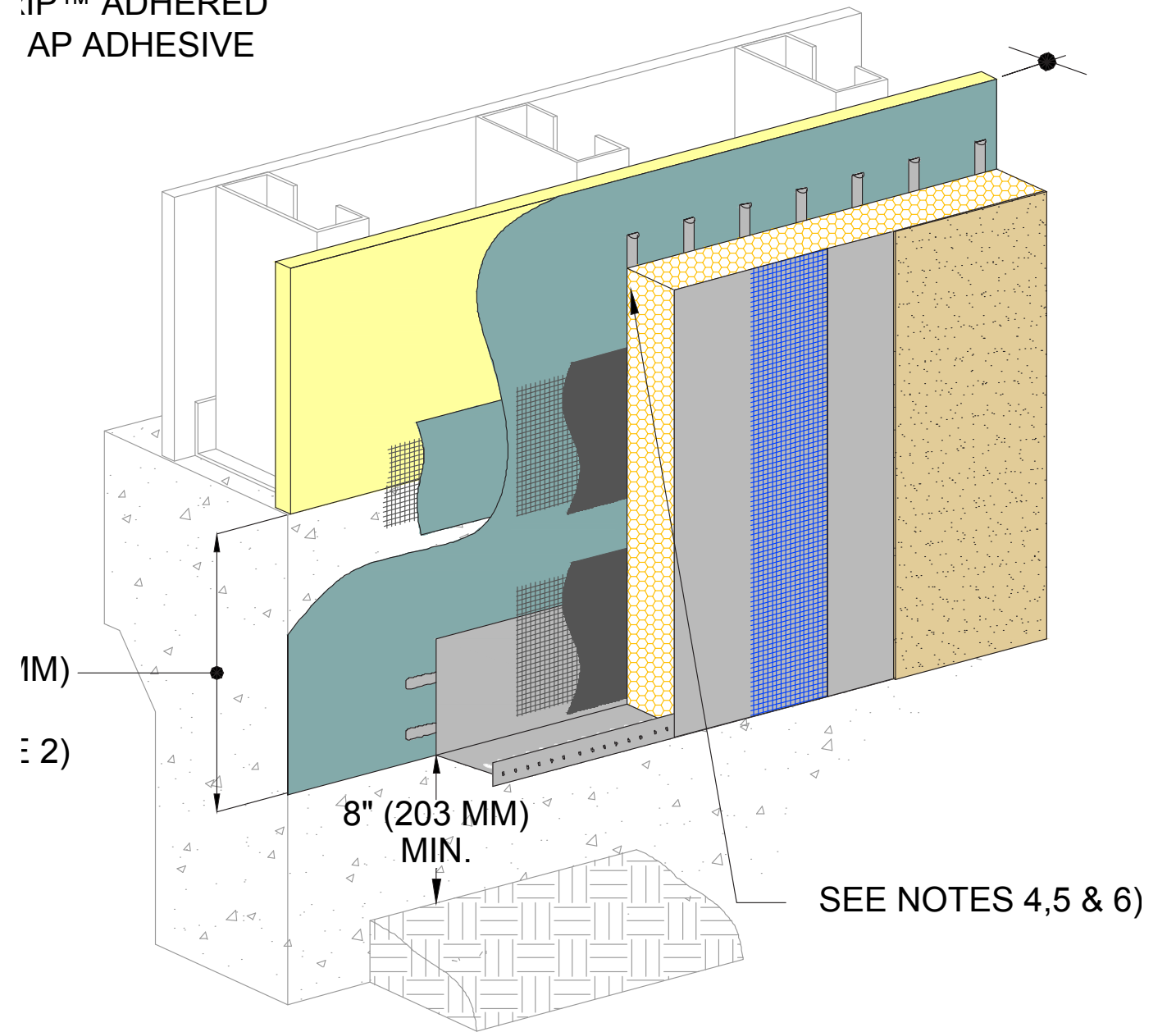
EIFS
200 in/lbs

