

APPLICATION FOR
URBAN DESIGN COMMISSION
REVIEW AND APPROVAL

AGENDA ITEM # _____
Project # _____

25175

DATE SUBMITTED: <u>3/20/2012</u>	Action Requested
UDC MEETING DATE: <u>4/14/2012</u>	<input type="checkbox"/> Informational Presentation
	<input type="checkbox"/> Initial Approval and/or Recommendation
	<input checked="" type="checkbox"/> Final Approval and/or Recommendation

PROJECT ADDRESS: CENTRAL PARK - INGERSOLL ST.
ALDERMANIC DISTRICT: #6

OWNER/DEVELOPER (Partners and/or Principals) CITY OF MADISON
PARKS DIVISION
ARCHITECT/DESIGNER/OR AGENT: MSA Professional Services

CONTACT PERSON: KENSAIKI
Address: 707 S. PATTERSON ST.
MADISON, WI 53703
Phone: 608-251-3600
Fax: 608-251-2320
E-mail address: ksaikik@ksd-la.com



- TYPE OF PROJECT:
(See Section A for:)
- Planned Unit Development (PUD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
 - Planned Community Development (PCD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
 - Planned Residential Development (PRD)
 - New Construction or Exterior Remodeling in an Urban Design District * (A public hearing is required as well as a fee)
 - School, Public Building or Space (Fee may be required)
 - New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 40,000 Sq. Ft.
 - Planned Commercial Site
- (See Section B for:)
- New Construction or Exterior Remodeling in C4 District (Fee required)
- (See Section C for:)
- R.P.S.M. Parking Variance (Fee required)
- (See Section D for:)
- Comprehensive Design Review* (Fee required)
 - Street Graphics Variance* (Fee required)
 - Other _____

*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)

Where fees are required (as noted above) they apply with the first submittal for either initial or final approval of a project.

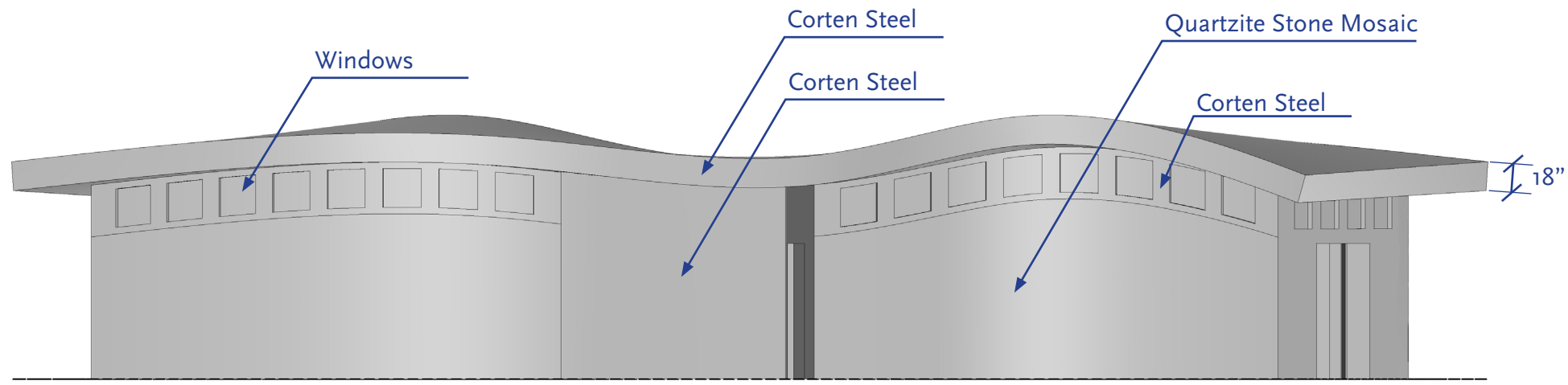


Front Elevation



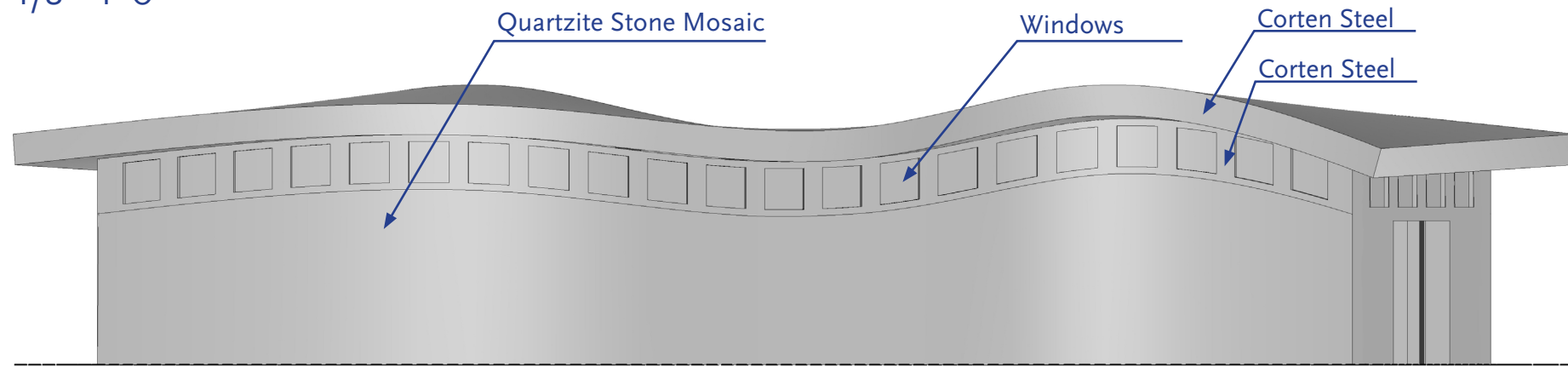
End Elevation

Central Park
Breary Block
Preliminary Design Development
Restroom Pavilion Illustrative Elevations
NOT FOR CONSTRUCTION
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February 17, 2012



