



Location

1323 West Dayton Street &
1318 Randall Court

Applicant

James I. Stoppie - Stoddard Arms, LLP/
Randy Bruce - Knothe & Bruce Architects

From: R6

To: PUD-GDP-SIP

Existing Use

1 single-family residence & 1 multi-family residence

Proposed Use

Demolish 21-unit apartment building and single-family residence to allow construction of a 9-story, 65-unit apartment building

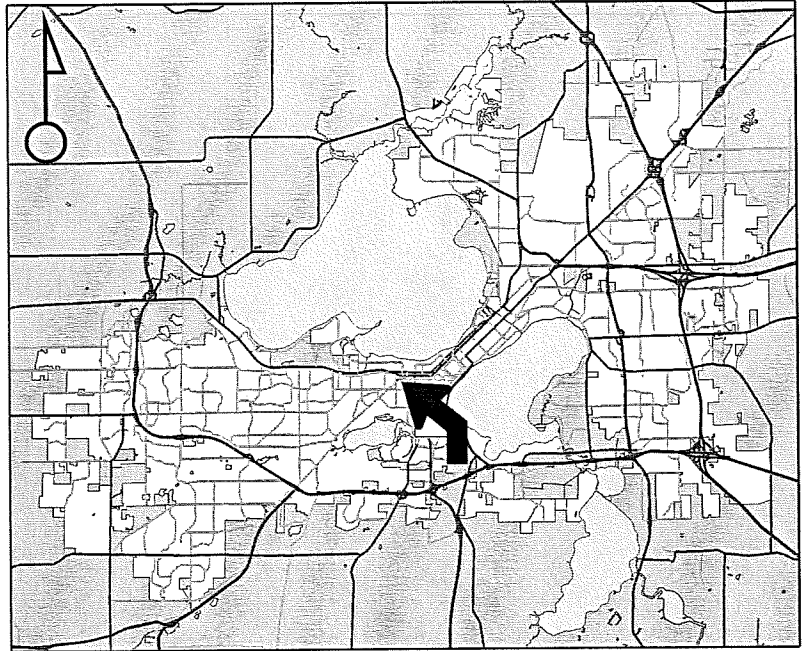
Public Hearing Date

Plan Commission

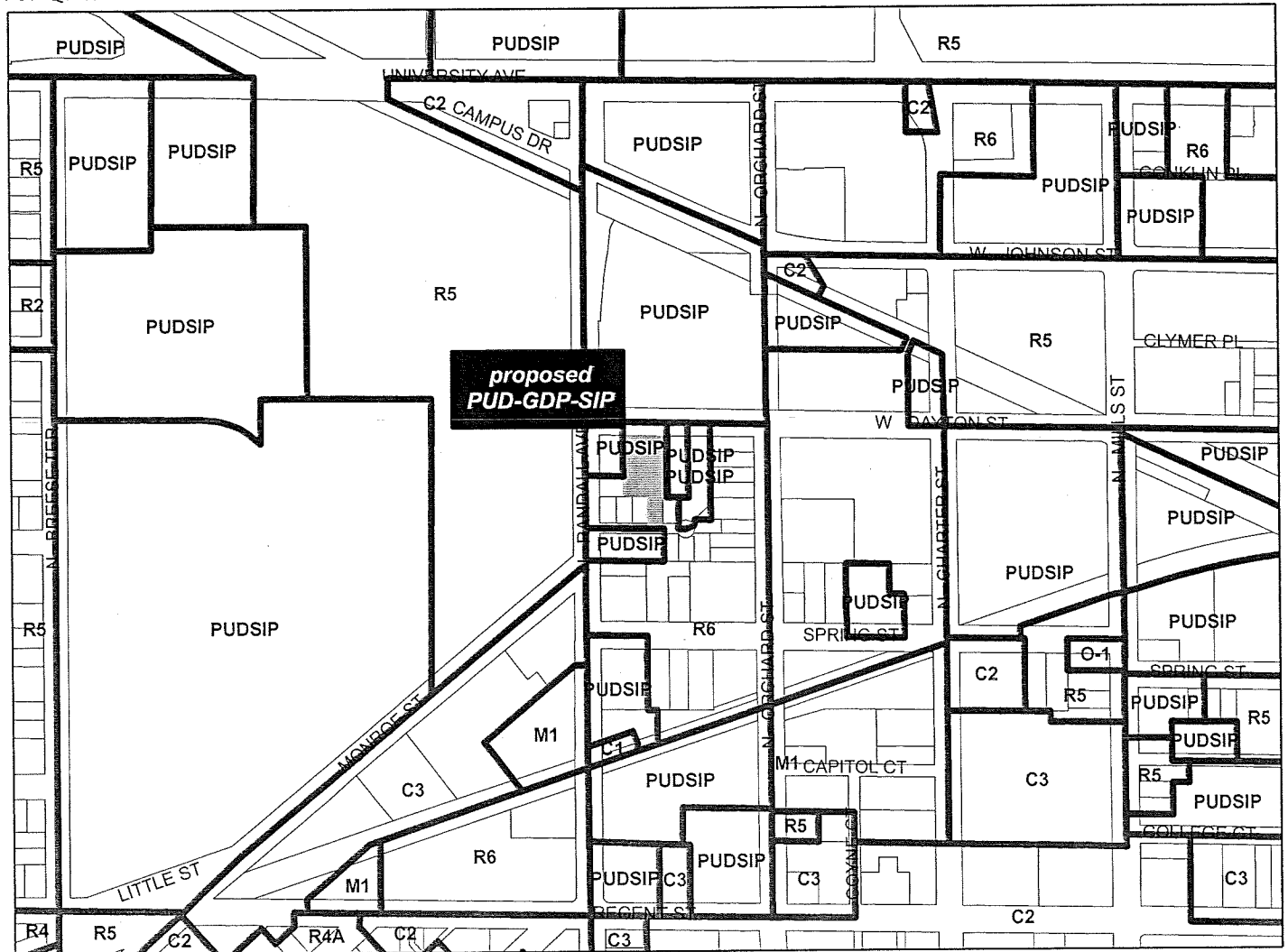
07 May 2012

Common Council

15 May 2012

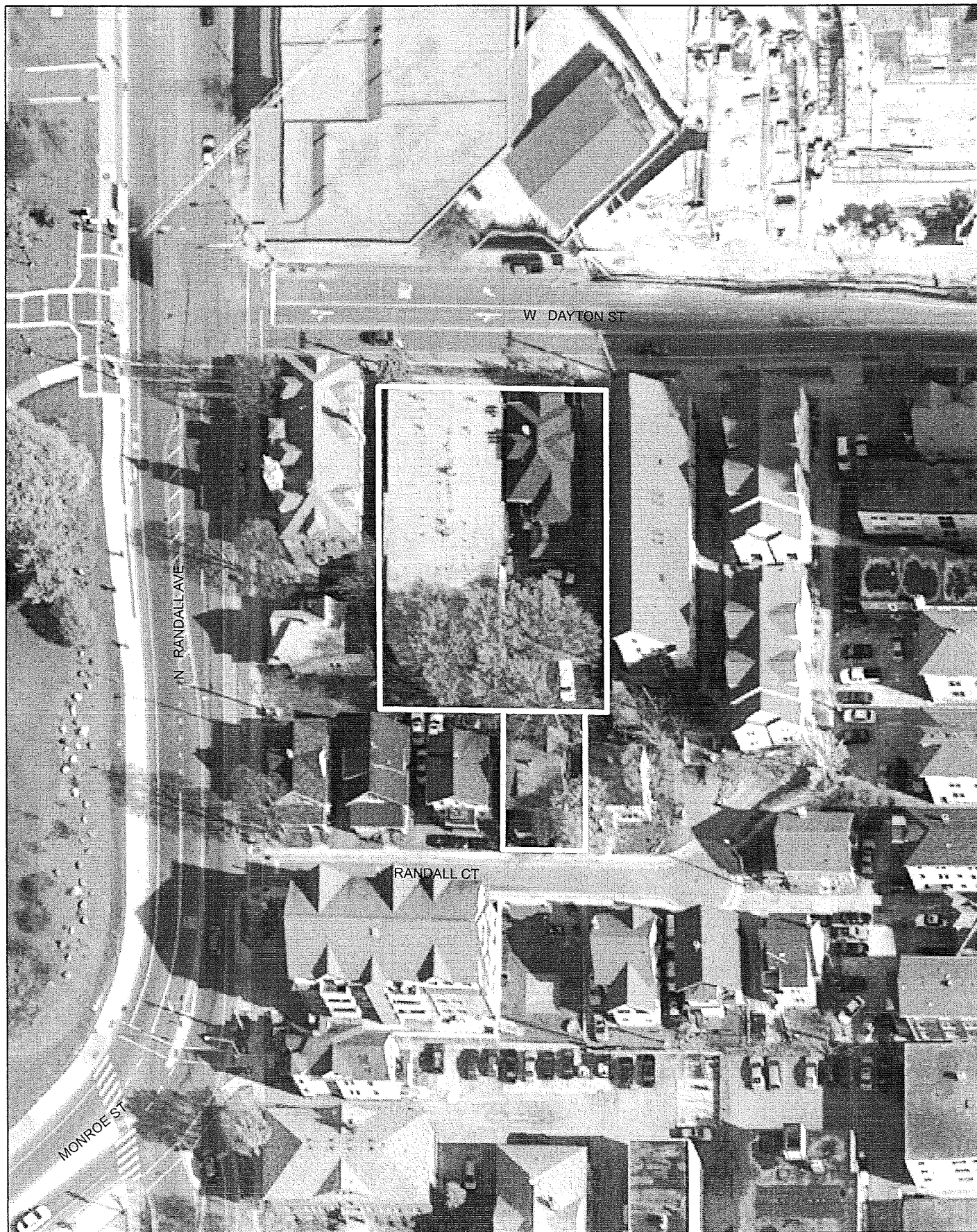


For Questions Contact: Kevin Firchow at: 267-1150 or kfirchow@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 23 April 2012



Date of Aerial Photography : Spring 2010



LAND USE APPLICATION Madison Plan Commission

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed with the Subdivision Application.
- Before filing your application, please review the information regarding the **LOBBYING ORDINANCE** on the first page.
- Please read all pages of the application completely and fill in all required fields.
- This application form may also be completed online at www.cityofmadison.com/planning/plan.html
- All Land Use Applications should be filed directly with the Zoning Administrator.

| FOR OFFICE USE ONLY: | |
|------------------------|---------------------------------------|
| Amt. Paid | <u>1250</u> Receipt No. <u>129512</u> |
| Date Received | <u>3/7/12</u> |
| Received By | <u>PDA.</u> |
| Parcel No. | <u>0709-221-1104-5</u> |
| Aldermanic District | <u>8 RESNICK</u> |
| GQ | <u>ADJ. TO LANDMARK</u> |
| Zoning District | <u>RL6</u> |
| For Complete Submittal | |
| Application | Letter of Intent <u>/</u> |
| IDUP | Legal Descript. <u>/</u> |
| Plan Sets | Zoning Text <u>/</u> |
| Alder Notification | Waiver <u>/</u> |
| Nbrhd. Assn Not. | Waiver <u>/</u> |
| Date Sign Issued | _____ |

1. **Project Address:** 1323 W. Dayton St. **Project Area in Acres:** 0.42

Project Title (if any): _____

2. **This is an application for:**

| Zoning Map Amendment (check the appropriate box(es) in only one of the columns below) | | |
|--|--|---|
| <input type="checkbox"/> Rezoning to a Non-PUD or PCD Zoning Dist.: Existing Zoning: <u>R-6</u> to _____ Proposed Zoning (ex: R1, R2T, C3): _____ | <input type="checkbox"/> Rezoning to or Amendment of a PUD or PCD District: <input type="checkbox"/> Ex. Zoning: <u>R-6</u> to PUD/PCD-GDP <input checked="" type="checkbox"/> Ex. Zoning: <u>R-6</u> to PUD/PCD-SIP <input type="checkbox"/> Amended Gen. Dev. <input type="checkbox"/> Amended Spec. Imp. Plan | |
| <input type="checkbox"/> Conditional Use | <input checked="" type="checkbox"/> Demolition Permit | <input type="checkbox"/> Other Requests (Specify): _____ |

3. **Applicant, Agent & Property Owner Information:**

Applicant's Name: James I. Stoppie Company: Stoddard Arms, LLP
 Street Address: 1202 Regent Street City/State: Madison, WI Zip: 53717
 Telephone: (608) 268-4912 Fax: () Email: jim@madisonproperty.com

Project Contact Person: Randy Bruce Company: Knothe & Bruce Architects, LLC
 Street Address: 7601 University Ave, Suite 201 City/State: Middleton, WI Zip: 53562
 Telephone: (608) 836-3690 Fax: (608) 836-6934 Email: rbruce@knothebruce.com

Property Owner (if not applicant): _____
 Street Address: _____ City/State: _____ Zip: _____

4. **Project Information:**

Provide a brief description of the project and all proposed uses of the site: _____
65 Unit Apartment Building, 8 stories w/ underground parking

Development Schedule: Commencement August 2012 Completion August 2013

5. Required Submittals:

- Plans** submitted as follows below and depicts all lot lines; existing, altered, demolished or proposed buildings; parking areas and driveways; sidewalks; location of any new signs; existing and proposed utility locations; building elevations and floor plans; landscaping, and a development schedule describing pertinent project details:
 - **7 copies** of a full-sized plan set drawn to a scale of one inch equals 20 feet (collated and folded)
 - **7 copies** of the plan set reduced to fit onto 11 inch by 17 inch paper (collated, stapled and folded)
 - **1 copy** of the plan set reduced to fit onto 8 ½ inch by 11 inch paper
- Letter of Intent (12 copies):** describing this application in detail including, but not limited to: existing conditions and uses of the property; development schedule for the project; names of persons involved (contractor, architect, landscaper, business manager, etc.); types of businesses; number of employees; hours of operation; square footage or acreage of the site; number of dwelling units; sale or rental price range for dwelling units; gross square footage of building(s); number of parking stalls, etc.
- Legal Description of Property:** Lot(s) of record or metes and bounds description prepared by a land surveyor. For any application for rezoning, the description must be submitted as an electronic word document via CD or e-mail. For applications proposing rezoning to more than one district, a separate description of each district shall be submitted.
- Filing Fee:** \$ 1250 See the fee schedule on the application cover page. Make checks payable to: *City Treasurer*.
- Electronic Submittal:** All applicants are required to submit copies of all items submitted in hard copy with their application (including this application form, the letter of intent, complete plan sets and elevations, etc.) as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or in an e-mail sent to pcapplications@cityofmadison.com. The e-mail shall include the name of the project and applicant. Applicants unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.

