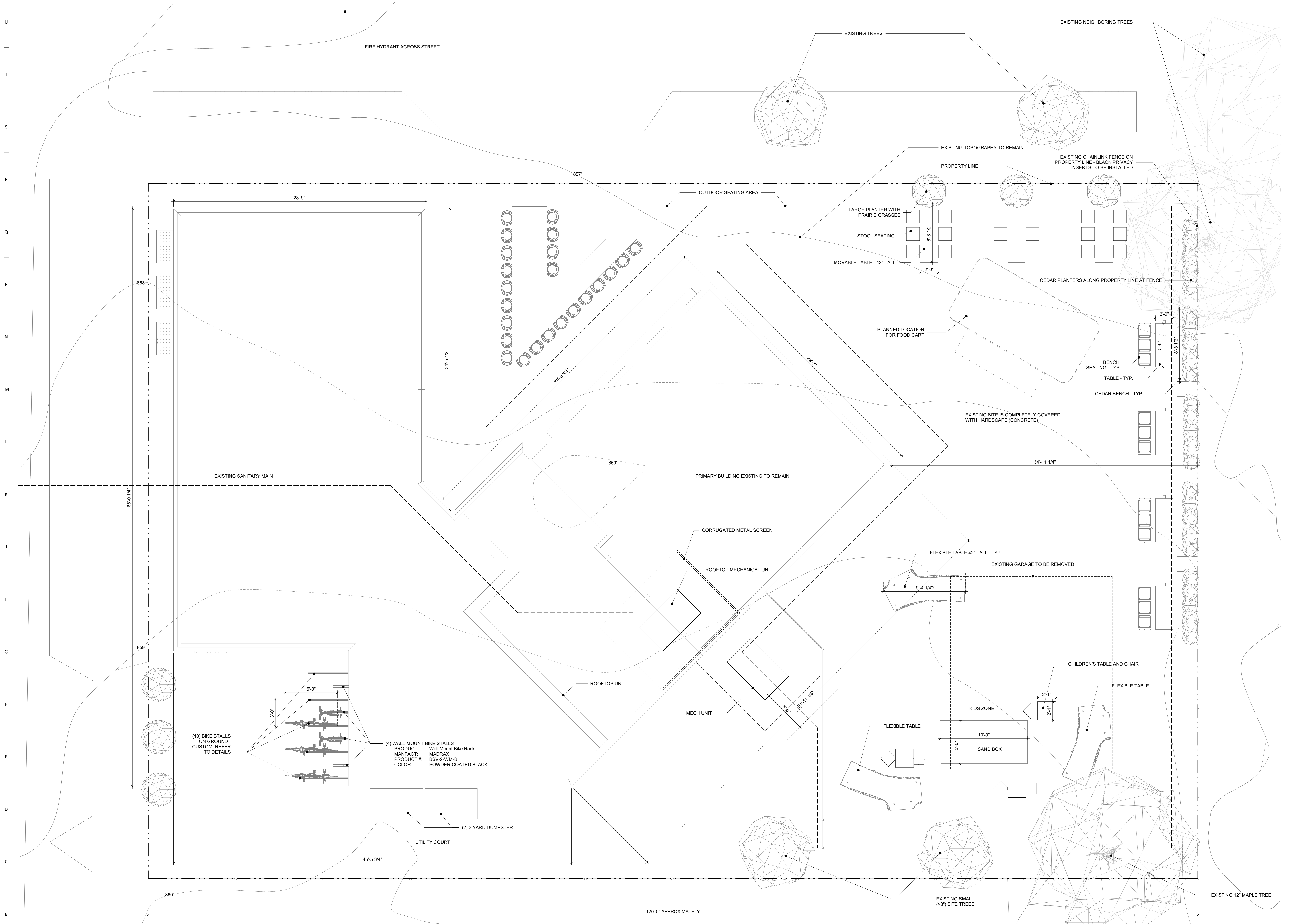


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SITE PLAN
1/4" = 1'-0"

Revision	Description	Date

- APPLICATION PLANS REFERENCED IN THIS DRAWING
- Site plan
 - Existing Conditions Site plan
 - Grading Plan
 - Utility Plan
 - Landscape Plan
 - Building Elevations
 - Roof Plan
 - Floor plans
 - Fire access plan

OPN Project No:
21655000

Sheet Issue Date
DAT SUBMITTAL 01/24/2022

Sheet Name
SITE GEOMETRY PLAN

Sheet Number
A002-1

PRELIMINARY. NOT FOR CONSTRUCTION.



FENCE PLANTER



KID ZONE



NORTH STREET ELEVATION



OUTDOOR DINING AREA ENTRY

PRELIMINARY. NOT FOR CONSTRUCTION.

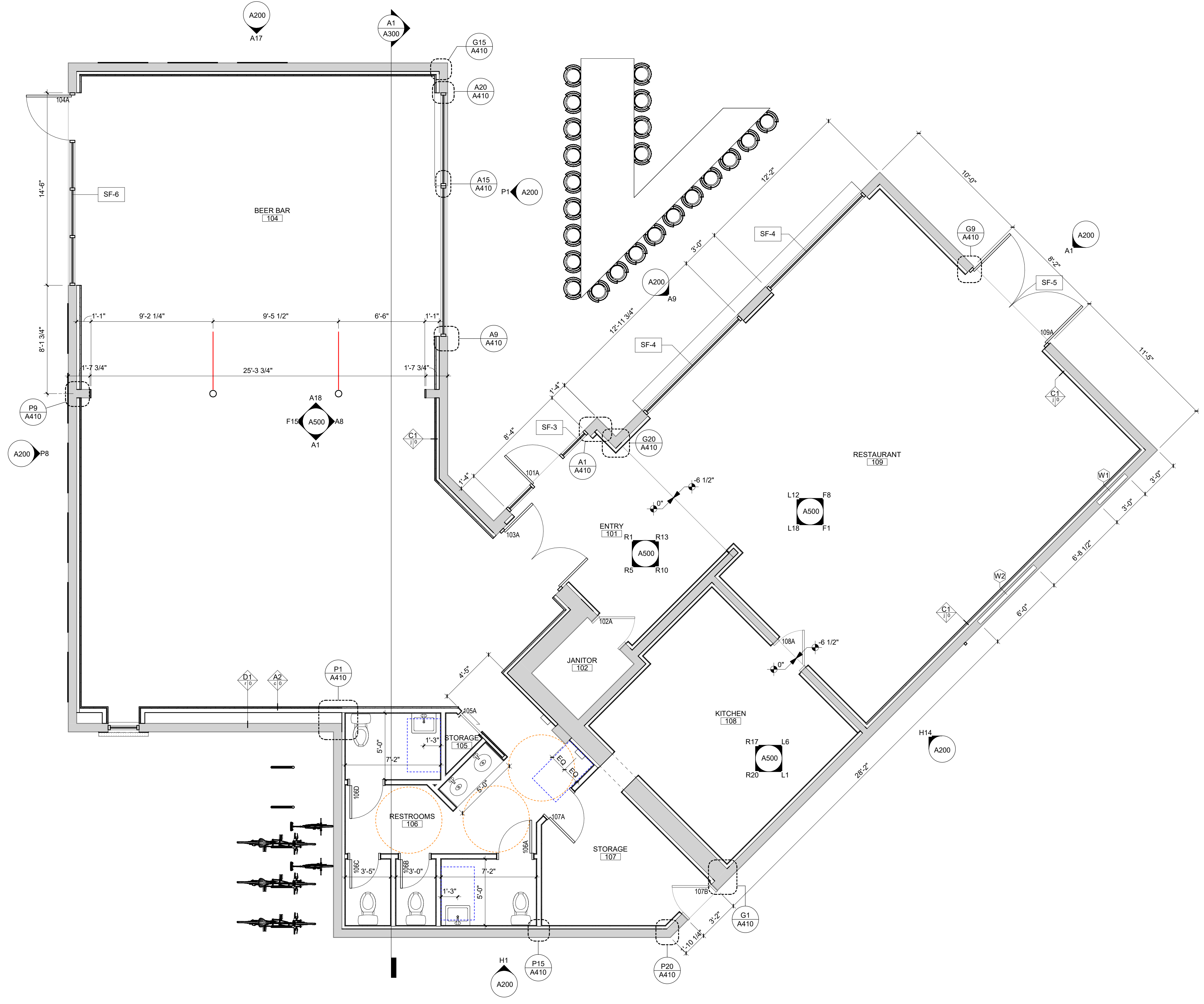
Revision	Description	Date

GENERAL NOTES

- DIMENSIONS ARE MEASURED FACE-OF-FINISH TO FACE-OF-FINISH OR ROUGH MASONRY OPENING UNLESS NOTED OTHERWISE - TYPICAL FOR ALL DRAWINGS
- FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS - TYPICAL FOR ALL DRAWINGS
- IN THE EVENT OF A DISCREPANCY BETWEEN ARCHITECTURAL AND CONSULTANT DRAWINGS, NOTIFY ARCHITECT IMMEDIATELY PRIOR TO COMMENCING WORK - TYPICAL FOR ALL DRAWINGS
- ALL PENETRATIONS IN FIRE RATED FLOORS AND WALLS MUST BE SEALED WITH APPROPRIATE FIRESTOPPING SYSTEM
- PATCH AND REPAIR EXISTING FLOOR SLABS AND WALL SURFACES DAMAGED FROM DEMOLITION.

KEYNOTE LEGEND

ACCESSORIES LEGEND



860°
FLOOR PLAN
1/4" = 1'-0"

PRELIMINARY. NOT FOR CONSTRUCTION.