EIFS base details

at planter bed locations

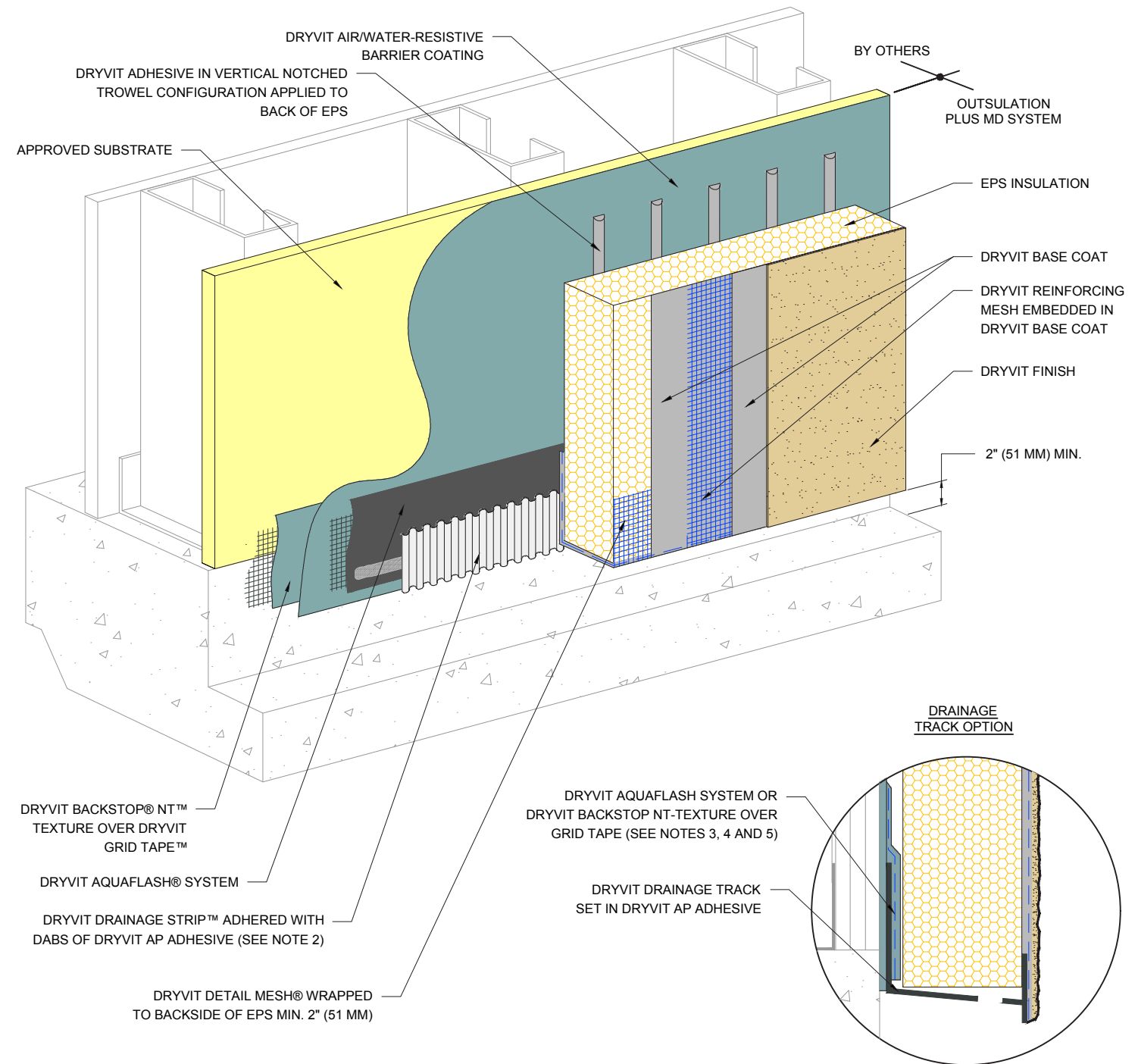