In Addition, The Following Items May Also Be Required With Your Application:

- For any applications proposing demolition or removal of existing buildings, the following items are required:
 - Prior to the filing of an application, the applicant or his/her agent is required to notify a list of interested persons registered with the City **30 or 60 days prior to filing** their application using the online notification tool found at: <https://www.cityofmadison.com/developmentCenter/demolitionNotification/>
 - A photo array (6-12 photos) of the **interior and exterior** of the building(s) to be demolished or removed. A written assessment of the condition of the building(s) to be demolished or removed is highly recommended.
 - Note: A Reuse and Recycling Plan approved by the City's Recycling Coordinator is required prior to issuance of wrecking permits and the start of construction.
- Zoning Text (12 copies):** must accompany Planned Community or Planned Unit Development (PCD/PUD) submittals.

6. Applicant Declarations:

Conformance with adopted City plans: Applications shall be in accordance with all adopted City of Madison plans:
 → The site is located within the limits of Regent Street - South Campus Plan, which recommends:
High Density Residential for this property.

Pre-application Notification: Section 28.12 of the Zoning Code requires that the applicant notify the district alder and any nearby neighborhood & business associations in writing no later than **30** days prior to filing this request:
 → List below the Alderperson, Neighborhood Association(s), Business Association(s) AND dates you sent the notices:
Scott J. Resnick, District 8; Betty Thompson, South Campus Property Owners Association

NOTE: If the alder has granted a waiver to this requirement, please attach any such correspondence to this form.

Pre-application Meeting with staff: Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.
 Planning Staff: Kevin Firchow Date: 3/5/12 Zoning Staff: Pat Anderson Date: 3/5/12

Check here if this project will be receiving a public subsidy. If so, indicate type in your Letter of Intent.

The signer attests that this form is accurately completed and all required materials are submitted:

Printed Name JAMES STOPPLE Date 3-6-12

Signature [Signature] Relation to Property Owner Same (owner)

Authorizing Signature of Property Owner _____ Date _____

April 10, 2012

Mr. Brad Murphy
Director of Planning
Department of Planning & Development
City of Madison
215 Martin Luther King Jr. Blvd
PO Box 2985
Madison, Wisconsin 53701

Re: Letter of Intent
PUD-SIP
1323 West Street, 1318 Randall Court
Madison, WI 53715

Dear Mr. Murphy:

The following is submitted together with the plans, application and zoning text for staff, Plan Commission and Common Council consideration of approval.

Organizational structure:

Owner: Jim Stoppie
1202 Regent St.
Madison, WI 53715
608.251.8777
Contact: Jim Stoppie
jim@madisonproperty.com

Architect: Knothe & Bruce Architects, LLC
7601 University Avenue, Ste 201
Middleton, WI 53562
608-836-3690
608-836-6934 fax
Contact: Randy Bruce
rbruce@knothebruce.com

Engineer: Vierbicher
999 Fourier Drive Ste 201
Madison, WI 53717
608-826-0532
608-826-0530 fax
Contact: Joe Doyle
jdoy@vierbicher.com

Landscape Design: Ken Saiki Design, Inc.
303 S. Paterson Suite 1
Madison, WI 53703
608-251-3600

Letter of Intent
1323 West Dayton Street
April 10, 2012

Introduction:

The following letter and photographs are submitted to accompany the application materials for the PUD-SIP application for the captioned properties.

This project proposes the redevelopment of 2 lots located on the south side of West Dayton Street extending to the north side of Randall Court. The combined sites are approximately 18,312 square feet. The property owner has been managing rental housing on the block since 1980 and has recently purchased the property at 1318 Randall Court with the intention of developing an eight story building on the combined site. The proposed project is designed to be consistent with the recently adopted neighborhood plan.

In addition to this rezoning application, a Certified Survey Map is submitted that will combine the two lots into one lot.

Demolition Standards:

In order to provide new, high quality, energy efficient housing for students this proposed development envisions the removal of two buildings that currently exist on site.

The buildings are as follows (photographs are attached):

- 1323 West Dayton Street is a 21 unit student housing apartment building. The 2 story building is a stick frame building that includes a basement. The property has rear yard parking with architecture that does not contribute to the neighborhood. The property is zoned R-6.
- 1318 Randall Court is a 2 story stick frame structure and includes one dwelling unit, built in 1922. The property has front yard parking. The property is zoned R-6.

Section 28.04(22) of the Madison Zoning Code outlines the standards by which a demolition permit may be issued. These standards require that the Plan Commission find that the requested demolition and proposed use are compatible with the intent and purposes of the zoning code. Although the zoning code clearly encourages the preservation of existing structures, its purpose also includes promoting the general welfare of the city, encouraging the most appropriate land uses and conserving and enhancing the taxable value of lands and buildings.

As the Plan Commission considers the demolition request the following standards are to be considered:

- The effects the proposed demolition and use would have on the normal and orderly development and improvement of the surrounding properties.
- Reasonableness of efforts to relocate the buildings including the costs of relocation and the limits that the location of the building would have on its relocation.
- Availability of affordable housing after giving due consideration of the master plan.
- Encourage the reuse and recycling of the materials from the buildings.

We believe that the demolition standards can be met. A Re-use and Recycling Plan will be submitted prior to the deconstruction of the two structures.

Letter of Intent
1323 West Dayton Street
April 10, 2012

Project Description:

The project consists of 65 apartments. The building is designed to fit within the immediate context defined by a mix of educational and residential uses. The well-detailed exterior uses a combination of brick, metal siding and composite metal siding to reflect the residential use and institutional setting.

The building has eight stories of housing over one and one-half parking levels. An elevator penthouse and stairway projects above the eighth level and provides access to a commons room and roof terrace for the residential tenants.

Vehicular access to the site is achieved from Randall Ave. to Randall Court south of the site. Underground parking for 43 cars is provided for the residents. Bicycle parking is well distributed in the basement and on-grade on the west side of the building.

The exterior open space of the development provides attractive private and public areas for the residents and guests. A substantial entry plaza is provided along Dayton Street that emphasizes the entrance to the building and expands the public Dayton St. streetscape. Each apartment has access to a private patio or balcony. In addition, a common roof terrace provides residents with an outdoor gathering area with expansive views to Camp Randall, the University and the State Capitol.

Site Development Data:

Dwelling Unit Mix:

| | |
|----------------------|---------------|
| One-Bedroom | 8 |
| Two-Bedroom | 15 |
| Three-Bedroom | 15 |
| Four-Bedroom | 18 |
| <u>Five-Bedroom</u> | <u>9</u> |
| Total Dwelling Units | 65 Apartments |
| Total Bedrooms | 200 Bedrooms |

Areas:

Total Gross Area 76,803 S.F.

Densities:

Lot Area 18,312 or .42 Acres
Density 155 dwelling units/acre

Building Height:

Eight Stories + Penthouse level

Vehicle Parking:

Underground 43 stalls

Bicycle Parking:

Underground 171 stalls
Surface- standard 2'x6' 30 stalls
Total 201 stalls

Letter of Intent
1323 West Dayton Street
April 10, 2012

Project Schedule:

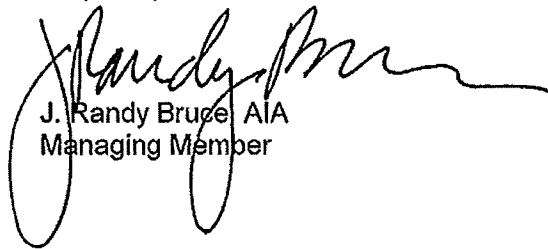
It is anticipated that the new construction phase will start in August 2012 and be completed for occupancy in August 2013.

Social & Economic Impacts:

This development will have a positive social and economic impact. The redevelopment is consistent with the recently adopted neighborhood plan and is a pedestrian and transit-oriented development that provides new energy efficient housing for adjacent to the UW campus. The redevelopment will provide support to the local construction industry and substantially increase the tax base for the property.

Thank you for your time in reviewing our proposal.

Very Truly Yours,



J. Randy Bruze, AIA
Managing Member



**Aerial
Dayton Street**

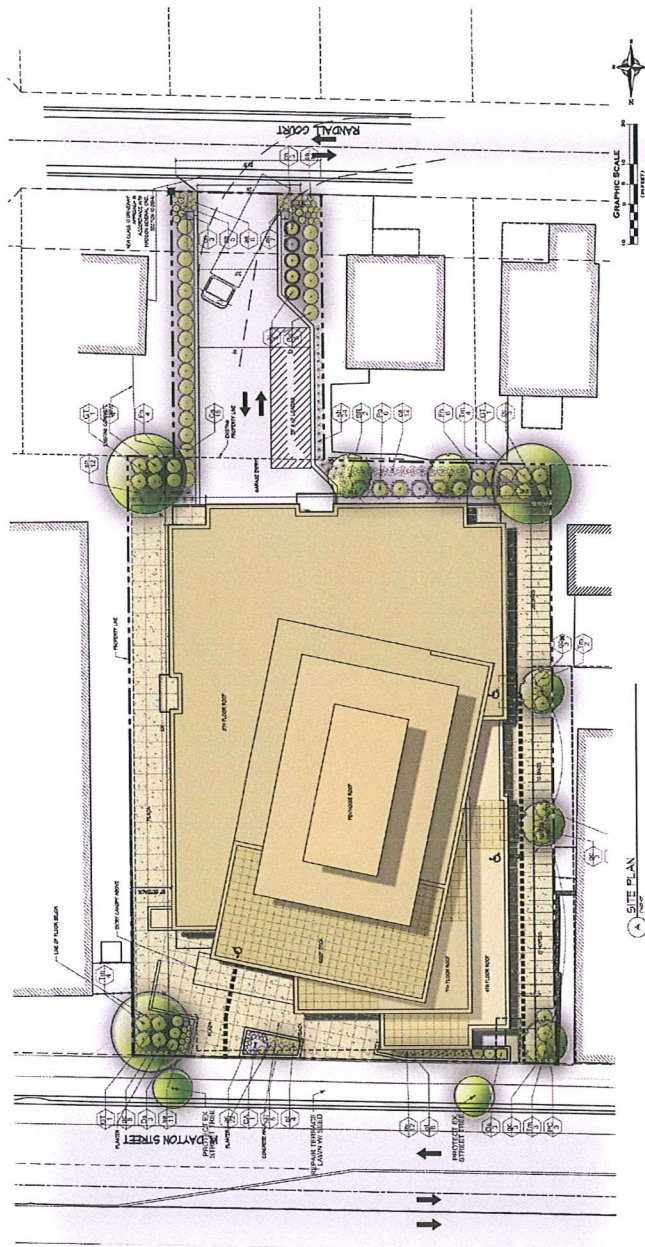
March 12, 2012

**KNOTHE
& BRUCE**
architects

Site Plan Dayton Street

April 11, 2012

**KNOTHE
& BRUCE**
architects



SHEET INDEX

| | |
|--------|-----------------------------|
| C-10 | OVERALL SITE PLAN |
| C-12 | LIGHTING PLAN |
| C-21 | TOPGRAPHIC & PLAT OF SURVEY |
| C-50 | GRADING PLAN |
| L-10 | LANDSCAPE PLAN |
| A-1-P2 | PARKING LEVEL 2 PLAN |
| A-1-P1 | PARKING LEVEL 1 PLAN |
| A-1-1 | FIRST FLOOR PLAN |
| A-1-2 | SECOND - FOURTH FLOOR PLANS |
| A-1-3 | FIFTH - SEVENTH FLOOR PLANS |
| A-1-4 | EIGHTH FLOOR PLAN |
| A-1-5 | ROOF/DECK PLAN |
| A-2-1 | NORTH ELEVATION |
| A-2-2 | SOUTH ELEVATION |
| A-2-3 | WEST ELEVATION |
| A-2-4 | EAST ELEVATION |

| | | |
|---|----------------------------|---------------------------------------|
| SITE STATISTICS | Building Footprint | Eight Stories |
| Plotting (30' Min.) | Mixed Use | 48 units (including accessible stall) |
| Over-Storage | Underground-Restroom | 37 stalls |
| Over-Substitution | Underground "Half" Storage | 300 stalls |
| Over-Substitution | Underground "Half" Storage | 14 stalls |
| Total Parking Area | Total | 334 stalls |
| 74,000 S.F. | Underground | 14 stalls |
| 15,000 or 42,000 S.F. (As per 2008 IBC) | Total | 350 stalls |
| Lot Area | Underground | 14 stalls |
| 200,000 S.F. (As per 2008 IBC) | Total | 334 stalls |
| 200,000 S.F. (As per 2008 IBC) | | |
| FAR | | |
| 4.2 | | |