Revision	Description	Date

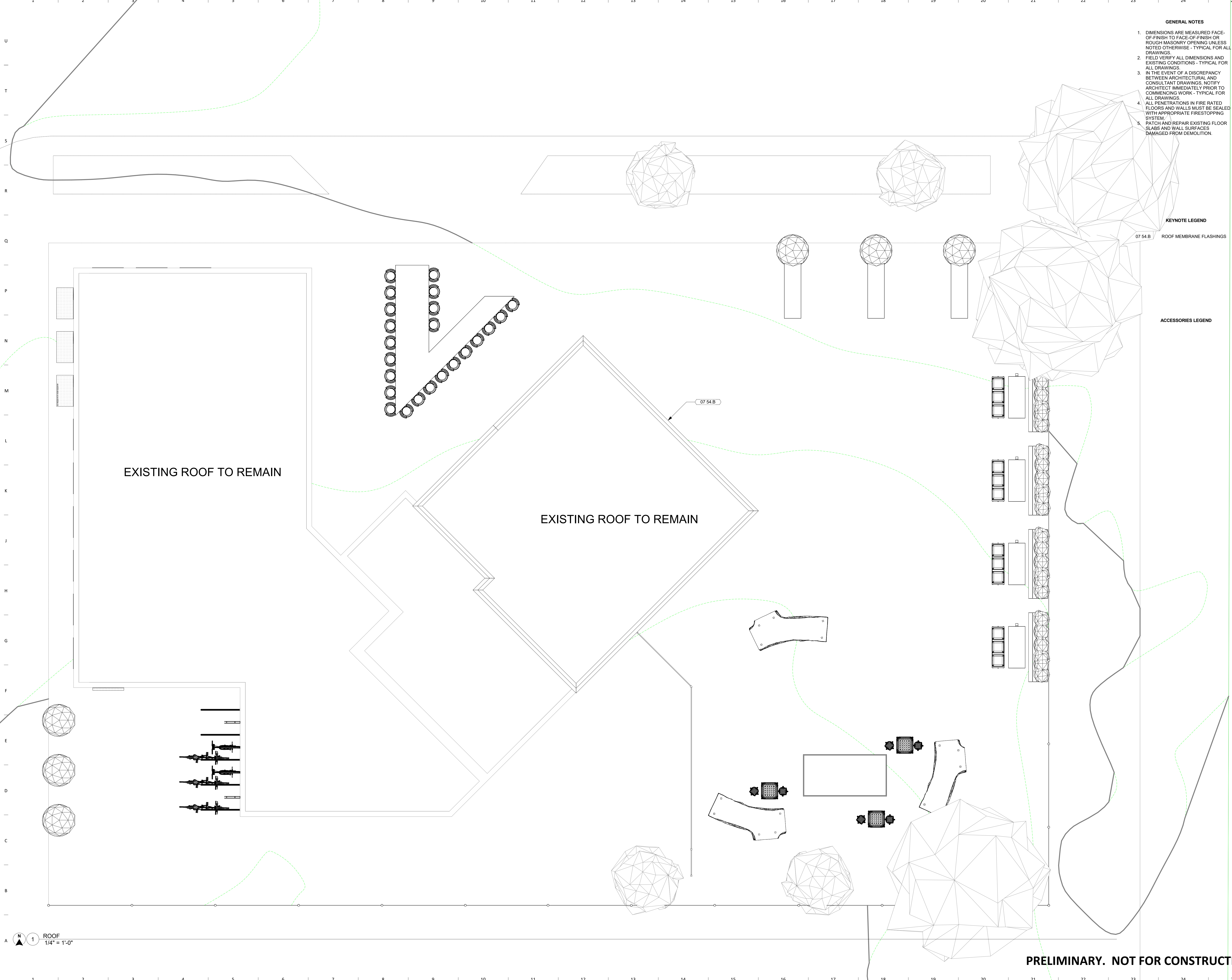
OPN Project No:
21655000

Sheet Issue Date:
DAT SUBMITTAL 01/24/2022

Sheet Name:
FLOOR PLAN

Sheet Number:

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- GENERAL NOTES**
1. DIMENSIONS ARE MEASURED FACE-OF-FINISH TO FACE-OF-FINISH OR ROUGH MASONRY OPENING UNLESS NOTED OTHERWISE - TYPICAL FOR ALL DRAWINGS
 2. FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS - TYPICAL FOR ALL DRAWINGS
 3. IN THE EVENT OF A DISCREPANCY BETWEEN ARCHITECTURAL AND CONSULTANT DRAWINGS, NOTIFY ARCHITECT IMMEDIATELY PRIOR TO COMMENCING WORK - TYPICAL FOR ALL DRAWINGS
 4. ALL PENETRATIONS IN FIRE RATED FLOORS AND WALLS MUST BE SEALED WITH APPROPRIATE FIRESTOPPING SYSTEM
 5. PATCH AND REPAIR EXISTING FLOOR SLABS AND WALL SURFACES DAMAGED FROM DEMOLITION.

KEYNOTE LEGEND

07 54 B ROOF MEMBRANE FLASHINGS

ACCESSORIES LEGEND

1 ROOF
1/4" = 1'-0"

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General Contractor:
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 3345 TOKEN ROAD
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Structural Engineer:
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Revision	Description	Date

OPN Project No:
21655000

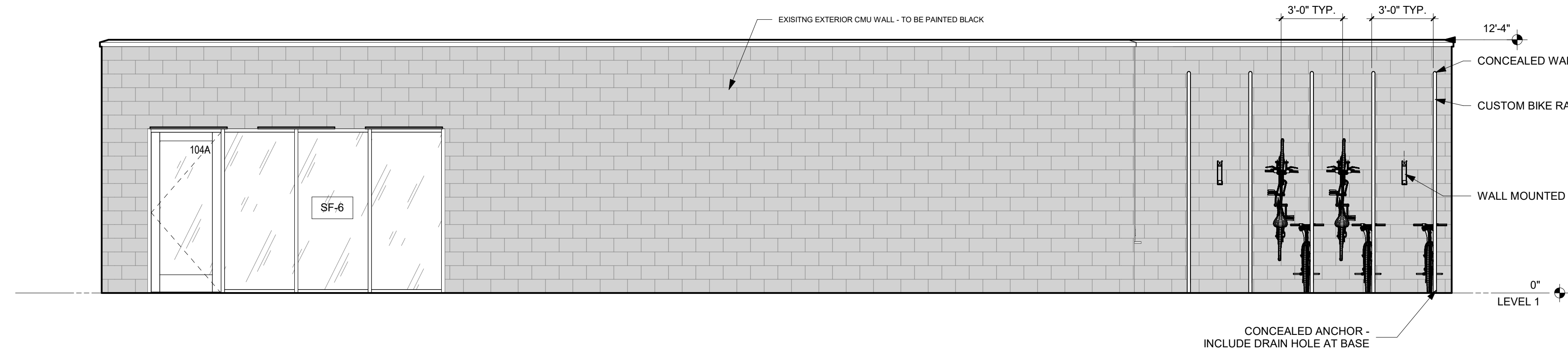
Sheet Issue Date:
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Sheet Name:
ROOF PLAN

