

# LAND USE APPLICATION

# LND-B

City of Madison  
 Planning Division  
 126 S. Hamilton St.  
 P.O. Box 2985  
 Madison, WI 53701-2985  
 (608) 266-4635



### FOR OFFICE USE ONLY:

Paid \$600- Receipt # 028530-0005  
 Date received 4-5-17  
 Received by JEM  
 Parcel # 0709-224-0304-6  
 Aldermanic district 13-ESKRICH  
 Zoning district TSS  
 Special requirements WP-27  
 Review required by \_\_\_\_\_  
 UDC  PC  
 Common Council  Other \_\_\_\_\_  
 Reviewed By \_\_\_\_\_

**All Land Use Applications must be filed with the Zoning Office at the above address.**

This completed form is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application found on the City's web site.

### 1. Project Information

Address: 1313 REGENT STREET, MADISON, WI 53715  
 Title: ADDITION OF VOLLEYBALL COURTS AND PATIO SERVICE BAR

### 2. This is an application for (check all that apply)

- Zoning Map Amendment (rezoning) from \_\_\_\_\_ to \_\_\_\_\_
- Major Amendment to an Approved Planned Development-General Development Plan (PD-GDP) Zoning
- Major Amendment to an Approved Planned Development-Specific Implementation Plan (PD-SIP)
- Review of Alteration to Planned Development (PD) (by Plan Commission)
- Conditional Use or Major Alteration to an Approved Conditional Use
- Demolition Permit
- Other requests

### 3. Applicant, Agent and Property Owner information

**Applicant name** RODNEY RIPLEY Company LUCKYS 1313 BREW PUB LLC  
**Street address** 1335 DRAKE ST City/State/Zip MADISON, WI 53715  
**Telephone** 608-279-4163 Email RDRIPLEY@GMAIL.COM  
**Project contact person** SAME Company \_\_\_\_\_  
 Street address \_\_\_\_\_ City/State/Zip \_\_\_\_\_  
 Telephone \_\_\_\_\_ Email \_\_\_\_\_  
**Property owner (if not applicant)** FCS PLAN B LLC  
 Street address W11579 COUNTY RD V, APT 1 City/State/Zip Lodi, WI 53555  
 Telephone 608-279-4163 Email RIPPER42@CHARTER.NET

4. Project Description

Provide a brief description of the project and all proposed uses of the site:

ADDITION OF 2 SAND VOLLEYBALL COURTS AND A SMALL SERVICE BAR TO THE PATIO

Scheduled start date 5/23/17 Planned completion date 6/15/17

5. Required Submittal Materials

Refer to the Land Use Application Checklist for detailed submittal requirements.

- Checkboxes for Filing fee, Land Use Application, Letter of intent, Legal description, Pre-application notification, Vicinity map, Survey or existing conditions site plan, Development plans, Land Use Application Checklist (LND-C), Supplemental Requirements, Electronic Submittal\*.

\*Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to pcapplications@cityofmadison.com.

For concurrent UDC applications a separate pre-application meeting with the UDC Secretary is required prior to submittal. Following the pre-application meeting, a complete UDC Application form and all other submittal requirements must be submitted to the UDC Secretary.

6. Applicant Declarations

Pre-application meeting with staff. Prior to preparation of this application, the applicant is strongly encouraged to discuss the proposed development and review process with Zoning and Planning Division staff.

Planning staff KEVIN FIRCHOW Date 2/7/17
Zoning staff MATT TUCKER Date 2/7/17

- Demolition Listserv
Public subsidy is being requested (indicate in letter of intent)

Pre-application notification: The zoning code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than 30 days prior to FILING this request. List the alderperson, neighborhood association(s), business association(s), AND the dates you sent the notices:
30-DAY WAIVER BY ALDER SARA ESKRICH ATTACHED (3/28/17). ORIGINAL NOTICE SENT 2/6/17. NEIGHBORHOOD NOTICE TO GREENBUSH SENT 2/6/17.

The alderperson and the Director of Planning & Community & Economic Development may reduce the 30-day requirement or waive the pre-application notification requirement altogether. Evidence of the pre-application notification is required as part of the application materials. A copy of the notification letters or any correspondence granting a waiver is required as part of the application materials.

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of applicant RODNEY J RIPLEY Relationship to property MANAGING MEMBER
Authorizing signature of property owner [Signature] Date 4/4/17

April 5, 2017

City of Madison  
Planning Division  
126 S. Hamilton St.  
P.O. Box 2985  
Madison, WI 53701-2985

**RE: Letter of Intent – Alteration to an Existing Conditional Use: 1313 Regent Street**

To Whom It May Concern:

On behalf of FCS Plan B, LLC, I am pleased to submit the enclosed plans, application, and zoning text for Plan Commission consideration of approval. We have incorporated the valuable feedback received from city staff, the Planning Commission, and the neighborhood association to address previously-raised concerns. This request for alteration to existing Conditional Uses includes a reduced parking requirement, increased capacity and layout of an outdoor eating area, addition of sand volleyball courts, combining the reception hall space with the brew pub space for private party rental, and opening the reception hall space to brew pub patrons during Wisconsin Badger sporting events.

*Existing Site Conditions*

The 39,467 square foot site (now including 7 South Randall) is located mid-block on the south side of the 1300 block of Regent Street, an active area in the city for all modes of transportation. The existing structure has seen many purposes over its 70+ year lifespan, having been converted about one year ago from a car repair center to its current use as Lucky's 1313 Brewpub. The property extends south through the block to Bowen Court, a one-way street primarily serving the converted housing along this street. To the east and west of the property is a mix of commercial properties and more converted housing.

Currently, the site contains one building with, including reception hall separated from the brew pub and kitchen facilities, an outdoor eating area, and landscaped areas. Access to the site and the existing parking spaces is provided by two driveways; one on Bowen Court, and the other on South Randall Street.

*Proposed Project Changes*

**Outdoor eating area.** Increase the capacity of the outdoor eating area from 58 persons to 82 persons, and modify the layout of the outdoor eating area to add a service bar.

**Outdoor recreation area.** Construct a seasonal outdoor recreation area with two sand volleyball courts.

**Reception hall use.** Allow the entire property to be rented for private parties (i.e., close the brew pub portion of the property to the public), and open the reception hall for use by brew pub patrons during Wisconsin Badger sporting events.

**Parking reduction.** An 84-stall parking reduction.

*Design and Objectives*

**Generally.** The perimeter fence will be increased from 8 feet to 10 feet and constructed of solid materials to minimize light and sound impact on neighbors.

**Outdoor eating area.** Additional patronage generated by the addition of volleyball courts will be better served by the additional 24-person capacity proposed in the outdoor seating area (for a total capacity of 82 persons), as well as by the proposed service bar. The outdoor space has been reconfigured as shown in the plans to accommodate these uses.

**Outdoor recreation area.** The volleyball courts will be underlaid with landscape fabric to minimize weed growth and loss of sand. A seasonally removable net will surround the entire court area and isolate it physically and visually from neighboring properties, and padding added to nearby trees for player safety. The area will be lit by a 20-foot light pole (with nominal light spill) during hours of use only. No speakers will be added to volleyball area. Games will be held from May through October with the last game ending at 10:00 p.m., and the area vacated and dark no later than 10:15 p.m.

**Reception hall use.** When the reception hall is not in use, it is closed off and separate from the brew pub portion of the property. The option to (a) include the brew pub area of the property with reception hall rentals for private parties and (b) open the reception hall space to brew pub patrons will make the entire space more functional for a greater variety of users. When the reception hall and brew pub are rented for private parties, the property will not be open to the public. The reception hall will only be open for use by brew pub patrons during Wisconsin Badger sporting events.

**Parking reduction.** The underlying parking requirement is based on capacity. The new capacity increases the requirement, and the addition of 8 spaces on the 7 South Randall property also increases the supply. The property is centrally located, in close proximity to the University and residential neighborhoods, and well-served by sidewalk, bus and bicycle routes all of which serve to limit the vehicle count typical in other areas.

<b>Use</b>	<b>2015 Approved Capacity</b>	<b>2017 Proposed Capacity</b>
Brew pub	200	200
Reception Hall	155 fixed-seat 450 general assembly	155 fixed-seat 450 general assembly
Outdoor eating	58	82
Outdoor recreation	0	24 (included in outdoor eating count)

<b>Total Capacity</b>	<b>716</b>	<b>740</b>
Required Parking	107	111
Provided Parking	19	27
<b>Requested Reduction</b>	<b>88</b>	<b>84</b>

*Plan revisions to address prior concerns*

- Conditions for volleyball court operations
  - All games will end by 10:00pm and players will promptly leave the court
  - Any clean-up ending by 10:15pm
  - Court lights shut off by 10:15pm
- Resized and relocated volleyball courts to preserve existing trees and provide planting area along Bowen Court fence
- Increased height of the perimeter fence from 8 feet to 10 feet and use of solid materials

*Hours of Operation*

Brew Pub:                    Sunday–Thursday    11:00am–2:00am  
    Friday–Saturday    11:00am–2:30am

Outdoor Dining:        7 days a week (weather permitting) 11:00am–10:00pm

Banquet Facility:        (by reservation) until midnight

Volleyball Court:        5:30pm–10:00pm Weeknights  
    Noon–10:00pm Weekends  
    May through October  
    Vacant and dark no later than 10:15 p.m.

**Occupancy Load:**

Brew Pub:                    2,863 SF = 200 persons  
 Commercial Kitchen: 1,044 SF = 5 persons  
 Banquet Facility:        2,432 SF = 450 persons  
 Brewery:                    1,393 SF = 3 persons  
 Outdoor Dining:        1,269 SF = 82 persons  
 Volleyball Courts:      24 persons (seasonal – factored into outdoor dining area)

**Parking:**

Vehicle	27 provided	41 required for Brew Pub and Patio 68 required for Banquet Facility
Bicycle	5% of capacity	37 required

\*8 additional surface parking stalls have been added since the prior application (with 27 stalls).