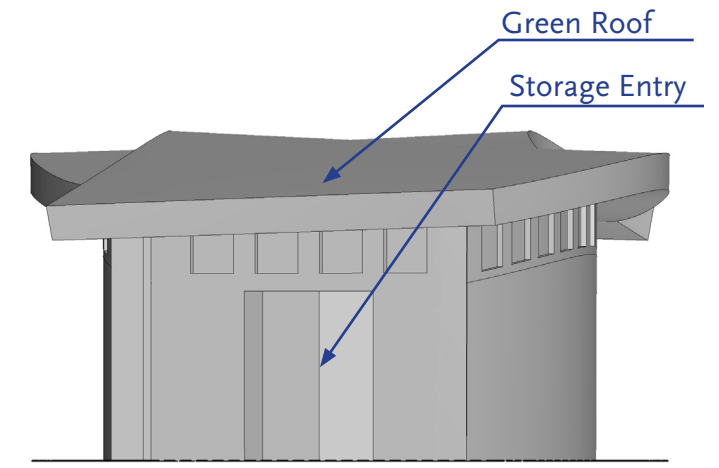
East Elevation

1/8"=1'-0"



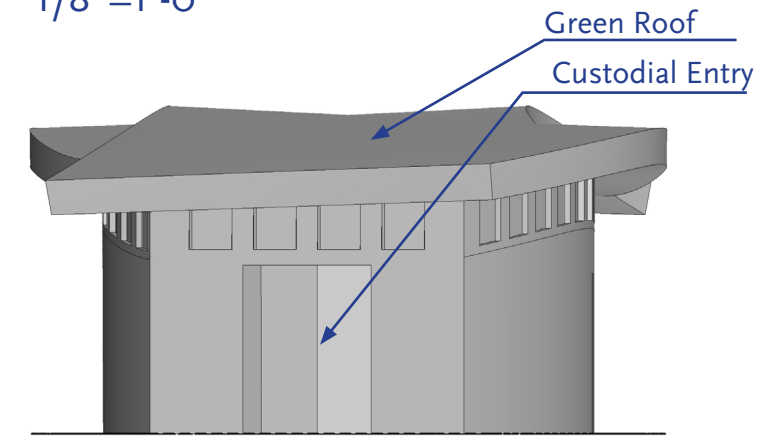
West Elevation

1/8"=1'-0"



North Elevation

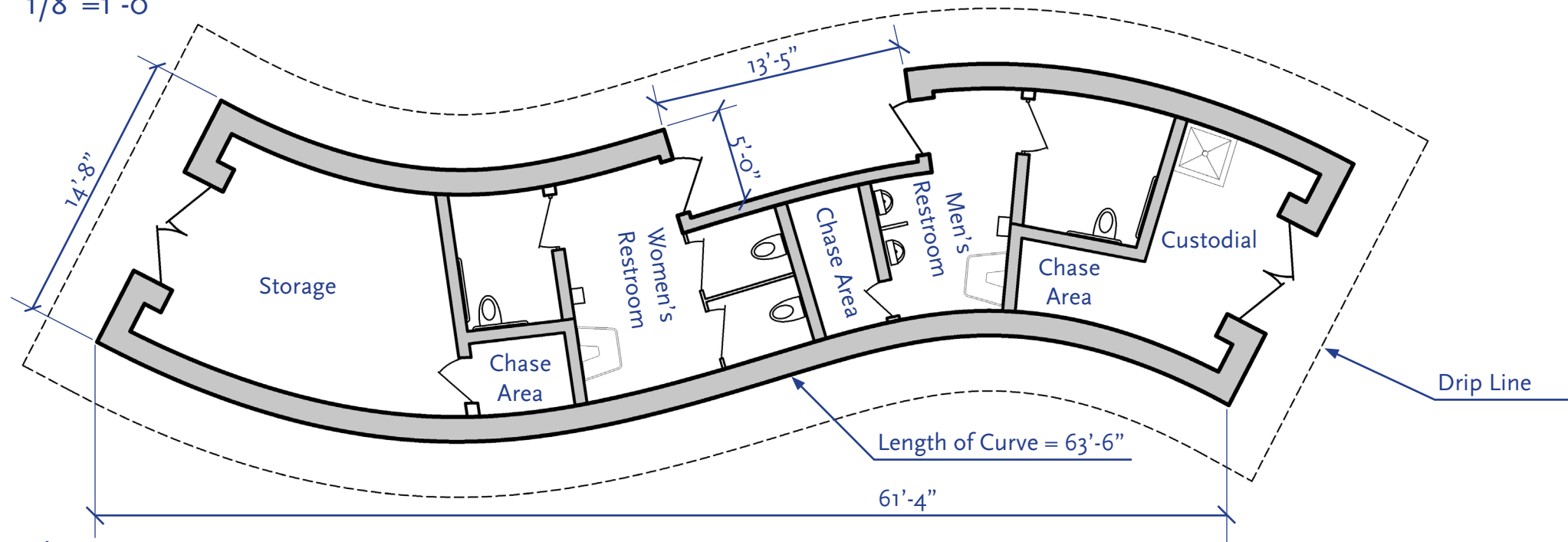
1/8"=1'-0"



South Elevation

1/8"=1'-0"

Note: Soffit clad in Corten steel.