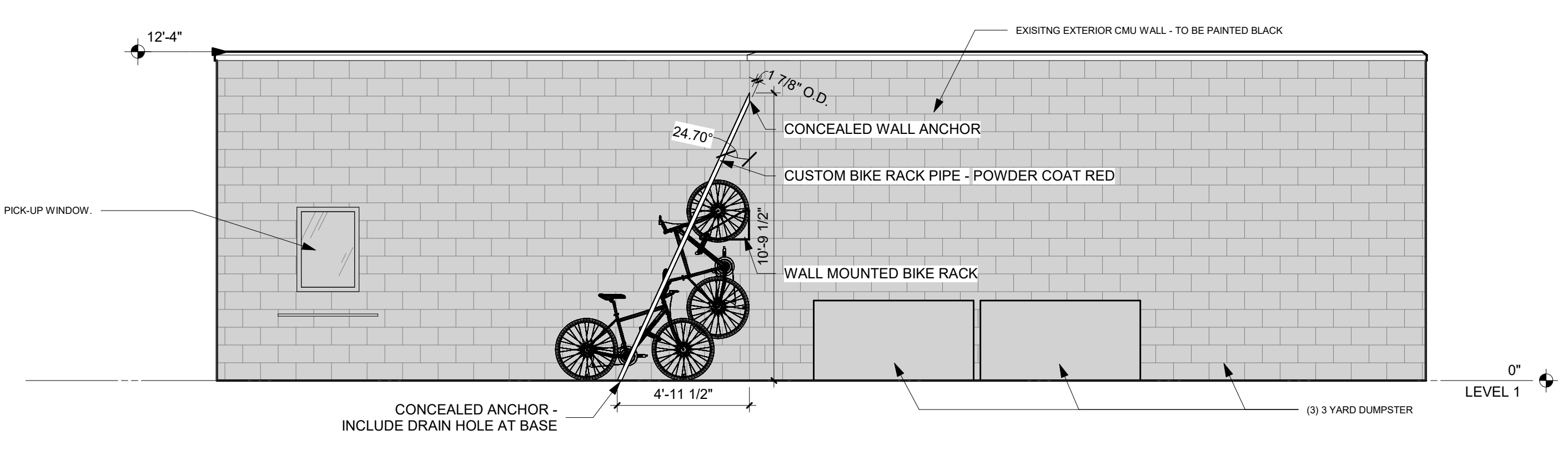
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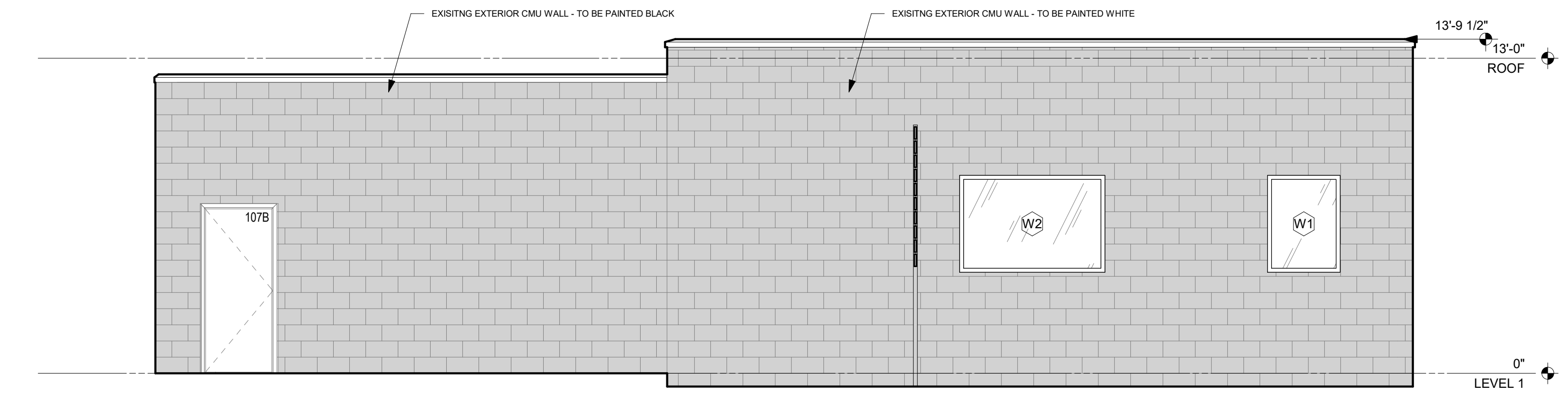
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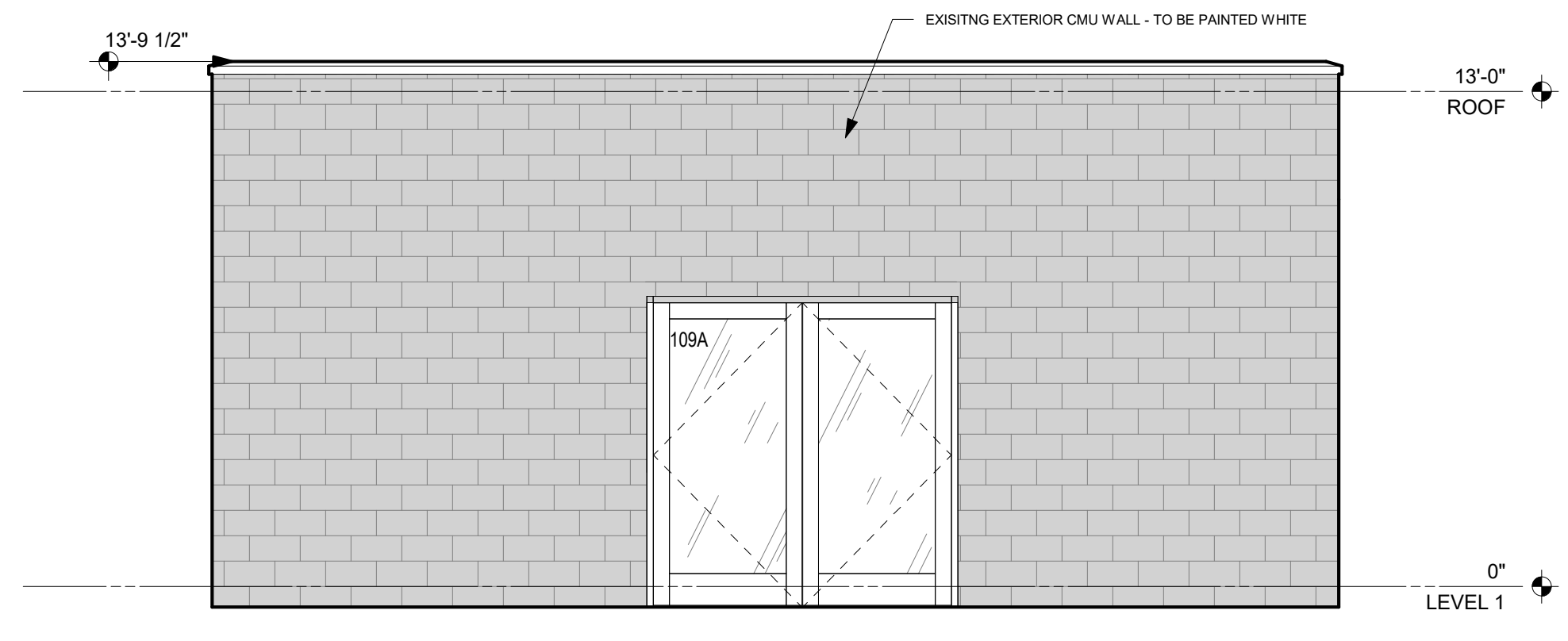
P8 WEST ELEVATION
 1/4" = 1'-0"



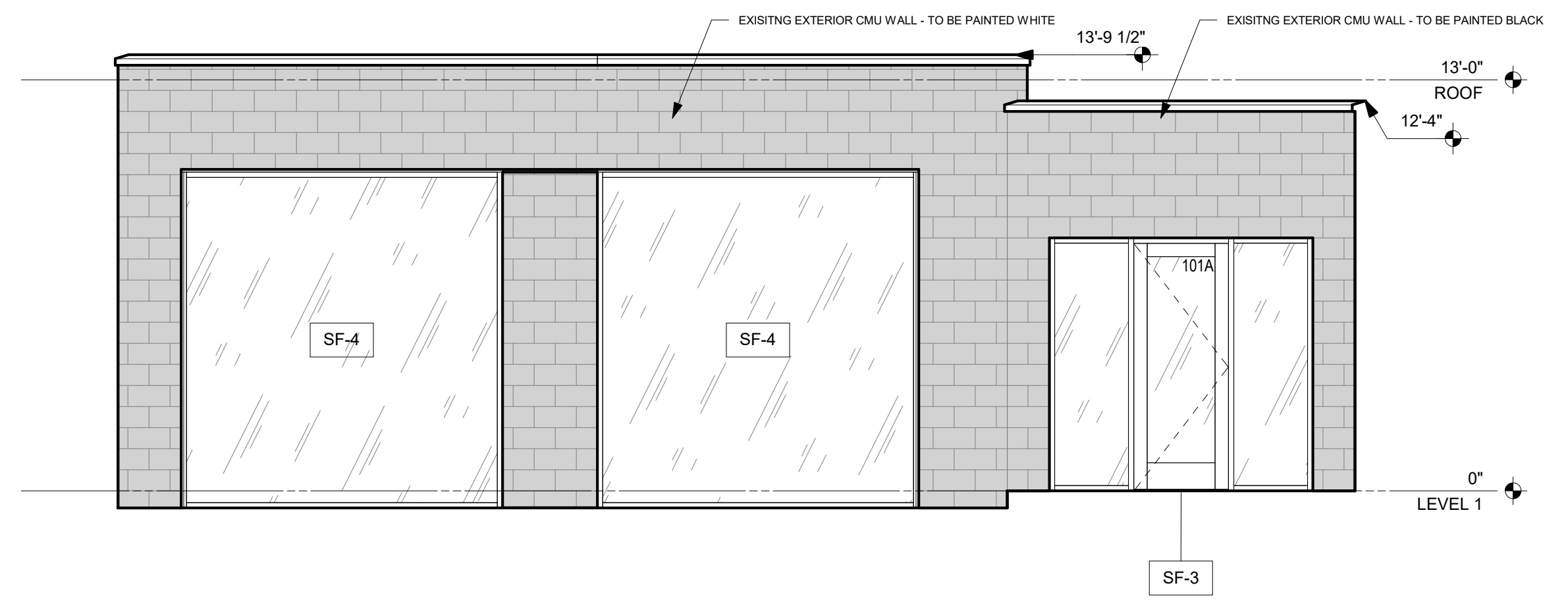
H1 SOUTH ELEVATION
 1/4" = 1'-0"



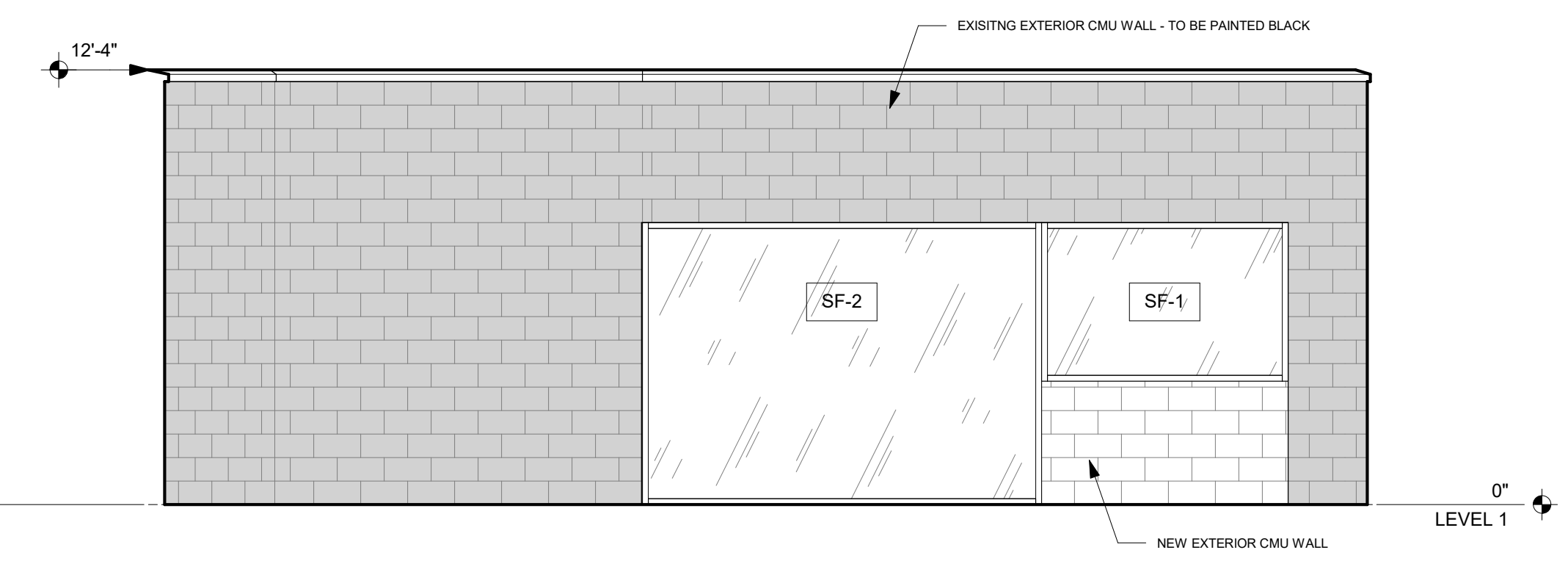
H14 SOUTH EAST ELEVATION
 1/4" = 1'-0"