11-01

North Elevation Dayton Street

April 11, 2012

KNOTHE
& BRUCE
architects





Dayton Street

KNOTHE
& BRUCE
architects

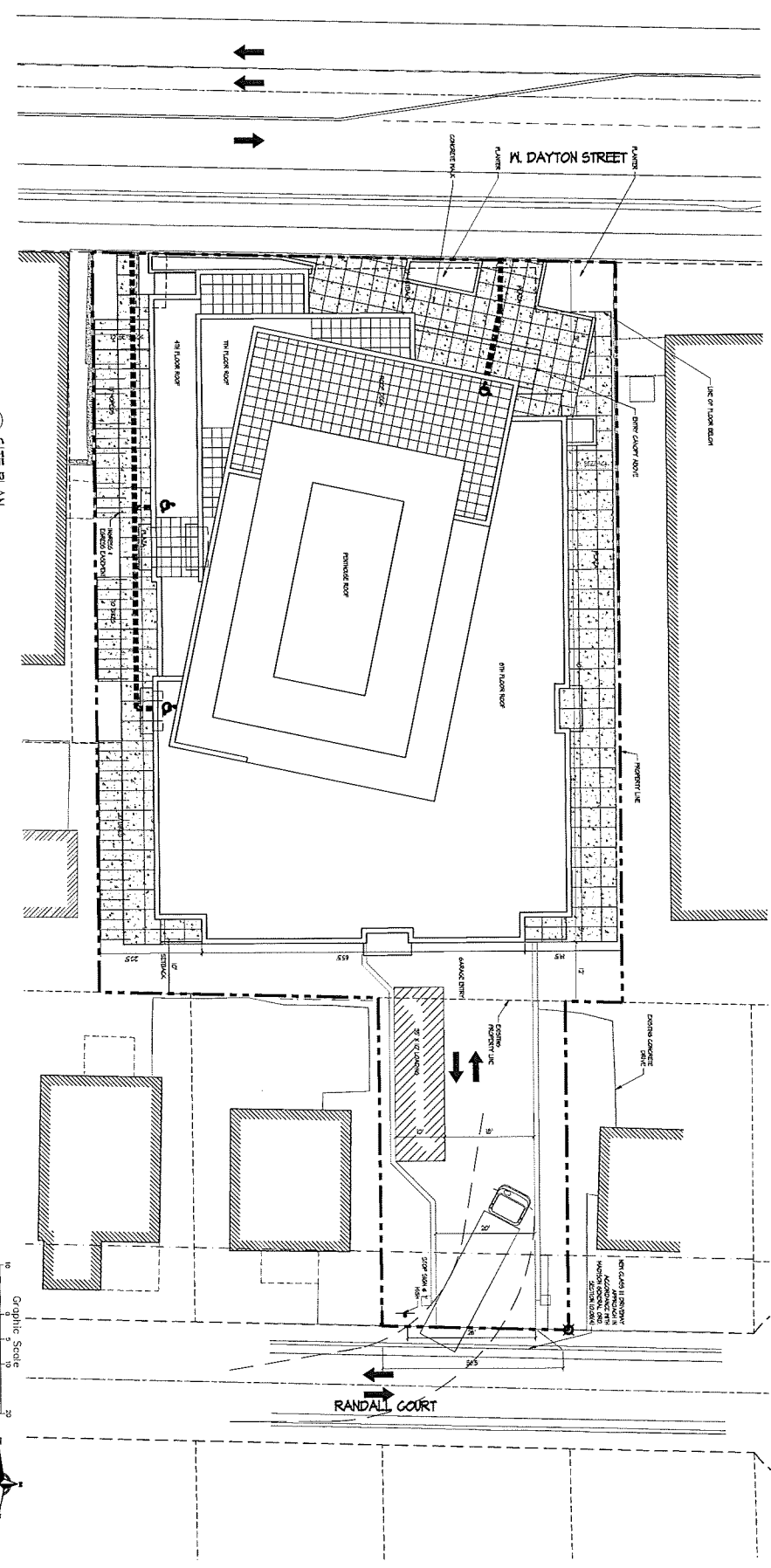
April 11, 2012

10-11

KNOTHE & BRUCE ARCHITECTS
 760 University Avenue, Suite 201
 Madison, WI 53706
 (608) 263-9300 Fax: (608) 263-9324

CONTRACT

1. SITE PLAN WITH A FIELD DIMENSION SHALL GO AS A SMALL DETAIL. ALL DIMENSIONS SHALL BE FIELD DIMENSIONS UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
5. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
6. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
7. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
8. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
9. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
10. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.



SITE PLAN

| SITE STATISTICS | |
|------------------------|-------------------|
| Dwelling Unit Mix: | 8 |
| One-Bedroom | 8 |
| Two-Bedroom | 0 |
| Three-Bedroom | 0 |
| Four-Bedroom | 0 |
| Total Dwelling Units | 8 |
| Areas: | 76,808 SF |
| Total Gross Floor Area | 76,808 SF |
| Densities: | 163.2 or 42 acres |
| Lot Area | 267.7 SF/Units |
| Density | 154.8 Units/Acre |
| FAR | 4.2 |

| Building Height: | |
|-------------------------|--------------------------------|
| Vehicle Parking: | 48 stalls |
| Underground-Residential | (Including 1 accessible stall) |
| Bike Parking: | 37 stalls |
| Underground 3'x6' | 154 stalls |
| Underground Mail Hng | 30 stalls |
| Surface 2'x6' | 201 stalls |
| Total | 385 stalls |
| Open Parking: | 14 stalls |
| Underground | 15 stalls |
| Surface | 27 |
| Total | 54 stalls |

| SHEET INDEX | |
|-------------|------------------------------|
| C-10 | OVERALL SITE PLAN |
| C-12 | LIGHTING PLAN |
| C-21 | TOPOGRAPHIC & FLAT OF SURVEY |
| C-50 | GEODOMIC PLAN |
| C-60 | SITE UTILITY PLAN |
| L-10 | LANDSCAPE PLAN |
| A-1P2 | PARKING LEVEL 2 PLAN |
| A-1P1 | PARKING LEVEL 1 PLAN |
| A-11 | FIRST FLOOR PLAN |
| A-12 | SECOND - FOURTH FLOOR PLANS |
| A-13 | FIFTH - EIGHTH FLOOR PLANS |
| A-14 | FIFTH FLOOR PLAN |
| A-15 | PERIMETER PLAN |
| A-21 | NORTH ELEVATION |
| A-22 | WEST ELEVATION |
| A-23 | SOUTH ELEVATION |
| A-24 | EAST ELEVATION |

Project Title:
 1523 W. Dayton Street
 Madison, WI

Overall Site Plan

Project No: C-10
 Drawing No: 1001

Revision:
 Land Use Application - 2015-05-22

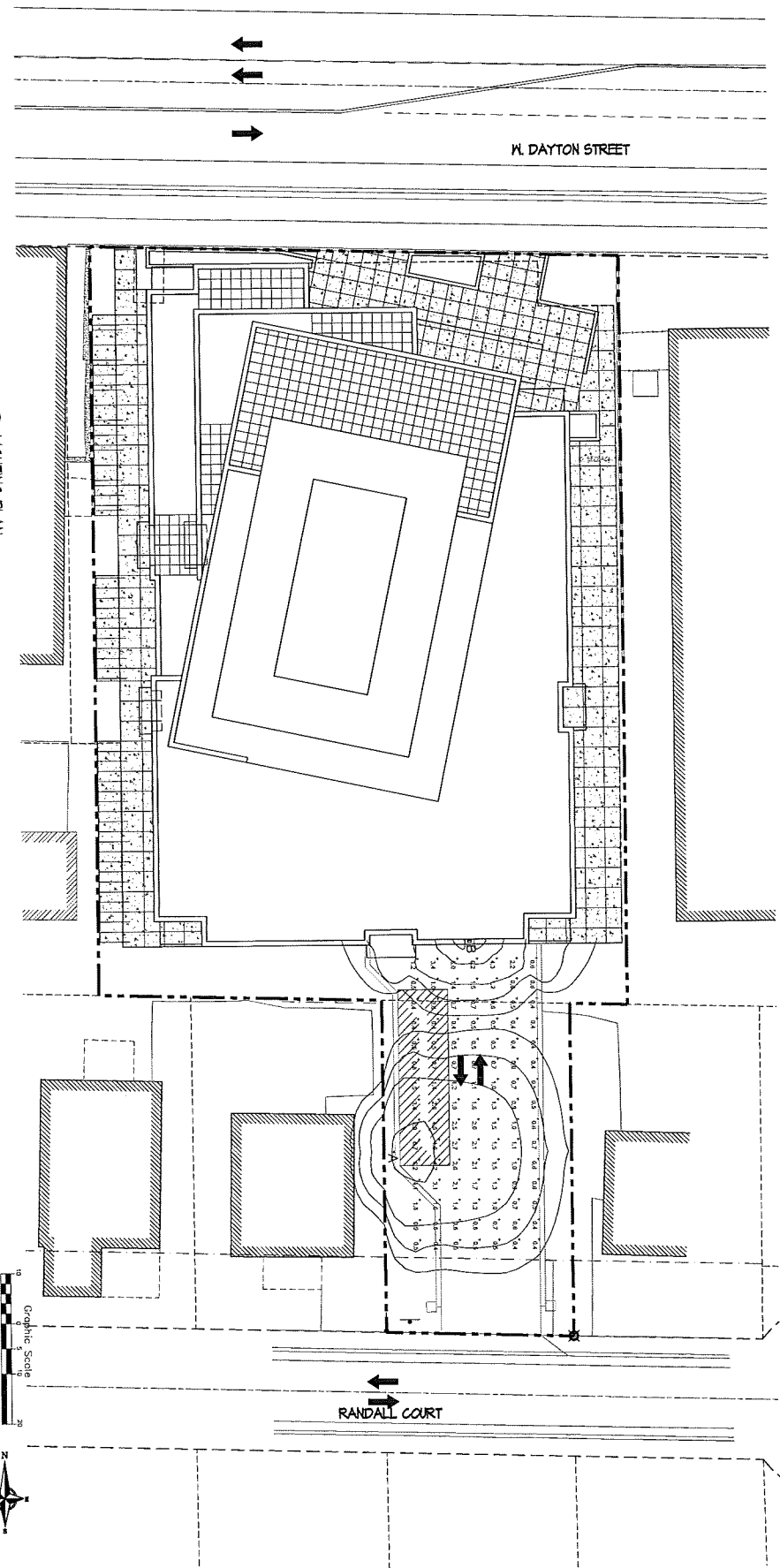
10-10

KNOTHE & BRUCE ARCHITECTS

7601 University Avenue, Suite 200
 Madison, WI 53706
 608.261.9191 fax 608.444.0934

Contract:

1. A SPEC SHALL BE WITH A FLOOR SCHEDULE THAT LIST A, B & C SHALL BE THE SAME OR EQUIVALENT TO THE SPEC. THE SPEC SHALL BE IN CONFORMANCE WITH THE SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION CITY OF MADISON (CURRENTLY) ISSUED BY THE CITY OF MADISON.
2. ALL SPECIFICATIONS SHALL BE SUBJECT TO AMENDMENTS AND SPECIAL CONSTRUCTION WITH THE PUBLIC WORKS CONSTRUCTION CITY OF MADISON (CURRENTLY) ISSUED BY THE CITY OF MADISON.
3. ALL TRADE AND EQUIPMENT TO BE DELIVERED IN TRADE ROOMS IN THE BUILDING.
4. SEE SITE EQUIPMENT AND UTILITY PLAN FOR ADDITIONAL INFORMATION.
5. SEE SCHEDULE TO BE CONFORMANCE TO SPECIFICATIONS FOR CONSTRUCTION OF BUILDINGS AND DETAILS.
6. ALL GFT, SCHEDULE, GND, AND OTHER TRADES SHALL BE SUBJECT TO THE SPECIFICATIONS FOR CONSTRUCTION CITY OF MADISON (CURRENTLY) ISSUED BY THE CITY OF MADISON.
7. ANY DAMAGE TO EXISTING INFRASTRUCTURE SHALL BE REPAIRED TO ORIGINAL CONDITION IN ACCORDANCE WITH THE CITY OF MADISON (CURRENTLY) ISSUED BY THE CITY OF MADISON.
8. SCHEDULES NOT BE APPROVED BY THE ISSUING AGENCY COMMISSION AND DESIGN REPRESENTATIVE.



A LIGHTING PLAN

LIGHTING SCHEDULE

| Symbol | Light Type | Manufacturer | Color/Temperature | Dimensions | Level | TRA | Mounting |
|--------|---------------|--------------|-------------------------|------------|-------|-----------|-----------------------|
| ○ A | ROAD LIGHTING | MACGRUBBS | WARM WHITE (3000K) | 75WATT/1M | | MACGRUBBS | ON 2' CONCEALED RAILE |
| □ B | ROAD LIGHTING | EMERALD | RECYCLED SECURITY/REPER | 55WATT/1M | | EMERALD | ON 2' CONCEALED RAILE |

LIGHTING STATISTICS

| Category | Symbol | Qty | Watt | Volts | Watt-Hour | Foot-Candle |
|-------------------------|--------|------|------|-------|-----------|-------------|
| LOADING ZONE (DRIVEWAY) | + | 14/6 | 47.8 | 6.4K | 16271 | 333 |

