

Site Development Data:	
Zoning	DR2 DOWNTOWN RESIDENTIAL 2 DISTRICT
Densities:	5,863 S.F./0.13 ACRES 5 units 1,173 S.F./D.U. 38 units/Acre
Lot Coverage:	80% MAX 4,416 S.F./77%
Usable Open Space:	Required 460 S.F./BDRM Provided 1,096 S.F./BDRM
Building Height:	Building #1 4 stories/44'-4" Building #2 2 stories/30'-8"
Building #1 - Dwelling Unit Mix:	Four Bedroom 1 Five Bedroom 3 Total Dwelling Units 4
Building #2 - Dwelling Unit Mix:	Four Bedroom 1 Total Dwelling Units 1
Vehicle Parking Stalls:	Covered Garage 1 Surface 0 Total 1
Bicycle Parking:	Long-Term Garage 14 Surface - Commercial/Guests 2 Total 16

ISSUED
UDC Informational - November 06, 2023
UDC Submittal - November 27, 2023
LUA Submittal - November 27, 2023

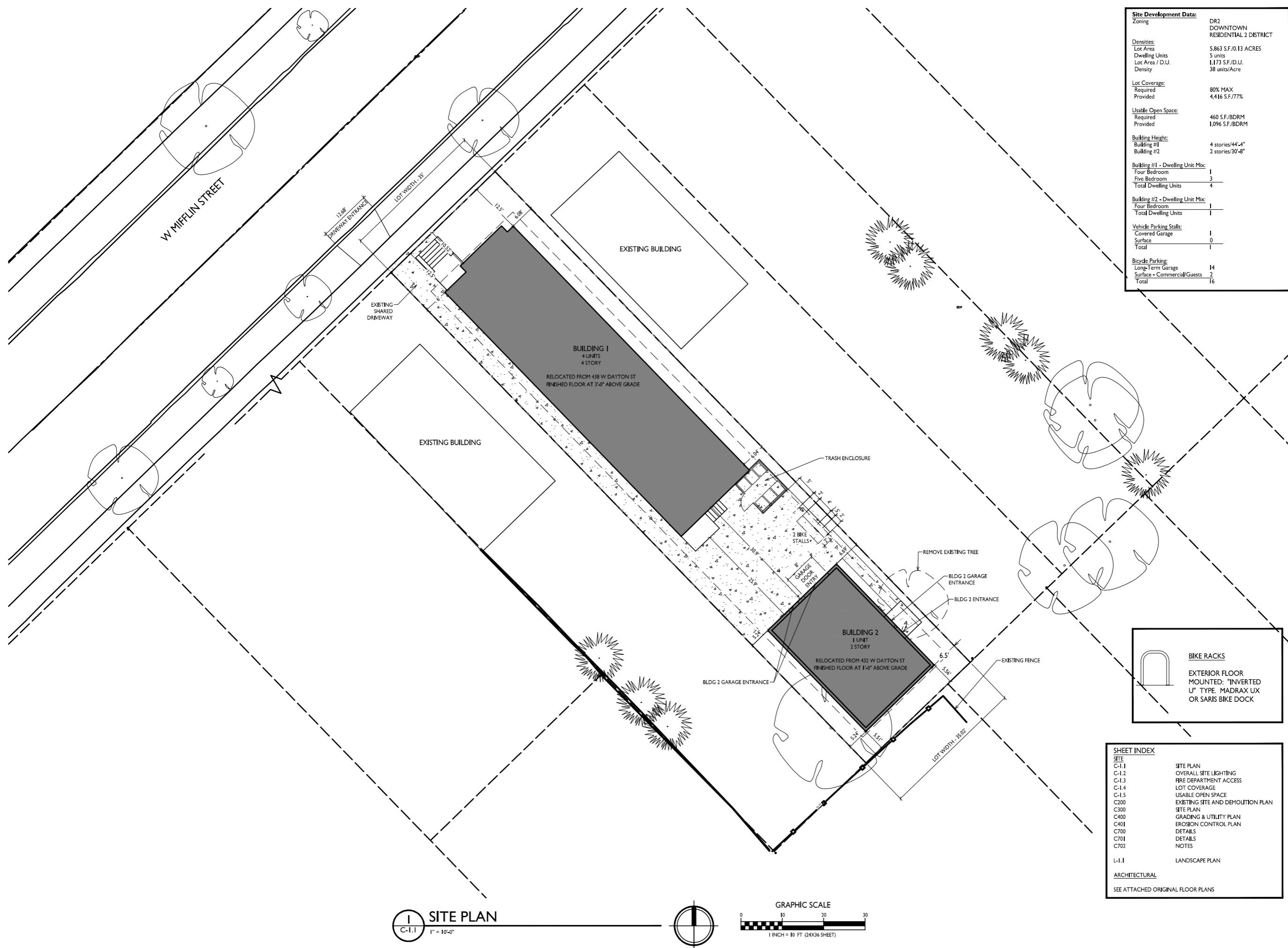
PROJECT TITLE
John Fontain
W Mifflin Street

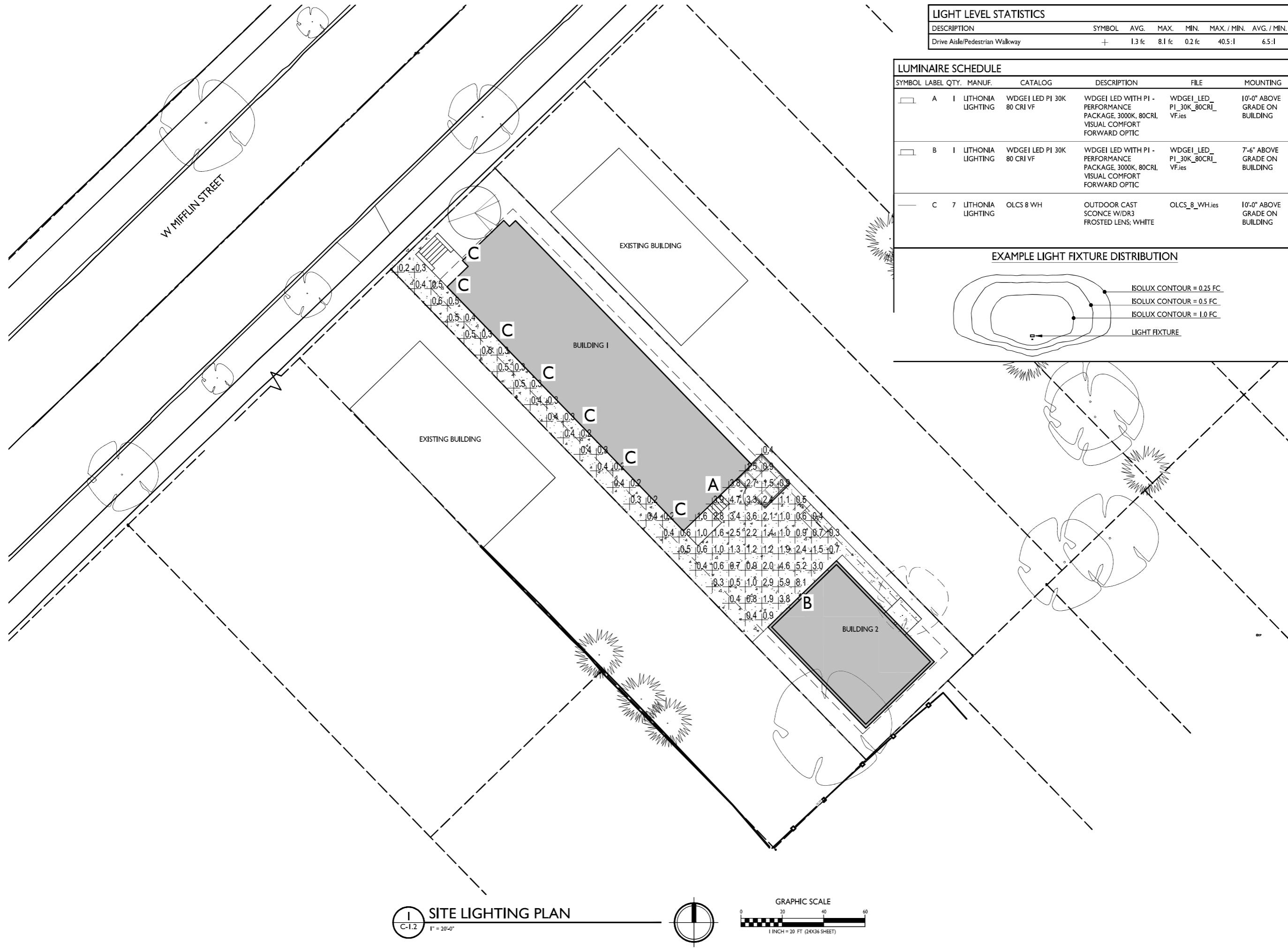
531 W Mifflin Street
Madison, WI
SHEET TITLE
SITE PLAN

SHEET NUMBER

C-1.1

PROJECT NO.
2362
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ISSUED
UDC Submittal - November 27, 2023
LUA Submittal - November 27, 2023

PROJECT TITLE
John Fontain
W Mifflin Street

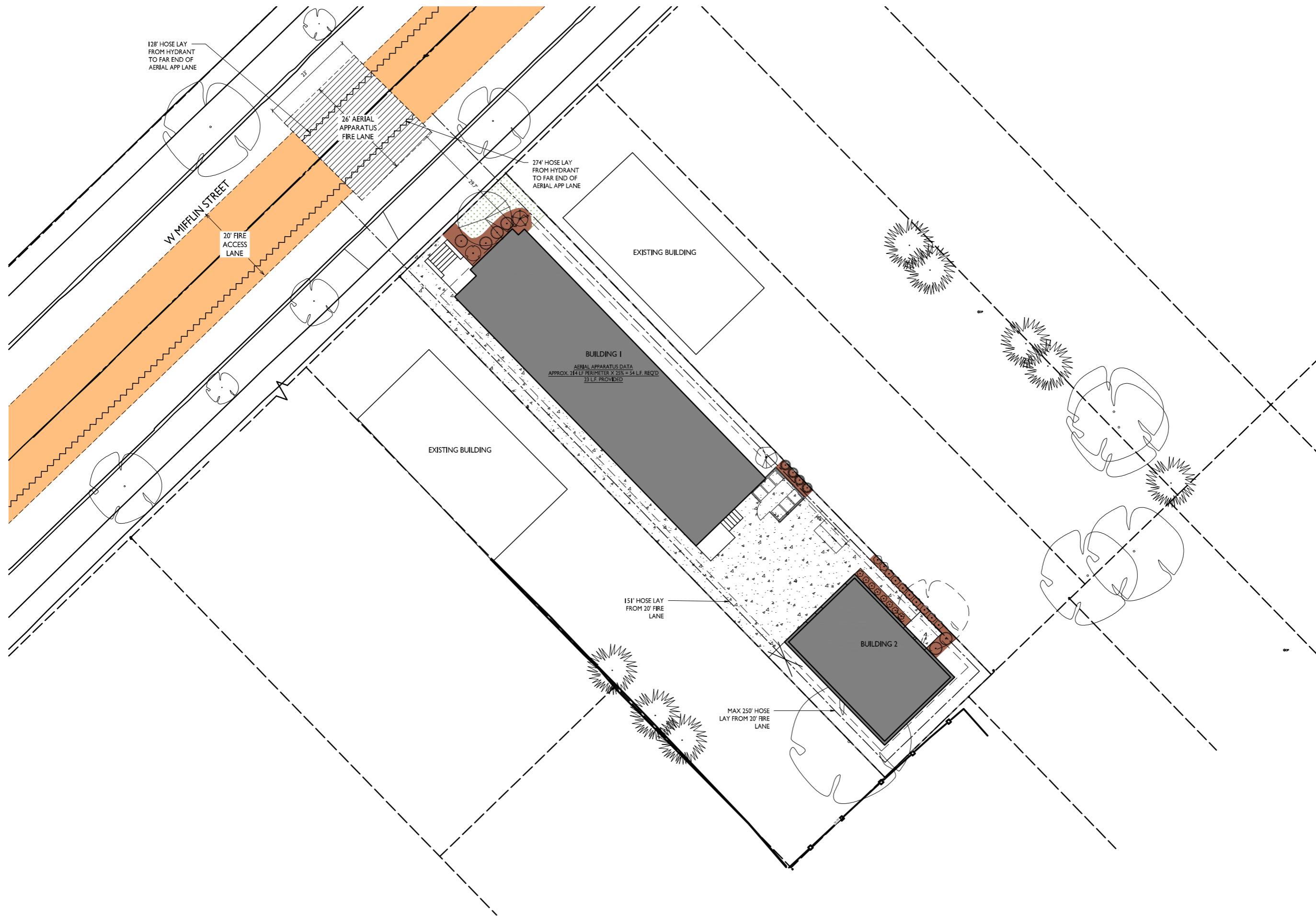
531 W Mifflin Street
Madison, WI
SHEET TITLE
FIRE ACCESS
PLAN