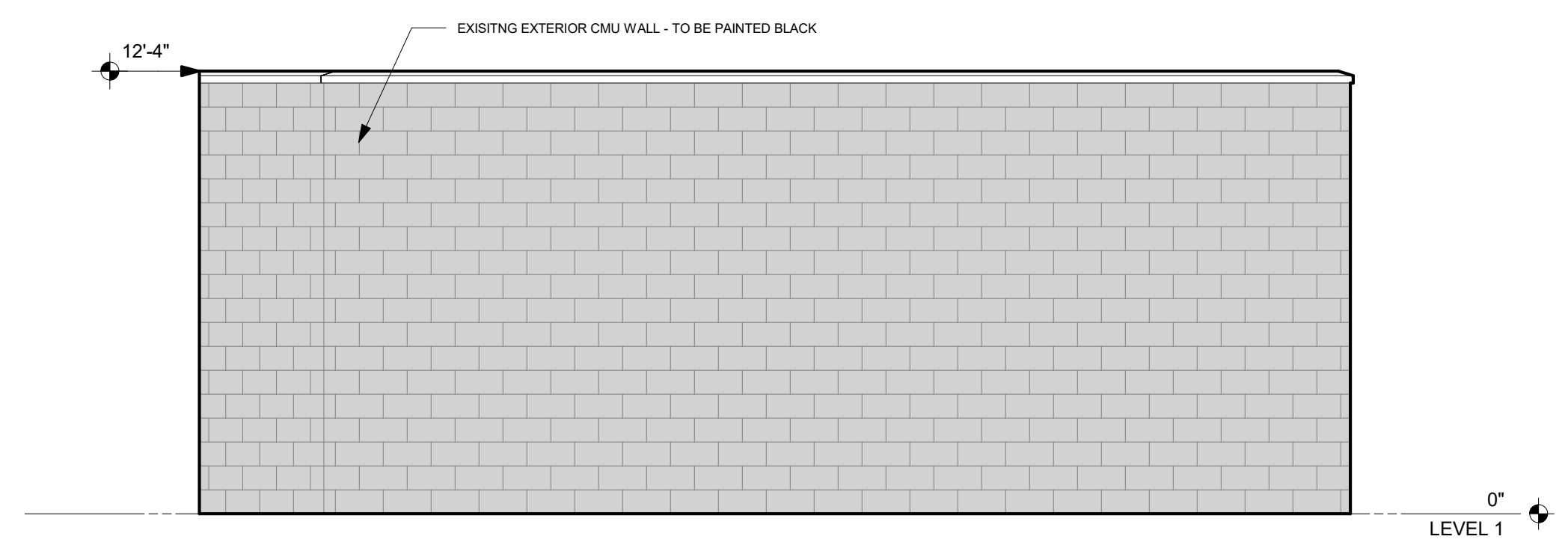
A1 NORTH EAST ELEVATION
 1/4" = 1'-0"



A9 NORTH WEST ELEVATION
 1/4" = 1'-0"



P1 EAST ELEVATION
 1/4" = 1'-0"

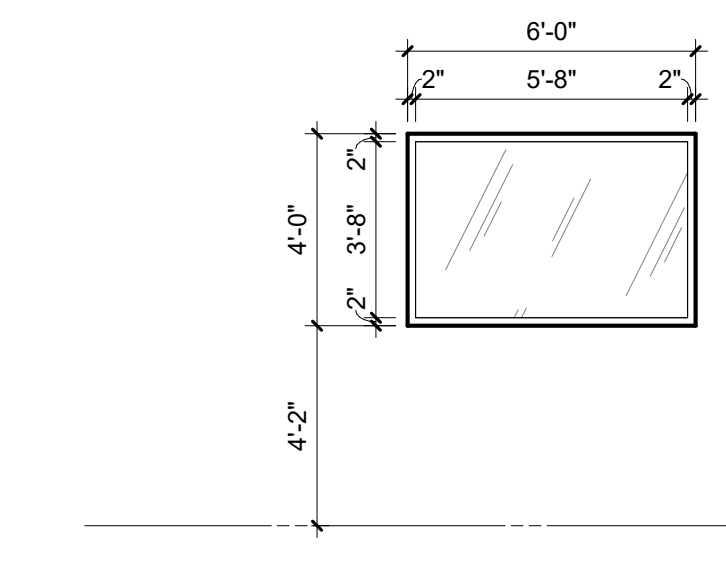


A17 NORTH ELEVATION
 1/4" = 1'-0"

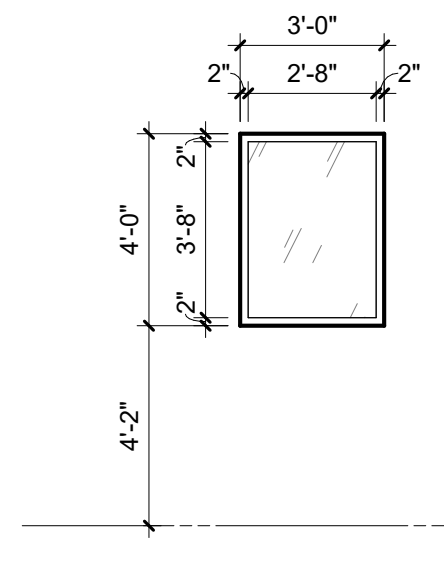
PRELIMINARY. NOT FOR CONSTRUCTION.

Revision	Description	Date

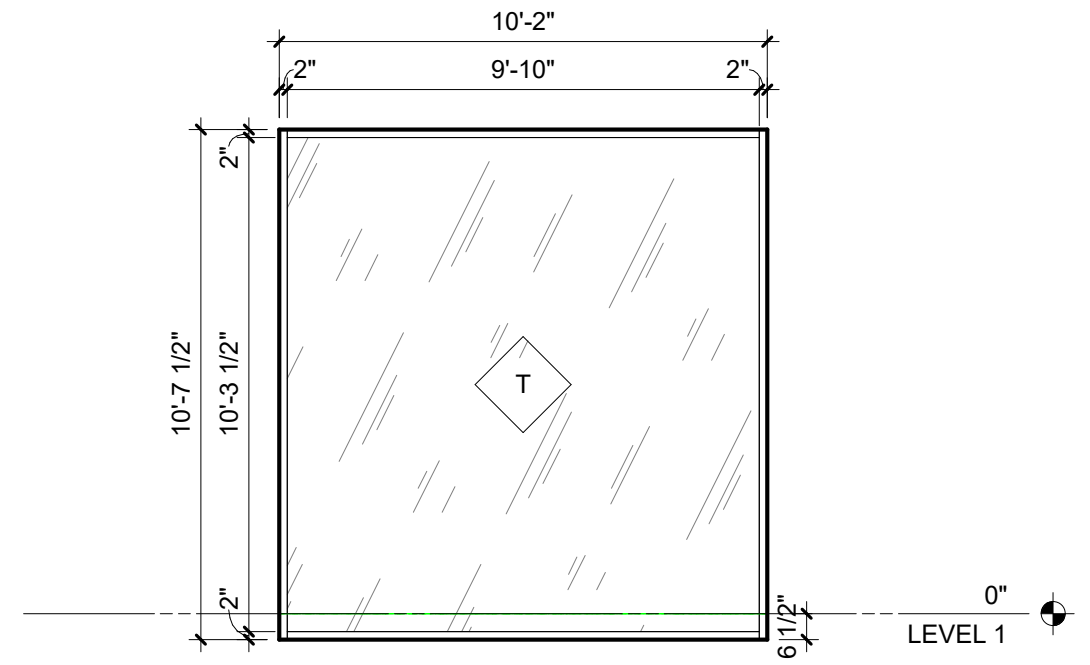
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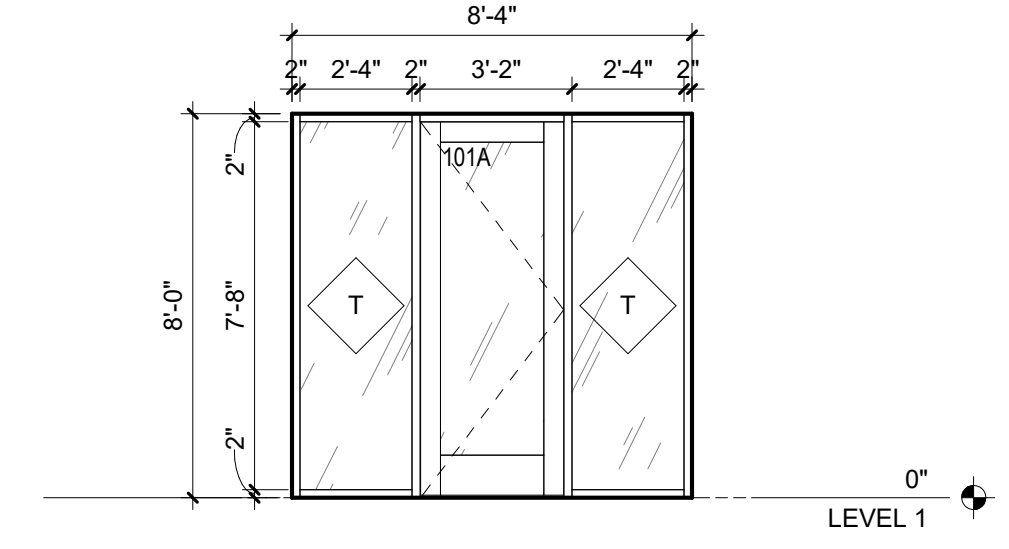
A1 W2
1/4" = 1'-0"



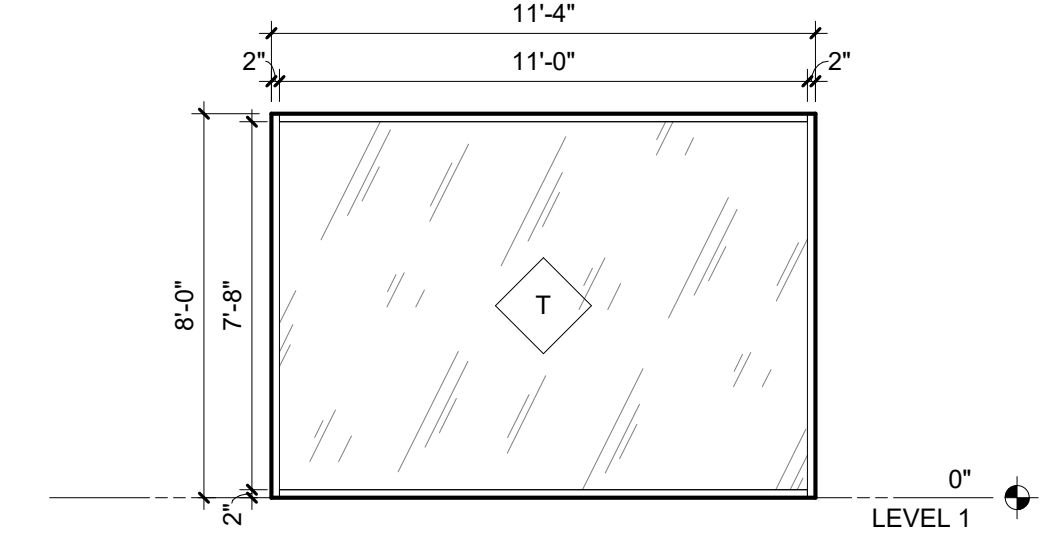
A5 W1
1/4" = 1'-0"