Project Title: 1323 W. Dayton Street, Madison, WI

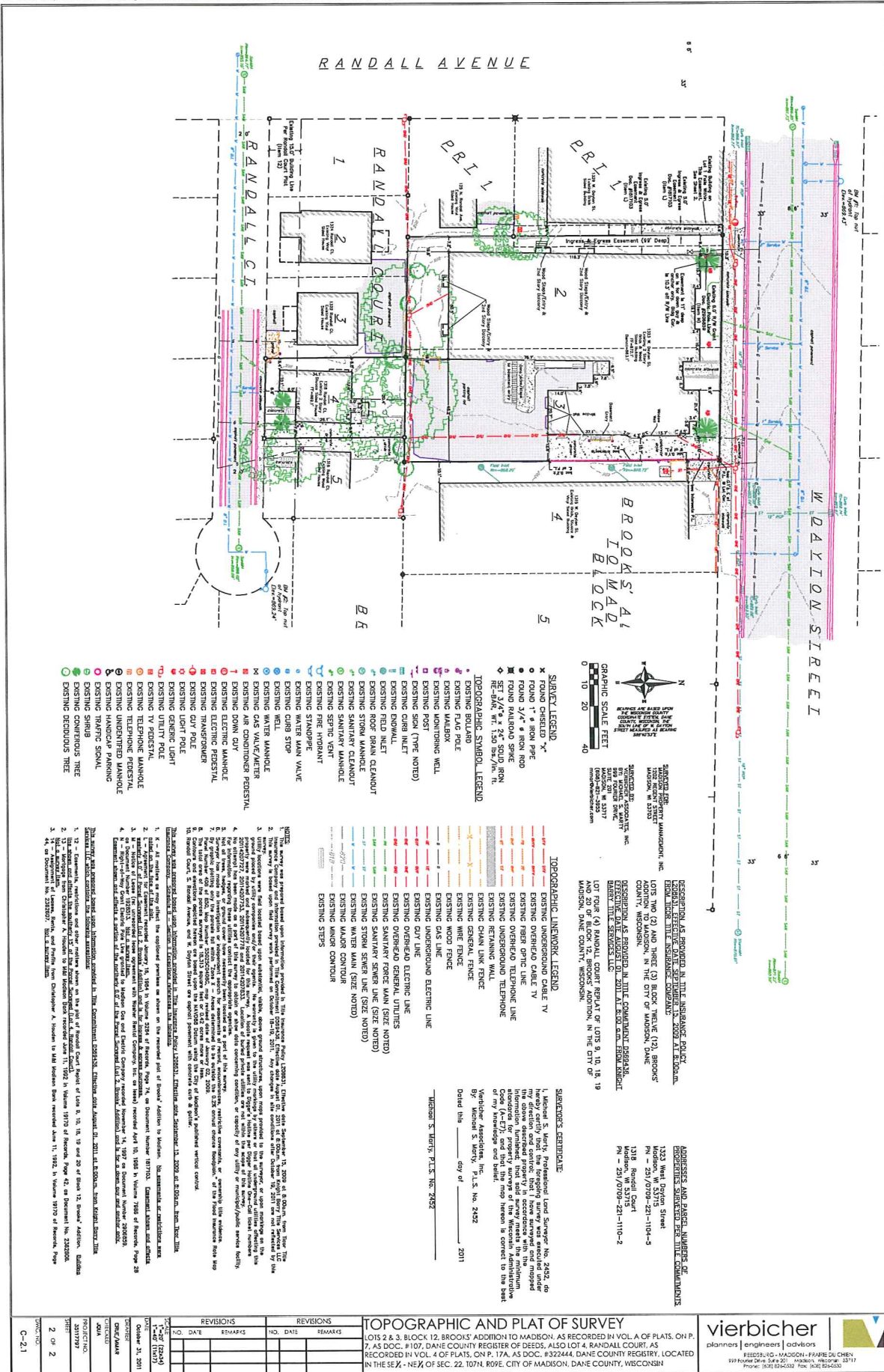
Contract: 1001

Project No: 1001

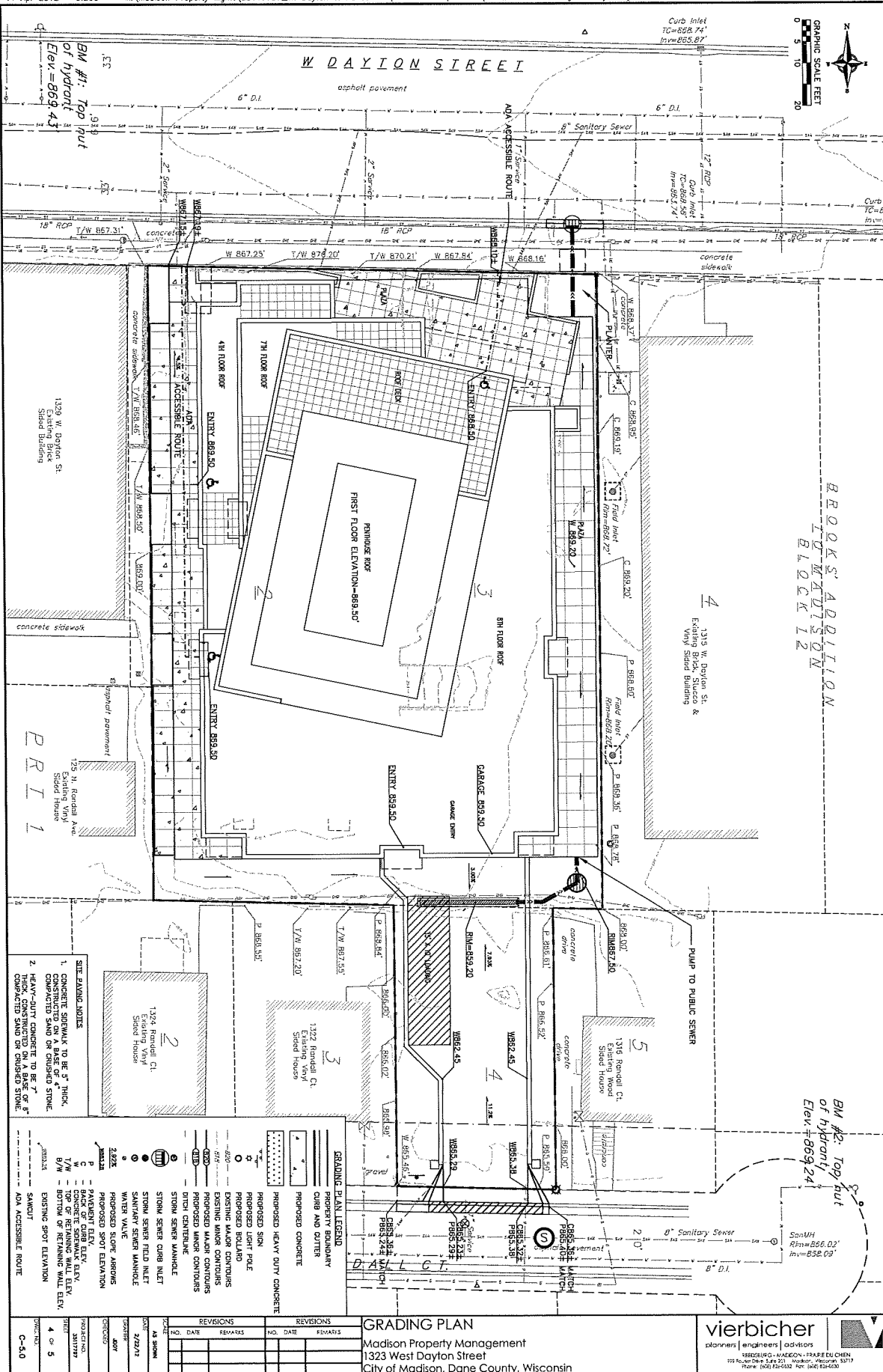
Drawing No: C-12

Contractor: KNOTHE & BRUCE ARCHITECTS

Revision: Land Use Application - 2010-02-22



- SURVEY LEGEND**
- x FOUND CHECKED
 - o FOUND 1" x 1" IRON PIPE
 - o FOUND 3/4" x IRON PIPE
 - o FOUND 1/2" x IRON PIPE
 - o FOUND 1/4" x IRON PIPE
 - o FOUND 1/8" x IRON PIPE
 - o FOUND 1/16" x IRON PIPE
 - o FOUND 1/32" x IRON PIPE
 - o FOUND 1/64" x IRON PIPE
 - o FOUND 1/128" x IRON PIPE
 - o FOUND 1/256" x IRON PIPE
 - o FOUND 1/512" x IRON PIPE
 - o FOUND 1/1024" x IRON PIPE
 - o FOUND 1/2048" x IRON PIPE
 - o FOUND 1/4096" x IRON PIPE
 - o FOUND 1/8192" x IRON PIPE
 - o FOUND 1/16384" x IRON PIPE
 - o FOUND 1/32768" x IRON PIPE
 - o FOUND 1/65536" x IRON PIPE
 - o FOUND 1/131072" x IRON PIPE
 - o FOUND 1/262144" x IRON PIPE
 - o FOUND 1/524288" x IRON PIPE
 - o FOUND 1/1048576" x IRON PIPE
 - o FOUND 1/2097152" x IRON PIPE
 - o FOUND 1/4194304" x IRON PIPE
 - o FOUND 1/8388608" x IRON PIPE
 - o FOUND 1/16777216" x IRON PIPE
 - o FOUND 1/33554432" x IRON PIPE
 - o FOUND 1/67108864" x IRON PIPE
 - o FOUND 1/134217728" x IRON PIPE
 - o FOUND 1/268435456" x IRON PIPE
 - o FOUND 1/536870912" x IRON PIPE
 - o FOUND 1/1073741824" x IRON PIPE
 - o FOUND 1/2147483648" x IRON PIPE
 - o FOUND 1/4294967296" x IRON PIPE
 - o FOUND 1/8589934592" x IRON PIPE
 - o FOUND 1/17179869184" x IRON PIPE
 - o FOUND 1/34359738368" x IRON PIPE
 - o FOUND 1/68719476736" x IRON PIPE
 - o FOUND 1/137438953472" x IRON PIPE
 - o FOUND 1/274877906944" x IRON PIPE
 - o FOUND 1/549755813888" x IRON PIPE
 - o FOUND 1/1099511627776" x IRON PIPE
 - o FOUND 1/2199023255552" x IRON PIPE
 - o FOUND 1/4398046511104" x IRON PIPE
 - o FOUND 1/8796093022208" x IRON PIPE
 - o FOUND 1/17592180444416" x IRON PIPE
 - o FOUND 1/35184360888832" x IRON PIPE
 - o FOUND 1/70368721777664" x IRON PIPE
 - o FOUND 1/140737443555328" x IRON PIPE
 - o FOUND 1/281474887110656" x IRON PIPE
 - o FOUND 1/562949774221312" x IRON PIPE
 - o FOUND 1/1125899548442624" x IRON PIPE
 - o FOUND 1/2251799096885248" x IRON PIPE
 - o FOUND 1/4503598193770496" x IRON PIPE
 - o FOUND 1/9007196387540992" x IRON PIPE
 - o FOUND 1/18014392770881984" x IRON PIPE
 - o FOUND 1/36028785541763968" x IRON PIPE
 - o FOUND 1/72057571083527936" x IRON PIPE
 - o FOUND 1/144115142167055872" x IRON PIPE
 - o FOUND 1/288230284334111744" x IRON PIPE
 - o FOUND 1/576460568668223488" x IRON PIPE
 - o FOUND 1/1152921137337646976" x IRON PIPE
 - o FOUND 1/2305842274755293952" x IRON PIPE
 - o FOUND 1/4611684549510587904" x IRON PIPE
 - o FOUND 1/9223369099021175808" x IRON PIPE
 - o FOUND 1/1844673819804355616" x IRON PIPE
 - o FOUND 1/3689347639608711232" x IRON PIPE
 - o FOUND 1/7378695279217422464" x IRON PIPE
 - o FOUND 1/1475739055843844928" x IRON PIPE
 - o FOUND 1/2951478111687689856" x IRON PIPE
 - o FOUND 1/5902956223375379712" x IRON PIPE
 - o FOUND 1/11805912446751759424" x IRON PIPE
 - o FOUND 1/23611824893503518848" x IRON PIPE
 - o FOUND 1/47223649787007037696" x IRON PIPE
 - o FOUND 1/94447299574014075392" x IRON PIPE
 - o FOUND 1/188894591180280707872" x IRON PIPE
 - o FOUND 1/377789182360561415744" x IRON PIPE
 - o FOUND 1/75557836472112283148288" x IRON PIPE
 - o FOUND 1/151115672844245664576" x IRON PIPE
 - o FOUND 1/302231345688491329152" x IRON PIPE
 - o FOUND 1/604462691376982658304" x IRON PIPE
 - o FOUND 1/1208925382753965176608" x IRON PIPE
 - o FOUND 1/2417850765507930353216" x IRON PIPE
 - o FOUND 1/48357015310158607064384" x IRON PIPE
 - o FOUND 1/96714030620317214128768" x IRON PIPE
 - o FOUND 1/193428061206344282455552" x IRON PIPE
 - o FOUND 1/3868561224126848449111104" x IRON PIPE
 - o FOUND 1/7737122448253696898222208" x IRON PIPE
 - o FOUND 1/15474244896507393974444416" x IRON PIPE
 - o FOUND 1/30948489793014787948888832" x IRON PIPE
 - o FOUND 1/61896979586029575897777664" x IRON PIPE
 - o FOUND 1/1237939517201191517955555296" x IRON PIPE
 - o FOUND 1/2475879034402383035911111712" x IRON PIPE
 - o FOUND 1/4951758068804766071822222424" x IRON PIPE
 - o FOUND 1/9903516137609532143644444848" x IRON PIPE
 - o FOUND 1/1980703227521906428888889696" x IRON PIPE
 - o FOUND 1/3961406455043812857777779392" x IRON PIPE
 - o FOUND 1/7922812910087625715555558784" x IRON PIPE
 - o FOUND 1/1584562822015251431111117568" x IRON PIPE
 - o FOUND 1/3169125644030502862222235328" x IRON PIPE
 - o FOUND 1/6338251288061005724444470656" x IRON PIPE
 - o FOUND 1/1267650257612011488888814112" x IRON PIPE
 - o FOUND 1/253530051522402297777772824" x IRON PIPE
 - o FOUND 1/5070601030448045955555556448" x IRON PIPE
 - o FOUND 1/10141202060896899111111112896" x IRON PIPE
 - o FOUND 1/2028240412179379822222225792" x IRON PIPE
 - o FOUND 1/4056480824358759644444451584" x IRON PIPE
 - o FOUND 1/8112961648717519288888903168" x IRON PIPE
 - o FOUND 1/1622592297435353857777780672" x IRON PIPE
 - o FOUND 1/3245184594870707715555561344" x IRON PIPE
 - o FOUND 1/649036918940401543111112688" x IRON PIPE
 - o FOUND 1/129807383788080308222225376" x IRON PIPE
 - o FOUND 1/2596147675761606164444410752" x IRON PIPE
 - o FOUND 1/519229535152321228888821504" x IRON PIPE
 - o FOUND 1/103845907024642457777743008" x IRON PIPE
 - o FOUND 1/207691814049284915555586016" x IRON PIPE
 - o FOUND 1/4153836280985698311111172032" x IRON PIPE
 - o FOUND 1/830767256197139662222244064" x IRON PIPE
 - o FOUND 1/166153451394279324444488128" x IRON PIPE
 - o FOUND 1/33230690278855864888896256" x IRON PIPE
 - o FOUND 1/66461380557711729777793512" x IRON PIPE
 - o FOUND 1/13292276115443557555518024" x IRON PIPE
 - o FOUND 1/26584552230887111111136048" x IRON PIPE
 - o FOUND 1/531691044617542222272096" x IRON PIPE
 - o FOUND 1/106338208923548444444444144" x IRON PIPE
 - o FOUND 1/212676417837096888888888288" x IRON PIPE
 - o FOUND 1/425352835674193777777777576" x IRON PIPE
 - o FOUND 1/8507056713483875555555551152" x IRON PIPE
 - o FOUND 1/1701411342695151111111112304" x IRON PIPE
 - o FOUND 1/3402822685380302222222224608" x IRON PIPE
 - o FOUND 1/6805645370760604444444449216" x IRON PIPE
 - o FOUND 1/1361129075521212088888898432" x IRON PIPE
 - o FOUND 1/2722258150424244177777796864" x IRON PIPE
 - o FOUND 1/54445163008484883555555193728" x IRON PIPE
 - o FOUND 1/10889032616976977111111387456" x IRON PIPE
 - o FOUND 1/2177806523395395422222774912" x IRON PIPE
 - o FOUND 1/4355613046790790844444549824" x IRON PIPE
 - o FOUND 1/8711226093581581688881099648" x IRON PIPE
 - o FOUND 1/1742245177163376377777219936" x IRON PIPE
 - o FOUND 1/348449035432675275555543888" x IRON PIPE
 - o FOUND 1/696898070865350551111187776" x IRON PIPE
 - o FOUND 1/1393796141311001102222355552" x IRON PIPE
 - o FOUND 1/2787592282622002204444711104" x IRON PIPE
 - o FOUND 1/5575184565244004408888142208" x IRON PIPE
 - o FOUND 1/1115036910488008817777844416" x IRON PIPE
 - o FOUND 1/2230073820976017635555168832" x IRON PIPE
 - o FOUND 1/4460147641952035271111337664" x IRON PIPE
 - o FOUND 1/8920295283904070542222675328" x IRON PIPE
 - o FOUND 1/178405911780811410844441350656" x IRON PIPE
 - o FOUND 1/3568118235616228217777271311" x IRON PIPE
 - o FOUND 1/713623647123244443555554222622" x IRON PIPE
 - o FOUND 1/142724734446488887111118444448" x IRON PIPE
 - o FOUND 1/285449468892977774222236888896" x IRON PIPE
 - o FOUND 1/570898937785955548444473777792" x IRON PIPE
 - o FOUND 1/11417978755719111088881475555184" x IRON PIPE
 - o FOUND 1/22835957511422221777773511136" x IRON PIPE
 - o FOUND 1/45671915022844443555557022272" x IRON PIPE
 - o FOUND 1/913438300456888871111140444444" x IRON PIPE
 - o FOUND 1/182687660911377774222280888888" x IRON PIPE
 - o FOUND 1/36537532182275554844441617777776" x IRON PIPE
 - o FOUND 1/73075064364551110888813235555552" x IRON PIPE
 - o FOUND 1/146150128729102222177776471111104" x IRON PIPE