**Lot Coverage/Useable Open Space:**

Lot Area: 39,467 SF  
Building: 10,156 SF  
Green Space 11,641 SF

**Project Schedule:**

Application submitted: April 5, 2017  
Plan Commission: May 22, 2017  
Site Plan Approval: June 2017  
Start Construction: June 2017  
Final Completion: July 2017

**Conditional Use Alterations Requested:**

- Reduction in parking requirement;
- Increase capacity of an approved outdoor eating area;
- Construction of a seasonal outdoor recreation area with two sand volleyball courts;
- Modification to the layout of the outdoor eating area to add a service bar;
- Alteration to existing limits of building use to: "That to minimize parking impacts, the banquet facility shall not be used as expanded capacity for the brewpub unless the brew pub is closed to the public, and the whole facility is operated as a private party."
- Allow the event space to be used during home and away Wisconsin Badger games for football, men's basketball, women's volleyball and men's hockey.

**Project Team:**

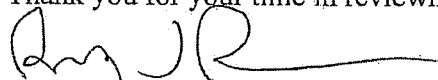
Owner: FCS Plan B, LLC  
W 11579 Cty Rd V, Apt 1  
Lodi, WI 53555  
Contact: Rod Ripley  
Ripper42@charter.net  
(608) 279-4163

Architect: TJK Design Build Inc.  
612 West Main St, Ste. 201  
Madison, WI 53703  
608-257-1090  
608-257-1092 fax  
Contact: John J. Bienen  
jjbienen@tjkdesignbuild.com

Engineer: D'Onofrio, Kottke & Assocs, Inc.  
7530 Westward Way  
Madison, WI 53717  
608-833-7530  
Contact: Ron Klaas

Landscape  
Design: Richard Slayton, ASLA

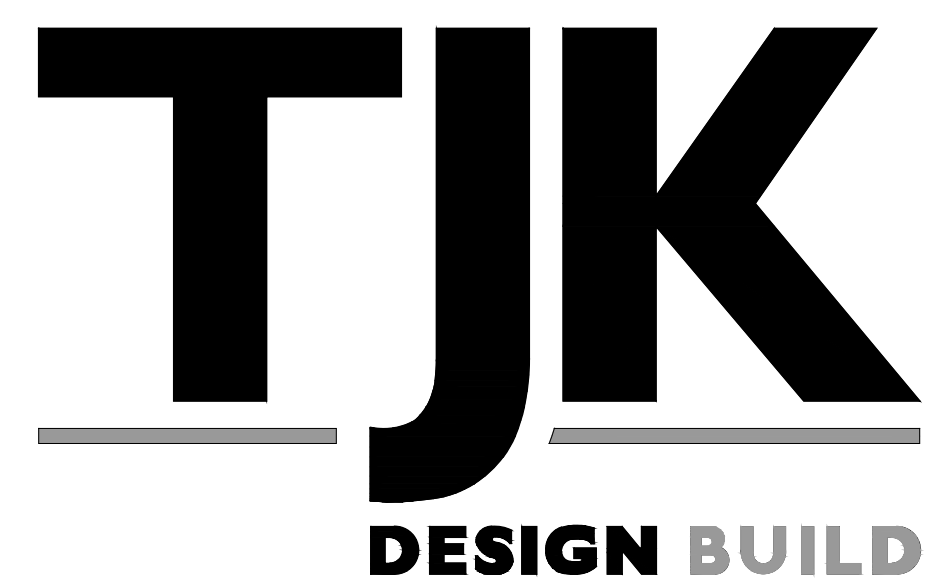
Thank you for your time in reviewing our proposal.

  
Rod Ripley

PROPOSED FACILITY FOR: \_\_\_\_\_

# REGENT STREET DEVELOPMENT

1313 REGENT STREET  
MADISON, WISCONSIN



**TJK Design Build**

612 West Main Street

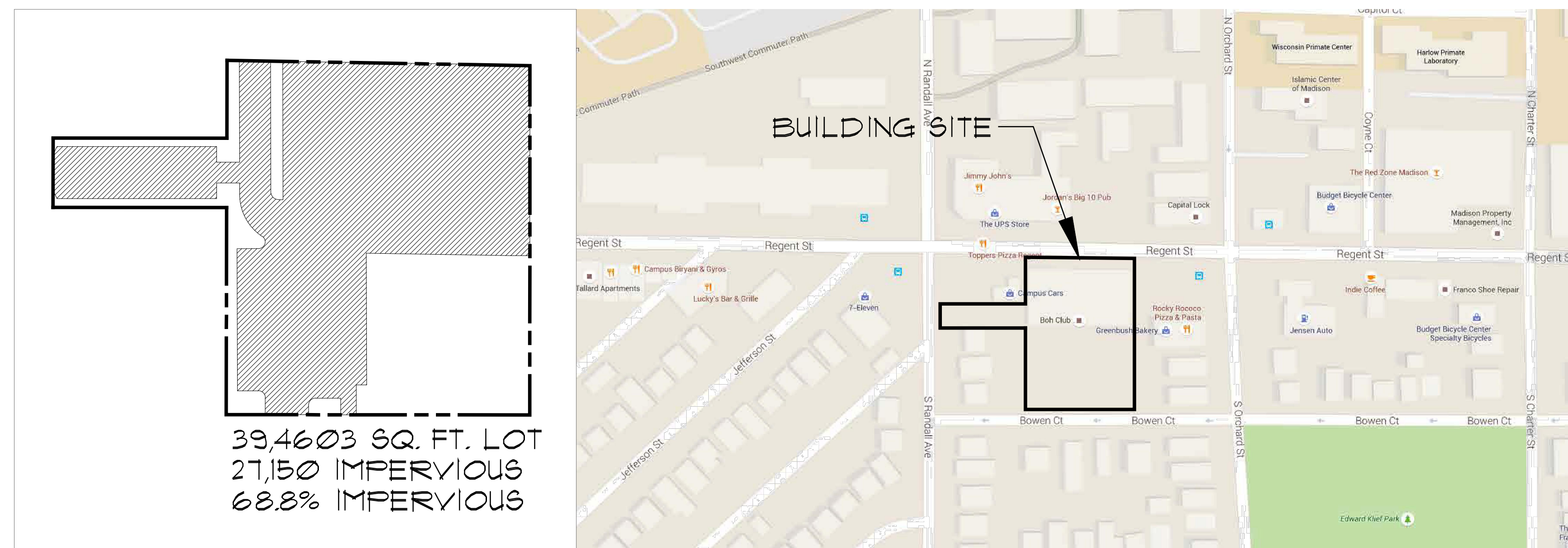
Madison, WI 53703

608-257-1090

FAX 608-257-1092

INDEX OF DRAWINGS:

- C-1.0 PROPOSED SITE PLAN
- C-1.1 GRADING AND EROSION CONTROL PLAN
- C-1.2 UTILITY PLAN
- C-1.3 PHOTOMETRIC PLAN
- C-1.4 LANDSCAPE PLAN