SHEET NUMBER

C-1.3

PROJECT NO.
2362

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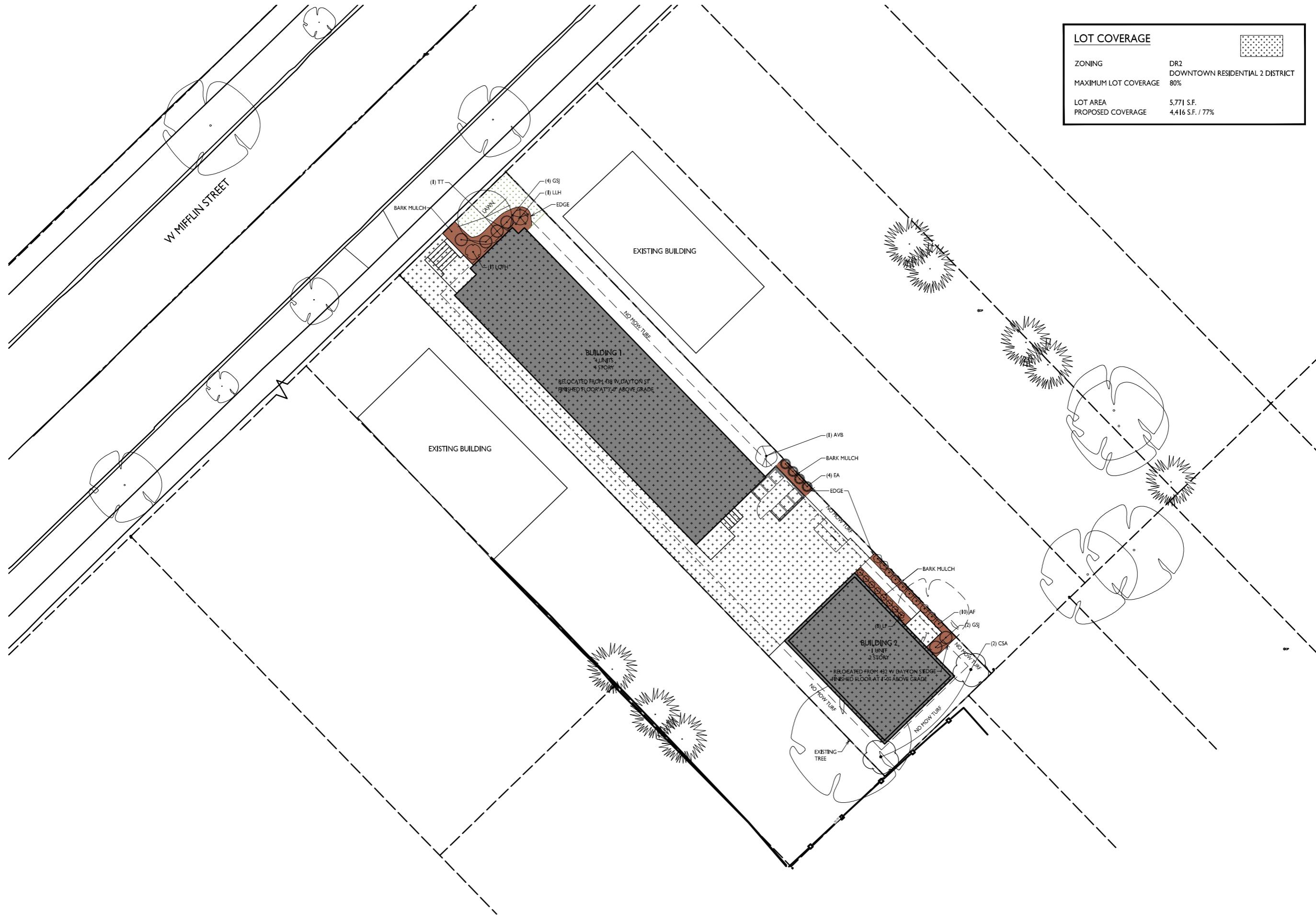
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C-1.3

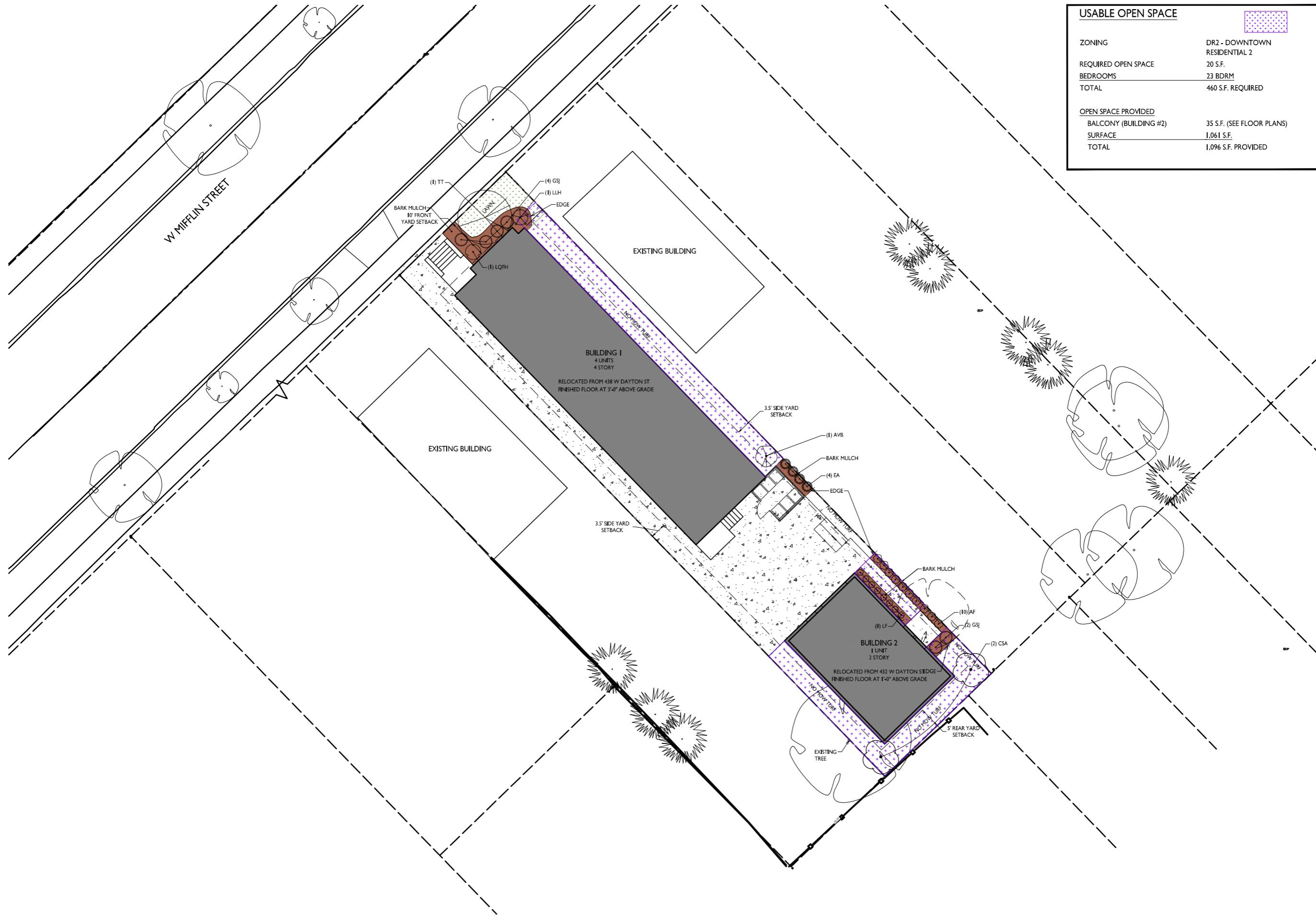
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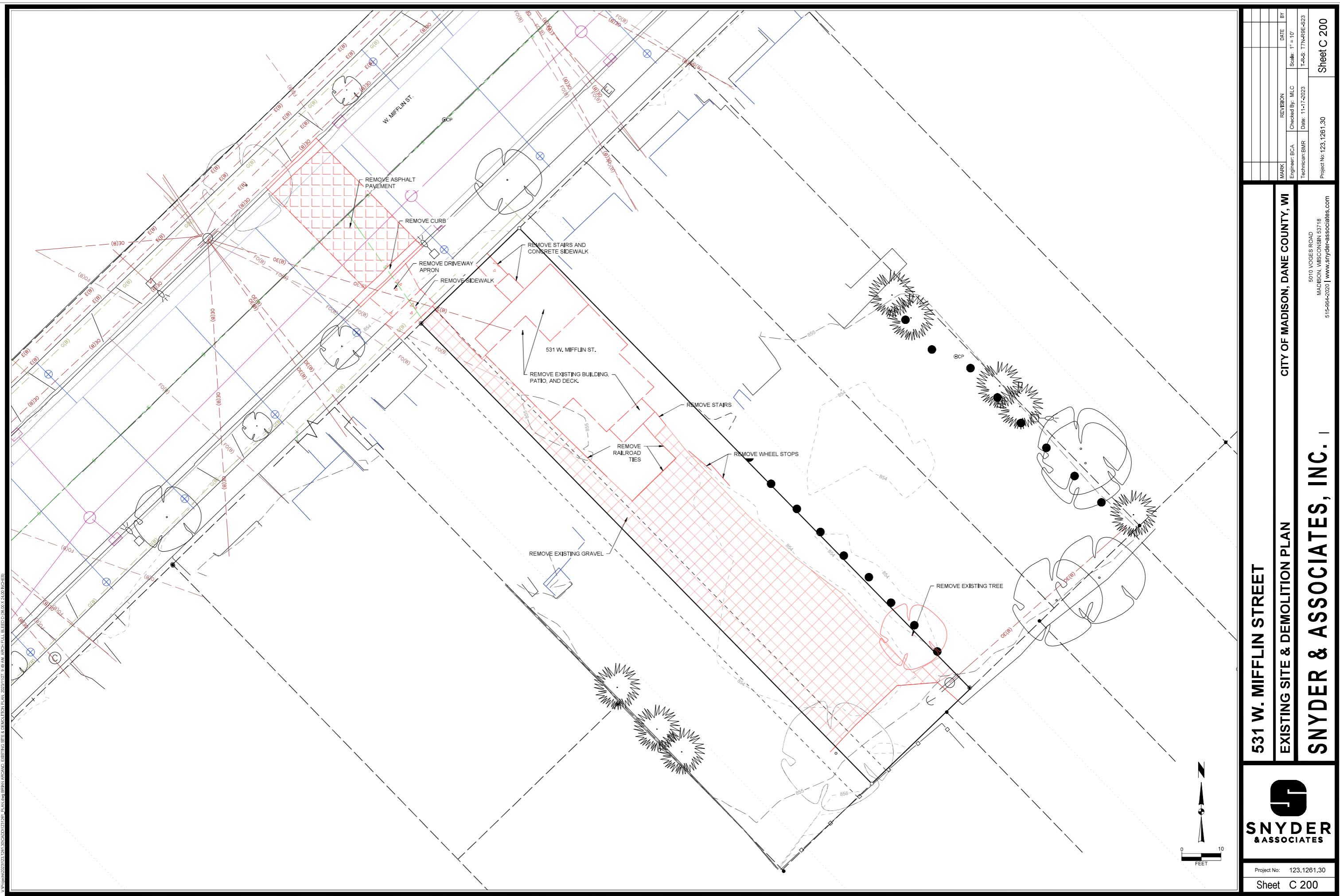
FIRE DEPARTMENT ACCESS PLAN