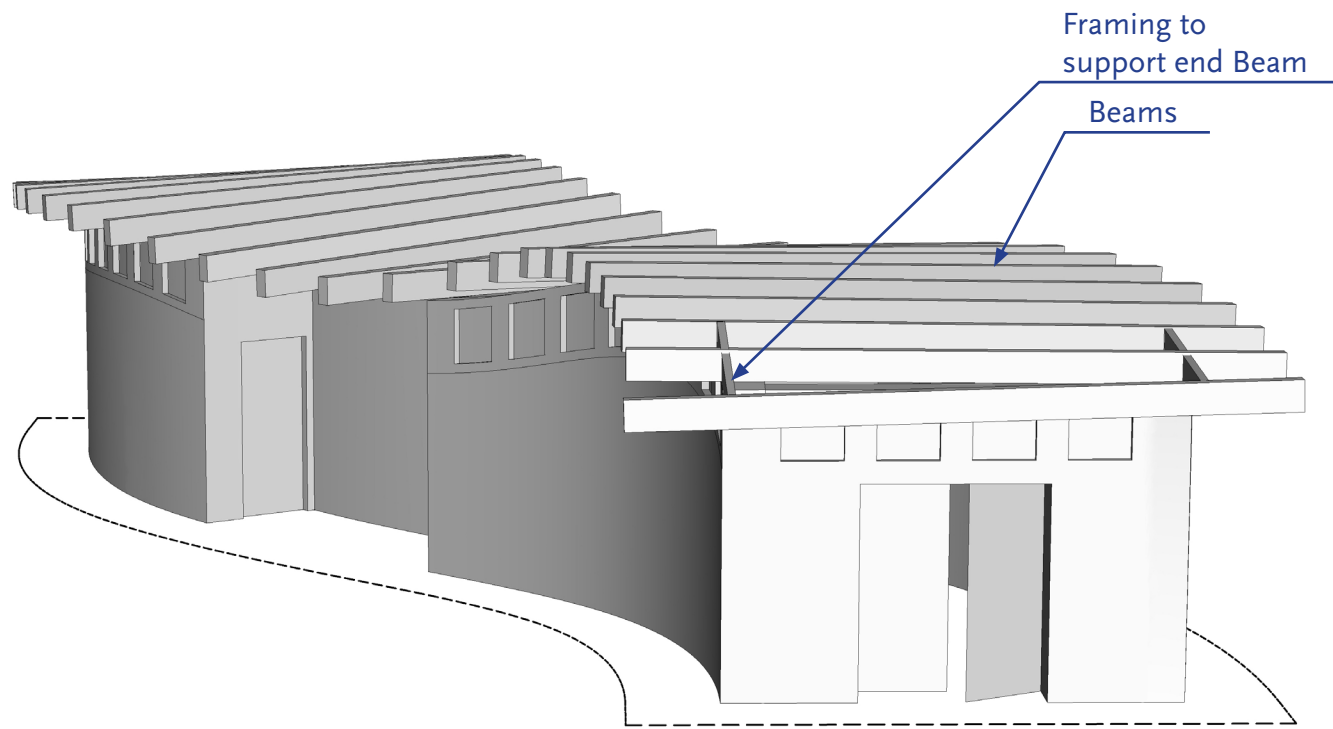
Plan

1/8"=1'-0"