 - o FOUND 1/292300257458204444355555128444416" x IRON PIPE
 - o FOUND 1/58460051496440888871111256888896" x IRON PIPE
 - o FOUND 1/116920103192881777751371777792" x IRON PIPE
 - o FOUND 1/233840206385763555422755555184" x IRON PIPE
 - o FOUND 1/4676804127715271110888813711136" x IRON PIPE
 - o FOUND 1/935360824343054222177772711136" x IRON PIPE
 - o FOUND 1/187072164868610884444355555422272" x IRON PIPE
 - o FOUND 1/3741443297372177788888711118444448" x IRON PIPE
 - o FOUND 1/74828865947443555777774888896" x IRON PIPE
 - o FOUND 1/1496577198948711115555519777792" x IRON PIPE
 - o FOUND 1/29931543978974222221111395555184" x IRON PIPE
 - o FOUND 1/59863087957948444422222711136" x IRON PIPE
 - o FOUND 1/119726159155896888444435555542272" x IRON PIPE
 - o FOUND 1/23945231831177778888871118444448" x IRON PIPE
 - o FOUND 1/4789046366235555777774888896" x IRON PIPE
 - o FOUND 1/957809273247111115555519777792" x IRON PIPE
 - o FOUND 1/1915618464494222222111395555184" x IRON PIPE
 - o FOUND 1/38312369289884444442222271136" x IRON PIPE
 - o FOUND 1/76624738579768888871118444448" x IRON PIPE
 - o FOUND 1/15324947159537777888887118444448" x IRON PIPE
 - o FOUND 1/30649894319075555777774888896" x IRON PIPE
 - o FOUND 1/612997886381511115555519777792" x IRON PIPE
 - o FOUND 1/122599577276302222211395555184" x IRON PIPE
 - o FOUND 1/245199154552604444222227136" x IRON PIPE
 - o FOUND 1/490398309105208888444435555542272" x IRON PIPE
 - o FOUND 1/980796618210417777888887118444448" x IRON PIPE
 - o FOUND 1/19615932362083555777774888896" x IRON PIPE
 - o FOUND 1/3923186472416711115555519777792" x IRON PIPE
 - o FOUND 1/784637294483342222211395555184" x IRON PIPE
 - o FOUND 1/1569274789766684444222227136" x IRON PIPE
 - o FOUND 1/31385495795333688887118444448" x IRON PIPE
 - o FOUND 1/6277099158666737777888887118444448" x IRON PIPE
 - o FOUND 1/12554198373333555777774888896" x IRON PIPE
 - o FOUND 1/2510839674666711115555519777792" x IRON PIPE
 - o FOUND 1/502167934933342222211395555184" x IRON PIPE
 - o FOUND 1/10043358696668444222227136" x IRON PIPE
 - o FOUND 1/2008671739333688887118444448" x IRON PIPE
 - o FOUND 1/4017343478666737777888887118444448" x IRON PIPE
 - o FOUND 1/8034686957333555777774888896" x IRON PIPE
 - o FOUND 1/1606937391466711115555519777792" x IRON PIPE
 - o FOUND 1/321387478293342222211395555184" x IRON PIPE
 - o FOUND 1/64277495658668444222227136" x IRON PIPE
 - o FOUND 1/12855499317333688887118444448" x IRON PIPE
 - o FOUND 1/2571099863466737777888887118444448" x IRON PIPE
 - o FOUND 1/5142199726933555777774888896" x IRON PIPE
 - o FOUND 1/1028439853866711115555519777792" x IRON PIPE
 - o FOUND 1/205687970773342222211395555184" x IRON PIPE
 - o FOUND 1/41137594154668444222227136" x IRON PIPE
 - o FOUND 1/8227518830933688887118444448" x IRON PIPE
 - o FOUND 1/16455036661866737777888887118444448" x IRON PIPE
 - o FOUND 1/3291007332373555777774888896" x IRON PIPE
 - o FOUND 1/65820146647466711115555519777792" x IRON PIPE
 - o FOUND 1/1316402929493342222211395555184" x IRON PIPE
 - o FOUND 1/263280585898668444222227136" x IRON PIPE
 - o FOUND 1/52656117179733688887118444448" x IRON PIPE
 - o FOUND 1/105312235599466737777888887118444448" x IRON PIPE
 - o FOUND 1/210624471198933555777774888896" x IRON PIPE
 - o FOUND 1/421248942397866711115555519777792" x IRON PIPE
 - o FOUND 1/84249788479573342222211395555184" x IRON PIPE
 - o FOUND 1/1684995735914668444222227136" x IRON PIPE
 - o FOUND 1/33699914718333688887118444448" x IRON PIPE
 - o FOUND 1/6739982943666737777888887118444448" x IRON PIPE
 - o FOUND 1/1347996488733555777774888896" x IRON PIPE
 - o FOUND 1/2695992977466711115555519777792" x IRON PIPE
 - o FOUND 1/539198595493342222211395555184" x IRON PIPE
 - o FOUND 1/107839718698668444222227136" x IRON PIPE
 - o FOUND 1/21567943739733688887118444448" x IRON PIPE
 - o FOUND 1/43135887479466737777888887118444448" x IRON PIPE
 - o FOUND 1/86271774958933555777774888896" x IRON PIPE
 - o FOUND 1/172543559177866711115555519777792" x IRON PIPE
 - o FOUND 1/34508711835573342222211395555184" x IRON PIPE
 - o FOUND 1/6901742771114668444222227136" x IRON PIPE
 - o FOUND 1/138034854222866737777888887118444448" x IRON PIPE
 - o FOUND 1/276069708445733555777774888896" x IRON PIPE
 - o FOUND 1/552139416891466711115555519777792" x IRON PIPE
 - o FOUND 1/1104278337783342222211395555184" x IRON PIPE
 - o FOUND 1/22085566755668444222227136" x IRON PIPE
 - o FOUND 1/4417113351133688887118444448" x IRON PIPE
 - o FOUND 1/8834226702233555777774888896" x IRON PIPE
 - o FOUND 1/1766845404466711115555519777792" x IRON PIPE
 - o FOUND 1/353369080893342222211395555184" x IRON PIPE
 - o FOUND 1/70673816178668444222227136" x IRON PIPE
 - o FOUND 1/1413476235733688887118444448" x IRON PIPE
 - o FOUND 1/2826952471466737777888887118444448" x IRON PIPE
 - o FOUND 1/5653904942933555777774888896" x IRON PIPE
 - o FOUND 1/1130780985466711115555519777792" x IRON PIPE
 - o FOUND 1/226156197093342222211395555184" x IRON PIPE
 - o FOUND 1/45231239418668444222227136" x IRON PIPE
 - o FOUND 1/9046247883733688887118444448" x IRON PIPE
 - o FOUND 1/1809249567566737777888887118444448" x IRON PIPE
 - o FOUND 1/3618499135133555777774888896" x IRON PIPE
 - o FOUND 1/7236998270266711115555519777792" x IRON PIPE
 - o FOUND 1/144739965453342222211395555184" x IRON PIPE
 - o FOUND 1/28947993090668444222227136" x IRON PIPE
 - o FOUND 1/5789598618133688887118444448" x IRON PIPE
 - o FOUND 1/11579197236266737777888887118444448" x IRON PIPE
 - o FOUND 1/23158394472533555777774888896" x IRON PIPE
 - o FOUND 1/46316788945066711115555519777792" x IRON PIPE
 - o FOUND 1/926335778901342222211395555184" x IRON PIPE
 - o FOUND 1/1852671557802668444222227136" x IRON PIPE
 - o FOUND 1/370534317560533688887118444448" x IRON PIPE
 - o FOUND 1/741068635121066737777888887118444448" x IRON PIPE
 - o FOUND 1/148213727024133555777774888896" x IRON PIPE
 - o FOUND 1/296427454048266711115555519777792" x IRON PIPE
 - o FOUND 1/59285490809653342222211395555184" x IRON PIPE
 - o FOUND 1/11857098171310668444222227136" x IRON PIPE
 - o FOUND 1/2371419634262133688887118444448" x IRON PIPE
 - o FOUND 1/4742839268524266737777888887118444448" x IRON PIPE
 - o FOUND 1/9485678537048533555777774888896" x IRON PIPE
 - o FOUND 1/189713570709766711115555519777792" x IRON PIPE
 - o FOUND 1/37942714141953342222211395555184" x IRON PIPE
 - o FOUND 1/7588542828390668444222227136" x IRON PIPE
 - o FOUND 1/151770856478133688887118444448" x IRON PIPE
 - o FOUND 1/303541712956266737777888887118444448" x IRON PIPE
 - o FOUND 1/607083425912533555777774888896" x IRON PIPE
 - o FOUND 1/1214166851845066711115555519777792" x IRON PIPE
 - o FOUND 1/24283337036901342222211395555184" x IRON PIPE
 - o FOUND 1/48566674073802668444222227136" x IRON PIPE
 - o FOUND 1/9713334814760533688887118444448" x IRON PIPE
 - o FOUND 1/1942666923521066737777888887118444448" x IRON PIPE
 - o FOUND 1/3885333847042133555777774888896" x IRON PIPE
 - o FOUND 1/7770667694084266711115555519777792" x IRON PIPE
 - o FOUND 1/155413351816853342222211395555184" x IRON PIPE
 - o FOUND 1/31082670363370668444222227136" x IRON PIPE
 - o FOUND 1/6216534072674133688887118444448" x IRON PIPE
 - o FOUND 1/1243306814348266737777888887118444448" x IRON PIPE
 - o FOUND 1/2486613628696533555777774888896" x IRON PIPE
 - o FOUND 1/4973227257393066711115555519777792" x IRON PIPE
 - o FOUND 1/99464545147861342222211395555184" x IRON PIPE
 - o FOUND 1/19892908235732668444222227136" x IRON PIPE
 - o FOUND 1/397858164714533688887118444448" x IRON PIPE
 - o FOUND 1/795716329429066737777888887118444448" x IRON PIPE
 - o FOUND 1/1591432658458133555777774888896" x IRON PIPE
 -



- SITE EXAMINER NOTES**
1. CONCRETE SIDEWALK TO BE 3" THICK, COMPACTED SAND OR CRUSHED STONE.
 2. HEAVY-DUTY CONCRETE TO BE 7" THICK, CONSTRUCTED ON A BASE OF 8" COMPACTED SAND OR CRUSHED STONE.