SITE LOCATION MAP

PROPOSED FACILITY FOR:  
REGENT STREET DEVELOPMENT  
1313 REGENT STREET, MADISON, WI

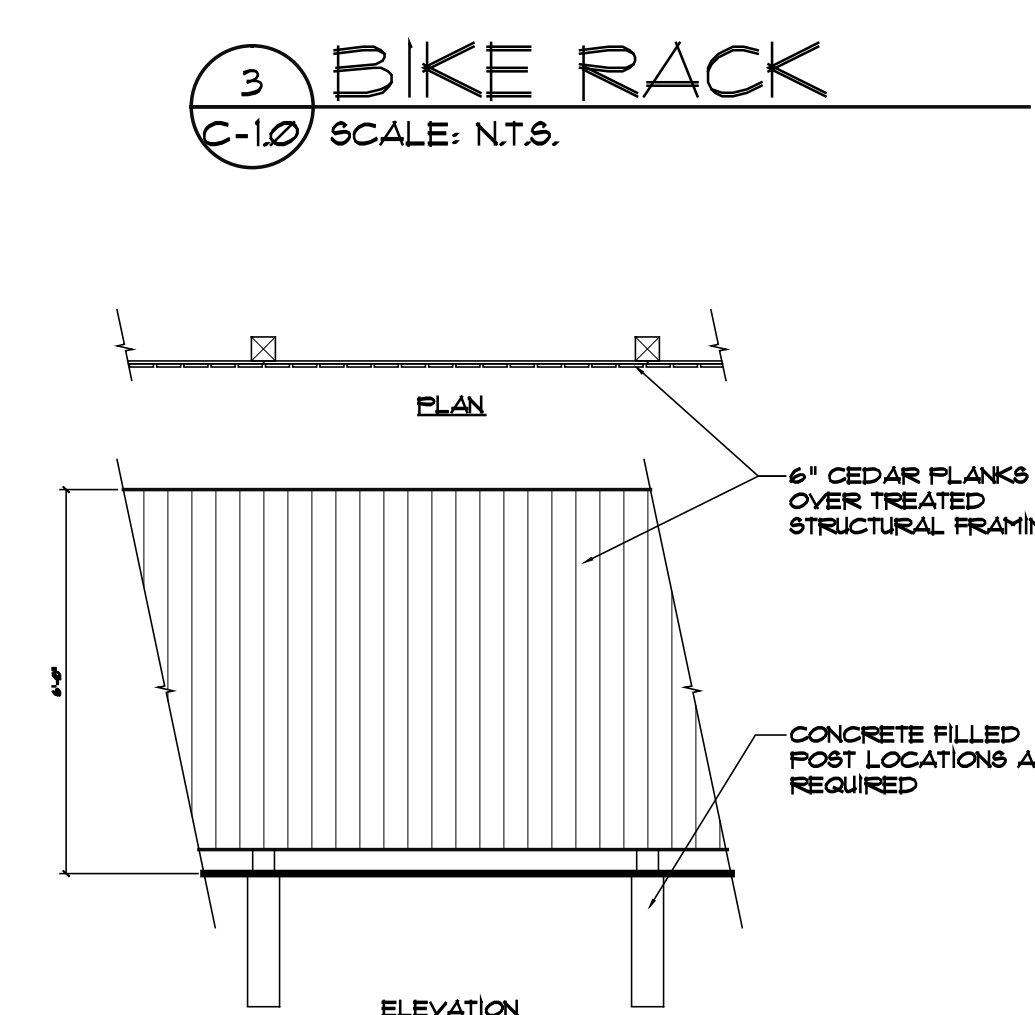
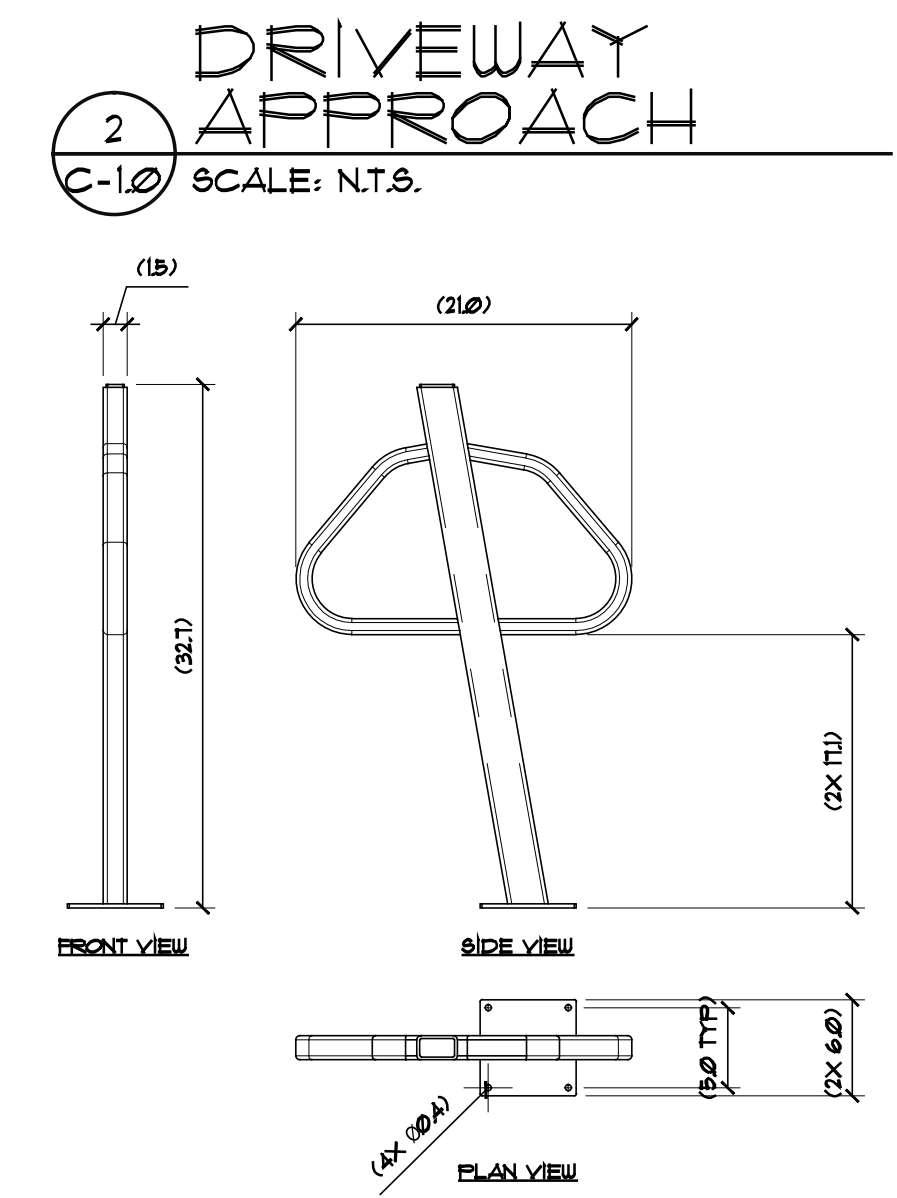
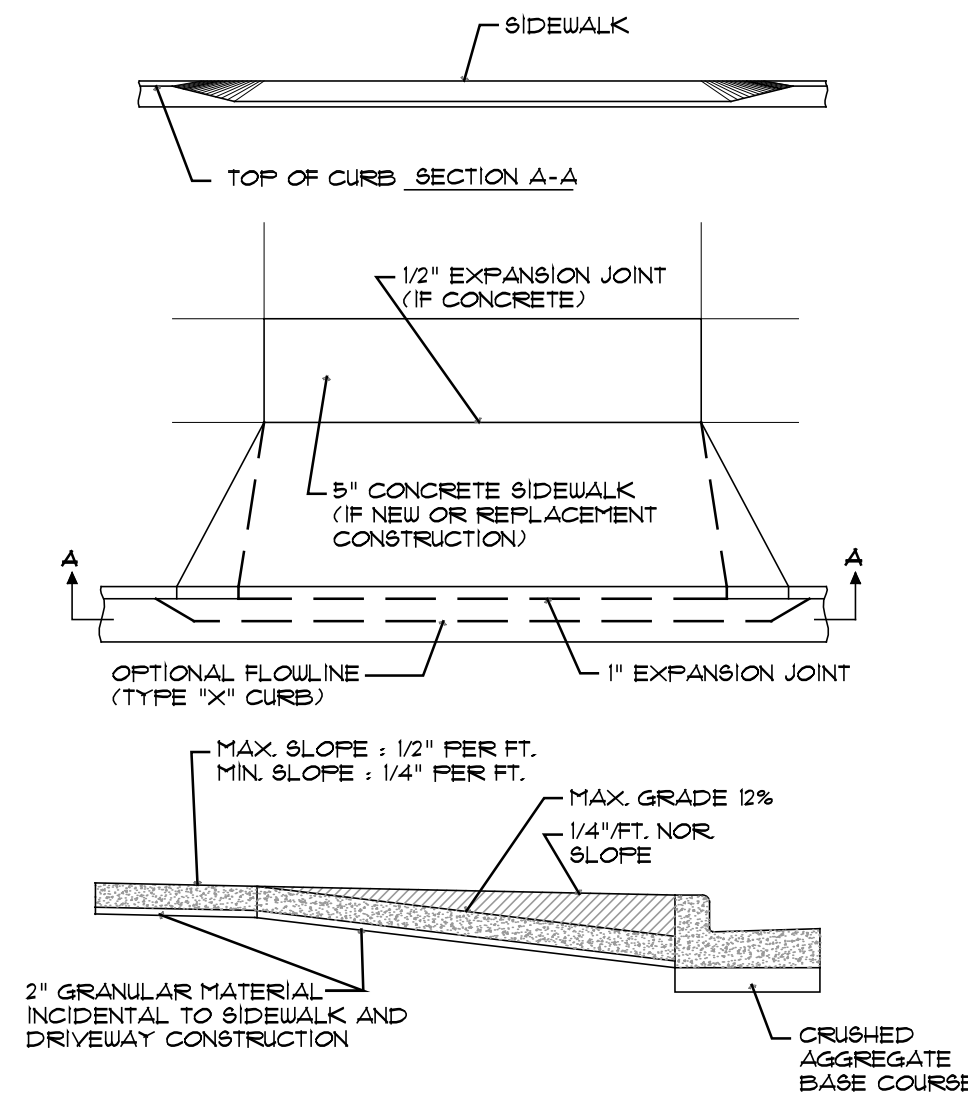
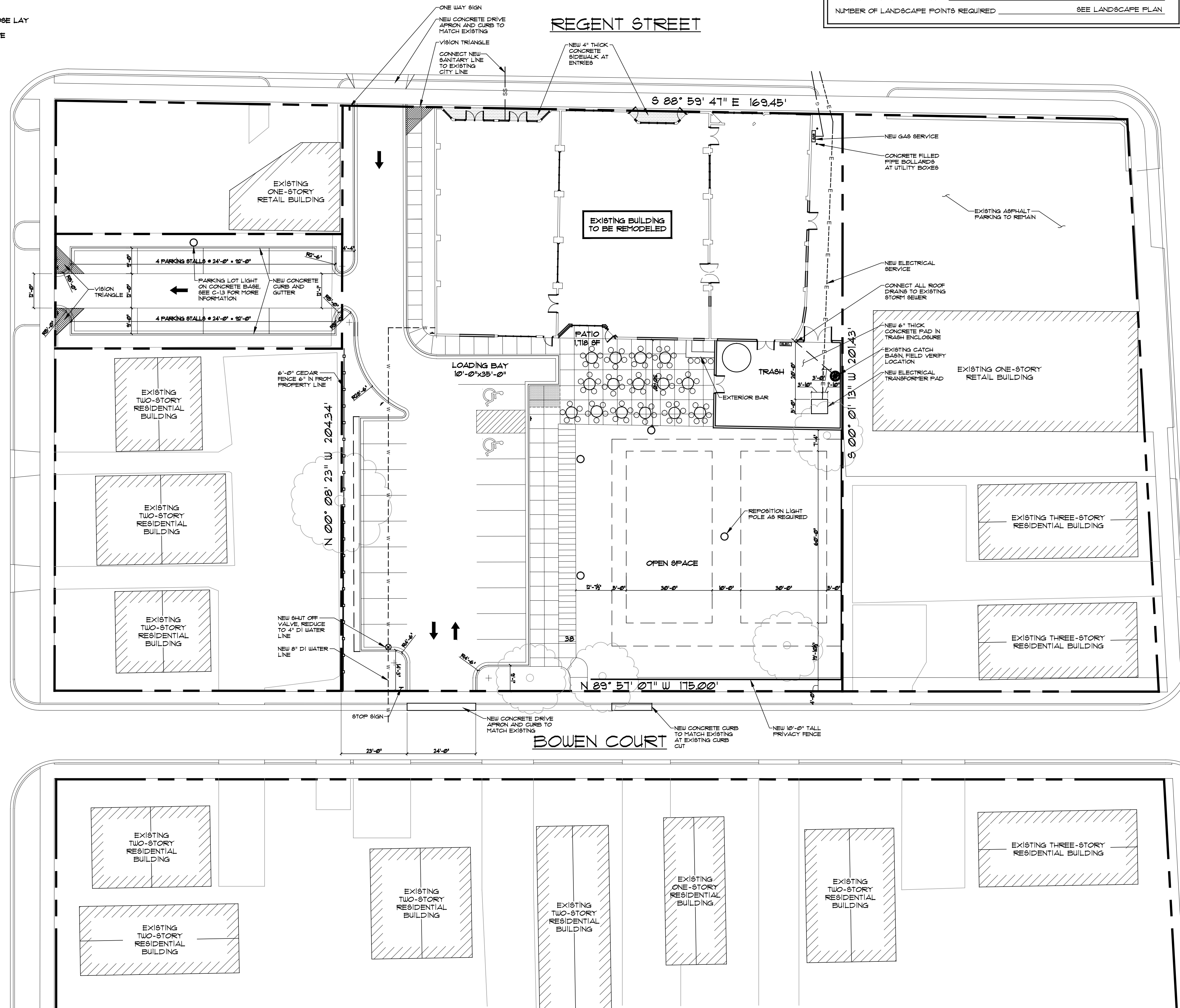
- LEGEND:**
- PROPERTY CORNER
  - PROPERTY LINE
  - SAN- SANITARY SEWER
  - SHT- STORM SEWER
  - W- WATER MAIN
  - ⊕ FIRE HYDRANT
  - UTILITY POLE
  - CITY STREET LIGHT
  - MANHOLE
  - - - 250' FIRE HOSE LAY
  - WATER VALVE
  - CURB INLET