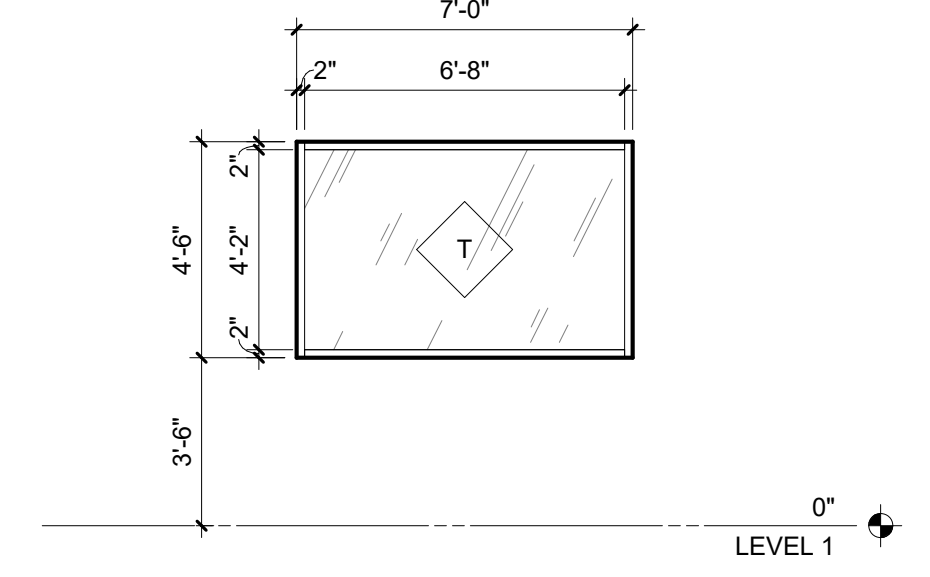
A9 SF-4
1/4" = 1'-0"



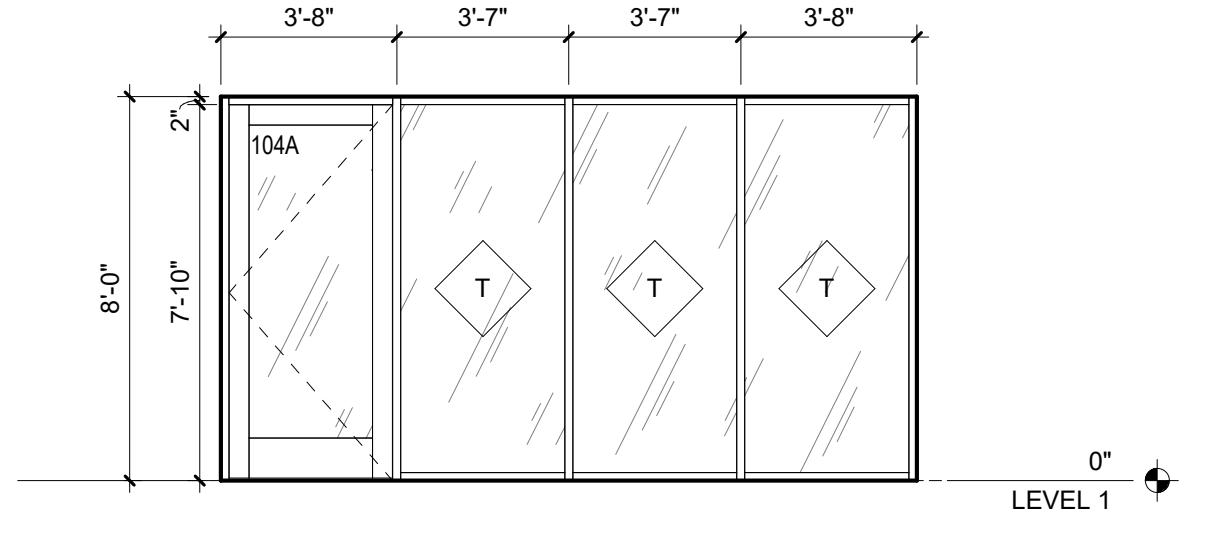
A13 SF-3
1/4" = 1'-0"



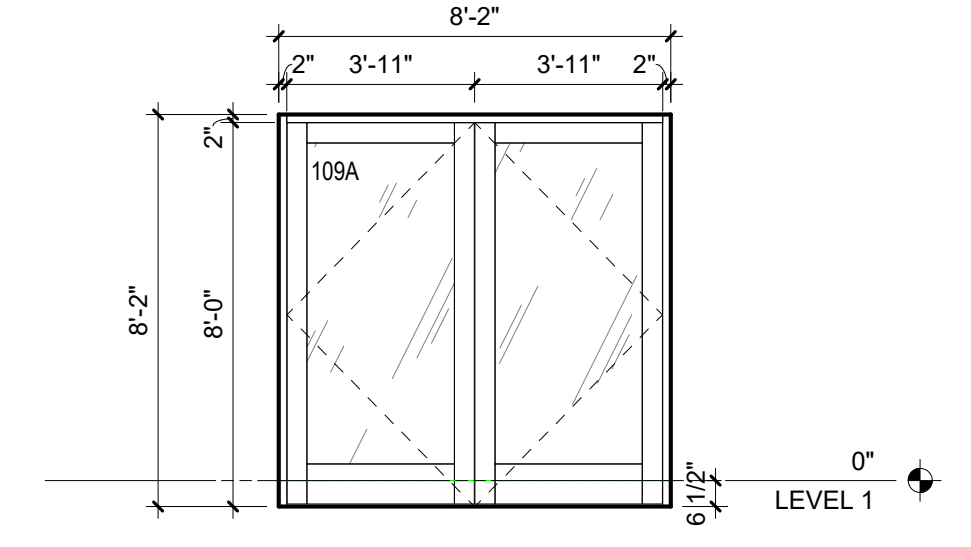
A17 SF-2
1/4" = 1'-0"



A22 SF-1
1/4" = 1'-0"



F17 SF-6
1/4" = 1'-0"



F22 SF-5
1/4" = 1'-0"

PRELIMINARY. NOT FOR CONSTRUCTION.

Revision	Description	Date

OPN Project No.
21655000

Sheet Issue Date
DAT SUBMITTAL 01/24/2022

Sheet Name
GLAZING ELEVATIONS

Sheet Number
A210

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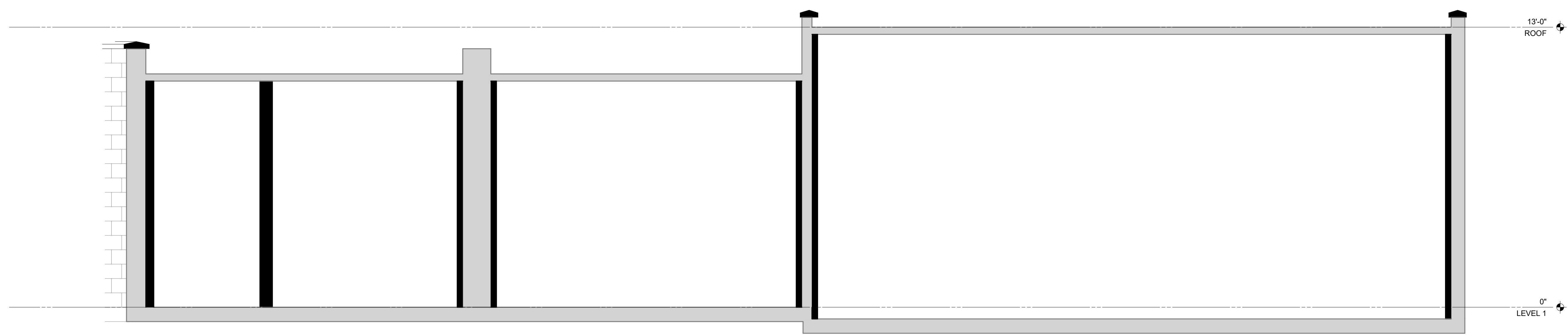
301 N Broom St., Suite 100
Madison, WI 53703
P: 608-819-0260
F:
www.opnarchitects.com

Owner:
CITY AND FARM LLC
1014 SPRUCE ST
MADISON WI 53715

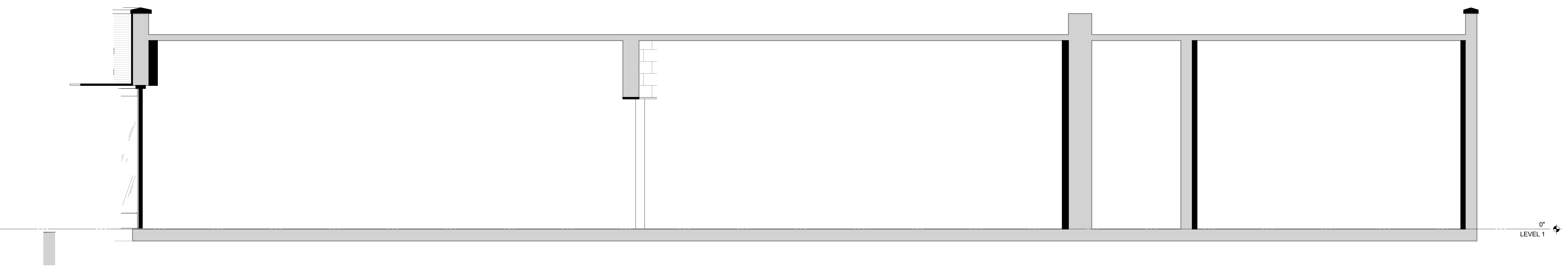
Project:
557 NORTH STREET RENOVATION

General Contractor:
GRACE BUILT LLC
3245 TOKEN ROAD
SUN PRAIRIE WI 53590
P: (608) 576-3313