GRADING PLAN LEGEND

| | |
|--|--------------------------------|
| | PROPOSED LIGHT POLE |
| | PROPOSED MAJOR CONTOURS |
| | PROPOSED MINOR CONTOURS |
| | PROPOSED DITCH CENTERLINE |
| | STORM SEWER MANHOLE |
| | STORM SEWER CATCH INLET |
| | STORM SEWER MANHOLE INLET |
| | SANITARY SEWER MANHOLE |
| | WATER VALVE |
| | PROPOSED SPOT ELEVATION |
| | BACK OF CURB ELEV. |
| | CONCRETE SIDEWALK ELEV. |
| | T/W |
| | BOTTOM OF RETAINING WALL ELEV. |
| | EXISTING SPOT ELEVATION |
| | SEWER |
| | ADA ACCESSIBLE ROUTE |

| REVISIONS | | | REVISIONS | | |
|-----------|------|---------|-----------|------|---------|
| NO. | DATE | REMARKS | NO. | DATE | REMARKS |
| | | | | | |
| | | | | | |

GRADING PLAN
 Madison Property Management
 1323 West Dayton Street
 City of Madison, Dane County, Wisconsin

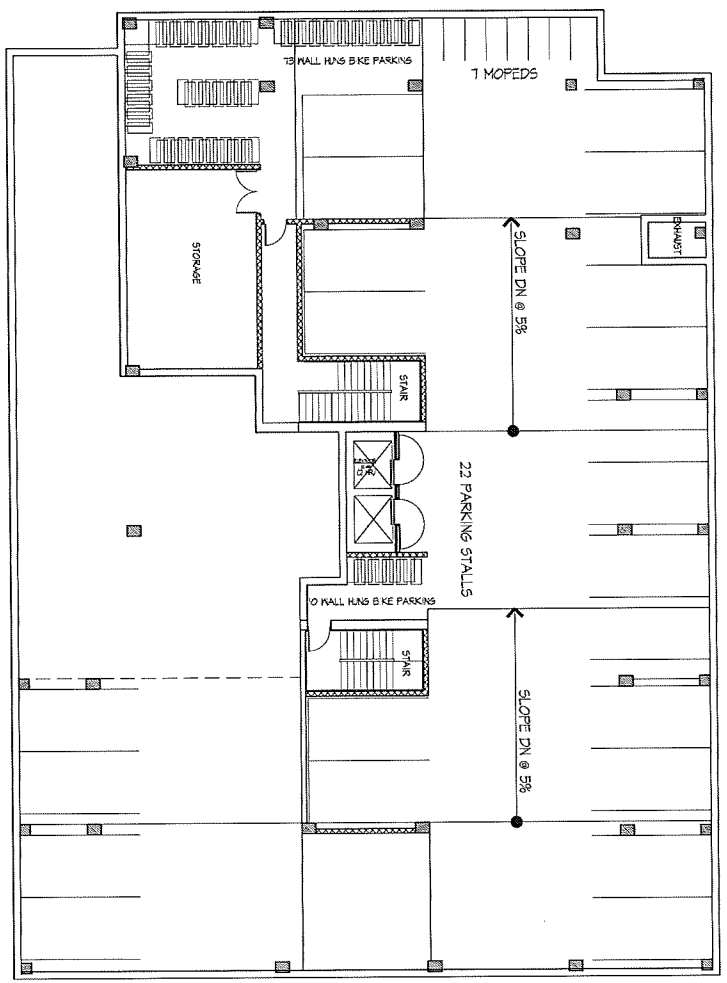
vierbicher
 planners | engineers | advisors


2255 MONROE - MADISON - WISCONSIN FAX 608.261.0001
 225 N. EAST DR. - SUITE 201 - MADISON, WISCONSIN 53717
 PHONE: (608) 261.0002 FAX: (608) 261.0003

11-10

KNOTHE & BRUCE ARCHITECTS
701 University Avenue, Suite 201
Madison, Wisconsin 53762
608.263.3690 Fax 608.263.4974

Notes



 **PARKING LEVEL 2 PLAN**

Revised: 05/21/2013
100% Revision No. 1, 2013
Land Use Application No. 22, 2013

Project Title
1323 West Dayton
Madison, WI

Drawing Title
Parking Level 2 Plan

Project No. 1001
Drawing No. A-1/P2

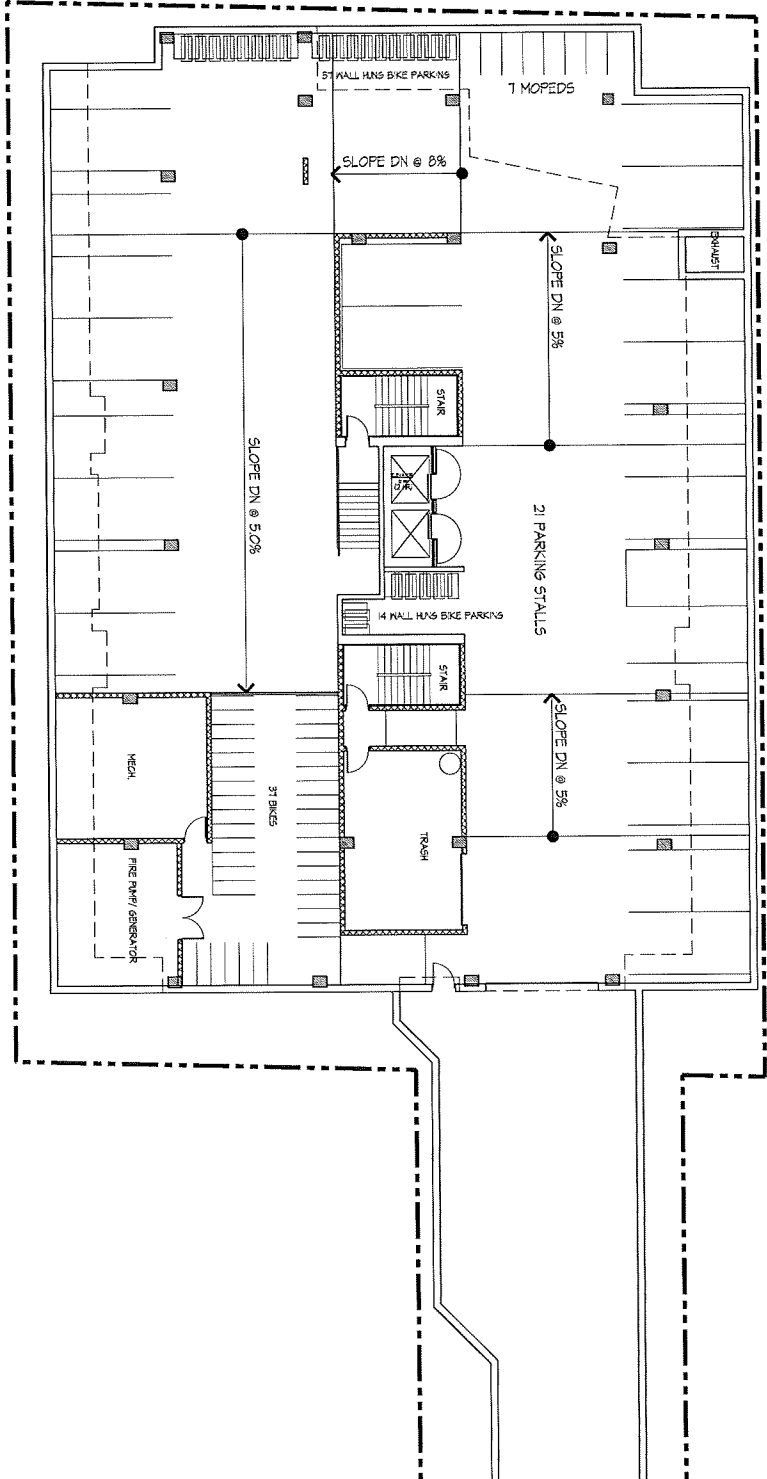
11-01

KNOTHE & BRUCE ARCHITECTS

7401 University Avenue • Suite 200
Madison, WI 53706
608.263.4400 Fax 608.469.9344

Contractor

Name



PARKING LEVEL | PLAN

Revision
Landscape 24.201
Landscape 24.201
Landscape 24.201
Landscape 24.201

Project Title
1323 West Dayton
Madison, WI

Project No.
1001

Drawing No.
A-1PI

Scale
1/8" = 1'-0"

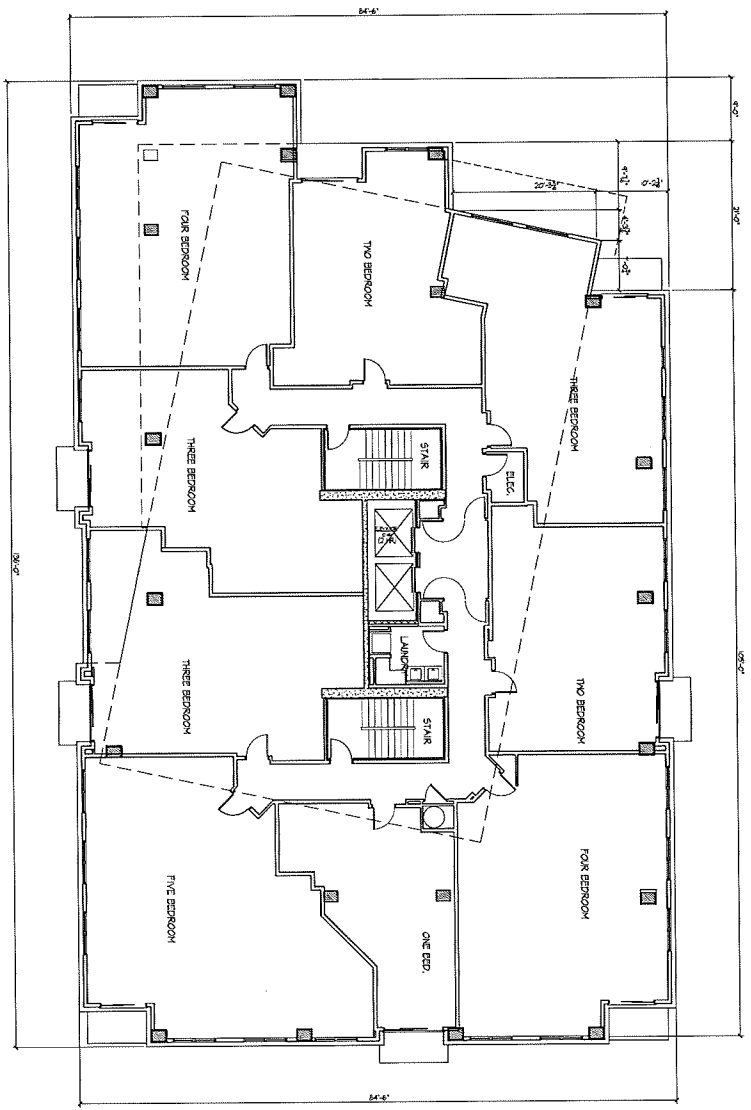
10-11

KNOTHE & BRUCE ARCHITECTS

701 Lakeside Drive, Suite 201
Madison, Wisconsin 53706
608-833-3490 Fax 608-833-9334

Contractor

Name



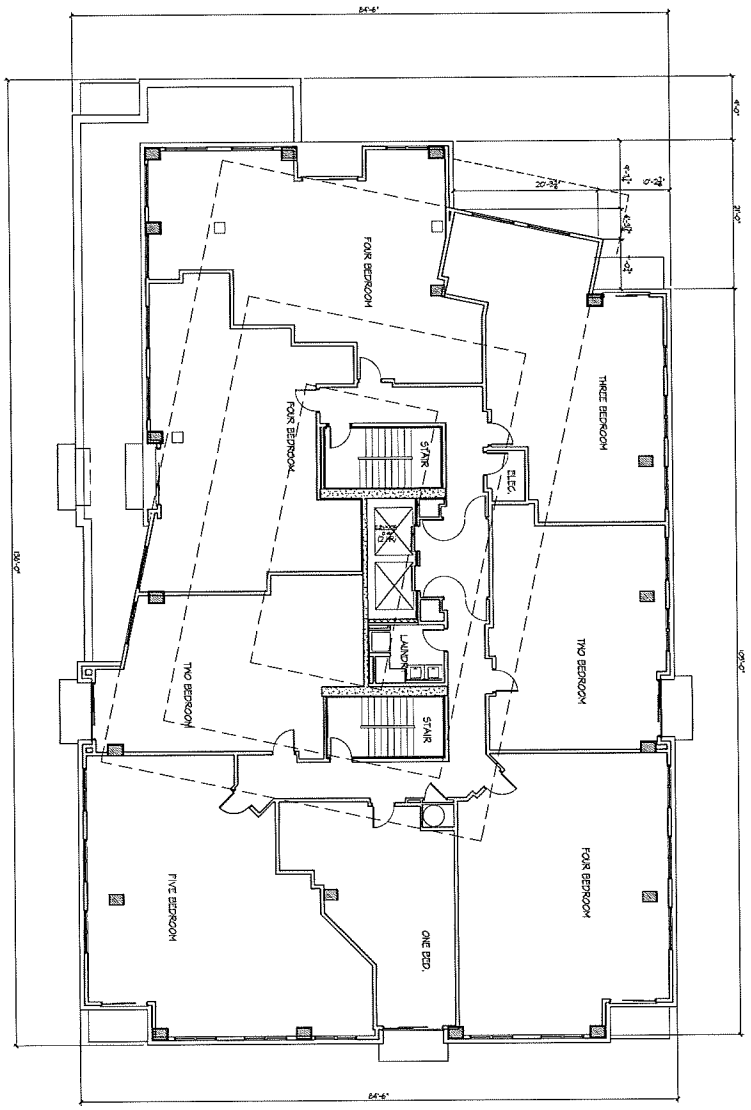
SECOND-FOURTH FLOOR PLANS

Revision
Landscape 24.29.20
2008
Use the application No. 22.292
Issued - Nov. 20, 2008

Project Title
1323 West Dayton
Madison, WI

| | |
|-------------|-----------------------|
| Drawn Title | Second - Fourth Floor |
| Plans | |
| Project No. | 1001 |
| Drawn No. | A-1.2 |

10-11



FIFTH-SEVENTH FLOOR PLANS

Project Title
1323 West Dayton
Madison, WI

Revision
Update on 24, 2011
Update on 24, 2011
Use the specification on 24, 2011

| | |
|---------------|-----------------------|
| Drawing Title | Fifth - Seventh Floor |
| Plans | |
| Project No. | 1001 |
| Drawing No. | A-13 |