SITE INFORMATION BLOCK - LOT 1 (BREW PUB)	
SITE ACREAGE (TOTAL)	39,463 SQ. FT. • 0.91 ACRES
PROPOSED PARKING AND PAVEMENT	15,321 SQ. FT.
GREEN SPACE	12,321 SQ. FT. 31.2%
NUMBER OF BUILDING STORIES (ABOVE GRADE)	1
BUILDING HEIGHT	18'-2" ABOVE FINISH FLOOR
TYPE OF CONSTRUCTION	5B, FULLY SPRINKLED
TOTAL SQUARE FOOTAGE OF BUILDING	10,556 SQ. FT.
USE OF PROPERTY	B
NUMBER OF PARKING STALLS	26
NUMBER OF LANDSCAPE POINTS REQUIRED	SEE LANDSCAPE PLAN

**GENERAL NOTES:**

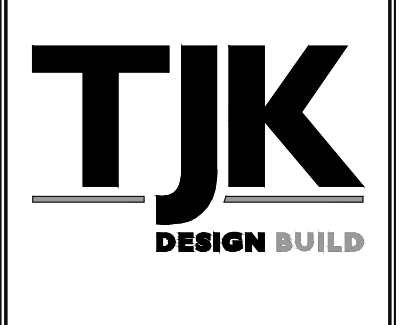
1. LOT SIZE = 39,460 SQ. FT., GROUND FLOOR FOOTPRINT (EXISTING) = 10,156 SQ. FT., 25.7% OF LOT SIZE.
2. CONNECT ALL ROOF DRAINS TO CITY STORM SEWER SYSTEM.
3. REMOVE EXISTING CONCRETE DRIVEWAY APPROACH AND REPLACE WITH NEW CURB AND GUTTER TO MATCH EXISTING.
4. GENERAL CONTRACTOR TO OBTAIN PERMIT TO PLUG EXISTING PRIVATE STORM LATERAL.
5. ALL CURB, GUTTER AND SIDEWALK WHICH ABUTS THE PROPERTY WHICH IS DAMAGED OR IS DETERMINED BY CITY ENGINEER TO BE REPLACED.
6. ALL WORK IN THE PUBLIC RIGHT-OF-WAY TO BE PERFORMED BY A CITY LICENSED CONTRACTOR.
7. ALL DAMAGE TO PAVEMENT ON REGENT STREET AND BOWEN COURT ADJACENT TO SITE SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA.
8. GENERAL CONTRACTOR TO OBTAIN A STREET EXCAVATION PERMIT FOR INSTALLATION OF REQUIRED UTILITIES.
9. GENERAL CONTRACTOR TO OBTAIN ALL REQUIRED SEWER CONNECTION AND PLUGGING PERMITS PRIOR TO ANY UTILITY WORK BEING PERFORMED.
10. GENERAL CONTRACTOR TO OBTAIN CONNECTION AND EXCAVATION PERMITS PRIOR TO COMMENCING STORM SEWER CONSTRUCTION.
11. NO RESIDENTIAL PARKING PERMITS SHALL BE ISSUED FOR BOWEN COURT APARTMENTS.
12. ALL DIMENSIONS ARE FROM FACE OF CONCRETE WALL, FACE OF CURB OR CENTER OF PROPERTY LINE.
13. TRACKED MATERIAL SHALL BE COLLECTED BY THE GENERAL CONTRACTOR AT THE END OF EACH WORKING DAY OR AS REQUIRED BY THE CITY.
14. EXISTING WATER MAIN VALVES SHALL BE MARKED AND PROTECTED FOR DURATION OF CONSTRUCTION.

SOUTH RANDALL AVENUE



**1 PROPOSED SITE PLAN**  
SCALE: 1" = 20' - 0"

**4 FENCE DETAIL**  
SCALE: N.T.S.



612 WEST MAIN STREET  
MADISON, WI 53703  
608-257-1090  
FAX 608-257-1092

REV	DATE

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PROPOSED FACILITY FOR:  
**REGENT STREET DEVELOPMENT**  
1313 REGENT STREET  
MADISON, WI

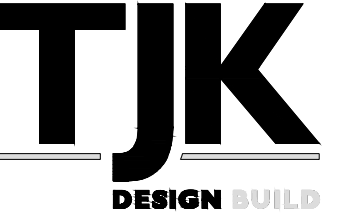
**C-1.0**  
3.31.17



**EROSION CONTROL NOTES:**

1. EROSION CONTROL PRACTICES SHALL BE PLACED AT THE COMMENCEMENT OF CONSTRUCTION. ALL PRACTICES SHALL BE INSPECTED AFTER A RAINFALL EVENT OF 0.5" OR GREATER AND/OR WEEKLY AND REPAIRED AS NECESSARY.
2. THE CONTRACTOR SHALL INSPECT STREETS AND SIDEWALK ADJACENT TO THE SITE A MINIMUM OF ONCE DAILY AND CLEAN AS NECESSARY. CLEANING SHALL BE BY SWEEPING AND NOT HYDRAULIC FLUSHING. MUD AND DEBRIS TRACKED ONTO CITY STREETS SHALL BE IMMEDIATELY CLEANED UP.
3. INLET FILTERS FOR EXISTING INLETS SHALL BE INSTALLED AT THE COMMENCEMENT OF CONSTRUCTION. INLET FILTERS SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL A SATISFACTORY STAND OF GRASS HAS BEEN ACHIEVED, THEN REMOVED.
4. ALL DISTURBED AREAS SHALL BE RESTORED WITH TOPSOIL, FERTILIZER, SEED, AND MULCH. SEED SHALL BE WDOT MIXTURE 40 APPLIED AT 2 POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL BE WDOT TYPE A APPLIED AT 6 POUNDS PER 1000 SQUARE FEET. MULCH SHALL BE HAY OR STRAW APPLIED AT 1.5 TO 3 TONS PER ACRE AND CRIMPED. CHANGES TO ABOVE TYPES SHALL BE APPROVED BY ENGINEER. EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. UNTIL ACCEPTANCE OF THIS PROJECT, EROSION CONTROL MEASURES AS SHOWN ON THE APPROVED PLAN SHALL BE THE MINIMUM ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECOGNIZING AND CORRECTING EROSION CONTROL PROBLEMS THAT ARE A RESULT OF CONSTRUCTION ACTIVITIES. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE CITY ENGINEER OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
6. CHANGES TO THE APPROVED EROSION CONTROL PLAN SUBMITTED SHALL BE APPROVED BY THE CITY PRIOR TO IMPLEMENTATION

**D'ONOFRIO KOTTKE AND ASSOCIATES, INC.**  
 7530 Westward Way, Madison, WI 53717  
 Phone: 608.833.7530 • Fax: 608.833.1089  
 YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT



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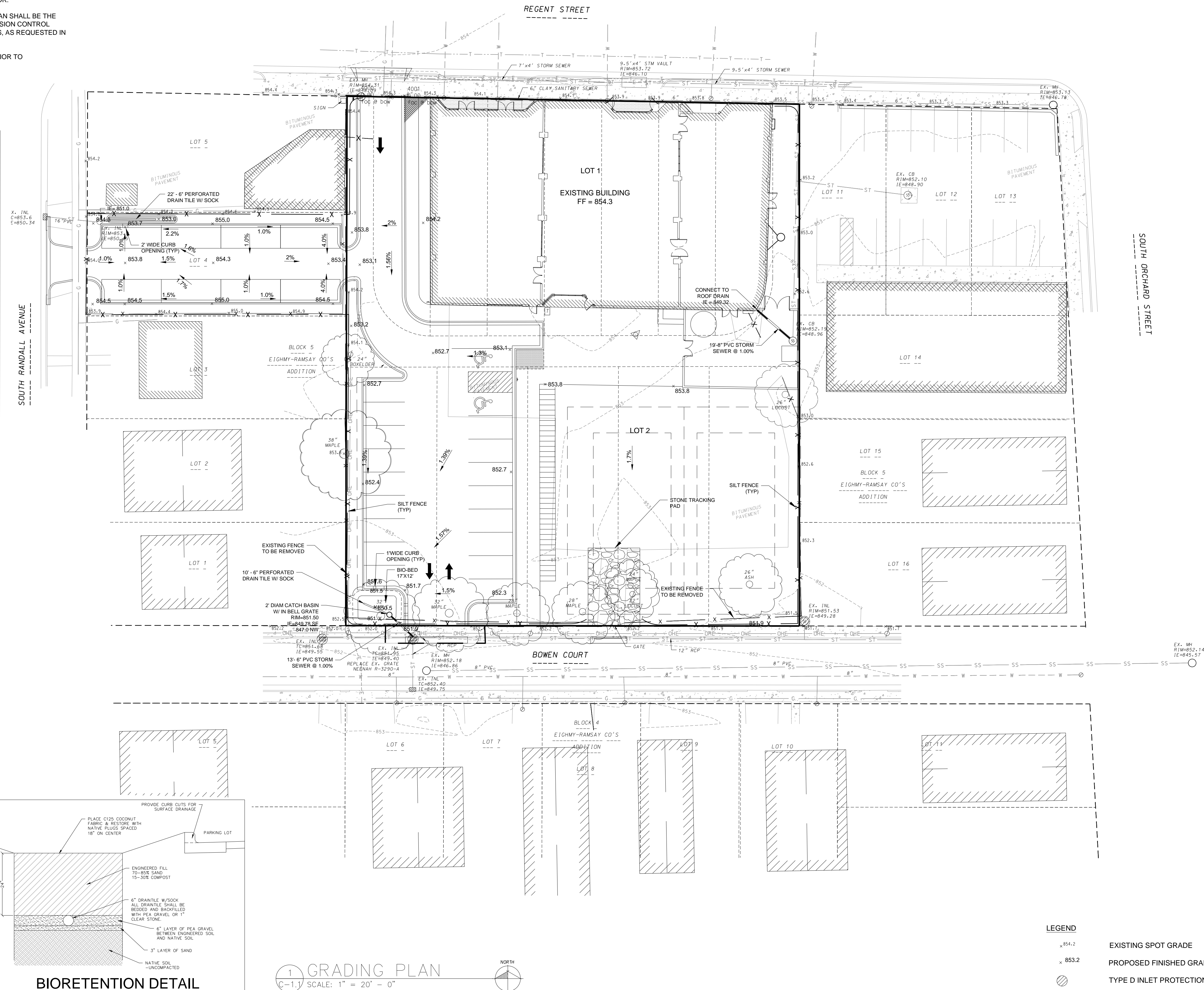
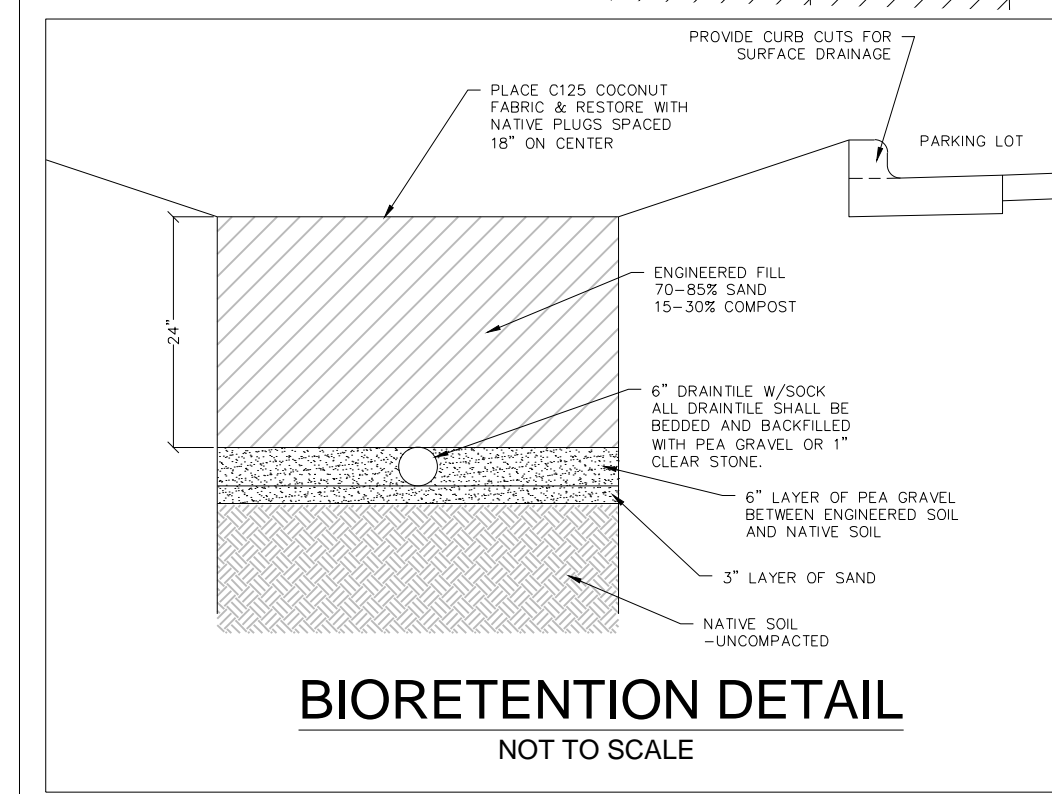
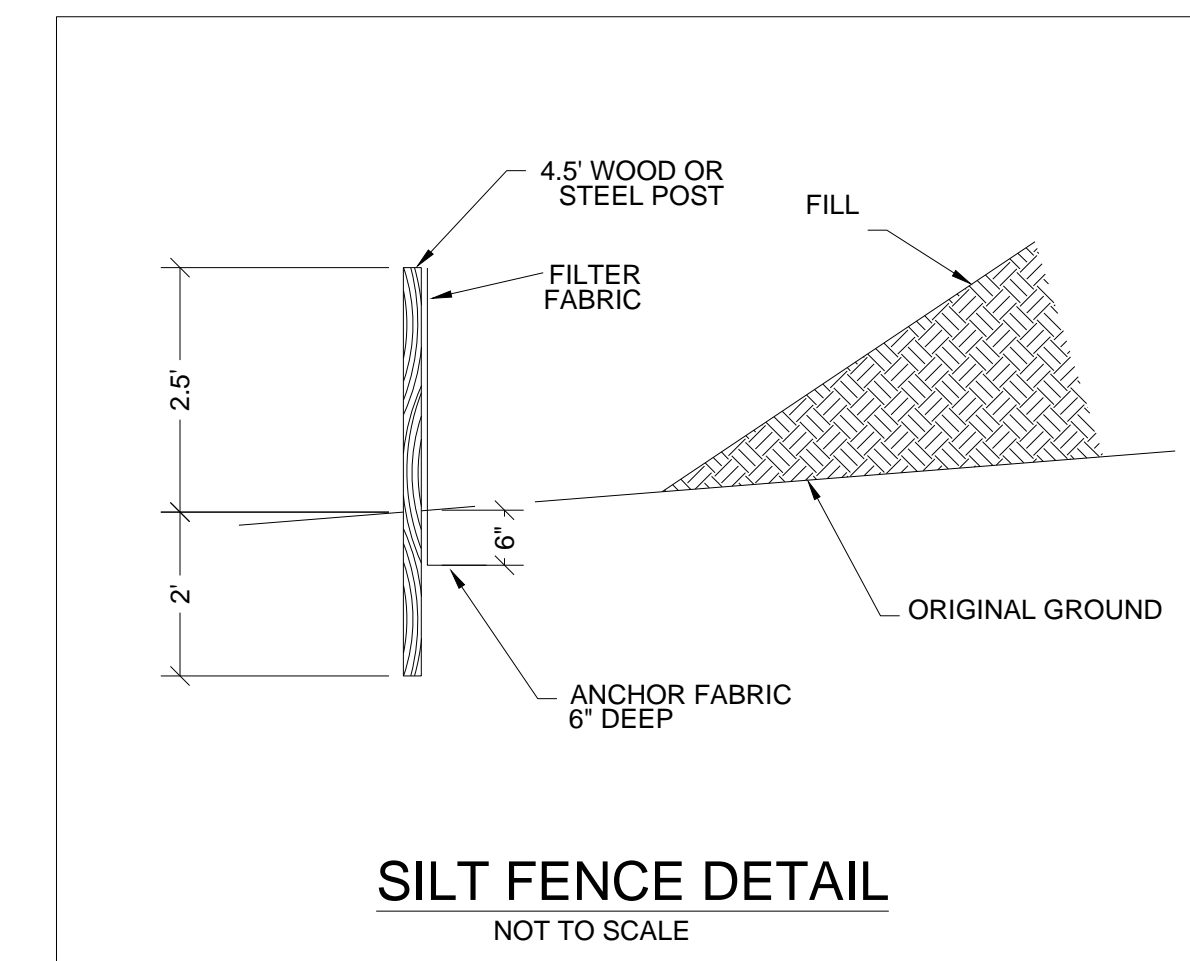
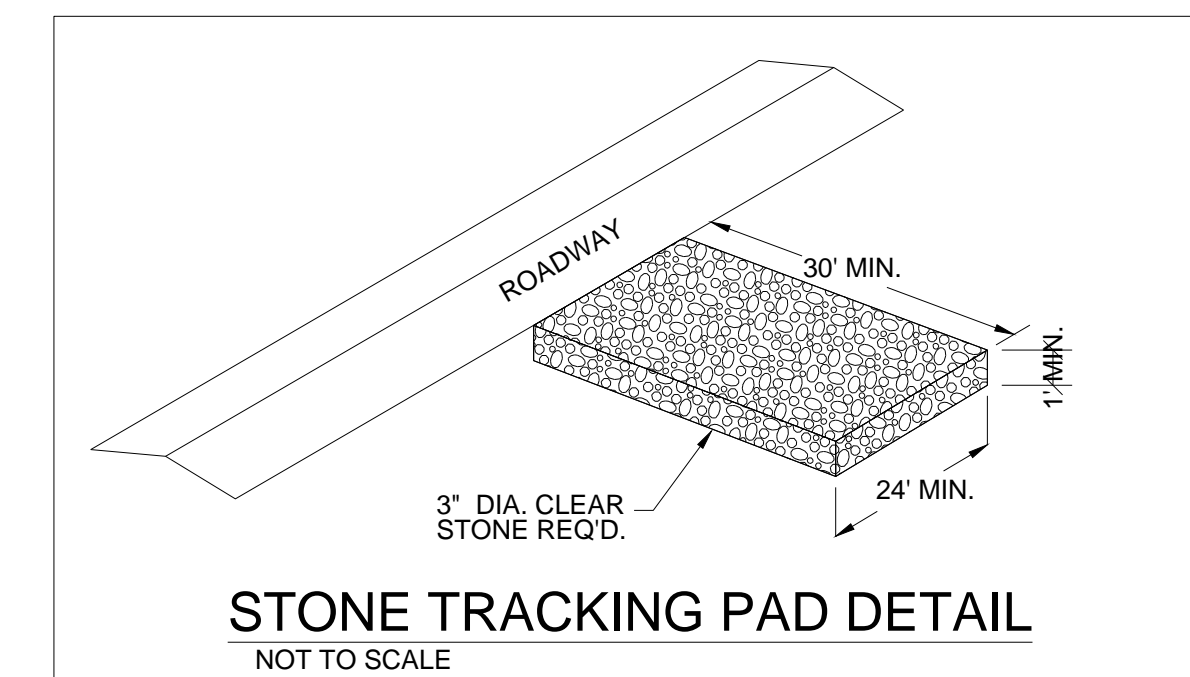
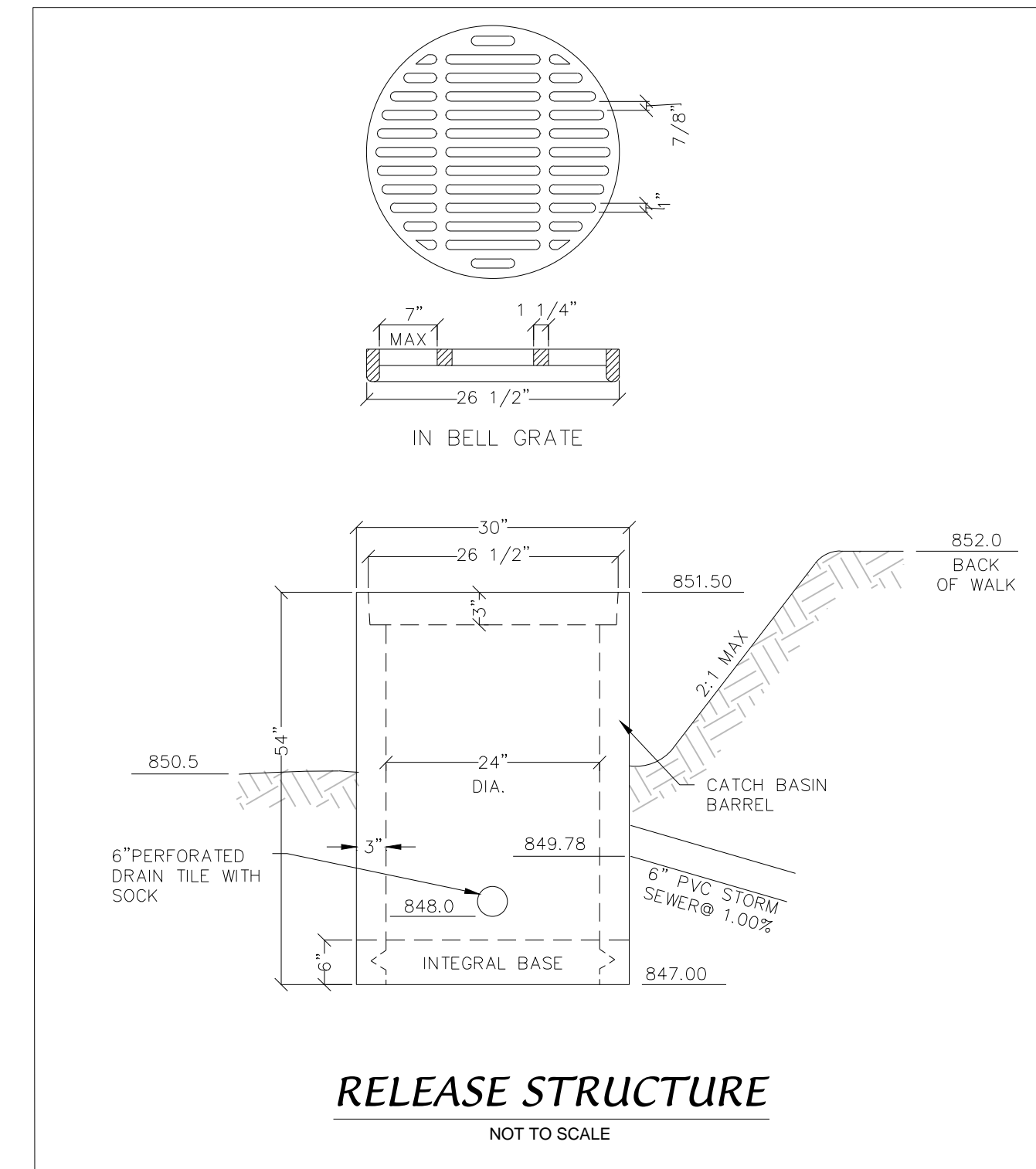
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PROPOSED FACILITY FOR:  
**REGENT STREET**  
 1313 REGENT STREET  
 MADISON, WI