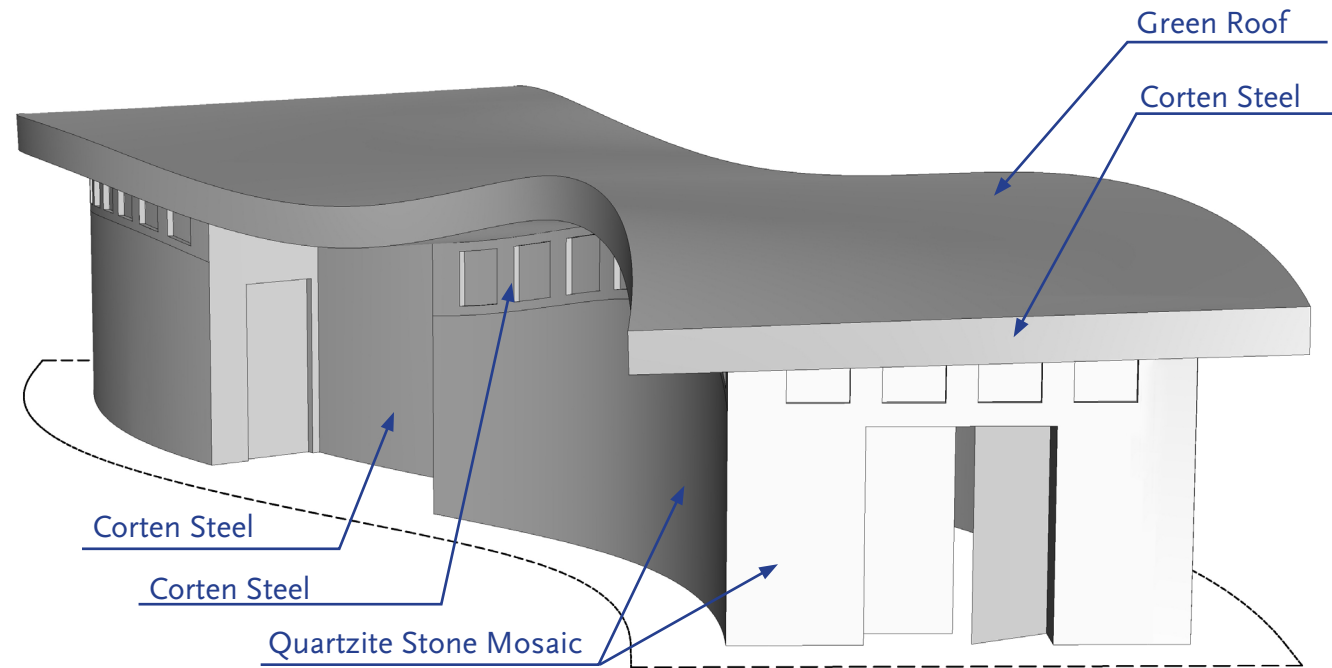


**Central Park
Brearly Block
Preliminary Design Development
Restroom Pavilion
NOT FOR CONSTRUCTION**

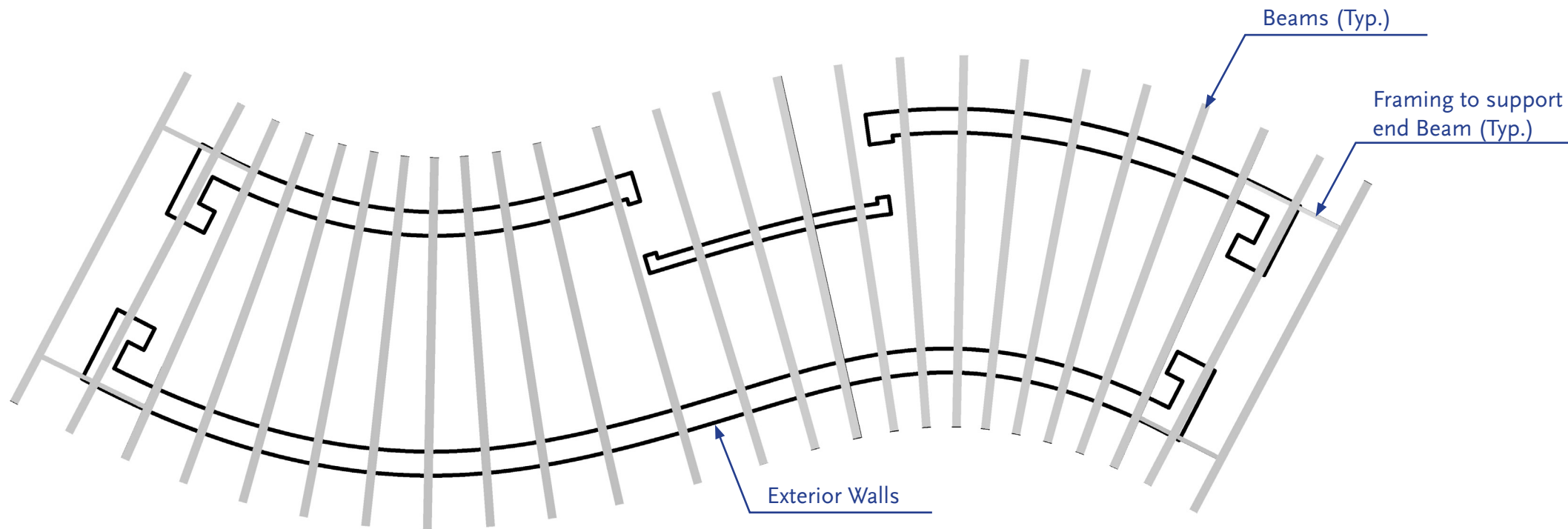
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Perspective 1



Perspective 2

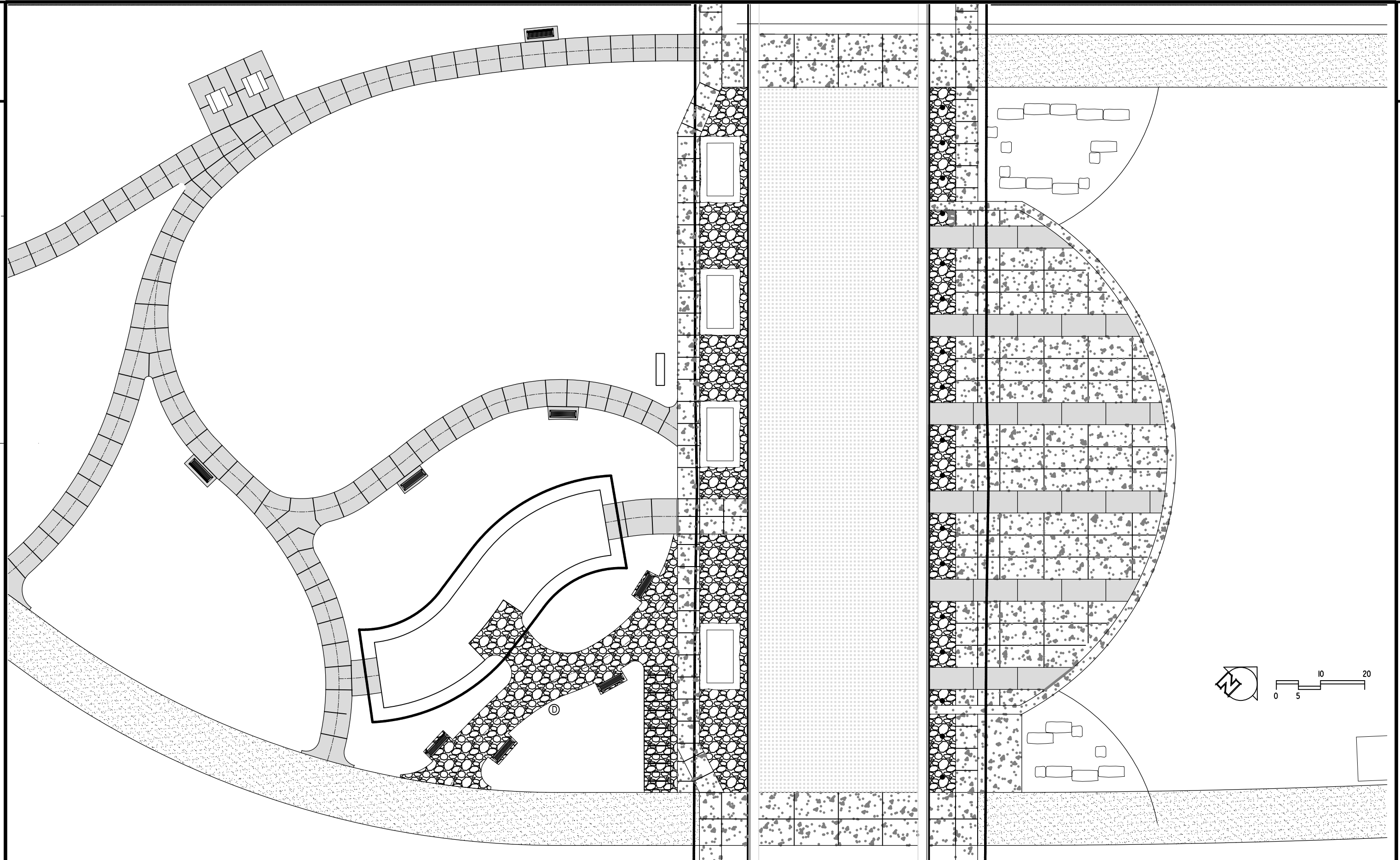


Note: Soffit clad in Corten steel.