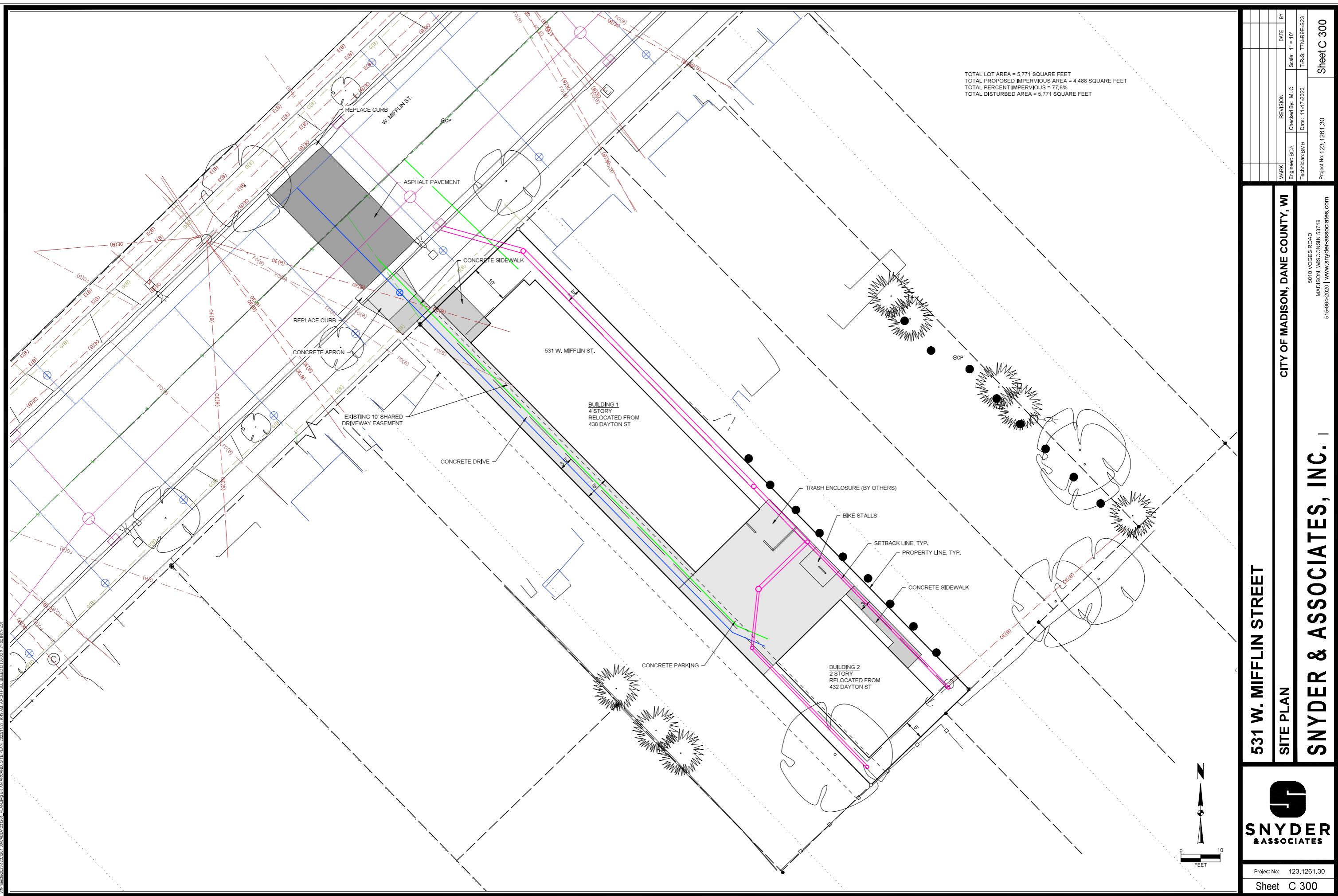


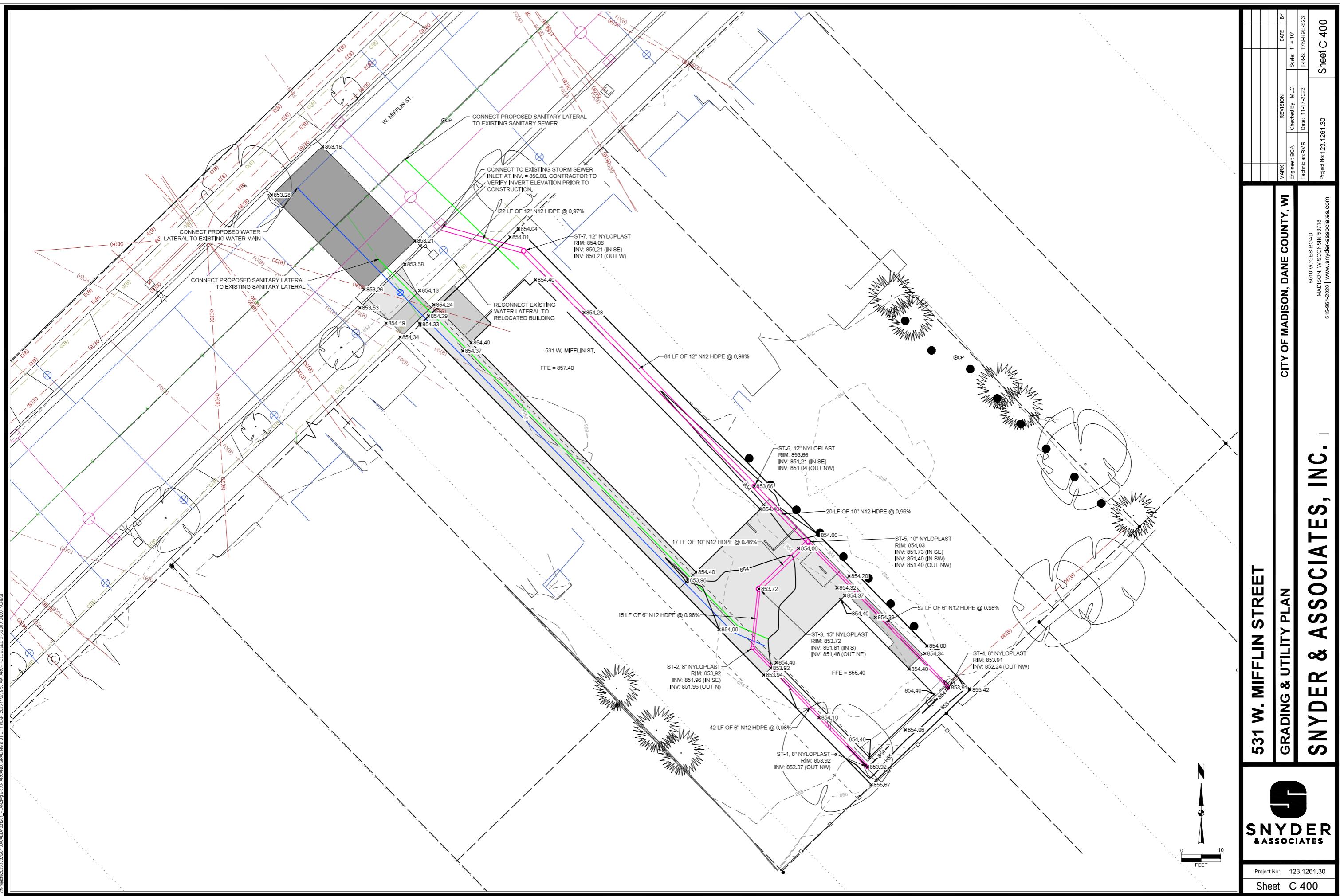
GRAPHIC SCALE
0 20 40 60
1 INCH = 20 FT (24X36 SHEET)