**C-1.1**

08.16.16



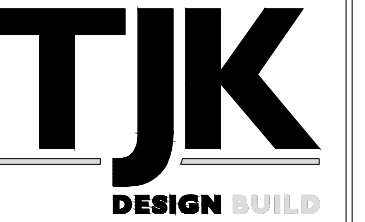
**LEGEND**

- 854.2 EXISTING SPOT GRADE
- × 853.2 PROPOSED FINISHED GRADE
- TYPE D INLET PROTECTION REQUIRED
- LIMITS OF DISTURBANCE

**SITE UTILITY NOTES**

1. ALL SITE UTILITY WORK SHALL COMPLY WITH THE CITY OF MADISON CODE OF ORDINANCES. ALL MATERIALS SHALL BE IN COMPLIANCE WITH THE CITY'S MATERIAL STANDARDS.
2. SANITARY SEWER SHALL BE SDR 35 PVC.
3. SITE UTILITY CONTRACTOR SHALL COORDINATE WORK EFFORTS INVOLVING ANY OTHER UTILITIES WITH THEIR PERSPECTIVE COMPANIES: MG&E, CHARTER, TDS, ETC
4. UTILITIES LOCATED IN THE RIGHT-OF-WAY TO BE CONSTRUCTED AS PART OF A CITY OF MADISON IMPROVEMENT PROJECT.

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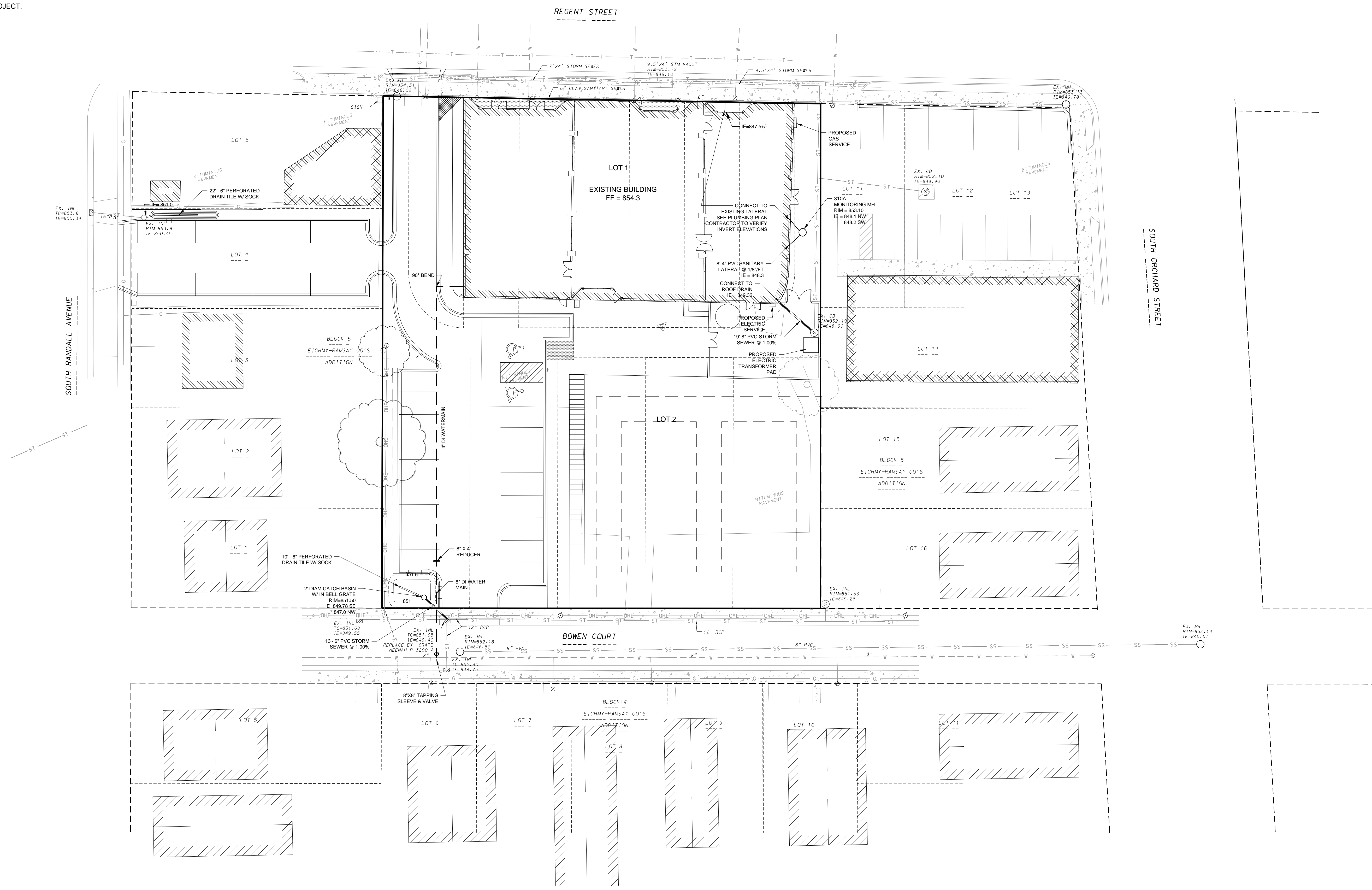
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PROPOSED FACILITY FOR:  
**REGENT STREET**