Structural Engineer:
MP-SQUARED STRUCTURAL ENGINEERS
583 D'ONOFRIO DR UNIT 201
MADISON, WI 53719
P: (608) 821-4770



P1 Section 1
3/8" = 1'-0"



G1 Section 2
3/8" = 1'-0"



A1 N/S BUILDING SECTION
3/8" = 1'-0"

Revision	Description	Date

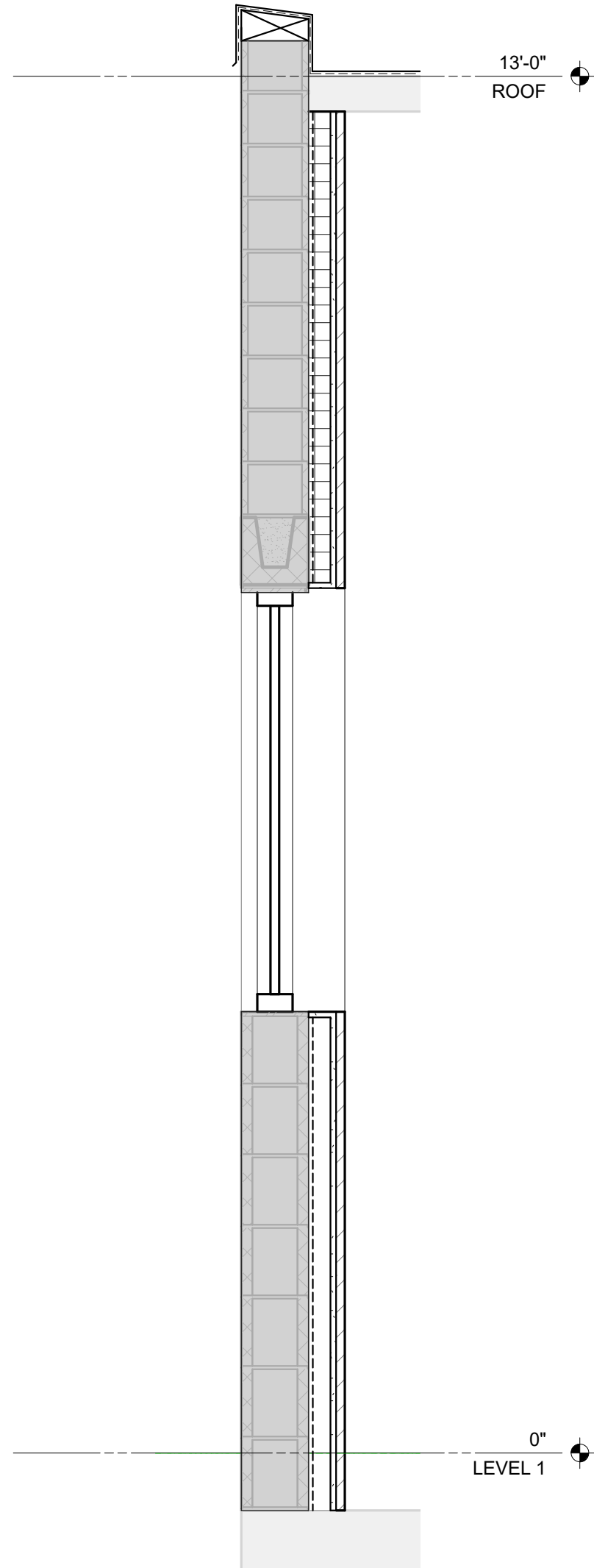
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21655000
Sheet Issue Date:
DAT SUBMITTAL 01/24/2022
Sheet Name:
BUILDING SECTIONS
Sheet Number:

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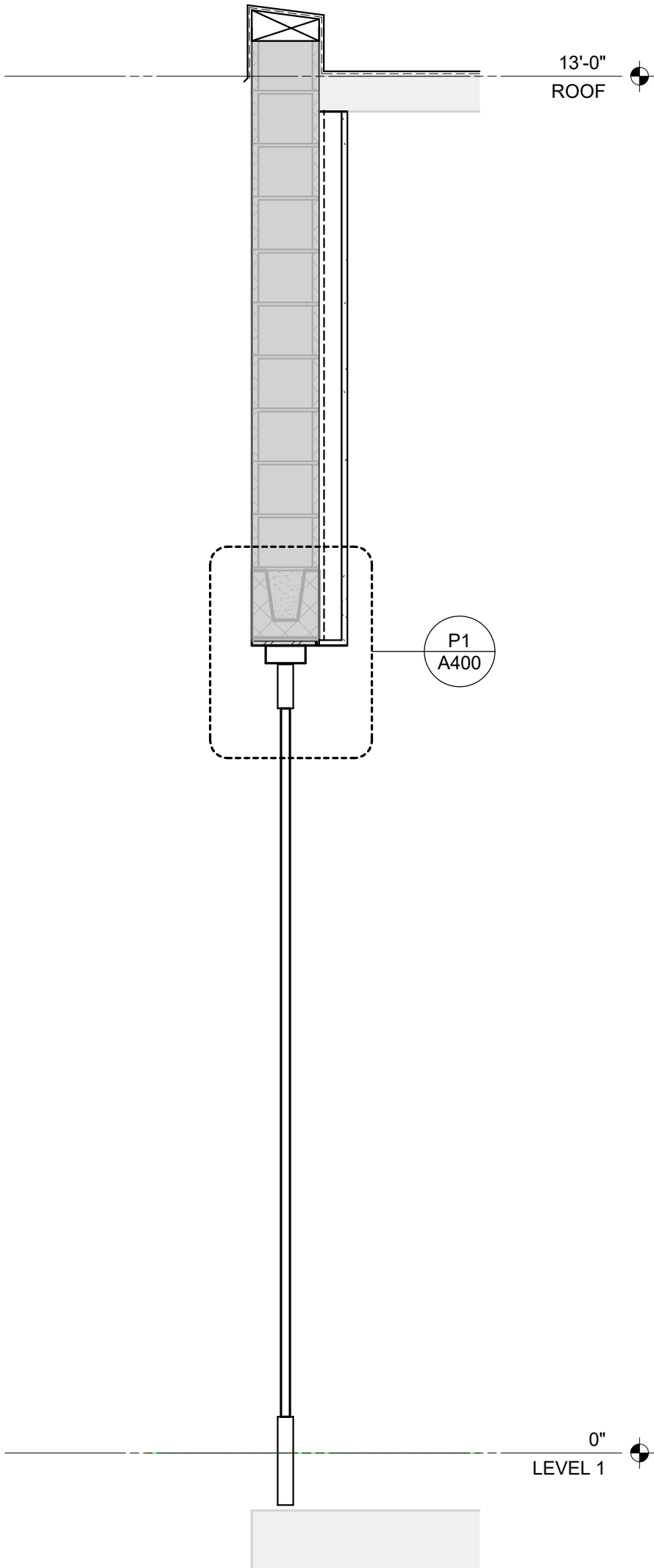
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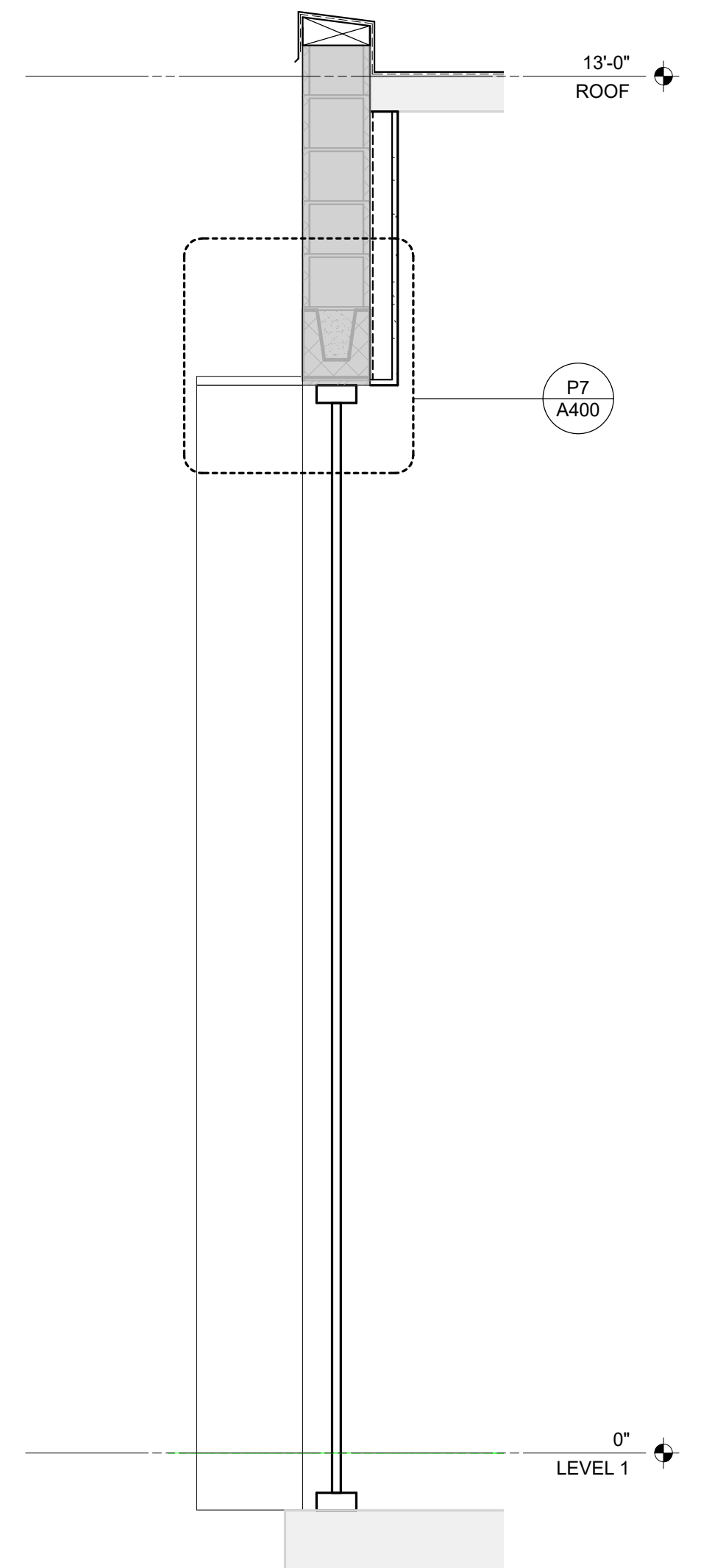
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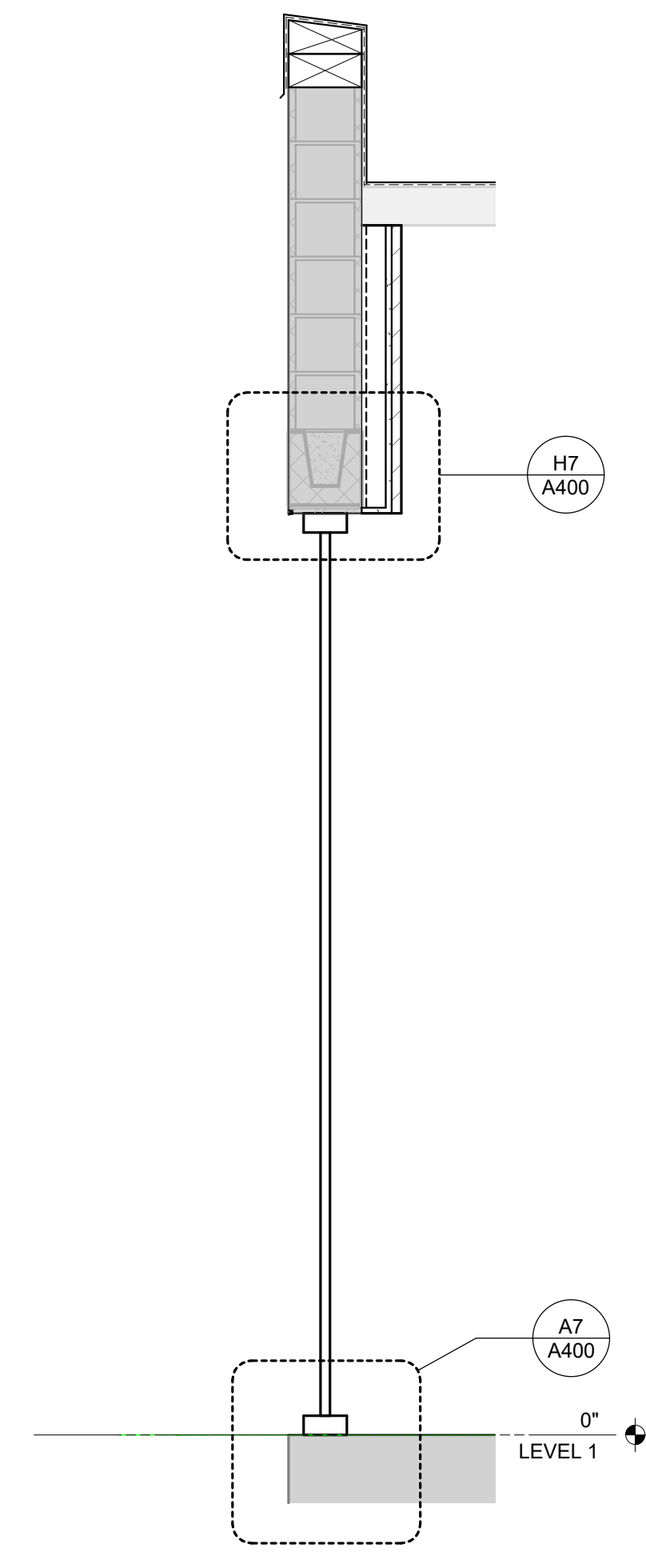
8 Detail 7
 3/4" = 1'-0"