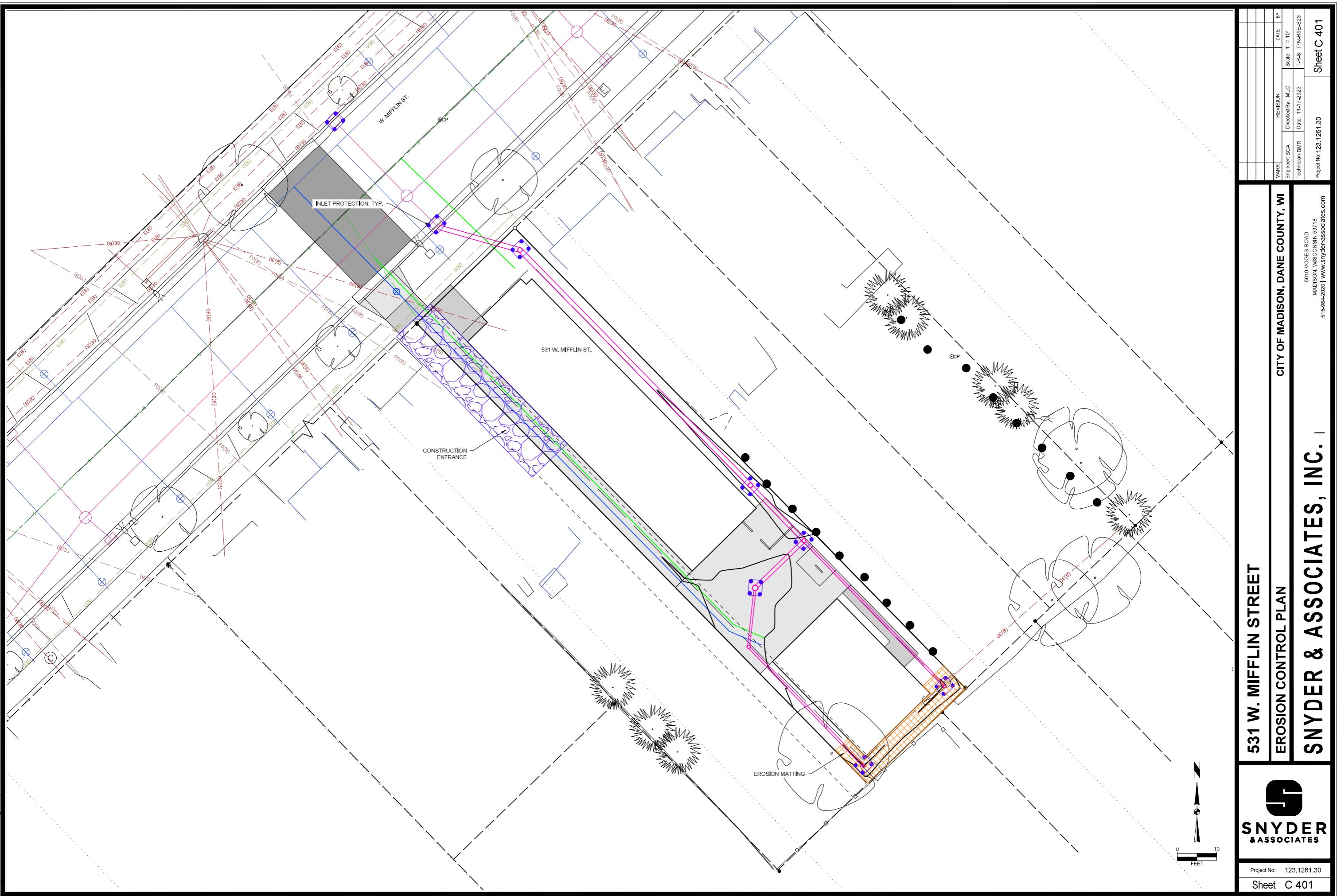


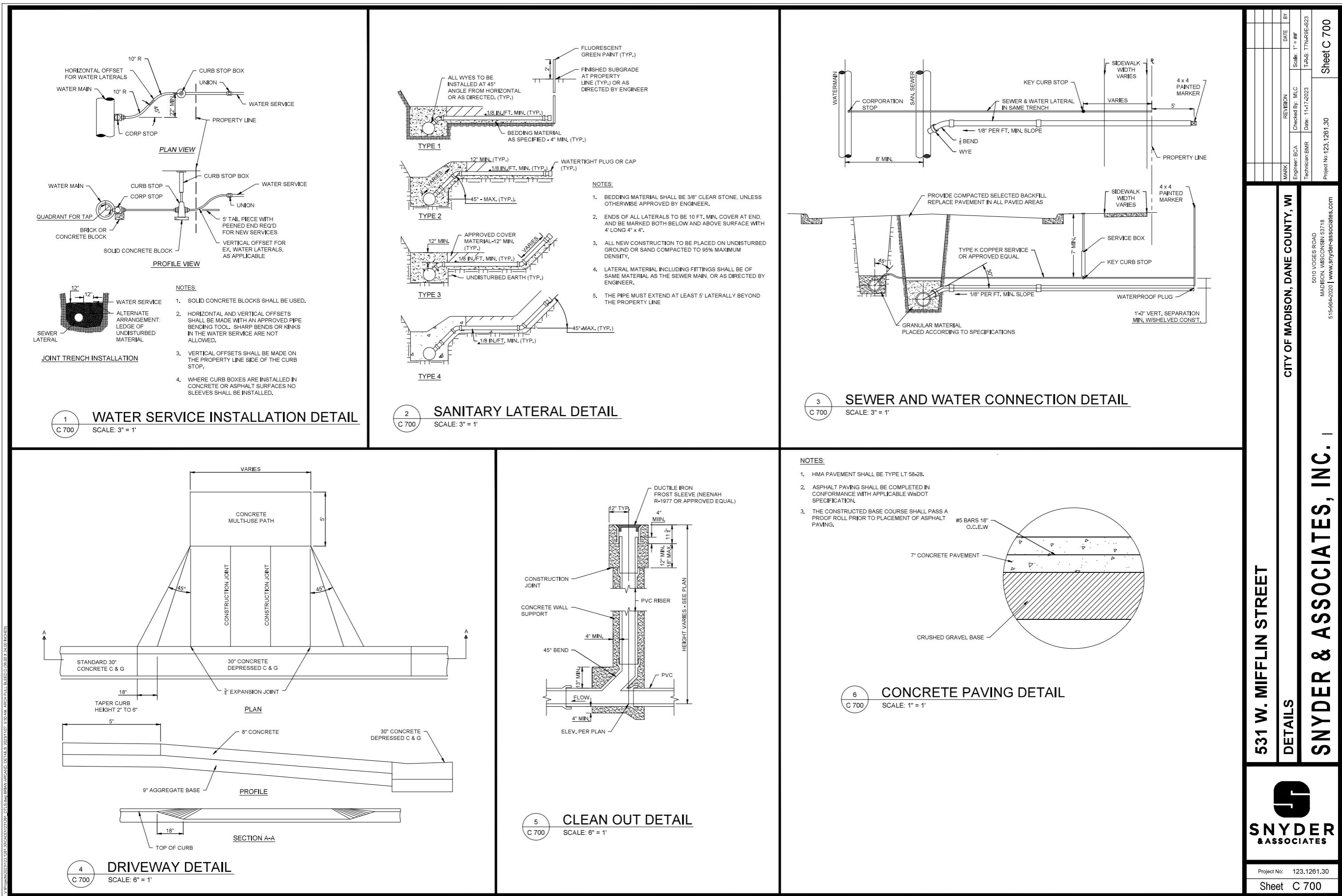


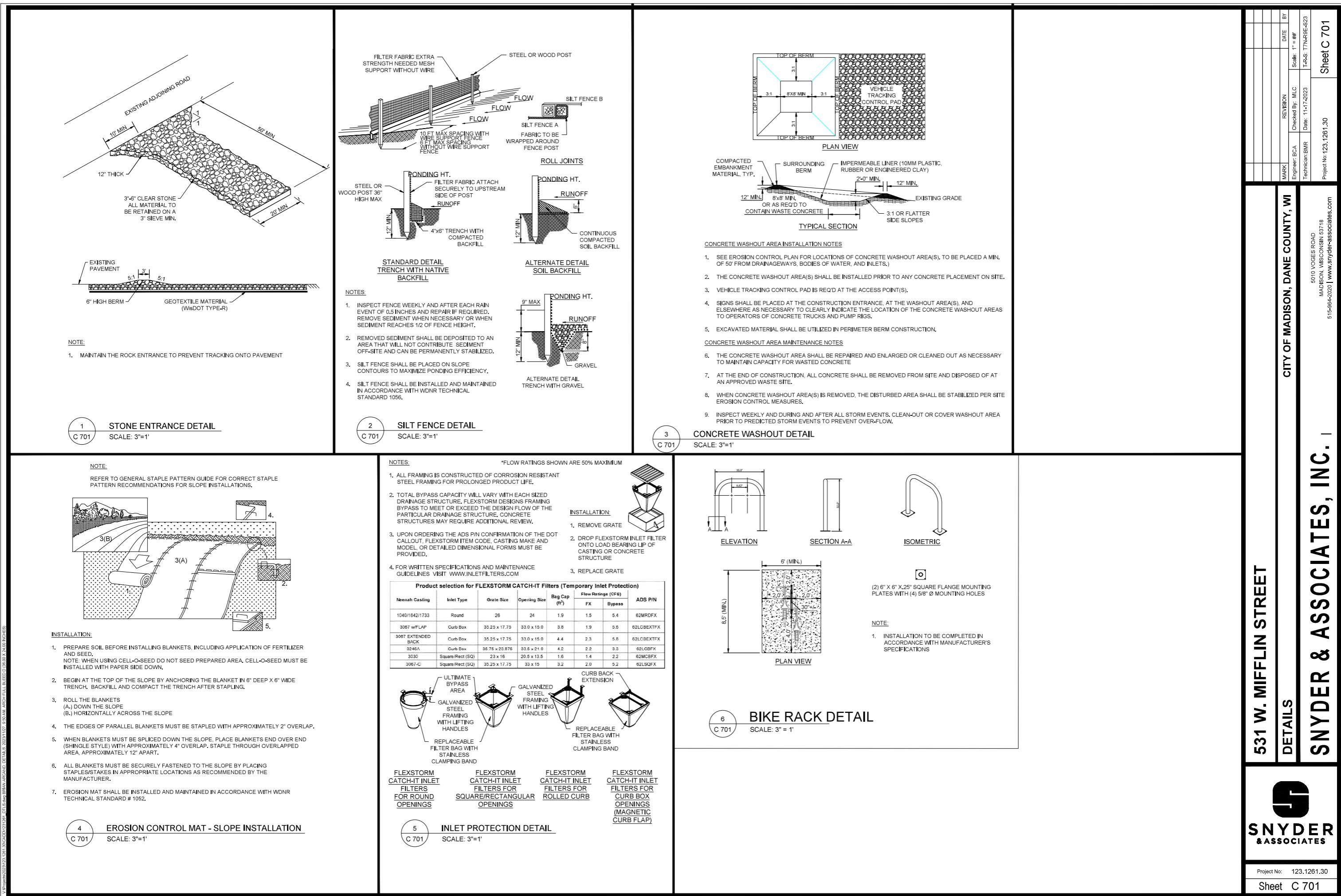












GENERAL CONDITIONS <ul style="list-style-type: none"> 1. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE MUNICIPALITY TWO WORKING DAYS (48 HOURS) PRIOR TO THE START OF CONSTRUCTION. 2. THE CONTRACTOR SHALL INDEMNIFY THE OWNER, THE ENGINEER, AND THE MUNICIPALITY, THEIR AGENTS, ETC, FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT. 3. SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. 4. THE BIDDER WILL BE SOLELY RESPONSIBLE FOR DETERMINING QUANTITIES AND SHALL STATE SUCH QUANTITIES IN HIS PROPOSAL. HE SHALL BASE HIS BID ON HIS OWN ESTIMATE OF THE WORK REQUIRED AND SHALL NOT RELY ON THE ENGINEER'S ESTIMATE. 5. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. 6. THE CONTRACTOR IS RESPONSIBLE FOR EXAMINING ALL SITE CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL COMPARE FIELD CONDITIONS WITH DRAWINGS. 7. THE CONTRACTOR SHALL CONDUCT HIS WORK ACCORDING TO THE REQUIREMENTS OF THE PERMITS. 8. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL UTILITY INFORMATION SHOWN ON THE PLANS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL CALL DIGGER'S HOTLINE AT 1-800-242-8511 TO NOTIFY THE UTILITIES OF HIS INTENTIONS, AND TO REQUEST FIELD STAKING OF EXISTING UTILITIES. 9. CONTRACTOR IS ADVISED THAT ALL MUD AND DEBRIS MUST NOT BE DEPOSITED ONTO THE ADJACENT ROADWAYS PER THE REQUIREMENT OF THE MUNICIPALITY OR OTHER APPROPRIATE GOVERNMENT AGENCIES. 10. ANY ADJACENT PROPERTIES OR ROAD RIGHT-OF-WAYS WHICH ARE DAMAGED DURING CONSTRUCTION MUST BE RESTORED BY THE CONTRACTOR. THE COST OF THE RESTORATION IS CONSIDERED INCIDENTAL, AND SHOULD BE INCLUDED IN THE BID PRICES. 		STORM SEWER & STORM WATER MANAGEMENT NOTES <p>STORM SEWER AND STORMWATER MANAGEMENT SHALL BE AS FOLLOWS:</p> <ol style="list-style-type: none"> 1. STORM SEWER PIPE BEDDING SHALL BE CLEAR STONE. 2. MINIMUM COVER FOR ALL STORM SEWER SHALL BE 1'. 3. EXCAVATED MATERIAL FROM THE TRENCH NOT SUITABLE FOR BACKFILL AS DEEMED BY THE PUBLIC SERVICES DIRECTOR SHALL BE HAULED OFF-SITE AND SELECT TRENCH BACKFILL WILL BE REQUIRED. 4. EXTREME CAUTION MUST BE FOLLOWED REGARDING THE COMPACTION OF ALL UTILITY TRENCHES. MECHANICALLY COMPAKTED GRANULAR BACKFILL IS REQUIRED UNDER AND WITHIN 5 FEET OF ALL PAVEMENT INCLUDING SIDEWALKS AND FUTURE PARKING AREA AS SPECIFIED ON PLANS. FLOODING OF BACKFILL MATERIAL IS NOT ALLOWED. THE COST OF THIS GRANULAR MATERIAL AND ITS COMPACTION IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF THE PROPOSED UTILITY. 5. PRIOR TO FINAL PAVING OPERATIONS, THE UTILITY CONTRACTOR SHALL ADJUST ALL MANHOLE AND INLET RIMS AND VALVE BOXES TO FINISHED GRADE. 6. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE OWNER WITH A SET OF MARKED-UP PRINTS SHOWING ALL CHANGES MADE DURING THE CONSTRUCTION PROCESS. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE OWNER. 7. EXCAVATED MATERIAL FROM THE TRENCH NOT SUITABLE FOR BACKFILL AS DEEMED BY THE ENGINEER SHALL BE REMOVED AND REPLACED WITH SELECT TRENCH BACKFILL. 8. EROSION MAT IS REQUIRED FOR ALL RESTORATION ON SLOPES AT OR GREATER THAN 4:1, AND IN AREAS THAT CHANNEL WATER. 9. BIODEGRADABLE EROSION MAT AND BIODEGRADABLE STAPLES ARE REQUIRED ON ALL SLOPES LESS THAN 3:1 OUTSIDE OF DRAINAGE CHANNELS WHERE EROSION MAT IS REQUIRED. EROSION MAT SHALL BE PROVIDED IN ALL STREET TERRACES. 10. SILT FENCE AND INLET PROTECTION REMOVAL IS REQUIRED AFTER VEGETATION HAS BEEN ESTABLISHED. 11. STORM SEWER SHALL BE HDPE UNLESS OTHERWISE SPECIFIED ON PLANS. 12. NYLOPLAST STRUCTURES SHALL MEET ALL MANUFACTURERS INSTALLATION RECOMMENDATIONS. 13. NYLOPLAST STRUCTURES SHALL HAVE STANDARD FRAMES/GRATES UNLESS OTHERWISE NOTED ON THE PLAN SET. 14. ADJUSTMENT RINGS SHALL HAVE A MINIMUM HEIGHT OF 4" AND A MAXIMUM HEIGHT OF 12". ADJUSTMENT RINGS FOR STORM MANHOLES SHALL BE POLYETHYLENE PLASTIC OR APPROVED EQUAL. CURB INLET ADJUSTMENT RINGS SHALL BE CONCRETE. 	
SANITARY SEWER <ol style="list-style-type: none"> 1. SANITARY SEWER SHALL BE PVC AND BEDDED WITH CLASS C BEDDING (CLEAR STONE). SEWER SHALL BE SDR-35 FOR DEPTHS UP TO 20' AND SDR-26 FOR DEPTHS GREATER THAN 20'. 2. TRACER WIRE SHALL BE INSTALLED WITH ALL NEW LATERALS IN ACCORDANCE TO THE STANDARD DETAIL DRAWINGS. 3. TRACER WIRE BOXES SHALL BE PROVIDED. "SEWER" SHALL BE STAMPED IN THE LID OF THE ACCESS BOX. 4. EXCAVATED MATERIAL FROM THE TRENCH NOT SUITABLE FOR BACKFILL AS DEEMED BY THE ENGINEER SHALL BE REMOVED AND REPLACED WITH SELECT TRENCH BACKFILL. 5. MANDREL TESTING IS REQUIRED ON ALL SANITARY SEWER. LOW PRESSURE AIR TESTS ARE REQUIRED ON ALL NEW SANITARY SEWER CONSTRUCTION. 6. LATERAL ENDS SHALL BE CAPPED WITH A GLUED ON CAP AND MARKED WITH A PAINTED 4X4 POST. 7. ALL SANITARY SEWER CONSTRUCTION SHALL MEET THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN. 		WATER MAIN <ol style="list-style-type: none"> 1. WATER MAIN SHALL BE DUCTILE IRON UNLESS OTHERWISE APPROVED, AND BEDDED WITH TYPE 3 EMBEDMENT (SAND OR SAND SCREENINGS). BEDDING SHALL BE A MINIMUM OF 6" UNDER AND 12" OVER TOP OF THE PIPE. 2. WATER MAIN SHALL BE INSTALLED WITH TRACER WIRE. TRACER WIRE SHALL EXTEND TO THE SURFACE AT ALL HYDRANTS IN A TRACER WIRE ACCESS BOX. 3. MECHANICAL JOINT FITTINGS WITH MEGA LUGS ARE REQUIRED FOR ALL DIRECTIONAL CHANGE FITTINGS AND WATERMAIN ENDS. ALL BOLTS SHALL BE STAINLESS STEEL. ALL FITTINGS SHALL BE "MADE IN AMERICA" CERTIFIED. 4. LATERAL ENDS SHALL BE MARKED WITH A PAINTED 4X4 WOOD POST. 5. WATER MAINS SHALL UNDERGO A PRESSURE AND LEAKAGE TEST. SERVICES SHALL BE TESTED TO THE CURB STOP. SERVICES 4" AND LARGER WITH JOINTED PIPE SHALL BE TESTED AGAINST THE VALVE WITH A SECOND TEST OUT TO THE PLUG. THE SECOND TEST MAY BE OF SHORTER DURATION AS APPROVED BY THE PUBLIC SERVICES DIRECTOR. 6. EXCAVATED MATERIAL FROM THE TRENCH NOT SUITABLE FOR BACKFILL AS DEEMED BY THE ENGINEER SHALL BE REMOVED AND REPLACED WITH SELECT TRENCH BACKFILL. 7. ALL WATER MAIN CONSTRUCTION SHALL MEET THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN. 8. INSULATION SHALL BE PROVIDED AT ALL STORMS SEWER CROSSINGS OF MAINS AND LATERALS. 9. WATER SERVICES 2" OR SMALLER SHALL BE TYPE "K" COPPER OR APPROVED EQUAL. 10. WATER MAIN SHALL HAVE A MINIMUM COVER OF 6.5' WITH PROPER CLEARANCES BETWEEN THE WATERMAIN AND STORM/SANITARY SEWERS. 11. FIRE HYDRANTS SHALL BE WATEROUS PACER WB67 OR APPROVED EQUAL WITH A 5' FIBERGLASS ROD WITH SPRING; RED AND WHITE IN COLOR. A STORZ NOZZLE SHALL BE PROVIDED. 12. CURB BOXES SHALL BE BINGHAM AND TAYLOR BUFFALO TYPE OR APPROVED EQUAL AND INSTALLED WITH THE EXTENSION ROD AND GUIDE RING. 13. CURB VALVES SHALL BE MUELLER H15209 OR APPROVED EQUAL FOR 1" SERVICES OR EQUIVALENT FOR LARGER SERVICES. 14. CORPORATION STOPS SHALL BE MUELLER H15008 OR APPROVED EQUAL FOR 1" SERVICES OR EQUIVALENT FOR LARGER SERVICES. 15. WATER VALVES SHALL BE AMERICAN FLOW CONTROL SERIES 2500 RESILIENT WEDGE GATE VALVES OR APPROVED EQUAL. 	
ADDITIONAL UTILITY NOTES <ol style="list-style-type: none"> 1. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION. 2. BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES. IF ANY EXISTING UTILITIES ARE NOT AS SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY FOR POSSIBLE REDESIGN. 3. PRIOR TO FINAL PAVING OPERATIONS, THE UTILITY CONTRACTOR SHALL ADJUST ALL MANHOLE AND INLET RIMS AND VALVE BOXES TO FINISHED GRADE. 4. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE OWNER WITH A SET OF MARKED-UP PRINTS SHOWING ALL CHANGES MADE DURING THE CONSTRUCTION PROCESS. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE OWNER. 5. THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO WISCONSIN ADMINISTRATIVE CODE, SECTION SPS 382-384, LATEST EDITION, THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION, AND THE LOCAL ORDINANCES AND SPECIFICATIONS. 6. ALL CONNECTIONS TO EXISTING PIPES AND MANHOLES SHALL BE CORED CONNECTIONS. 7. PROPOSED SANITARY SEWER, WATER MAIN, AND INTERNALLY CONNECTED STORM SEWER SHOWN ON THIS PLAN SHALL TERMINATE AT POINT FIVE (5) FEET FROM THE EXTERIOR BUILDING WALL. STORM SEWER CONNECTING TO EXTERIOR DOWN SPOUTS SHALL BE PER DETAILS ON THE ARCHITECTURAL PLANS. THE EXACT LOCATION OF ALL DOWN SPOUTS SHALL BE PER THE ARCHITECTURAL PLANS. 8. EXTREME CAUTION MUST BE FOLLOWED REGARDING THE COMPACTION OF ALL UTILITY TRENCHES. MECHANICALLY COMPAKTED GRANULAR BACKFILL IS REQUIRED UNDER AND WITHIN 5 FEET OF ALL PAVEMENT INCLUDING SIDEWALKS. FLOODING OF BACKFILL MATERIAL IS NOT ALLOWED. THE COST OF THIS GRANULAR MATERIAL AND ITS COMPACTION IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF THE PROPOSED UTILITY. 9. TRACER WIRE SHALL BE INSTALLED ON ALL BURIED NON-METALLIC SANITARY SEWERS, PRIVATE SANITARY INTERCEPTOR MAIN SEWERS, STORM BUILDING SEWERS, AND PRIVATE STORM INTERCEPTOR MAIN SEWERS THAT DISCHARGE TO MUNICIPAL MAINS. TRACER WIRE SHALL BE A MINIMUM OF 12-GAUGE, INSULATED, SINGLE-CONDUCTOR COPPER WIRE OR EQUIVALENT. TRACER WIRE COLOR SHALL BE BLUE FOR POTABLE WATER, GREEN FOR SANITARY SEWER, AND BROWN FOR STORM SEWER. 			
CITY OF MADISON, DANE COUNTY, WI <p>5010 VOGES ROAD MADISON, WISCONSIN 53718 515-844-2020 www.snyder-associates.com</p> <p>NOTES</p> <p>531 W. MIFFLIN STREET</p> <p>SNYDER & ASSOCIATES, INC.</p> <p>Project No: 123.1261.30</p> <p>Sheet C 702</p>			