1313 REGENT STREET  
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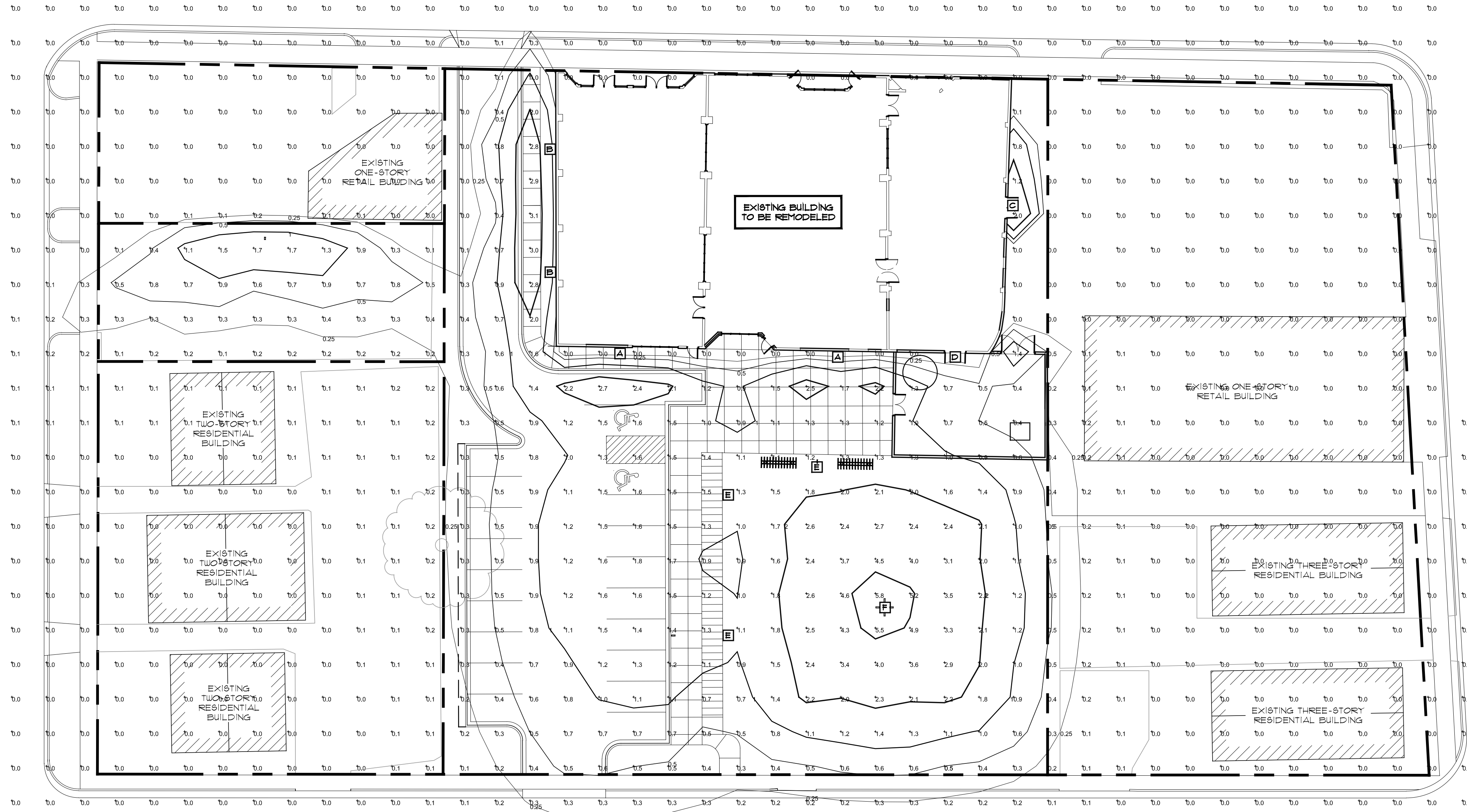
**C-1.2**

03.22.16



1 SITE UTILITY PLAN  
 C-1.2 SCALE: 1" = 20' - 0"

SOUTH RANDALL AVENUE



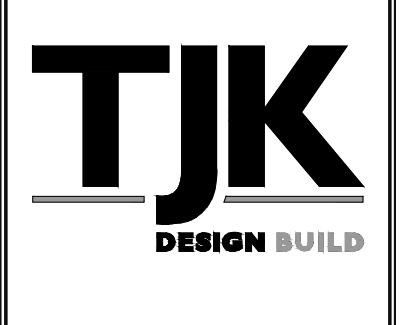
REGENT STREET

BOWEN COURT

SOUTH ORCHARD STREET

LUMINAIRE SCHEDULE					
Label	Qty	Catalog Number	Description	Lamp	Watts
A	2	ENV-E01-LED-EI-BL3	ENTRI LED LUMINAIRE WITH UPLIGHT (1) LIGHTBAR WITH ACCULUED OPTICS - TYPE 3 WITH SPILL LIGHT CONTROL MOUNTED 10'-0" ABOVE GRADE		21
B	2	ENV-E01-LED-EI-BL2	ENTRI LED LUMINAIRE WITH UPLIGHT (1) LIGHTBAR WITH ACCULUED OPTICS - TYPE 2 WITH SPILL LIGHT CONTROL MOUNTED 10'-0" ABOVE GRADE		21
C	1	ENV-E01-LED-EI-BL2	ENTRI LED LUMINAIRE WITH UPLIGHT (1) LIGHTBAR WITH ACCULUED OPTICS - TYPE 2 WITH SPILL LIGHT CONTROL MOUNTED 8'-0" ABOVE GRADE		21
D	1	ENV-E01-LED-EI-SLL	ENTRI LED LUMINAIRE WITH UPLIGHT (1) LIGHTBAR WITH ACCULUED OPTICS - 90° SPILL LIGHT ELIMINATOR LEFT MOUNTED 10'-0" ABOVE GRADE		21
E	3	FM1-E02-LED-E-U-14-1030	MESA DECORATIVE LED LUMINAIRE (2) LIGHTBARS WITH ACCULUED OPTICS - TYPE 4 SHORT MOUNTED 20'-0" ABOVE GRADE	(2) 3000K CCT, 70 CRI LED*	24.1
F	1	FM1-E02-LED-E-U-14-1030	(4) HEAD MESA DECORATIVE LED LUMINAIRE (2) LIGHTBARS WITH ACCULUED OPTICS - TYPE 4 SHORT MOUNTED 20'-0" ABOVE GRADE	(4) 3000K CCT, 200.4 70 CRI LED*	208.4
G	1	FM1-E02-LED-E-U-12-1030	MESA DECORATIVE LED LUMINAIRE (2) LIGHTBARS WITH ACCULUED OPTICS - TYPE 2 AREA MOUNTED 16'-0" ABOVE GRADE	(2) 3000K CCT, 70 CRI LED*	52.1

STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	0.3 fc	5.8 fc	0.0 fc	N / A	N / A



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MADISON, WI 53703  
608-257-1090  
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REV	DATE

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PROPOSED FACILITY FOR:  
**REGENT STREET DEVELOPMENT**  
1313 REGENT STREET  
MADISON, WI

PHOTOMETRIC PLAN  
SCALE: 1" = 20' - 0"  
NORTH

**C-1.3**  
3.31.17

**SITE INFORMATION BLOCK - LOT 1 (BREW PUB)**

SITE ACREAGE (TOTAL)	35,460 SQ FT = 0.81 ACRES
PROPOSED PARKING AND PAVEMENT	12,296 SQ FT
GREEN SPACE	11,316 SQ FT 31.9%
NUMBER OF BUILDING STORIES (ABOVE GRADE)	1
BUILDING HEIGHT	10'-2" ABOVE FINISH FLOOR
TYPE OF CONSTRUCTION	5B, FULLY SPRINKLED
TOTAL SQUARE FOOTAGE OF BUILDING	10,156 SQ FT
USE OF PROPERTY	B
NUMBER OF PARKING STALLS	19
NUMBER OF LANDSCAPE POINTS REQUIRED	SEE LANDSCAPE PLAN

**GENERAL NOTES:**

- LOT SIZE = 34,922 SQ. FT., GROUND FLOOR FOOTPRINT (EXISTING) = 10,156 SQ. FT., 29.1% OF LOT SIZE.
- CONNECT ALL ROOF DRAINS TO CITY STORM SEWER SYSTEM.
- REMOVE EXISTING CONCRETE DRIVEWAY APPROACH AND REPLACE WITH NEW CURB AND GUTTER TO MATCH EXISTING.
- GENERAL CONTRACTOR TO OBTAIN PERMIT TO PLUG EXISTING PRIVATE STORM LATERAL.
- ALL CURB, GUTTER AND SIDEWALK WHICH ADJUTS THE PROPERTY WHICH IS DAMAGED OR IS DETERMINED BY CITY ENGINEER TO BE REPLACED.
- ALL WORK IN THE PUBLIC RIGHT-OF-WAY TO BE PERFORMED BY A CITY LICENSED CONTRACTOR.
- ALL DAMAGE TO PAVEMENT ON REGENT STREET AND BOWEN COURT ADJACENT TO SITE SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA.
- GENERAL CONTRACTOR TO OBTAIN A STREET EXCAVATION PERMIT FOR INSTALLATION OF REQUIRED UTILITIES.
- GENERAL CONTRACTOR TO OBTAIN ALL REQUIRED SEWER CONNECTION AND PLUGGING PERMITS PRIOR TO ANY UTILITY WORK BEING PERFORMED.
- GENERAL CONTRACTOR TO OBTAIN CONNECTION AND EXCAVATION PERMITS PRIOR TO COMMENCING STORM SEWER CONSTRUCTION.
- NO RESIDENTIAL PARKING PERMITS SHALL BE ISSUED FOR BOWEN COURT APARTMENTS.
- ALL DIMENSIONS ARE FROM FACE OF CONCRETE WALL, FACE OF CURB OR CENTER OF PROPERTY LINE.
- TRACKED MATERIAL SHALL BE COLLECTED BY THE GENERAL CONTRACTOR AT THE END OF EACH WORKING DAY OR AS REQUIRED BY THE CITY.
- EXISTING WATER MAIN VALVES SHALL BE MARKED AND PROTECTED FOR DURATION OF CONSTRUCTION.