Beam Plan
1/8"=1'-0"



Central Park
Breary Block
Preliminary Design Development
Restroom Pavilion
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Shrubs/Grasses

B—*Baptisia* 'Purple Smoke'

CP—*Carex pennsylvanica*

HS—*Helictotrichon sempervirens*

CK—*Cornus Kelseyi*

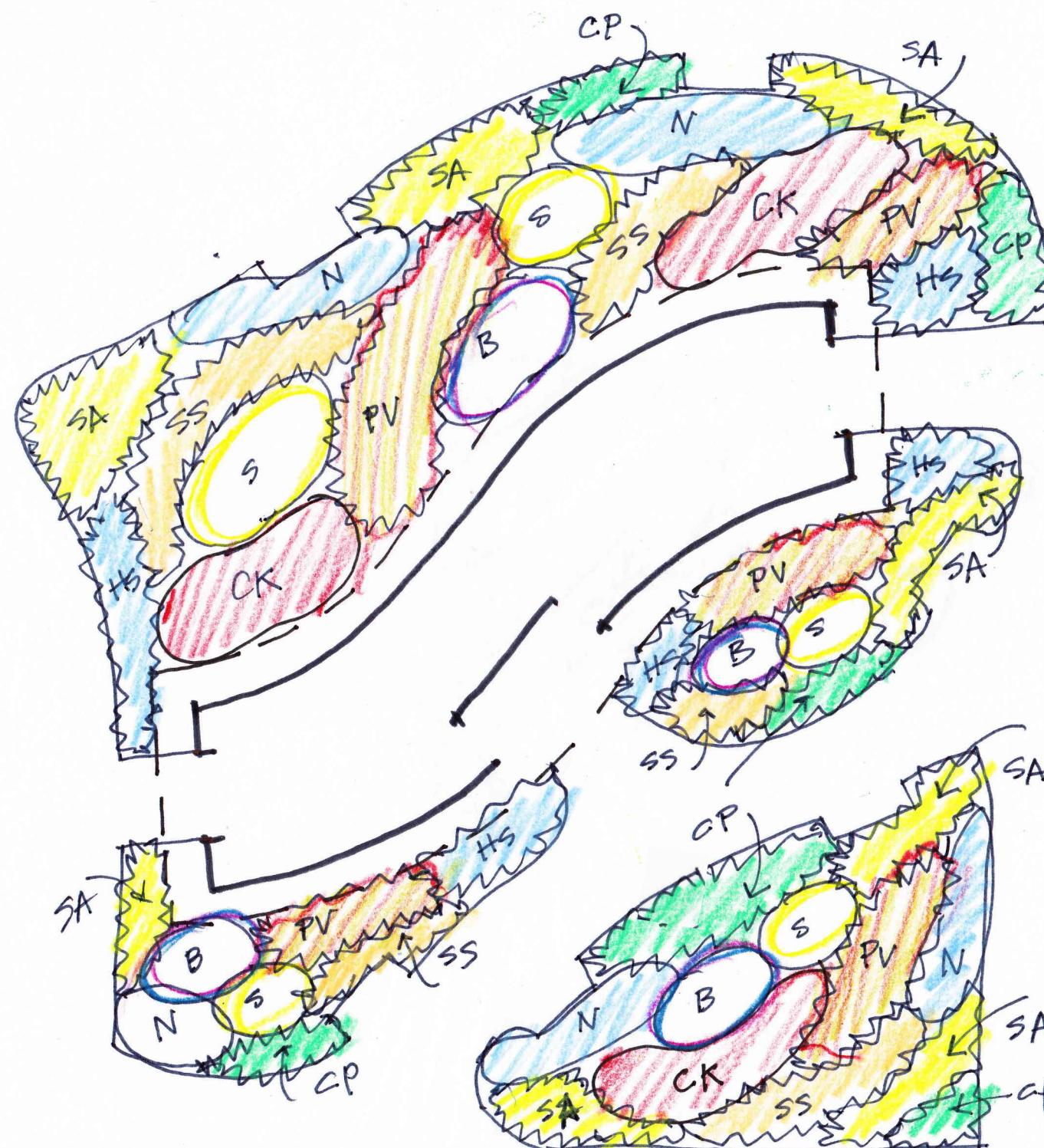
N—*Nepeta* 'Walker's Low'

PV—*Panicum virgatum* 'Rostralbusch'

SS—*Schizachyrium scoparium*

SA—*Seslaria autumnalis*

S—*Solidago* 'Fireworks'