GENERAL NOTES:

1. THE APPLICANT SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER THAT ABUTS THE PROPERTY THAT IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.

2. ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.

3. ALL DAMAGE TO THE PAVEMENT ON CITY STREETS, AND ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA.

4. ALL PROPOSED STREET TREE REMOVALS WITHIN THE RIGHT OF WAY SHALL BE REVIEWED BY CITY FORESTRY BEFORE THE PLAN COMMISSION MEETING. STREET TREE REMOVALS REQUIRE APPROVAL AND A TREE REMOVAL PERMIT ISSUED BY CITY FORESTRY. ANY STREET TREE REMOVALS REQUESTED AFTER THE DEVELOPMENT PLAN IS APPROVED BY THE PLAN COMMISSION OR THE BOARD OF PUBLIC WORKS AND CITY FORESTRY WILL REQUIRE A MINIMUM OF A 72-HOUR REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE ALDERPERSON WITHIN WHO'S DISTRICT IS AFFECTED BY THE STREET TREE REMOVALS PRIOR TO A TREE REMOVAL PERMIT BEING ISSUED.

5. AS DEFINED BY THE SECTION I07.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION: NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY (266-4816) PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM

6. CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREE(S). THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT 266-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.

7. SECTION I07.13(G) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SPOILS OR DUMPING OF POBONOUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN FIVE (5) FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.

8. ON THIS PROJECT, STREET TREE PROTECTION ZONE FENCING IS REQUIRED. THE FENCING SHALL BE ERECTED BEFORE THE DEMOLITION, GRADING OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF TERRACE AND EXTEND AT LEAST 5 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE.

9. STREET TREE PRUNING SHALL BE COORDINATED WITH MADISON FORESTRY AT A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION FOR THIS PROJECT. ALL PRUNING SHALL FOLLOW THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 - PART I STANDARDS FOR PRUNING.

10. AT LEAST ONE WEEK PRIOR TO STREET TREE PLANTING, CONTRACTOR SHALL CONTACT CITY FORESTRY AT (608) 266-4816 TO SCHEDULE INSPECTION AND APPROVAL OF NURSERY TREE STOCK AND REVIEW PLANTING SPECIFICATIONS WITH THE LANDSCAPER.

11. APPROVAL OF PLANS FOR THIS PROJECT DOES NOT INCLUDE ANY APPROVAL TO PRUNE, REMOVE, OR PLANT TREES IN THE PUBLIC RIGHT-OF-WAY. PERMISSION FOR SUCH ACTIVITIES MUST BE OBTAINED FROM THE CITY FORESTER (266-4816).

12. THE PUBLIC RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME. NO ITEMS SHOWN ON THIS SITE PLAN IN THE RIGHT-OF-WAY ARE PERMANENT AND MAY NEED TO BE REMOVED AT THE APPLICANT'S EXPENSE UPON NOTIFICATION BY THE CITY.

ISSUED
UDC Submittal - November 27, 2023
LUA Submittal - November 27, 2023

PROJECT TITLE
John Fontain
W Mifflin Street

531 W Mifflin Street
Madison, WI

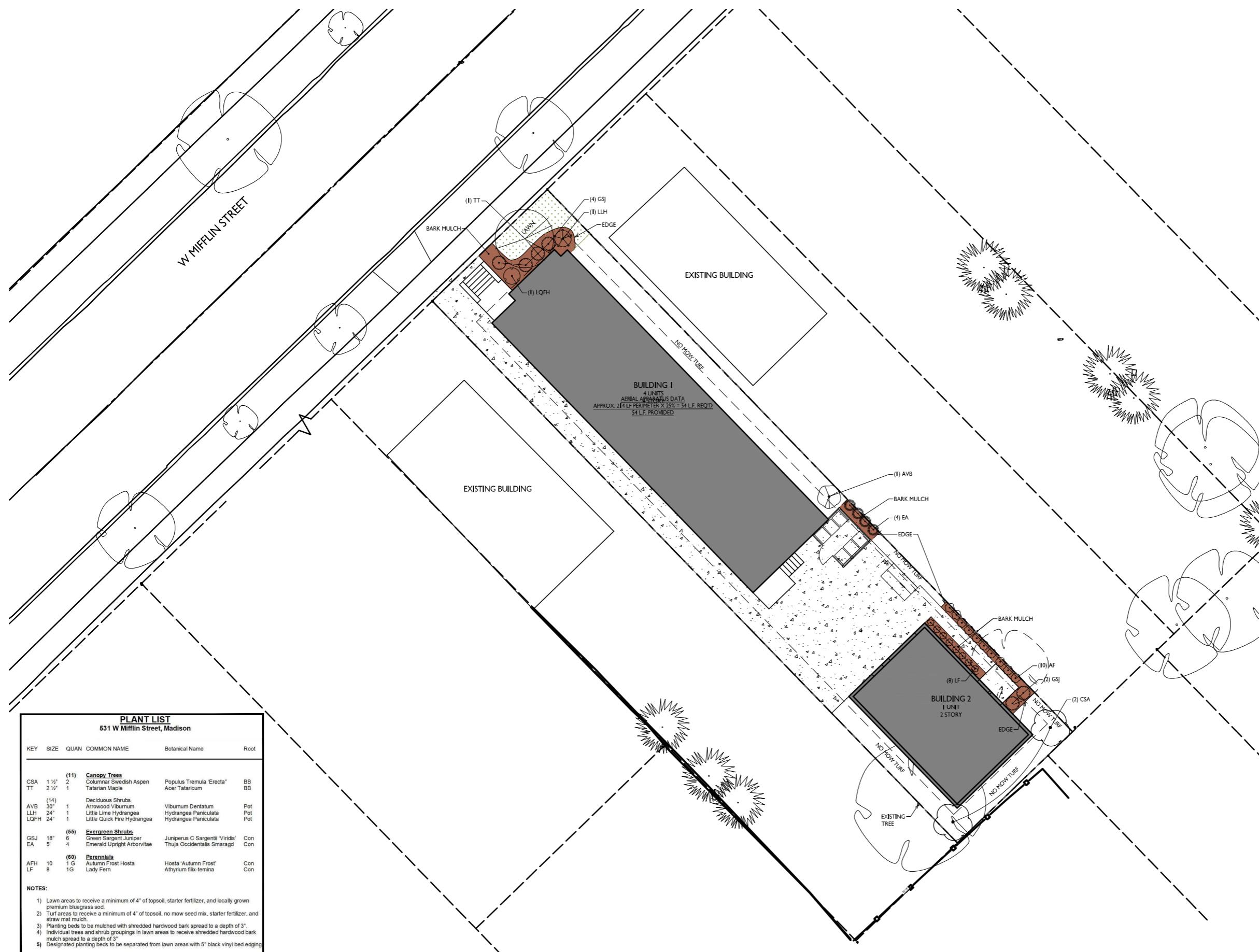
HEET TITLE
LANDSCAPE
PLAN

SHEET NUMBER

L-1.1

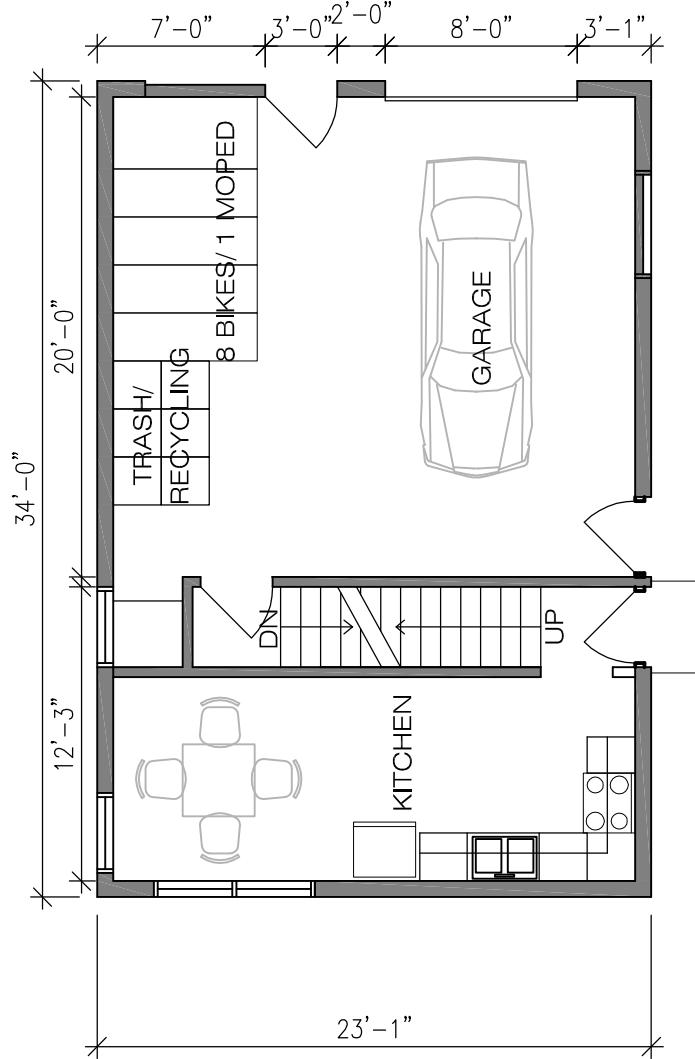
PROJECT NO.
2362

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L-1.1
LANDSCAPE PLAN
1" = 10'-0"