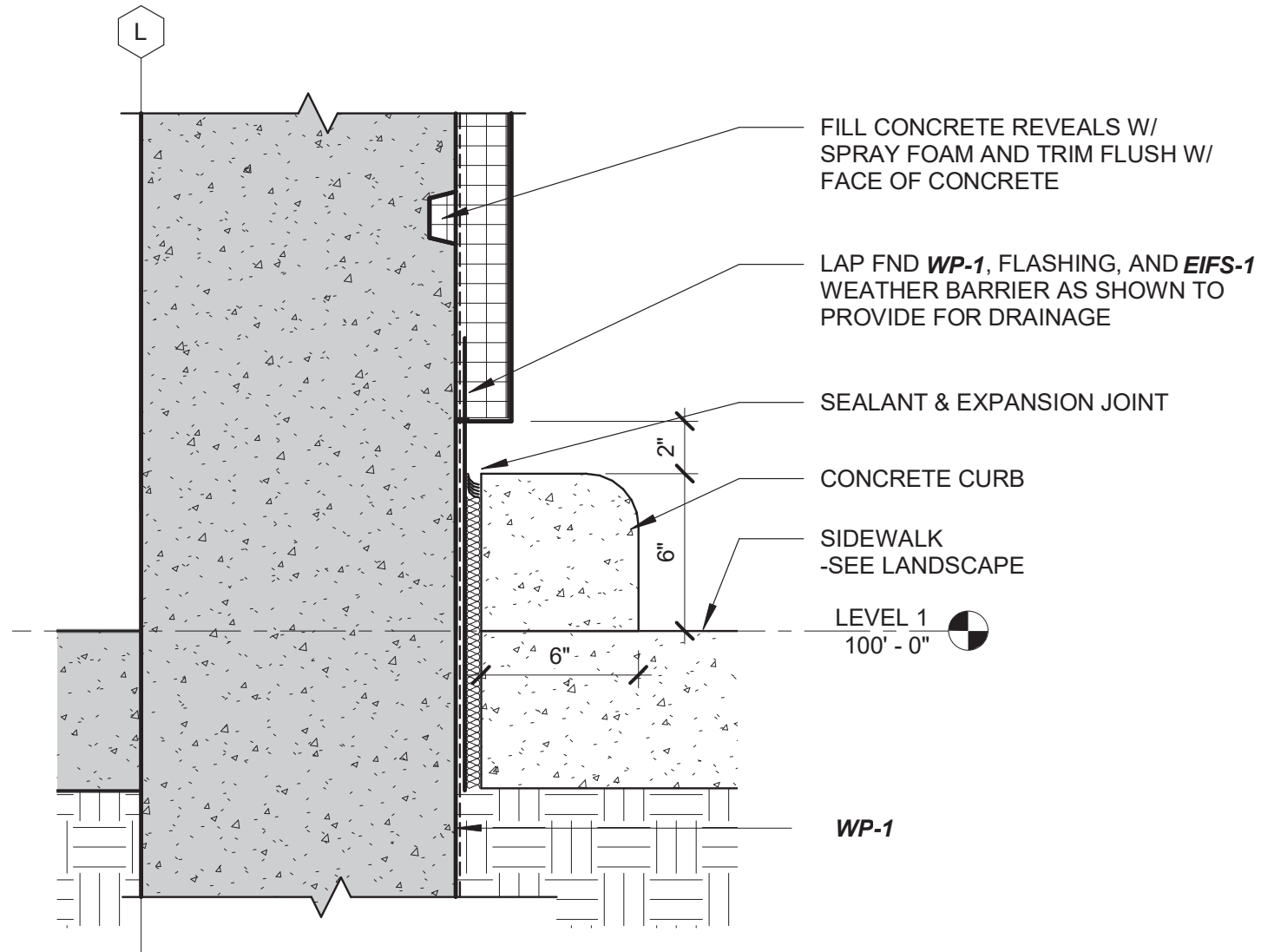