Central Park

Brearly Block

Preliminary Design Development

Planting Detail—Restroom Area

NOT FOR CONSTRUCTION

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March 27, 2012

DESIGN LOADINGS	
BUILDING CATEGORY IV	
WIND LOAD	
BASIC WIND SPEED	90 mph
WIND IMPORTANCE FACTOR, I_w	1.15
WIND EXPOSURE	B
INTERNAL PRESSURE COEFFICIENT COMPONENTS AND CLADDING	+/- 0.18
EXTERIOR: DOOR, WINDOWS AND LOUVERS	30 psf
ALUM ENTRANCE & OVERHEAD DOORS	20 psf
ROOF UPLIFT	17.7 psf
ROOF OVERHANG UPLIFT	24.8 psf
ADDITIONAL ROOF LOADS	
DEAD LOAD, TOTAL	18 psf
TOP CHORD	10 psf
BOTTOM CHORD	8 psf
TRUSS DEFLECTION, MAX	L/360
SEISMIC DESIGN DATA	
SEISMIC IMPORTANCE FACTOR, I_e	1.50
MAPPED SPECTRAL RESPONSE ACCELERATIONS	
S_s	0.057
S_1	0.027
SPECTRAL RESPONSE COEFFICIENTS	
S_{ds}	0.06
S_{d1}	0.043
SEISMIC DESIGN CATEGORY	A
BASIC SEISMIC-FORCE-RESISTING SYSTEM	
ORDINARY PLAIN MASONRY SHEAR WALLS	
DESIGN BASE SHEAR	6320 lbs
SEISMIC RESPONSE COEFFICIENT, C_s	0.01
RESPONSE MODIFICATION FACTOR	1.5
ANALYSIS PROCEDURE USED	
EQUIVALENT LATERAL FORCE	
LIVE LOADS	
ROOF LIVE LOAD	20 psf
SNOW LOAD	
GROUND SNOW LOAD, P_g	60 psf
FLAT-ROOF SNOW LOAD, P_f	55.4 psf
SLOPED-ROOF SNOW LOAD, P_s	55.4 psf
SNOW EXPOSURE FACTOR, C_e	1.00
SNOW LOAD FACTOR, I	1.20
THERMAL FACTOR, C_t	1.10
UNBALANCED ROOF SNOW LOADS	
VALUES FOR FIG 7-5 (ASCE 7-05)	
(LEFT) $0.3 P_g$	16.6 psf
(RIGHT) P_s	55.4 psf
DRIFT ADJACENT TO GABLE	26.2 psf
LENGTH OF DRIFT	9.6 ft
DRIFT ON LOWER ROOF	SEE ROOF FRAMING PLAN

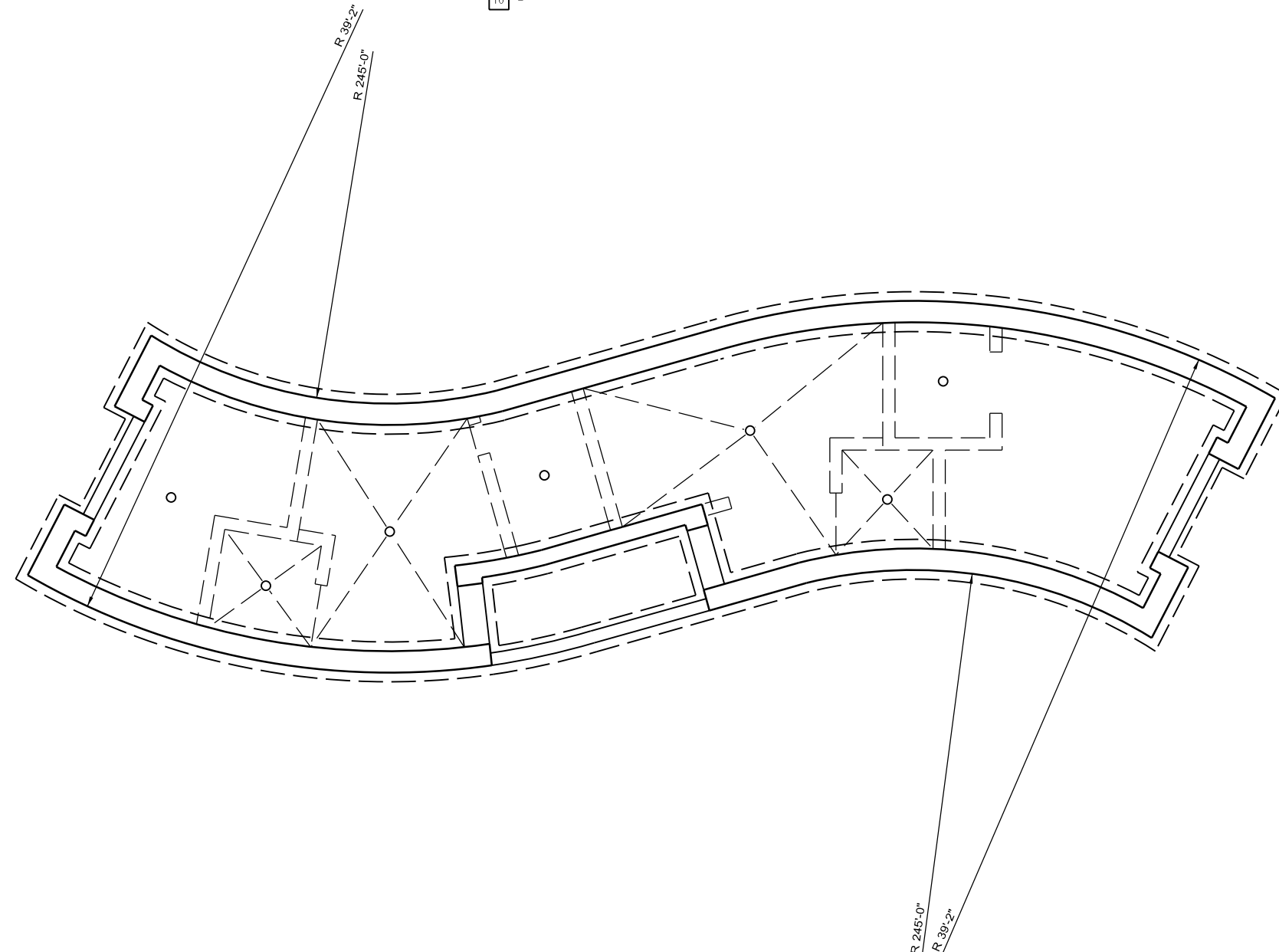
DESIGN STRESSES	
CAST-IN-PLACE CONCRETE	
FOOTINGS	$f_c = 4000$ psi
WALLS	$f_c = 4000$ psi
SLAB ON GRADE	$f_c = 4000$ psi
OTHER	$f_c = 4000$ psi
STEEL	
REINFORCING	$f_y = 60$ ksi
BOLTS	
ANCHOR	F1554, GRADE 36
SOIL BEARING PRESSURE CAPACITY	
PER SOILS REPORT	3,000 PSF
ACTUAL MAXIMUM REQUIRED BEARING PRESSURE AT FOOTINGS	1,500 PSF
LUMBER	
2x4's- SPF STANDARD GRADE	$F_b = 550$ psi
2x6's- SPF STUD GRADE	$F_b = 675$ psi
2x8's & 2x10's	
- HF NO. 2 AND BETTER	$F_b = 850$ psi
2x12's- DF NO.2 AND BETTER	$F_b = 825$ psi
P.T./SYP NO. 2 AND BETTER	$F_b = 1050$ psi
MICROLLAM LVL	$F_b = 2600$ psi
MASONRY	
CMU	$f_m = 1,500$ psi