GRAPHIC SCALE
0 10 20 30
1 INCH = 10 FT (24X36 SHEET)

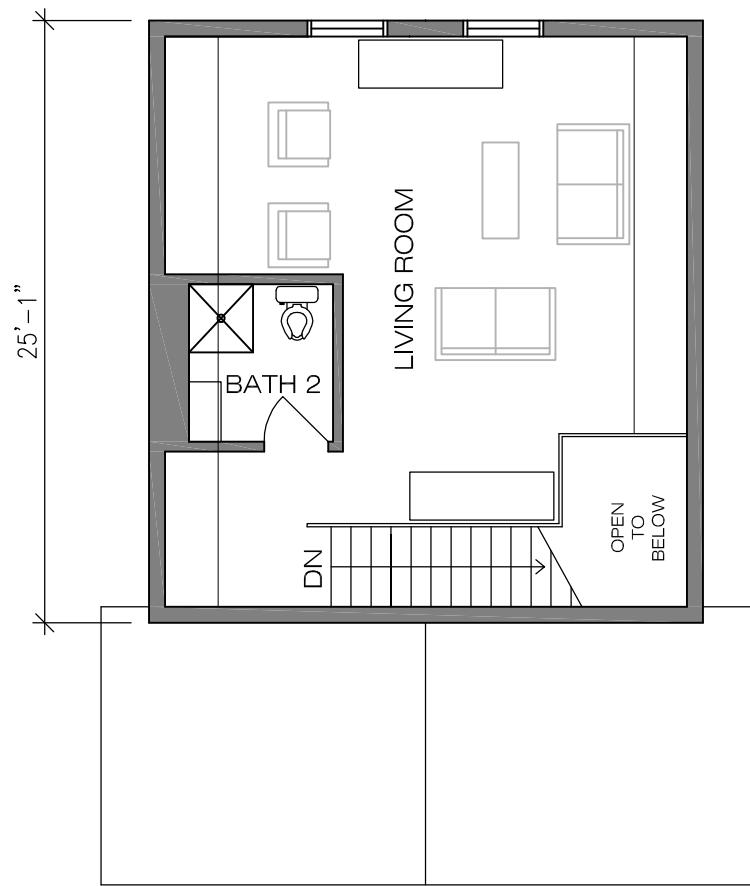


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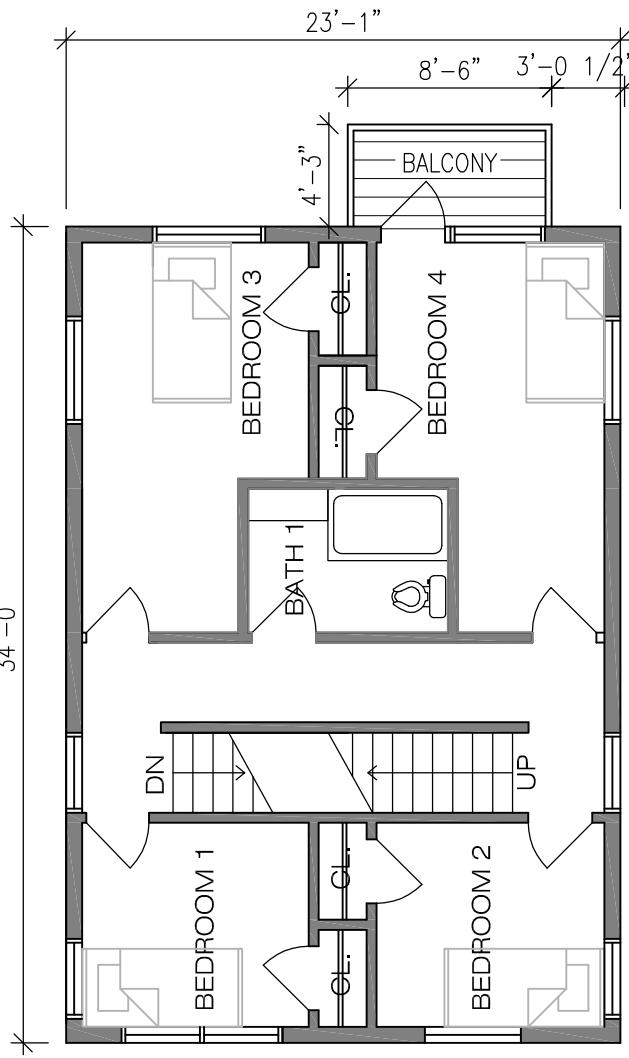
First Floor Plan - 784 GSF



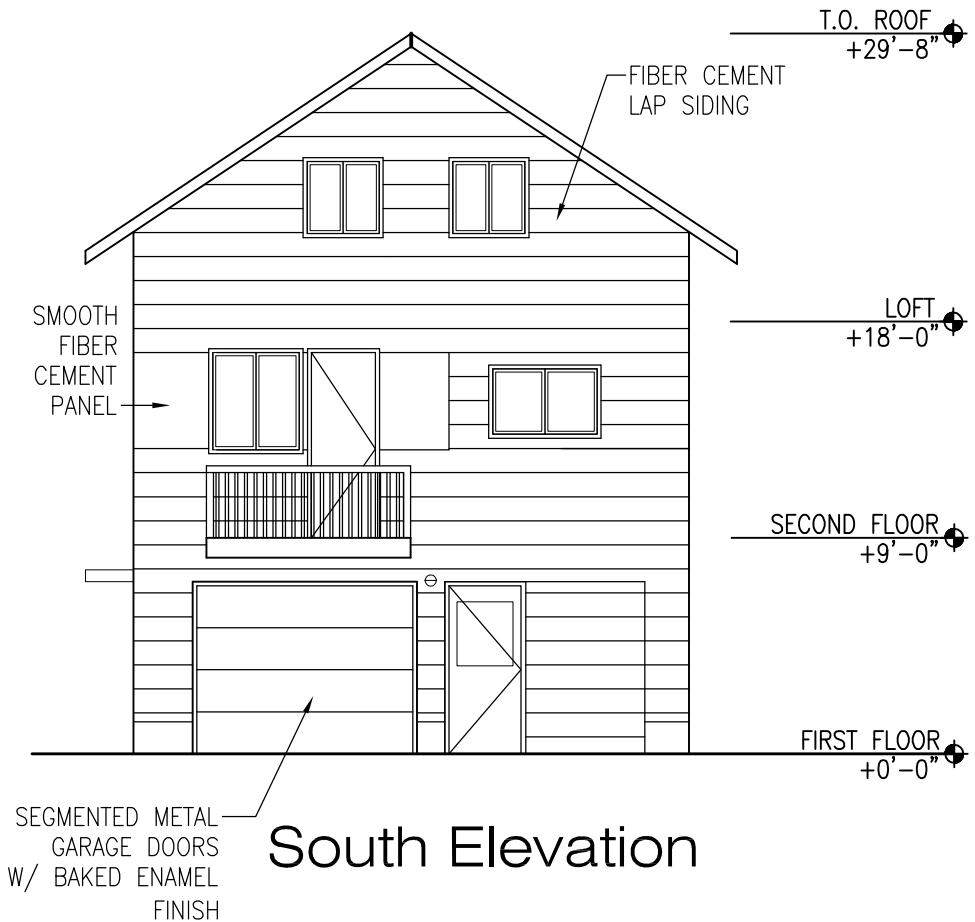
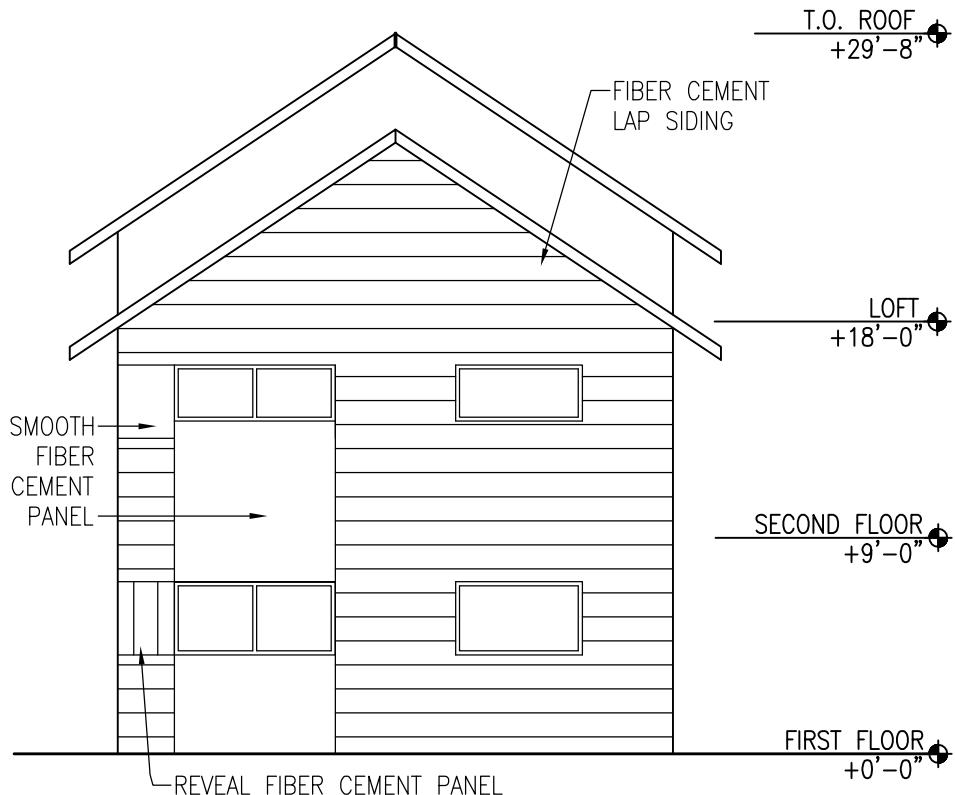
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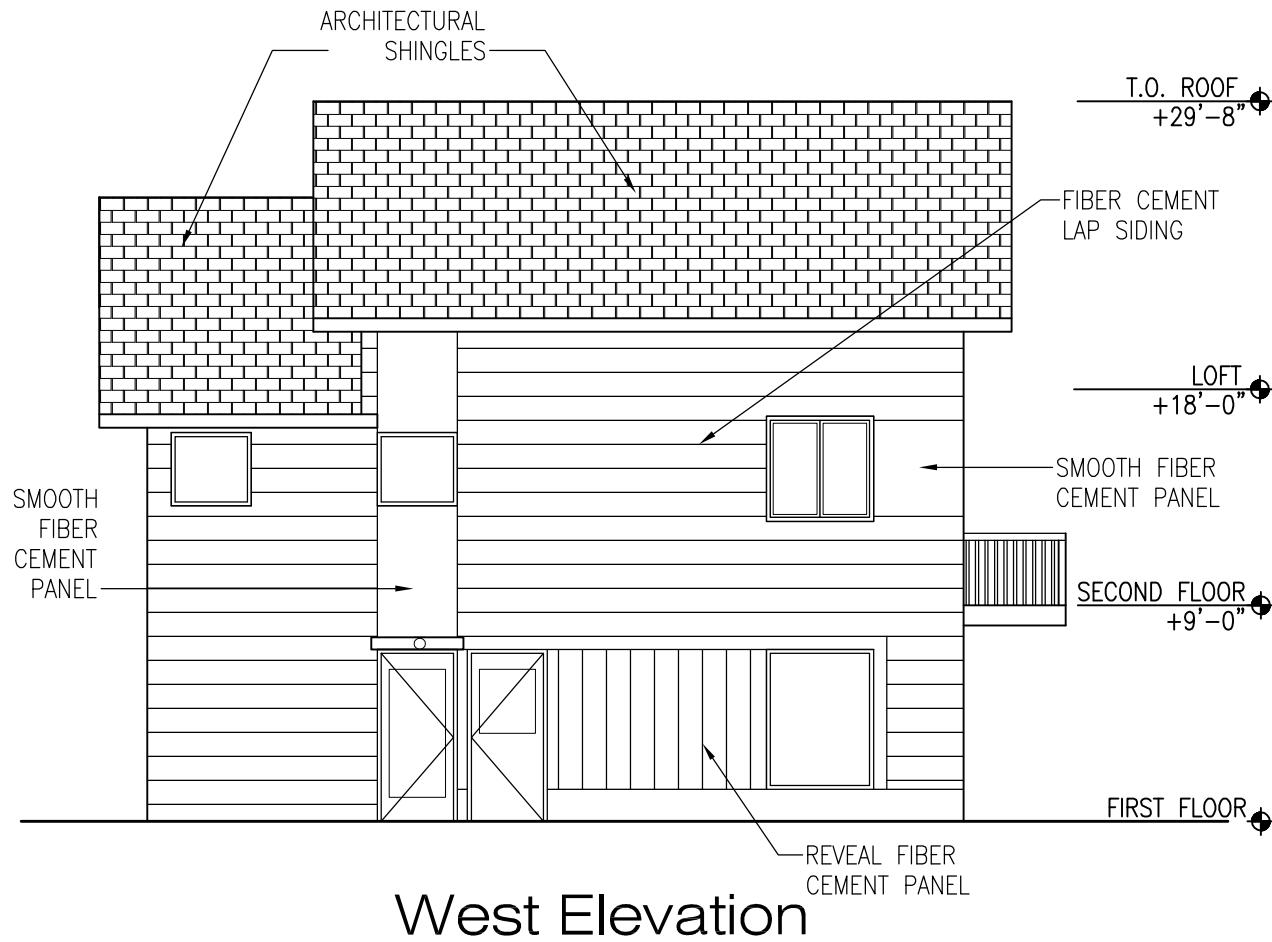