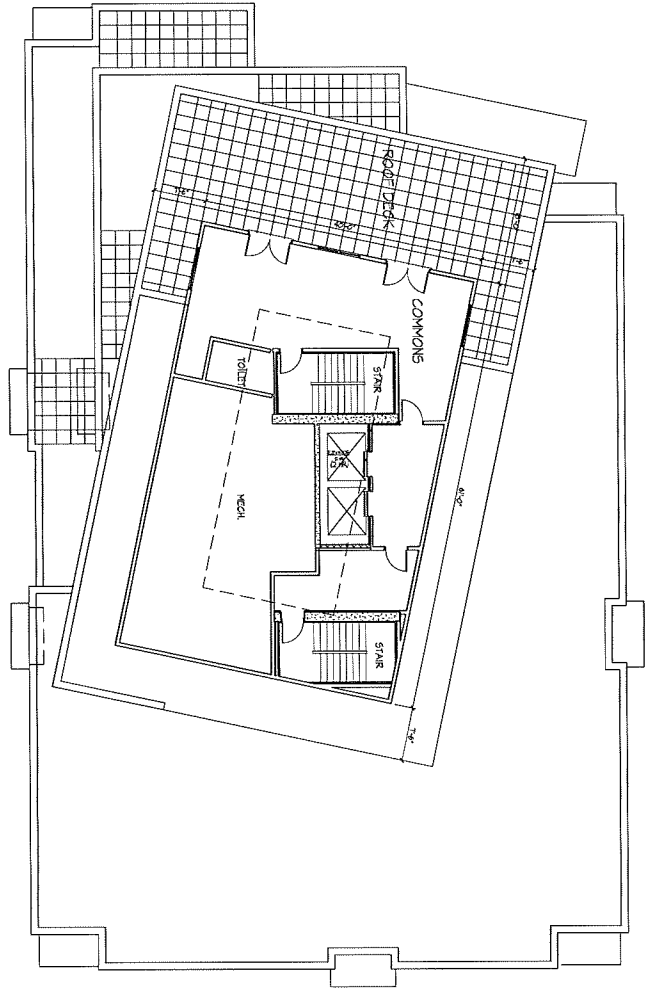
11-01

**KNOTHE
& BRUCE
ARCHITECTS**

201 University Avenue Suite 201
Madison, WI 53706
608.261.4460 Fax: 608.497.9194

Contract

Notes



 ROOF/PENTHOUSE PLAN

Revision
DATE: 08-01-2012
BY: [Signature]
REASON: [Signature]

Project Title
1323 West Dayton
Madison, WI

Drawing Title
Penthouse Plan

Project No. 1001
Drawing No. A-15

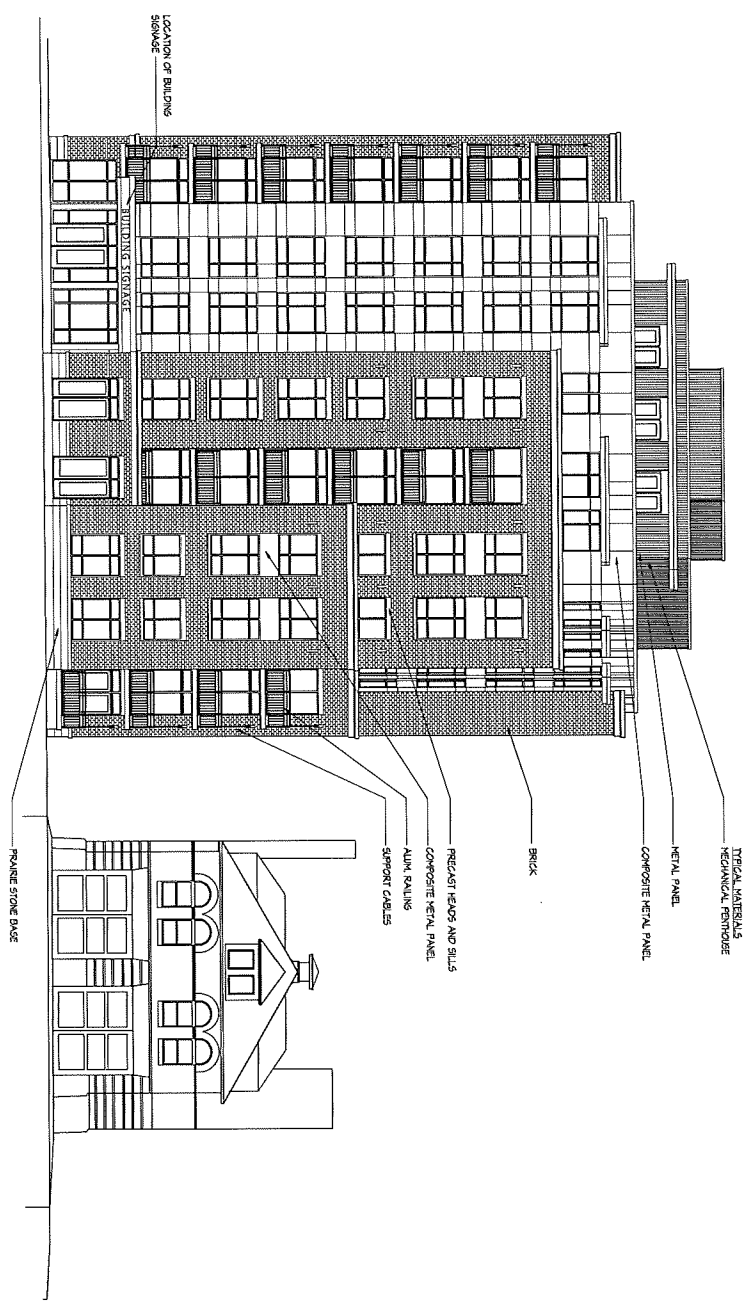
10-11

KNOTHE & BRUCE ARCHITECTS

101 University Avenue, Suite 200
Madison, Wisconsin 53706
(608)263-4400 Fax: (608)263-4434

Consultant

Name



NORTH ELEVATION
1/8" = 1'-0"

- TRICAL MATERIALS
- MECHANICAL PENHOUSE
- METAL PANEL
- COMPOSITE METAL PANEL
- BRICK
- PRECAST HEADS AND SILLS
- COMPOSITE METAL PANEL
- ALUM. DRAINS
- SUPPORT COLUMNS

LOCATION OF BUILDING SIGNAGE

BUILDING SIGNAGE

FRAMER STORAGE DAGE

Revisions
1. Update OCT. 24, 2013
2. Update OCT. 24, 2013
3. Update OCT. 24, 2013
4. Update OCT. 24, 2013
5. Update OCT. 24, 2013

Project Title
1323 West Dajton
Madison, WI

Drawing Title
North Elevation

Project No. 1001
Drawing No. A-21

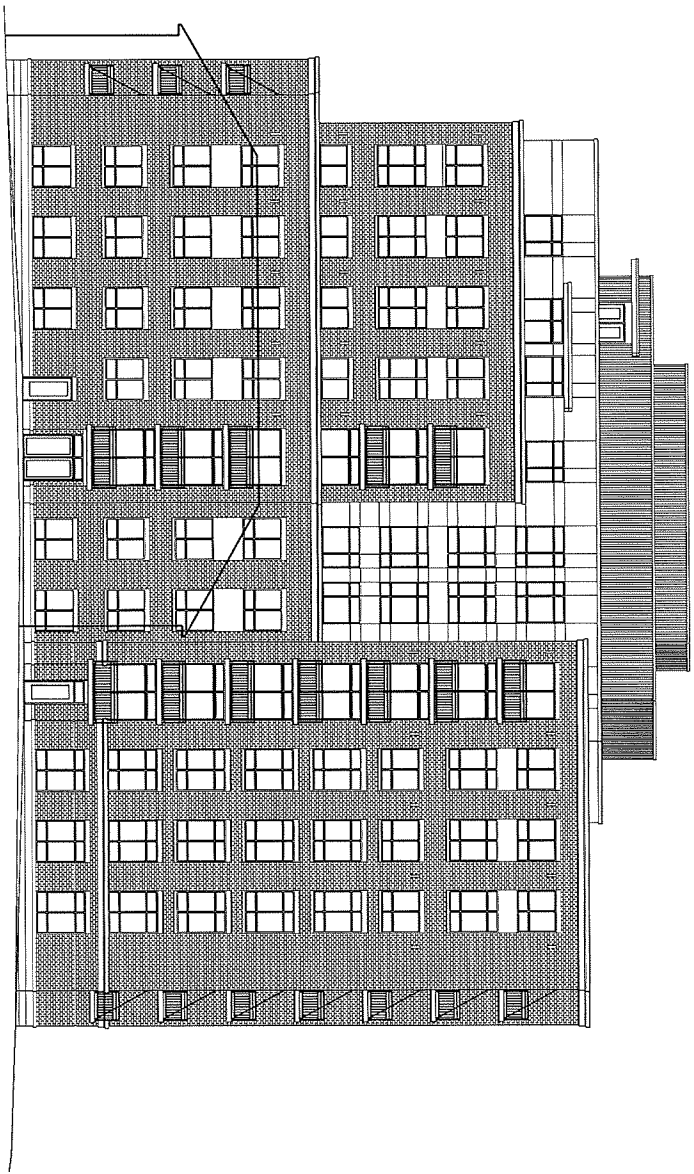
11-01

**KNOTHE
& BRUCE
ARCHITECTS**

7501 University Avenue, Suite 201
Madison, Wisconsin 53706
608.263.9000 Fax 608.263.9134

Consultant

Name



○ WEST ELEVATION
1/8" = 1'-0"

Revision
1. 10/20/11
2. 11/15/11
3. 11/22/11
4. 12/22/11

Project Title
1323 West Dayton
Madison, WI

Drawing Title
West Elevation

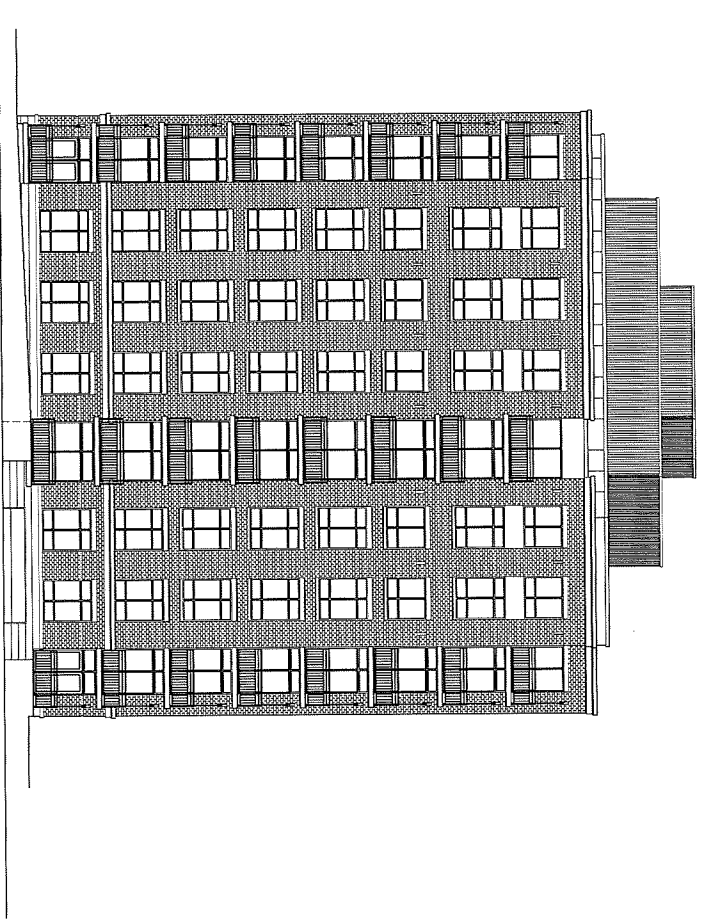
Project No. 1001
Drawing No. A-22

© 2011 KNOTHE & BRUCE ARCHITECTS. ALL RIGHTS RESERVED. THIS DOCUMENT IS THE PROPERTY OF KNOTHE & BRUCE ARCHITECTS AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF KNOTHE & BRUCE ARCHITECTS.

**KNOTHE
& BRUCE
ARCHITECTS**
101 University Avenue, Suite 200
Madison, Wisconsin 53706
608.261.2100 Fax 608.493.4334

10-11

Name _____



○ SOUTH ELEVATION
1/8" = 1'-0"

Revised
UNIVERSITY OF WISCONSIN
MADISON, WISCONSIN
LAND USE REGULATIONS, MAY 22, 2003

Project Title
1323 West Dayton
Madison, WI

Drawing Title
South Elevation

Project No. 1001
Drawing No. A-23

© 2003 KNOTHE & BRUCE ARCHITECTS. ALL RIGHTS RESERVED. THIS DRAWING IS THE PROPERTY OF KNOTHE & BRUCE ARCHITECTS AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF KNOTHE & BRUCE ARCHITECTS.