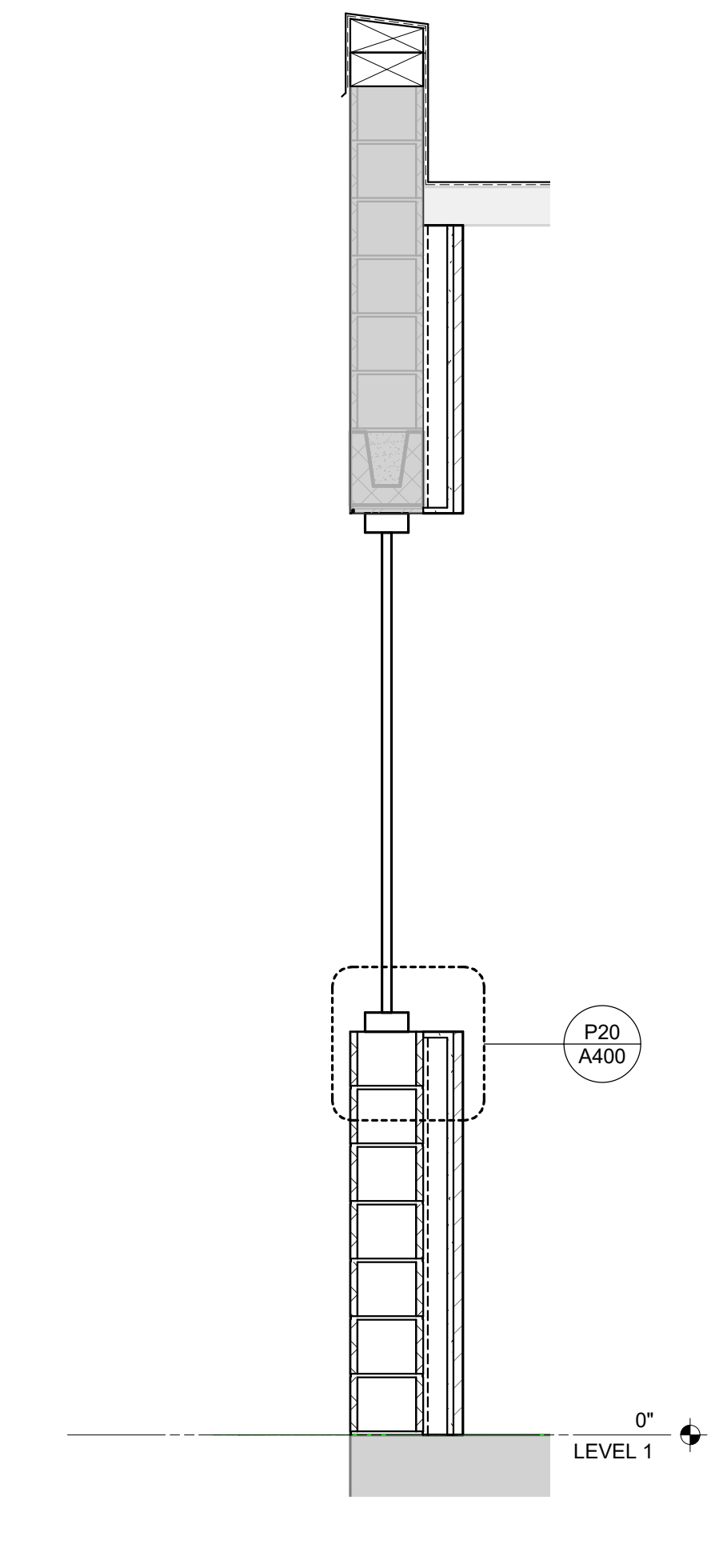
7 Detail 6
 3/4" = 1'-0"



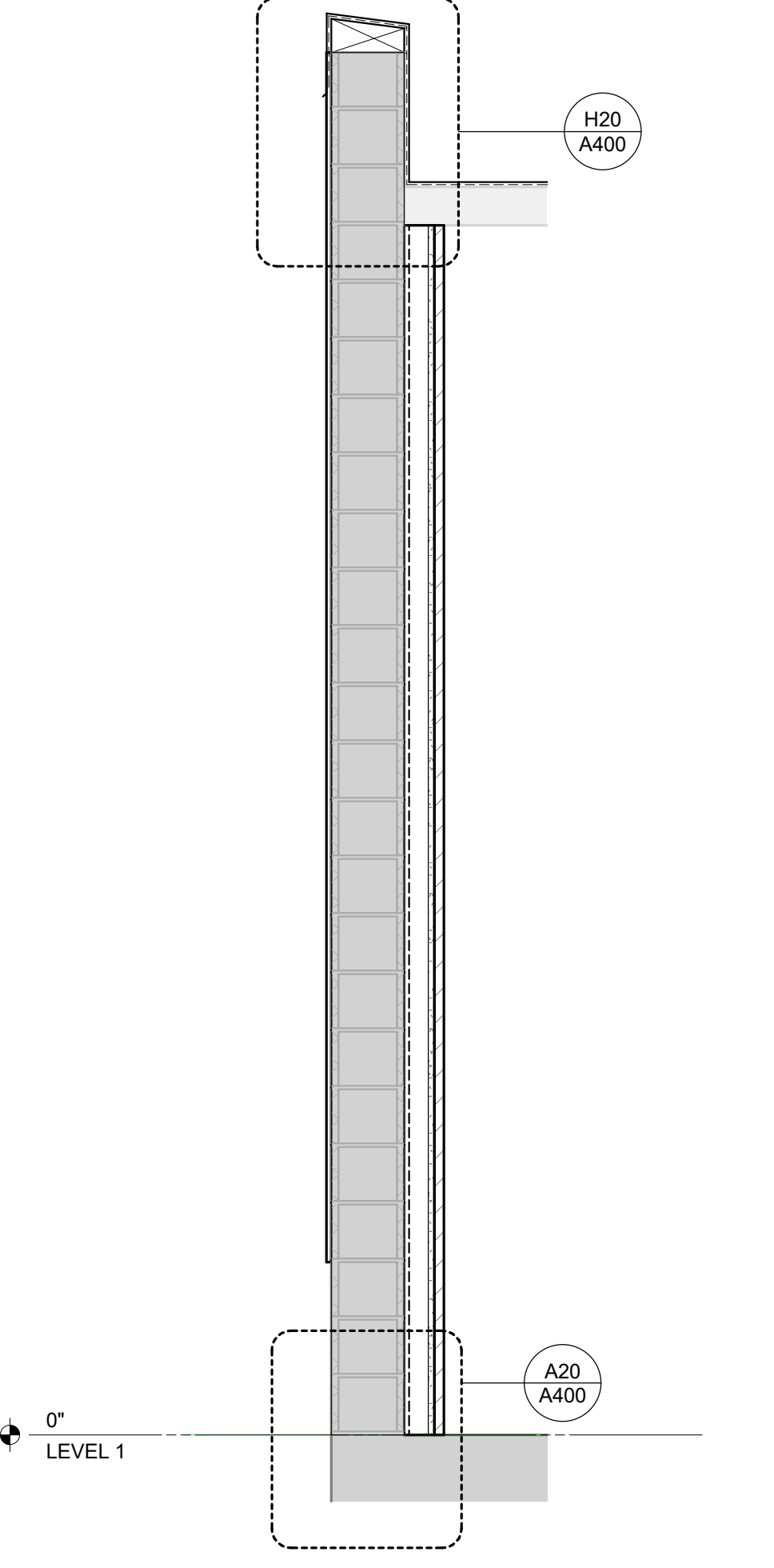
6 Detail 5
 3/4" = 1'-0"