STEEL REINFORCING	
MIN. CLEAR COVER, UNO	
FOUNDATION WALLS	
#5 BARS & SMALLER	1 1/2"
#6 BARS & LARGER	2"
NON-STRUCT. SLABS ON GRADE	
BOTTOM & SIDES	1 1/2"
TOP	3/4"
FOOTINGS & STRUCT. SLABS ON GRADE	
BOTTOM & SIDES	3"
TOP	2"
NOTES	
1. LAP BARS 36" AT SPLICES.	

- GENERAL FOUNDATION NOTES**
- CONTRACTOR TO COORDINATE STRUCTURAL, ARCHITECTURAL, HVAC AND PLUMBING PLANS FOR DETAILS, DIMENSIONS, ELEVATIONS, OPENINGS, INSERTS, ETC. NOTIFY ARCHITECT OF ANY VARIANCE BEFORE COMMENCING CONSTRUCTION.
 - IN NO CASE SHALL STRUCTURAL ALTERATIONS OF WORK AFFECTING A STRUCTURAL MEMBER BE MADE, UNLESS APPROVED BY ENGINEER.
 - SIMILAR PORTIONS OF THE BUILDING SHALL HAVE SIMILAR DETAILING, UNLESS NOTED OTHERWISE.
 - PROVIDE 3'-0"x3'-0" CORNER BARS IN FOUNDATION WALL AT CORNERS. BARS SHALL BE SAME SIZE AND LOCATION OF THE HORIZONTAL REINFORCING.
 - FOOTINGS SHALL BE CENTERED ABOUT THE WALLS, UNLESS NOTED OTHERWISE.
 - ALL EXISTING FOUNDATION WALLS AND FOOTINGS TO REMAIN UNLESS NOTED OTHERWISE.
 - ALL WALL FORM TIES SHALL BE KNOCKED OFF FLUSH w/ THE FACE OF THE WALL AT INTERIOR AND EXTERIOR FACE OF WALLS. AT TIES BELOW THE FINISHED FLOOR AND/OR FINISHED GRADE PROVIDE A LAYER OF DAMPROOFING PRODUCT OVER THE REMOVED TIE AREA, TYP.
 - SEE THE ROOF FRAMING PLAN SHT A4.2 WALL SECTIONS AND DETAILS FOR FOUNDATION DOWEL LOCATIONS, SIZES AND SPACINGS REQUIRED, TYP.
 - SEE WALL SECTION SHEETS A7.1, A7.2 AND A7.3 FOR TYPICAL FOUNDATION WALL REINFORCING SIZING AND LOCATIONS AND DOWELS.
 - REFERENCE THE EXCAVATION SPEC SECTION AND SUBSURFACE SOILS INVESTIGATION REPORT FOR REQUIREMENTS ON THE EXTENT OF EXCAVATION AT THE FOOTINGS.

FOUNDATION PLAN NOTES:

- 1 -
- 2 -
- 3 -
- 4 -
- 5 -
- 6 -
- 7 -
- 8 -
- 9 -
- 10 -

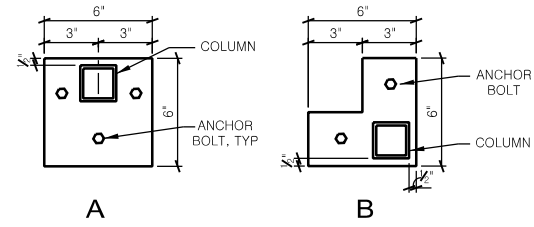


FOUNDATION PLAN

0 2 4 8
 1/4" = 1'-0" (22x34)
 1/8" = 1'-0" (11x17)