Loft Plan - 369 NSF



Second Level Plan - 784 GSF







East Elevation

REVISIONS		BY
1	ADD ALCOVE	1/13/00 AH
2	ADD CRAWL SPACE MOVE FURNACE ADD WING WALLS	3/20/00 BA

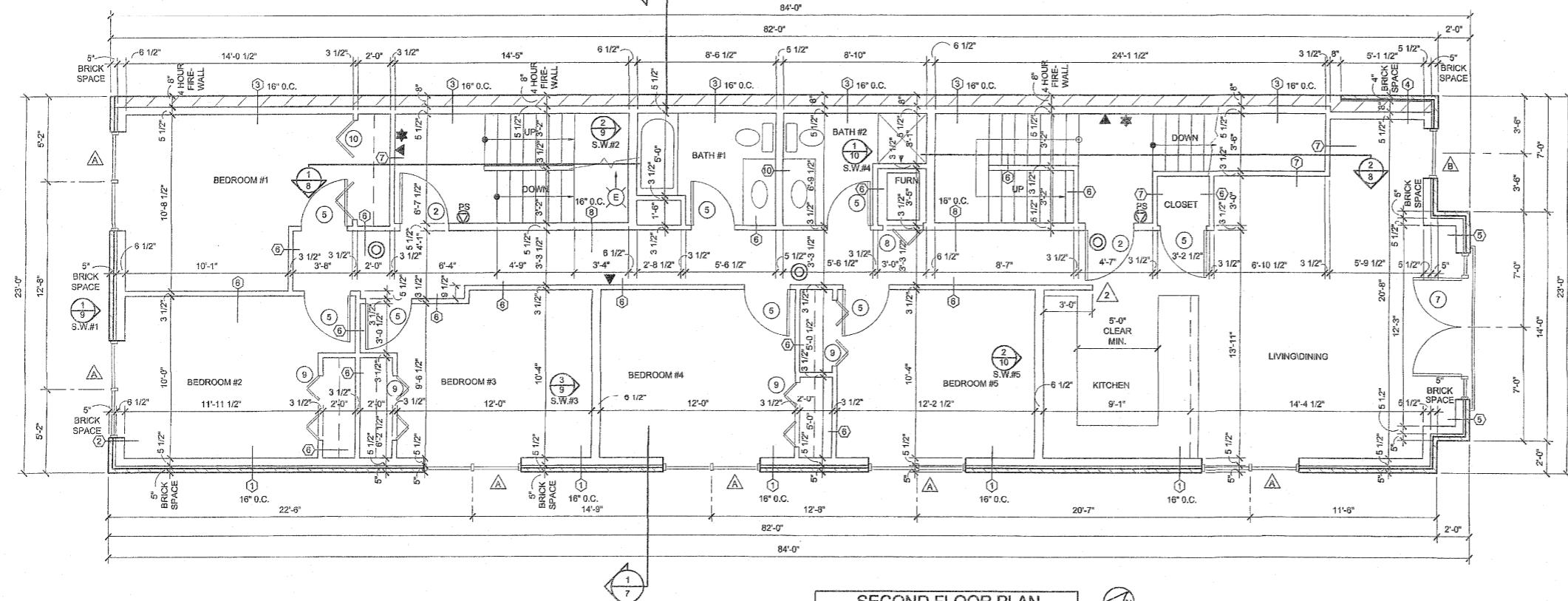
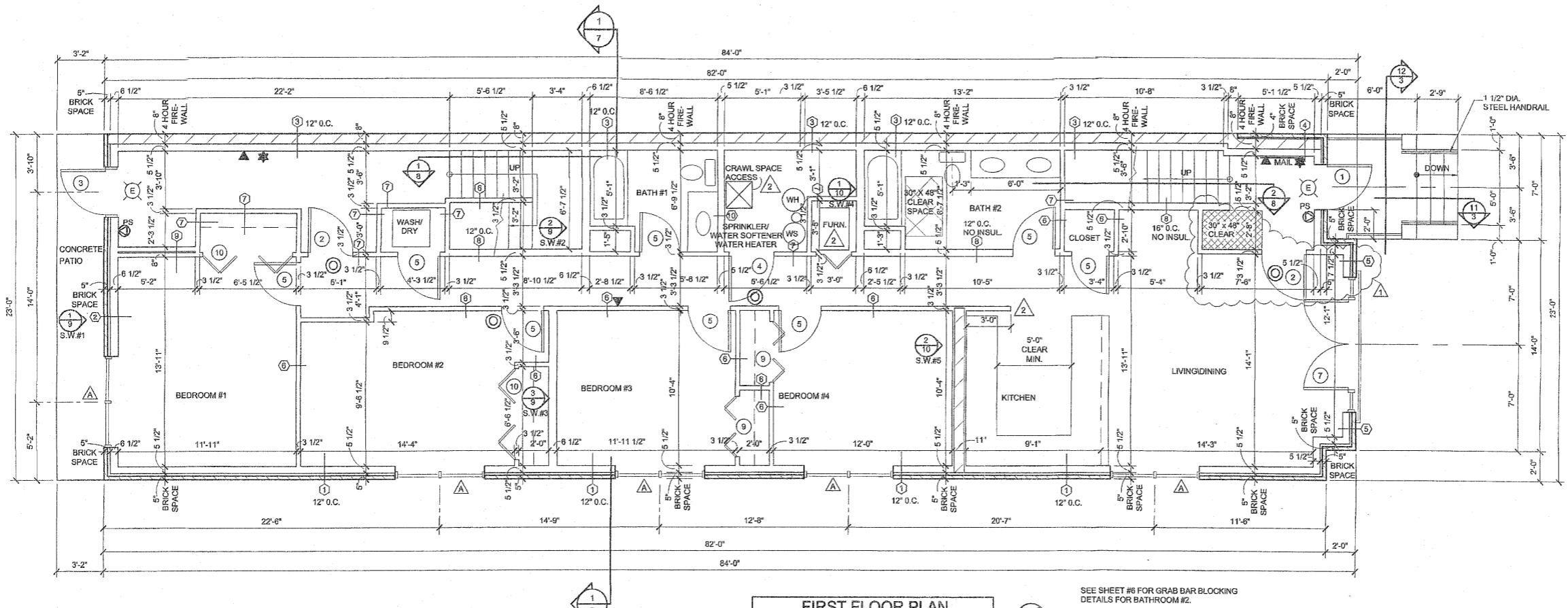
T&C ASSOCIATES, S.C.
579 D'ONOFRIO DRIVE, SUITE 10
MADISON, WI 53719-2838
TEL. (608) 827-5200 FAX (608) 827-5260



PROJECT:
FOUR UNIT APARTMENT
438 W. DAYTON STREET
MADISON, WI

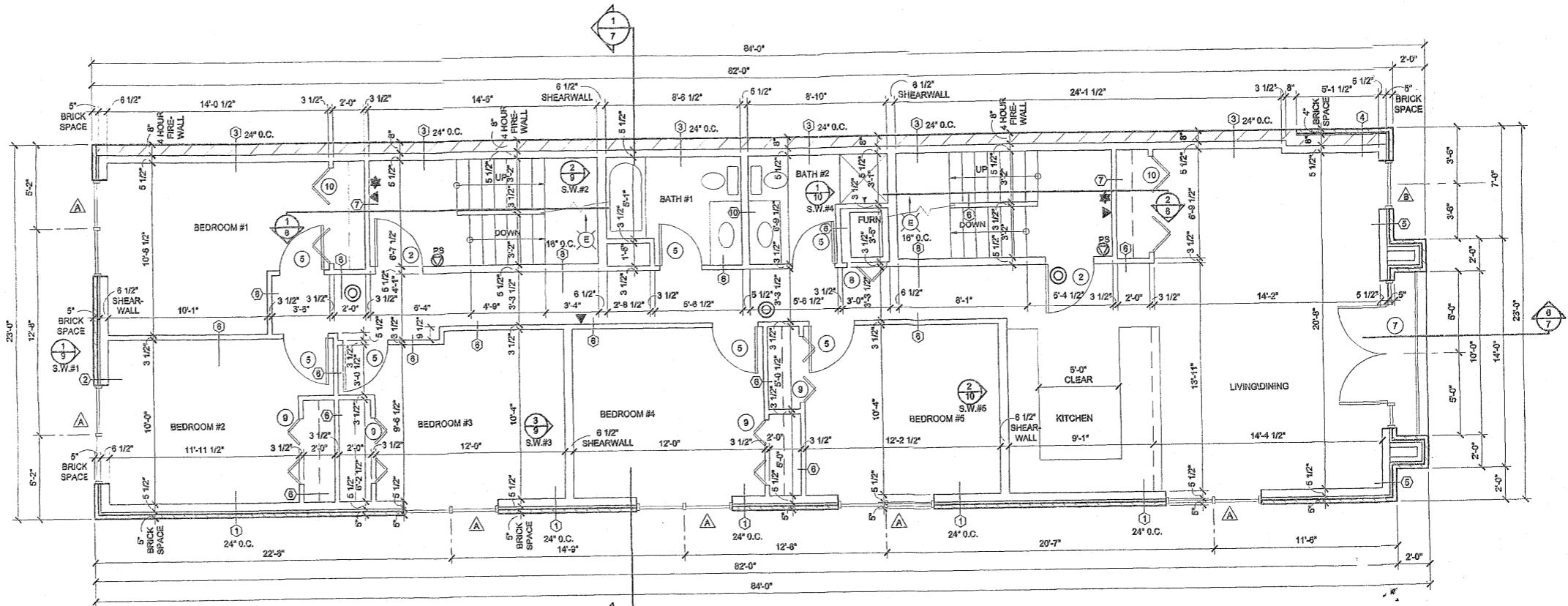
DRAWN A. HARPER
CHECKED
DATE 11-15-99
SCALE AS NOTED
JOB NO. 99-144
SHEET

4



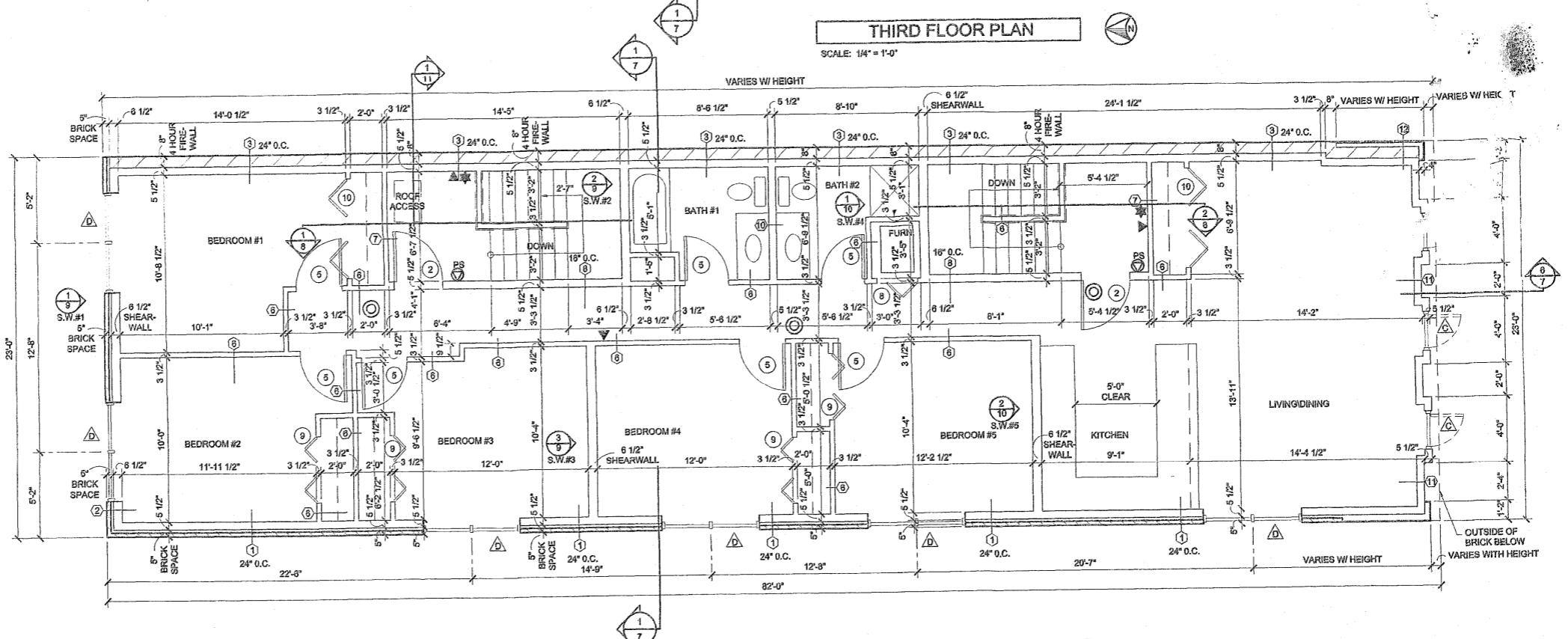
NOTES:

1. DRAWINGS NOT TO BE SCALED. CONTACT ARCHITECT WITH DIMENSIONAL QUESTIONS.
2. DIMENSIONS FROM FACE OF MASONRY OR STUD. (SHEARWALL DIMENSIONS FROM FACE OF PLYWOOD).
3. CEILINGS FOR FIRST, SECOND, AND THIRD FLOOR TO USE (1) LAYER 5/8" TYPE "X" GYPSUM BOARD.
4. ALL PENETRATIONS THROUGH REQUIRED 5/8" TYPE "X" GYPSUM BOARD MUST BE 1 HOUR. SEE NOTES ON SHEET 6.
5. WINDOWS AND BI-FOLD DOORS TO HAVE DRYWALL RETURNS.
6. SMOKE DETECTORS ARE SELF CONTAINED AND NOT CONNECTED TO THE SPRINKLER SYSTEM.
7. EACH BATHROOM TO HAVE A MECHANICAL EXHAUST FAN CAPABLE OF EXHAUSTING 3 CFM PER SQ. FT. OF FLOOR.
8. LAUNDRY, BATHROOMS, AND SPRINKLER ROOM TO HAVE FLOOR DRAINS.
9. ALL INTERIOR FINISHES TO BE DETERMINED BY OWNER.
10. SPRINKLERS ARE NOT REQUIRED IN ANY CLOSETS OR CHASES PER NFPA 13R 2-6.



THIRD FLOOR PLAN

SCALE: 1/4" = 1'-0"



FOURTH FLOOR PLAN

SCALE: 1/4" = 1'-0"

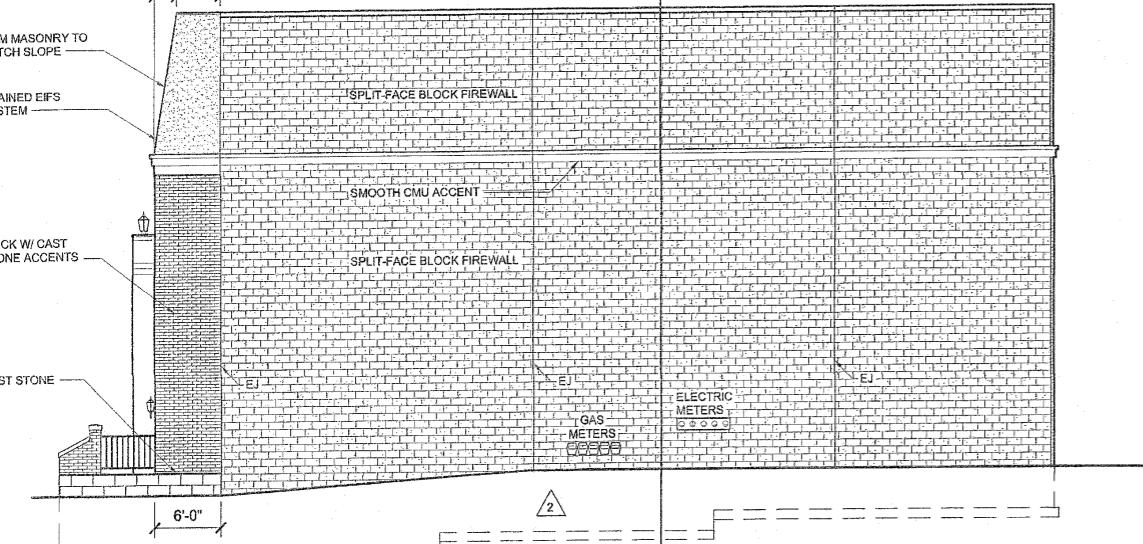
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7. SMOKE DETECTORS ARE SELF CONTAINED AND NOT CONNECTED TO THE SPRINKLER SYSTEM.
8. EACH BATHROOM TO HAVE A MECHANICAL EXHAUST FAN CAPABLE OF EXHAUSTING 3 CFM PER SQ. FT. OF FLOOR.
9. LAUNDRY, BATHROOMS, AND SPRINKLER ROOM TO HAVE FLOOR DRAINS.
10. ROOF ACCESS HATCH TO BE PREFABRICATED INSULATED STEEL UNIT WITH MIN. 20" X 30" CLEAR OPENING. BILCO OR EQUAL.
11. ALL INTERIOR FINISHES TO BE DETERMINED BY OWNER.
12. SPRINKLERS ARE NOT REQUIRED IN ANY CLOSETS OR CHASES PER NFPA13R 2-6.



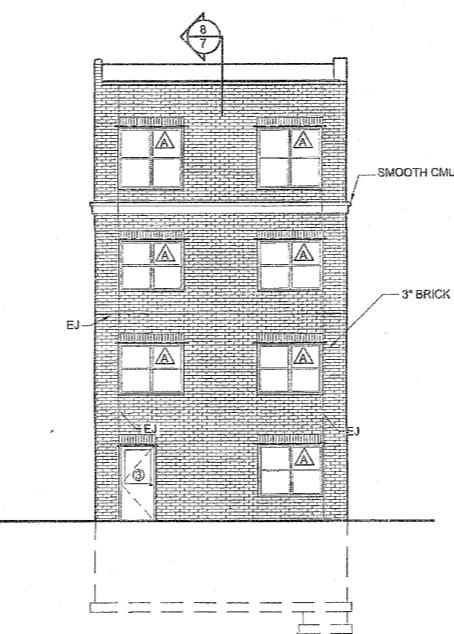
WEST ELEVATION

SCALE: 1/8" = 1'-0"



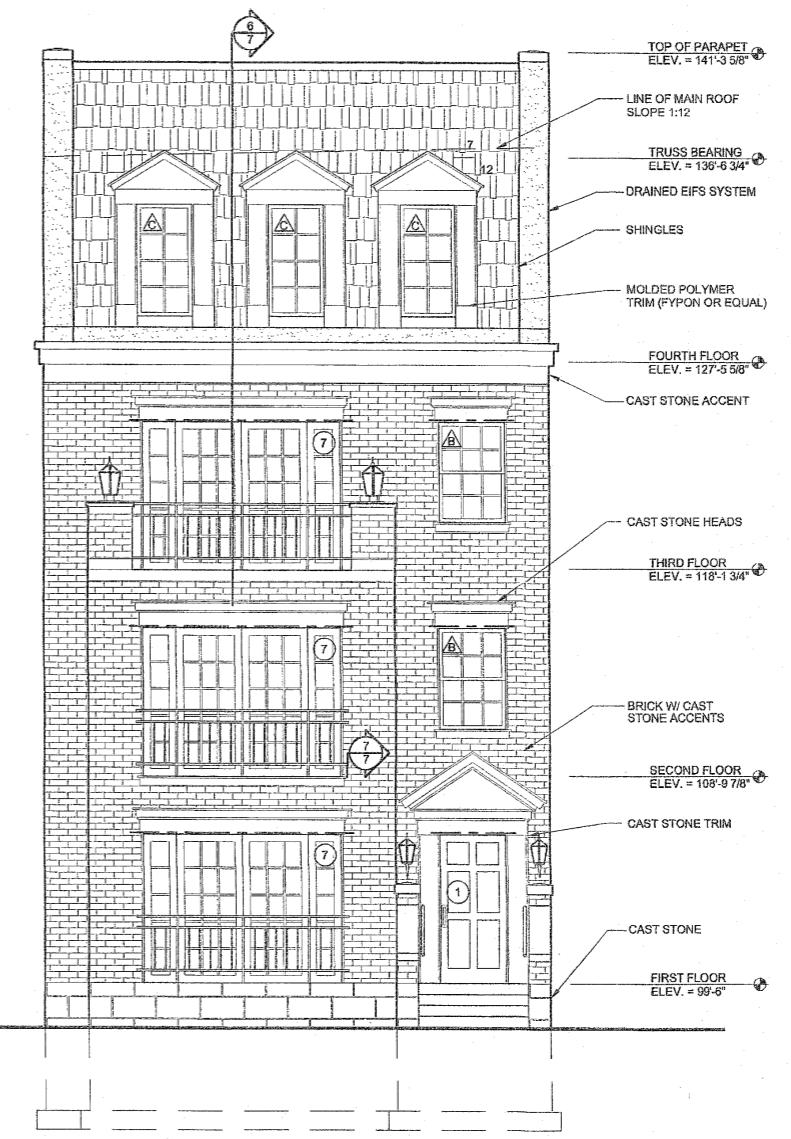
EAST ELEVATION

SCALE: 1/8"



NORTH ELEVATION

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

LINTEL SCHEDULE			
OPENING	LINTEL SIZE	BEARING LENGTH	
WINDOW A	L 3 1/2 X 3 X 5/16	4"	
WINDOW B	L 3 1/2 X 2 1/2 X 1/4	4"	
WINDOW C	L 3 1/2 X 2 1/2 X 1/4	4"	
WINDOW D	L 3 1/2 X 3 X 5/16	4"	
PAINTER'S SCAFFOLD	6' 6 1/2"	5"	
DOOR 1	L 3 1/2 X 2 1/2 X 1/4	4"	
DOOR 2	L 3 1/2 X 2 1/2 X 1/4	4"	

L & ASSOCIATES, S.C.

3522 CHURCH DRIVE,
MADISON, WI 53719-2831

OWNER:
440 W. DAYTON
P.O. BOX 2601
MADISON, WI 53701

PROJECT
FOUR UNIT APARTMENT
438 W. DAYTON STREET
MADISON, WI

DRAWN
T.M.
CHECKED

DATE
11-15-99
SCALE
AS NOTED
JOB NO.
99-144
SHEET

12

THE TWELVE



STREET VIEW

SCALE: 1/8" = 1'-0"



City of Madison Fire Department

314 W Dayton Street, Madison, WI 53703-2506
Phone: 608-266-4420 • Fax: 608-267-1100 • E-mail: fire@cityofmadison.com

Project Address: 531 W Mifflin Street

Contact Name & Phone #: Kevin Burow, Knothe & Bruce Architects - 608-836-3690

FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

Building 1
Building 2

1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system? If non-sprinklered , fire lanes extend to within 150-feet of all portions of the exterior wall? If sprinklered , fire lanes are within 250-feet of all portions of the exterior wall?	<input checked="" type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs? a) Is the fire lane a minimum unobstructed width of at least 20-feet? b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet? c) Is the minimum inside turning radius of the fire lane at least 28-feet? d) Is the grade of the fire lane not more than a slope of 8%? e) Is the fire lane posted as fire lane? (Provide detail of signage.) f) Is a roll-able curb used as part of the fire lane? (Provide detail of curb.) g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.)	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
3. Is the fire lane obstructed by security gates or barricades? If yes: a) Is the gate a minimum of 20-feet clear opening? b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
4. Is the Fire lane dead-ended with a length greater than 150-feet? If yes, does the area for turning around fire apparatus comply with IFC D103?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6 If yes, see IFC 3206.6 for further requirements.	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
6. Is any part of the building <u>greater than 30-feet</u> above the grade plane? If yes, answer the following questions: a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter? b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building? c) Are there any overhead power or utility lines located across the aerial apparatus fire lane? d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species) e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet? f) Is the space between the aerial lane and the building free of trees exceeding 20' in heights?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants? <i>Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus.</i> a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants? b) Is there at least 40' between a hydrant and the building? c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane? d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb? e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1½-feet, within 5-feet of a fire hydrant?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
<i>Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.</i>			

Attach an additional sheet if further explanation is required for any answers.

This worksheet is based on **MGO 34.503** and **IFC 2015 Edition Chapter 5 and Appendix D**; please see the codes for further information.