EIFS™ ADHERED
AP ADHESIVE



EIFS base details

protection curb at paved locations



EIFS transition details

existing to new

D

EXIST EIFS TO REMAIN

FLASHING PAINTED TO MATCH SURROUNDING WALL

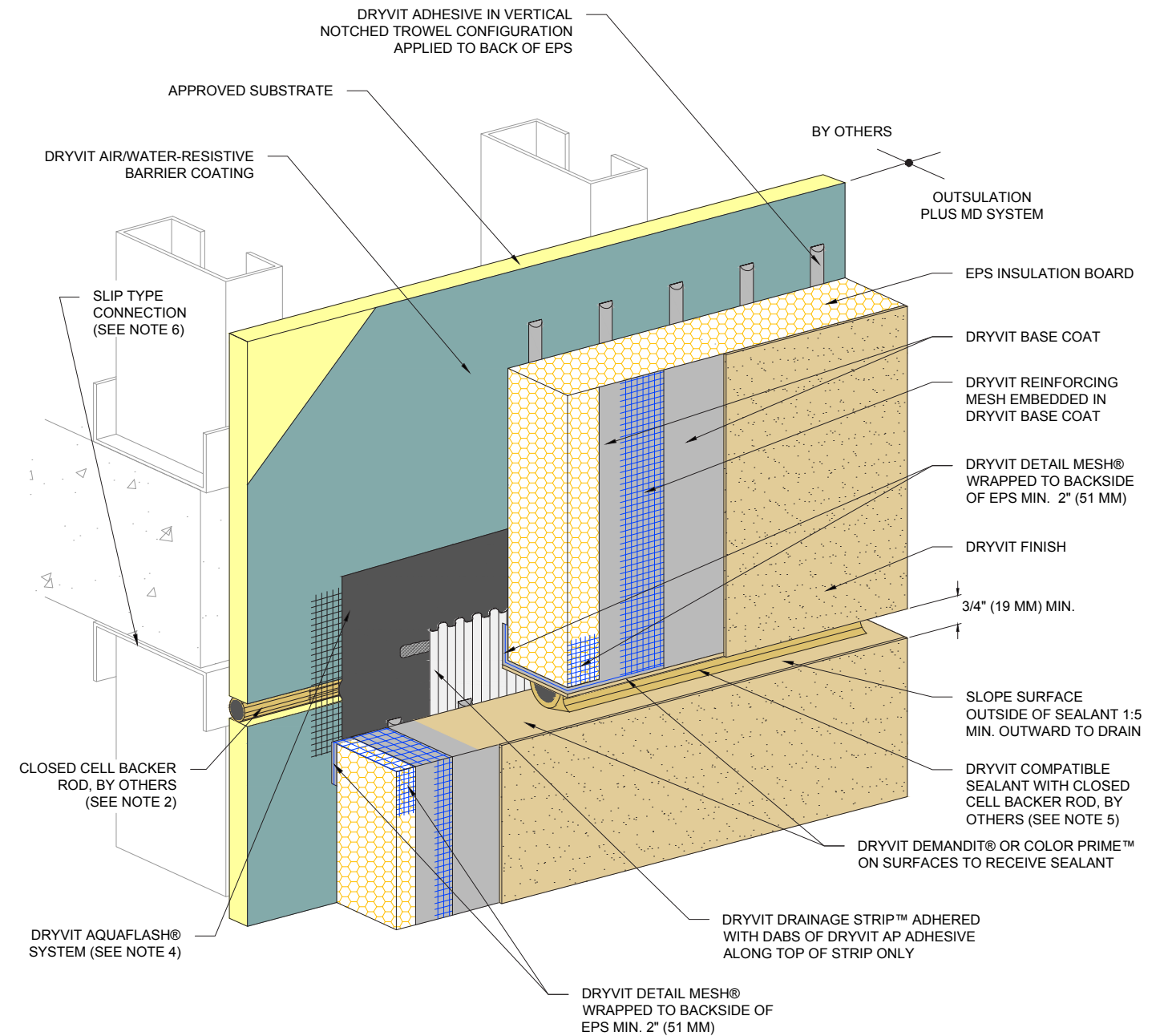
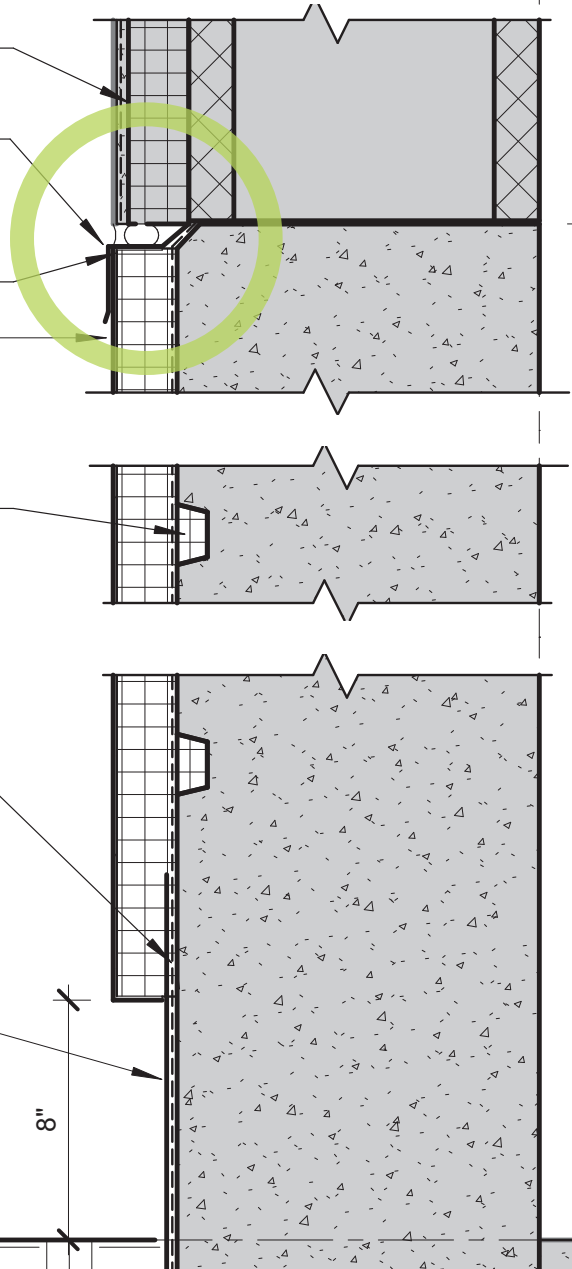
SEALANT