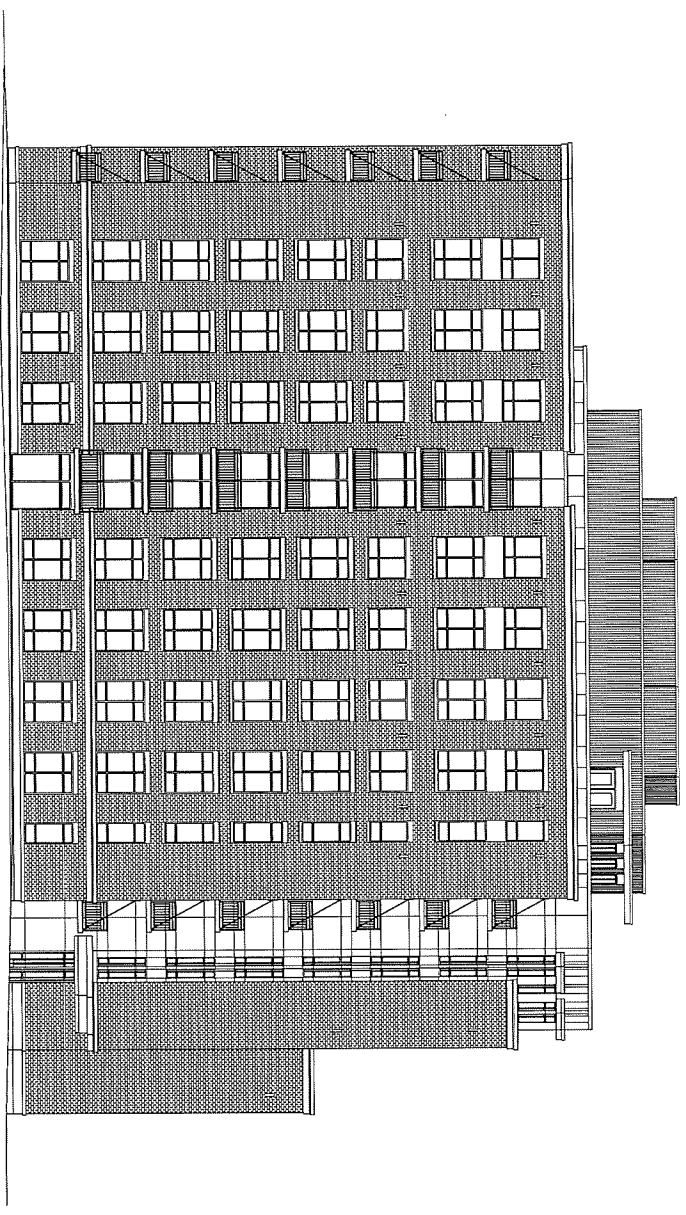
11-1


**KNOTHE
& BRUCE
ARCHITECTS**

701 University Avenue Suite 201
Madison, WI 53706
608.263.1100 Fax 608.263.0734

Consultant

Name



 EAST ELEVATION

Project
UNIVERSITY-CITY 24, 25th
FLOOR
LIFT AND REVISIONS PER 22, 2003

Project Title
1323 West Dajton
Madison, WI

Drawing Title
East Elevation

Project No. 1001
Drawing No. A-24

Copyright © 2003 KNOTHE & BRUCE ARCHITECTS. All rights reserved. This drawing is the property of KNOTHE & BRUCE ARCHITECTS and is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of KNOTHE & BRUCE ARCHITECTS.

Zoning Text
1323 W. Dayton Street
KBA 1001

Legal Description: See Exhibit A

A. Statement of Purpose: This zoning district is established to allow for the construction of a student housing development with 65 dwelling units.

B. Permitted Uses: Following are permitted uses:

1. Multifamily residential uses as shown on approved plans.
2. Accessory uses including but not limited to:
 - a. Accessory uses directly associated with those permitted uses including parking for residents and guests.
 - b. Temporary buildings for storage of building materials and equipment for construction purposes when on the same lot as a principle use for a period not to exceed the duration of such construction.

C. Lot Area: As shown on the approved plans.

D. Height Regulations: As shown on the approved plans.

E. Yard Regulations: As shown on the approved plans.

F. Landscaping: Site Landscaping will be provided as shown on the approved plans.

G. Usable Open Space Requirements: Usable open space will be provided as shown on the approved plans.

H. Parking & Loading: Off-street parking and loading shall be provided as shown on the approved plans.

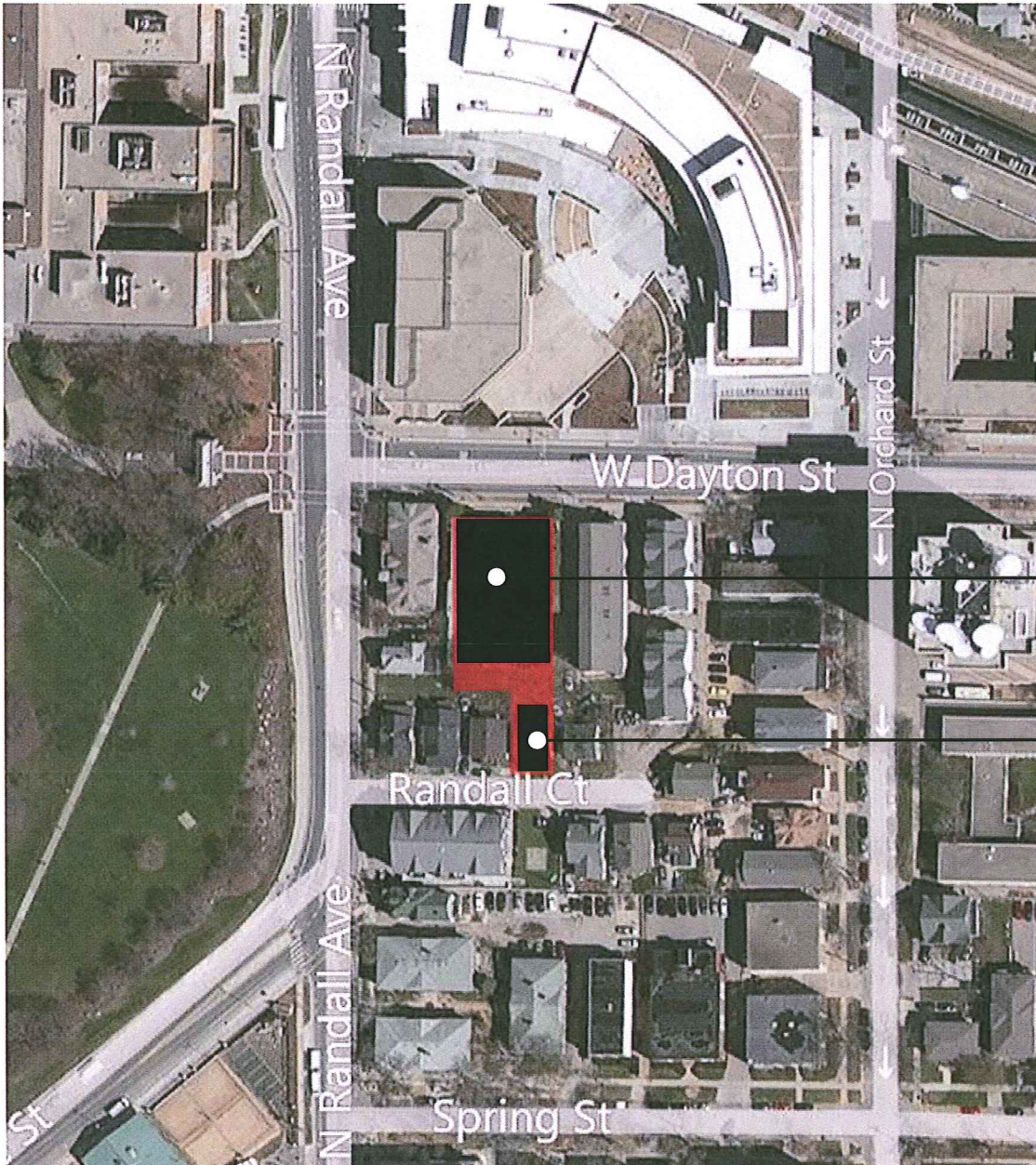
I. Family Definition: The family definition shall coincide with the definition given in M.G.O. 28.03 for the R-6 zoning district.

J. Signage: Signage for the residential building will be allowed as provided by M.G.O. 31, including all provisions of M.G.O. 31, and as further regulated for the R-6 zoning district, with signage as approved by the Urban Design Commission and Zoning Administrator.

K. Alterations and Revisions: No alteration or revision of this Planned Unit Development shall be permitted unless approved by the City Planning Commission, however, the Zoning Administrator may issue permits for minor alterations or additions which are approved by the Director Of Planning and Development and the alderperson of the district and are compatible with the concept approved by the City Planning Commission.

DEMOLITION STANDARDS & PHOTOS

1323 W. Dayton Street
1318 Randall Court
PUD-SIP
Madison, WI 53715



1323 W. Dayton St.

1318 Randall Court

1323 West Dayton Street-Exterior



NORTHEAST PERSPECTIVE



SOUTH ELEVATION



SOUTHEAST PERSPECTIVE



NORTHWEST PERSPECTIVE

1323 West Dayton Street-Exterior



NORTH ELEVATION



EAST ELEVATION



NORTHWEST PERSPECTIVE



NORTHEAST PERSPECTIVE

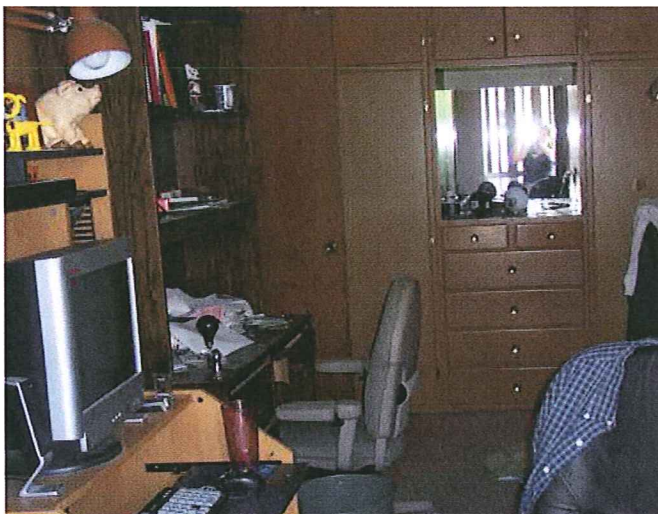
1323 West Dayton Street-Interior



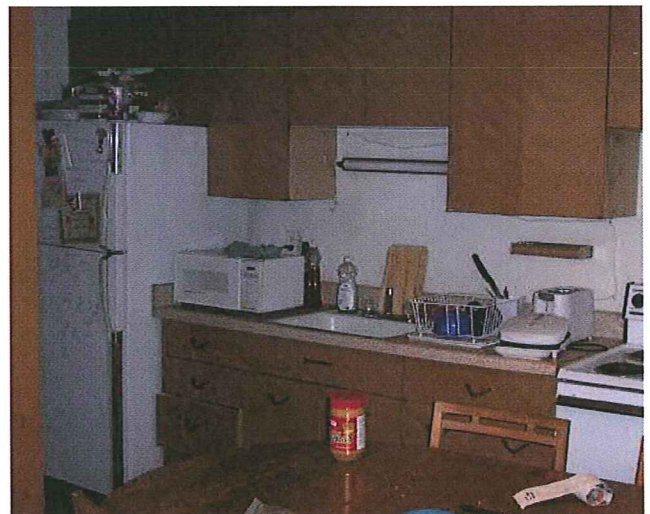
DWELLING UNIT-LIVING ROOM



DWELLING UNIT-BATHROOM



DWELLING UNIT-BEDROOM



DWELLING UNIT-KITCHEN

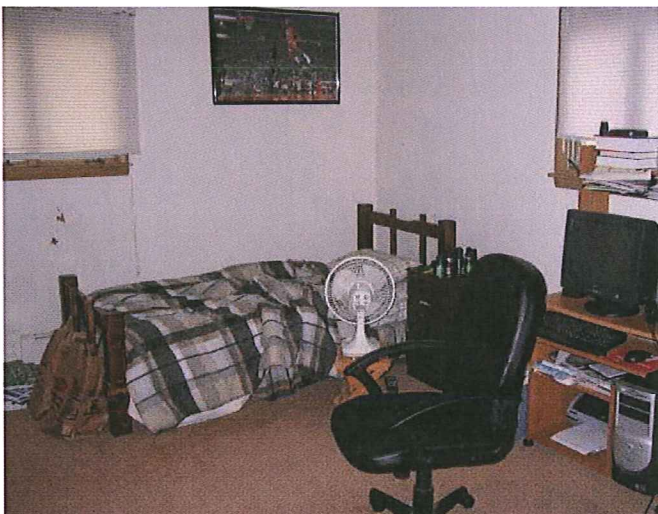
1323 West Dayton Street-Interior



DWELLING UNIT-LIVING ROOM



DWELLING UNIT-BATHROOM



DWELLING UNIT-BEDROOM



DWELLING UNIT-KITCHEN

1318 Randall Court-Exterior



SouthWest Perspective



Front Elevation



SouthEast Perspective

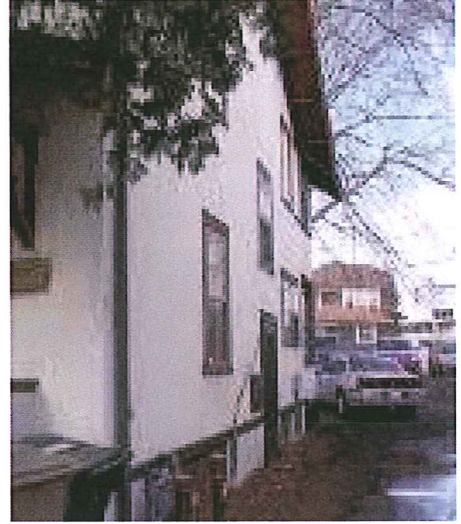


NorthEast Perspective

1318 Randall Court-Exterior



Randall Court Elevation



Side Elevation



Parking at Randall Court

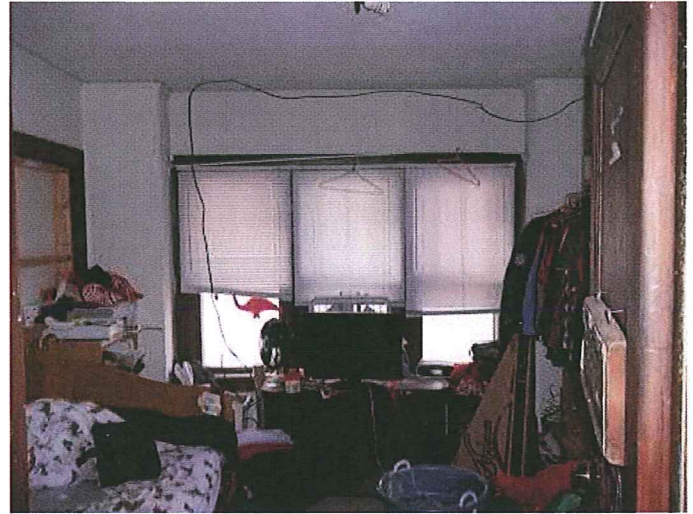


Entry at Randall Court

1318 Randall Court-Interior



DWELLING UNIT-KITCHEN



DWELLING UNIT-LIVING



DWELLING UNIT-BASEMENT



DWELLING UNIT-TOILET

1318 Randall Court-Interior



DWELLING UNIT-HALLWAY



DWELLING UNIT-BEDROOM



DWELLING UNIT-BEDROOM



DWELLING UNIT-LIVING