3 Detail 2
 3/4" = 1'-0"



2 Detail 1
 3/4" = 1'-0"



1 Detail 0
 3/4" = 1'-0"

PRELIMINARY. NOT FOR CONSTRUCTION.

Revision	Description	Date

APPLICABLE CODE INFORMATION

The project shall comply with the following codes:

- 2015 International Building Code
- 2015 International Mechanical Code
- 2021 International Fire Code
- 2015 National Electrical Code
- 2015 International Plumbing Code and the Wisconsin State Plumbing Code

Building Characteristics

Project description: Existing building to be renovated into a tavern with food being brought in from vendors. No food will be cooked on site.
Building Area: 3,348 SF
Building Height: 12'-0"
Number of Stories: 1 (see below for detailed information)
Fully Sprinkled: No - Equipped with fully automated sprinkler system
Fire Alarm: No - Equipped with emergency voice/alarm communication system

IBC Chapter 3 - Use and Occupancy Classification

Occupancy Group: A-2, S-1

IBC Chapter 5 - General Building Heights and Areas

Occupancy Group A-2
Building Height: 12'-0" (55'-0" max per IBC Table 504.3)
Number of Stories: 1 (2 max per IBC Table 504.4)
Building Area: 3,348 GSF (9,500 per IBC Section 507.5)

Occupancy Group S-1
Building Height: 12'-0" (55'-0" max per IBC Table 504.3)
Number of Stories: 1 (2 max per IBC Table 504.4)
Building Area: 3,348 GSF (17,500 per IBC Section 507.4)

508 Mixed Use and Occupancy

508.3 Nonseparated occupancies: Buildings or portions of buildings that comply with the provisions of this section shall be considered as nonseparated occupancies.

IBC Chapter 6 - Types of Construction

Construction Classification: Type IIIB

Table 601 Fire Resistance Rating Required

Primary Structural Frame	0 HR
Bearing Walls (Exterior)	2 HR
Bearing Walls (Interior)	0 HR
Nonbearing Wall and Partition (Exterior)	0 HR
Nonbearing Wall and Partitions (Interior)	0 HR
Floor Construction and Secondary Members	0 HR
Roof Construction and Secondary Members	0 HR

IBC Chapter 7 - Fire and Smoke Protection Features

705 Exterior Walls

- 705.11 Parapets shall be provided on exterior walls of buildings. Exception 1: The wall is not required to be fire-resistance rated in accordance with Table 602 because of fire separation distance.
- 705.8 Openings in exterior walls shall comply with Sections 705.8.1 through 705.8.6

IBC Chapter 10 - Means of Egress

1004 Occupant Load (See Building Occupant Load Calculations for details)

OCCUPANT COUNT
A-2: 1,402 SF/15 SF PER OCC = 93.4 OCC
S: 576 SF/200 SF PER OCC = 2.88 OCC
96.28 OCC Actual occupancy count below will be posted

Interior: 80 Interior max per calculation
Exterior: 120
TOTAL OCCUPANTS: 200 OCC

1005 Means of Egress Sizing

1005.3.1 & 1005.3.2 Means of Egress Capacity Factors
Stairs: 3"/Occupant (Minimum stair width 44" - 1011.2)
Other Elements: 2"/Occupant

Level 1 Egress Width	200 Occupants x 2"/Occupant = 40"	Egress Required	Egress Provided
		40"	108"

1006 Number of Exits and Exit Access Doorways

1006.2.1 Common Path of Egress Travel Distance	Maximum Allowed	Maximum Actual
Group A-2 (With Sprinkler System)	75'-0"	25'-0"
Group S (With Sprinkler System)	75'-0"	25'-0"

1006.3.1 Minimum Number of Exits or Access to Exits Per Story	Number Required	Number Provided
Level 1	2	3

1017 Exit Access Travel Distance

Table 1017.2 Exit Access Travel Distance	Maximum Allowed	Maximum Actual
Group A-2 (With Sprinkler System)	200'-0"	89'-0"
Group S (With Sprinkler System)	200'-0"	89'-0"

2015 International Energy Conservation Code

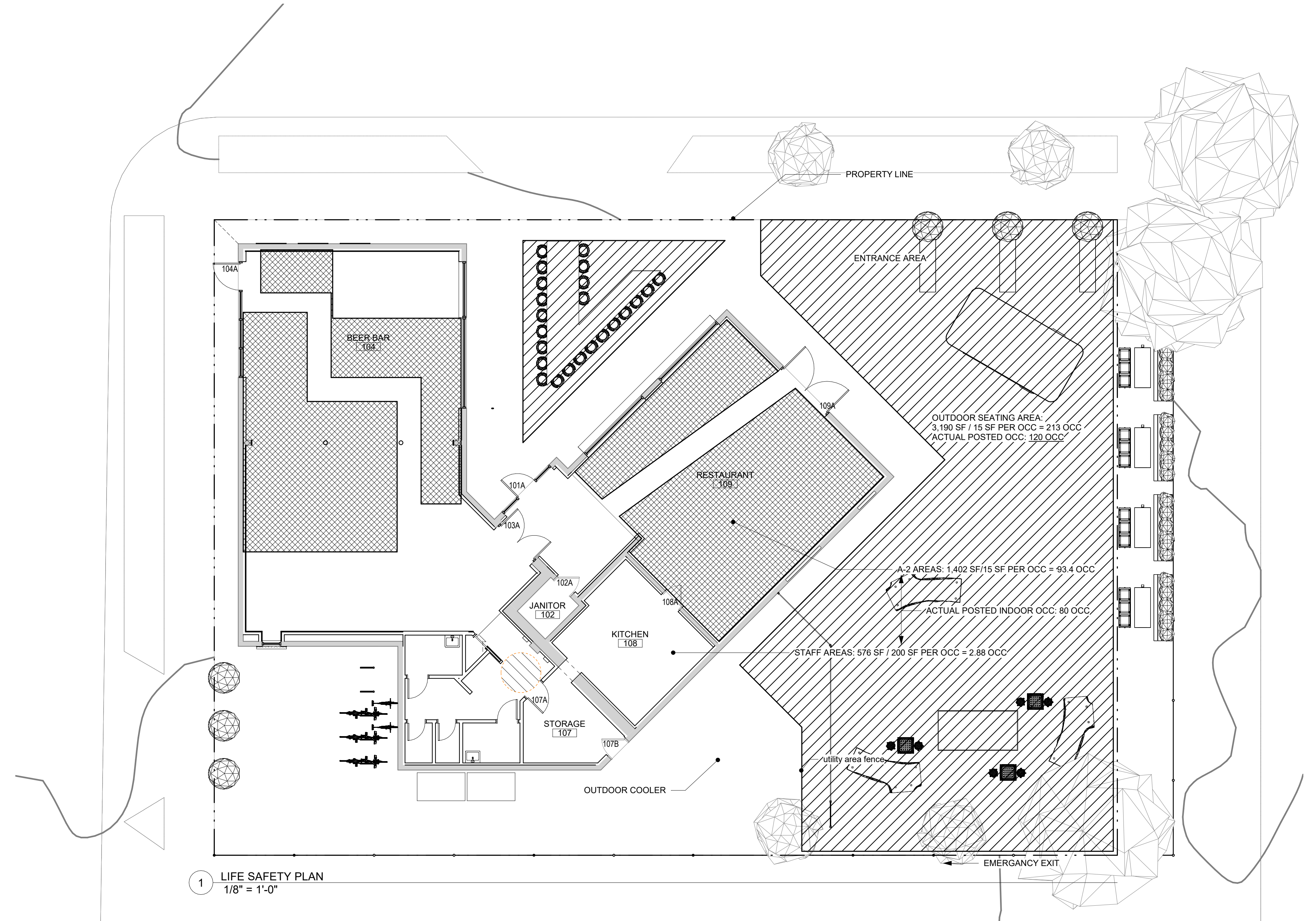
Exterior wall assemblies for this project have been calculated to have a U-Value of .0625 which exceeds the minimum U-Value of .076 for metal framed building envelopes in Climate Zone 5 as dictated by Table C402.1.3.

Iowa Administrative Code, Chapter 16, Division VII - Accessibility Requirements For Facilities Used by the General Public:

Accessibility within the building will be maintained.

Plumbing Fixture Requirements per 2015 Uniform Plumbing Code (UPC)

Occupancy	Table 2902.1 Minimum Number of Required Plumbing Fixtures			
	W.C.	Lavs	DF	Other
A-2 M / F	1 per 75 196 occ/75=2.613	1 per 75 196 occ/75=2.613	1 per 500	1 Service Sink
S1 / S2	1 per 100 4 occ/100=0.04	1 per 100 4 occ/100=0.04	1 per 1000	1 Service Sink
TOTAL=	2,653 >= 4	2,653 >= 4		



1 LIFE SAFETY PLAN
1/8" = 1'-0"

PRELIMINARY. NOT FOR CONSTRUCTION.

Revision	Description	Date