**REQUIRED LANDSCAPE CALCULATIONS**

**Landscape Calculations and Distribution**  
Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and Zoning District.

- (a) For all lots except those described in (b) and (c) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.

Total square footage of developed area **13,686 sf**  
Total landscape points required **228 pts**

**PROVIDED LANDSCAPE CALCULATIONS**

Plant Type/ Element	Minimum Size at Installation	Points	Credits/ Existing Landscaping		New/ Proposed Landscaping	
			Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2 1/2 inch caliper measured diameter at breast height (dbh)	35			4	140
Tall evergreen tree (i.e. pine, spruce)	5-6 feet tall	35			3	105
Ornamental tree	1 1/2 inch caliper	15			3	45
Upright evergreen shrub (i.e. arbovitae)	3-4 feet tall	10				
Shrub, deciduous	#3 gallon container size, Min. 12"-24"	3			45	135
Shrub, evergreen	#3 gallon container size, Min. 12"-24"	4			18	72
Ornamental grasses/ perennials	#1 gallon container size, Min. 8"-18"	2			112	224
Ornamental/ decorative fencing or wall	n/a	4 per 10 lineal ft.				
<b>Sub Totals</b>						<b>721</b>

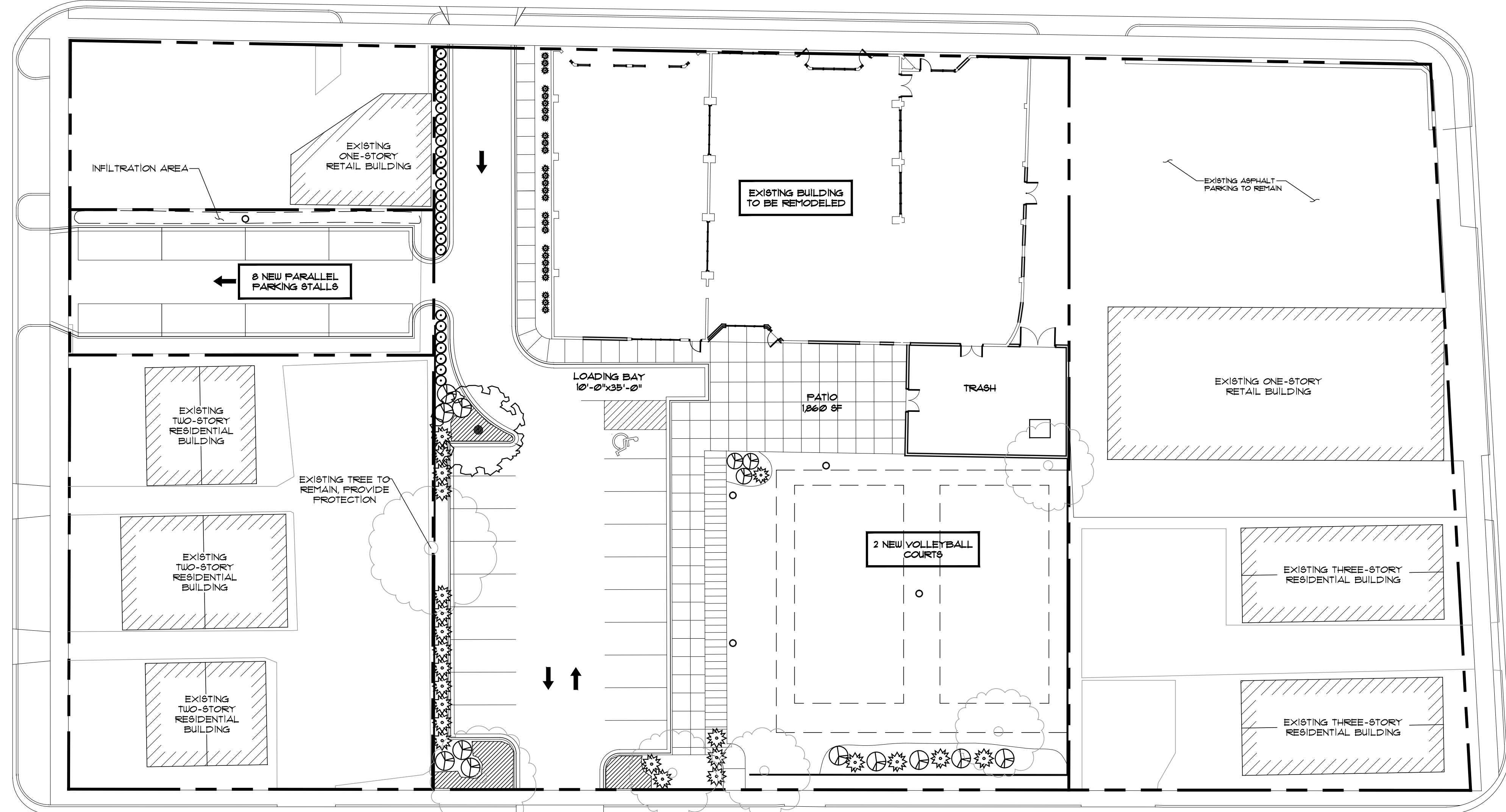
Total Number of Points Provided **721**

REGENT STREET

SOUTH RANDALL AVENUE

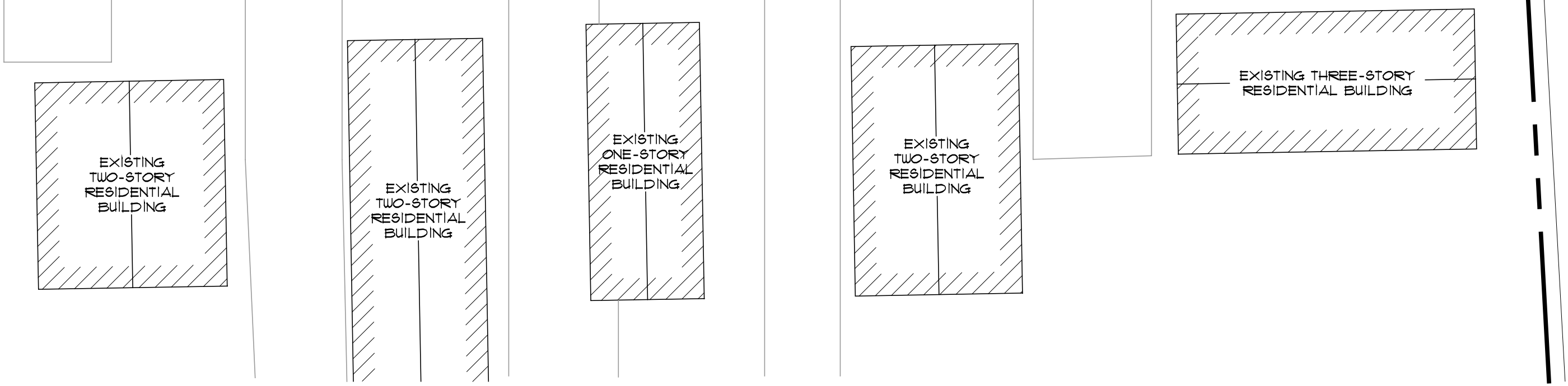
SOUTH ORCHARD STREET

BOWEN COURT



**PLANTING SCHEDULE AND LEGEND**

Key	Botanical Name	Common Name	Qty	Planting Size	Root Spec	Spacing	Comments
<b>Deciduous Trees</b>							
AGA	Amelanchier grand.	'Autumn Brilliance' Serviceberry	2	6-8' Ht.	B&B	As shown	Multi-stem
CY	Chionanthus virginicus	White Fringe Tree	1	6-8' Ht.	B&B	As shown	Multi-stem
GTS	Gleditsia triacanthos	'Skyline' Honeylocust	1	2 1/2" cal	B&B	As shown	Straight leader
QXS	Quercus x Schuetei	Schuette's Oak	2	2 1/2" cal	B&B	As shown	Straight leader, matched
TC	Tilia cordata	'June Bride' Littleleaf Linden	1	2 1/2" cal	B&B	As shown	Straight leader
<b>Deciduous Shrubs</b>							
CFV	Calycanthus floridus	'Venus'	18	24" HT/3 Gal	Cont.	As shown	Full plants, matched
POD	Physocarpus opulifolius	'Donna May' Little Devil Ninebark	31	24" HT/3 Gal	Cont.	As shown	Full plants, matched
VC	Viburnum carlesii	Koreanspice Viburnum	3	18" HT/3 Gal	Cont.	As shown	Full plants, matched
<b>Evergreens</b>							
IGC	Ilex glabra	'Compacta'	28	24" HT/3 Gal	Cont.	As shown	Full plants, matched
TPS	Thuja plicata	'Spring Grove'	2	4' HT	B&B	As shown	Full plants
<b>Perennials, Ornamental Grasses, Vines and Groundcovers</b>							
caf	Calamagrostis acutiflora	'Karl Foerster'	15	1 Gal	Cont.	As shown	Full plants, matched
pvs	Panicum virgatum	'Shenandoah'	12	1 Gal	Cont.	As shown	Full plants, matched
sh	Sporobolus heterolepis	Prairie Dropseed	85	1 Gal	Cont.	As shown	Full plants, matched
<b>Non-Plant Groundlayer Treatment</b>							
SM	Shredded Bark Mulch: Shredded Natural Cypress at all planting beds						
SM	Stone Mulch: Planting bed along building						



1 LANDSCAPE PLAN  
C-1.4 SCALE: 1" = 20'

2 TRELLIS DETAIL  
C-1.4 SCALE: N.T.S.