EIFS-1
FACE TO ALIGN WITH EXIST

FILL CONCRETE
REVEALS WITH SPRAY
FOAM AND TRIM FLUSH
WITH FACE OF
CONCRETE

LAP FND **WP-1**,
FLASHING, AND **EIFS-1**
WEATHER BARRIER AS
SHOWN TO PROVIDE FOR
DRAINAGE

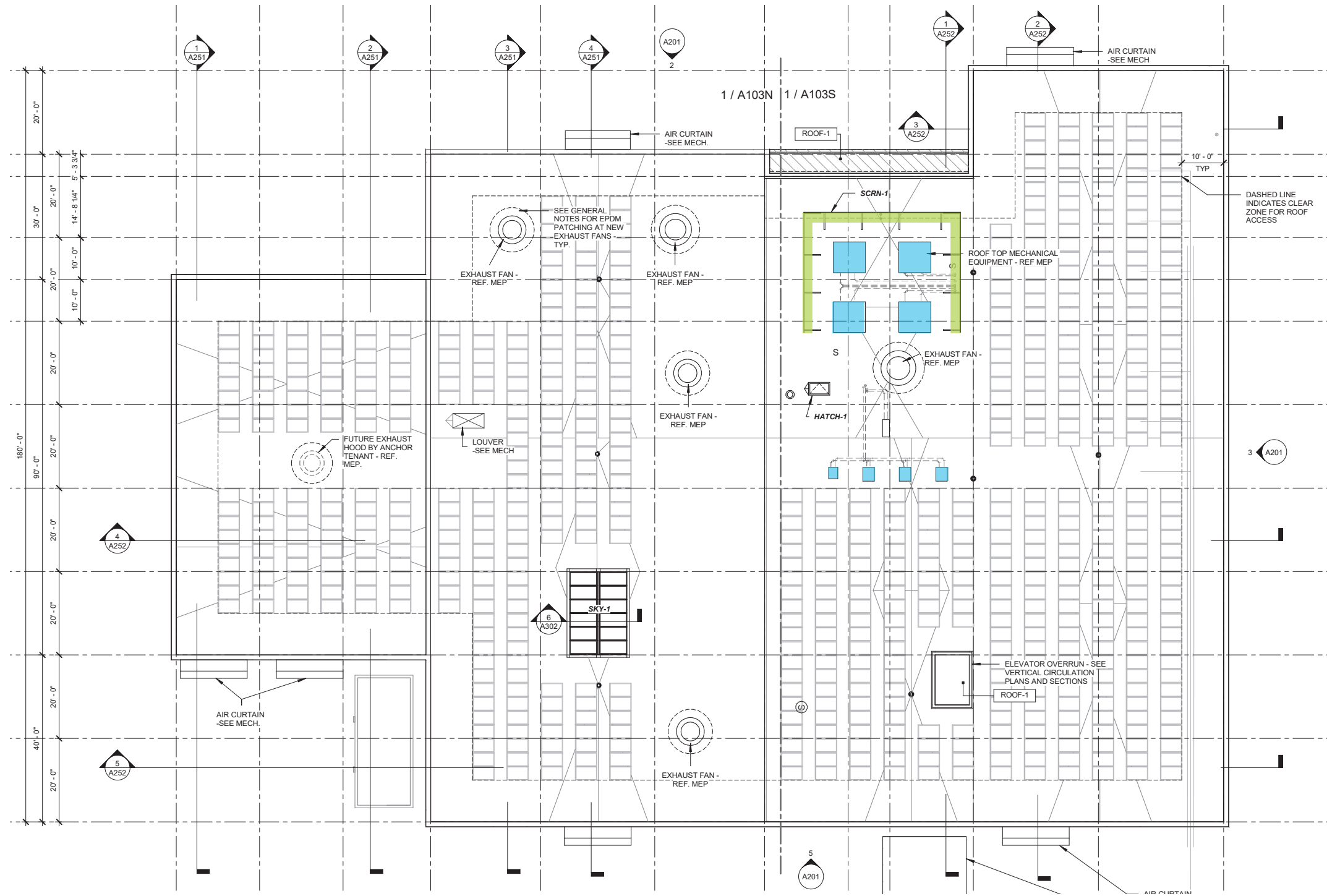
FLASH-2B





Roof top screening

Roof Plan

Equipment and Screens



-  Proposed equipment screen around main condensing units
-  Condensing Unit
- All mechanical equipment on roof is new

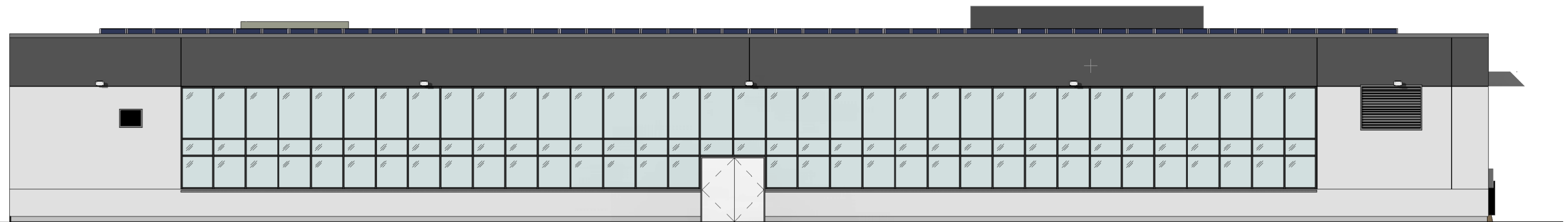
South Facade Glazing

South Building Elevation

Existing Glazing System and Proposed Replacement



Existing storefront and translucent panel system to be removed



Proposed Replacement - Black anodized curtainwall with clear glazing