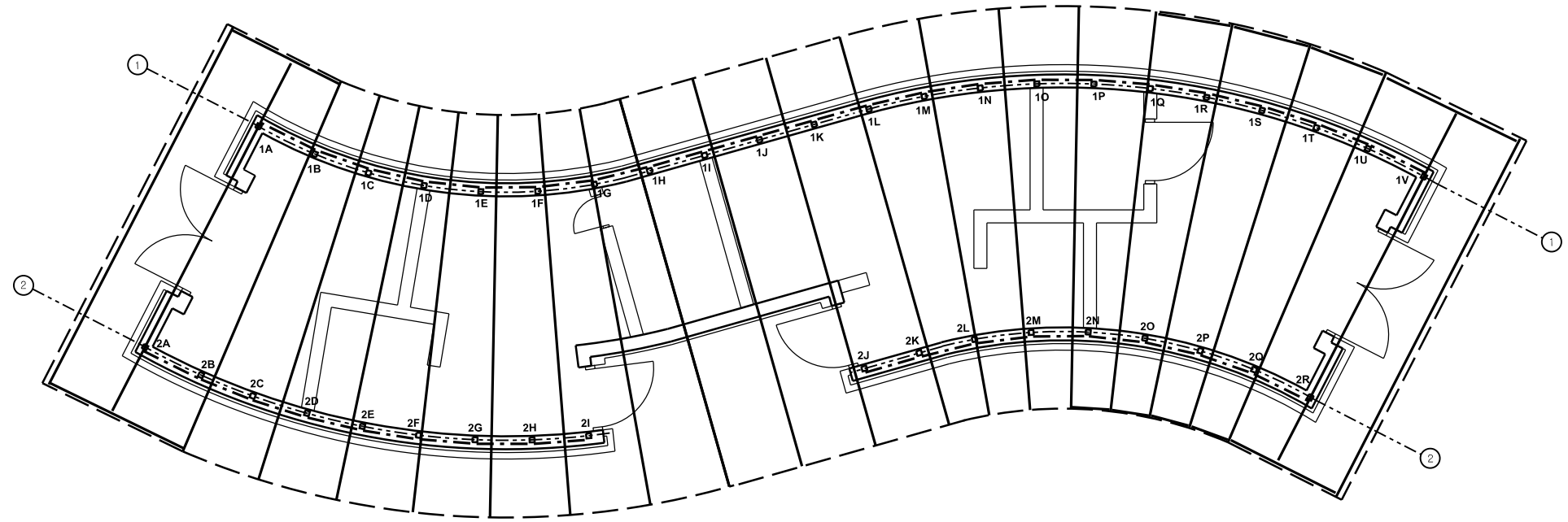
COLUMN/ CUVE DATUM SCHEDULE							
MARK	TOP OF WALL ELEVATION	COLUMN TYPE	COLUMN SIZE	ANCHOR BOLTS		BASE PLATE TYPE	REMARKS
				EMBED LENGTH	NUMBER ASSUMED		
1A	-					B	
1B	-					A	
1C	-					A	
1D	-					A	
1E	-					A	
1F	-					A	
1G	-					A	
1H	-					A	
1I	-					A	
1J	-					A	
1K	-					A	
1L	-					A	
1M	-					A	
1N	-					A	
1O	-					A	
1P	-					A	
1Q	-					A	
1R	-					A	
1S	-					A	
1T	-					A	
1U	-					A	
1V	-					B	
2A	-					B	
2B	-					A	
2C	-					A	
2D	-					A	
2E	-					A	
2F	-					A	
2G	-					A	
2H	-					A	
2I	-					A	
2J	-					A	
2K	-					A	
2L	-					A	
2M	-					A	
2N	-					A	
2O	-					A	
2P	-					A	
2Q	-					A	
2R	-					B	
REMARKS							
1.							

BASE PLATE TYPES



FRAMING PLAN NOTES:

- 1 -
- 2 -
- 3 -
- 4 -
- 5 -
- 6 -
- 7 -
- 8 -
- 9 -
- 10 -



ROOF FRAMING PLAN

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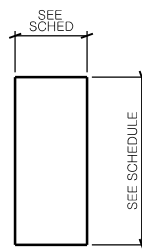
DOOR & FRAME SCHEDULE

OPENING NO	DOOR						FRAME						REMARKS	OPENING NO	
	TYPE	MAT'L	NOMINAL SIZE			TYPE	MAT'L	DETAILS			HARDWARE SET	GLASS TYPE			FIRE RATING
			WIDTH	HEIGHT	THICK			HEAD	JAMB	SILL					
1	A	HM	2'-10" 2'-10"	7'-0"	1 3/4"	F1	HM	-	-	-	1			1. 2.	1
2	A	HM	1'-10"	7'-0"	1 3/4"	F1	HM				2			-	2
3	A	HM	3'-0"	7'-0"	1 3/4"	F1	HM				2			1.	3
4	A	HM	3'-0"	7'-0"	1 3/4"	F1	HM				2			1.	4
5	A	HM	3'-0"	7'-0"	1 3/4"	F1	HM				3			-	5
6	A	HM	2'-10" 2'-10"	7'-0"	1 3/4"	F1	HM				1			1. 2.	6

DOOR SCHEDULE REMARKS:

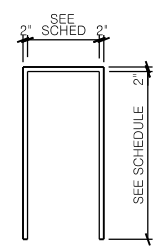
- 1. SET THRESHOLD IN A BEAD OF SEALANT
- 2. ACTIVE DOOR IS WEST DOOR

DOOR TYPES



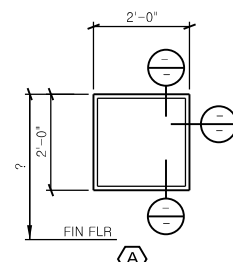
A
FLUSH

FRAME TYPES

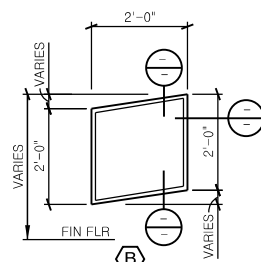


F1
2" x 5 3/4"
DOUBLE RABBET

WINDOW TYPES



A
ALUMINUM FIXED
w/ GLASS TYPE 'X'



B
ALUMINUM FIXED
w/ GLASS TYPE 'X'

ROOM FINISH SCHEDULE

ROOM NO	ROOM NAME	FLOOR	BASE	WALLS				CEILING		REMARKS	ROOM NO
				NORTH	EAST	SOUTH	WEST	MAT'L	HEIGHT		
101	CUSTODIAN	F1	B1	W2	W3	W1	W1	C2	-	-	101
102	MENS	F2	B2	W1.W2	W1	W2	W1.W2	C1	-	-	102
103	CHASE	F1	B1	W2	W3	W2	W3	C2	-	-	103
104	WOMENS	F2	B2	W2	W1	W2.W3	W1	C1	-	-	104
105	PLUMBING/ELECTRICAL	F1	B1	W2	W2	W2	W3	C2	-	-	105
106	STORAGE	F1	B1	W3	W3	W2	W3	C2	-	-	106

ROOM FINISH LEGEND:

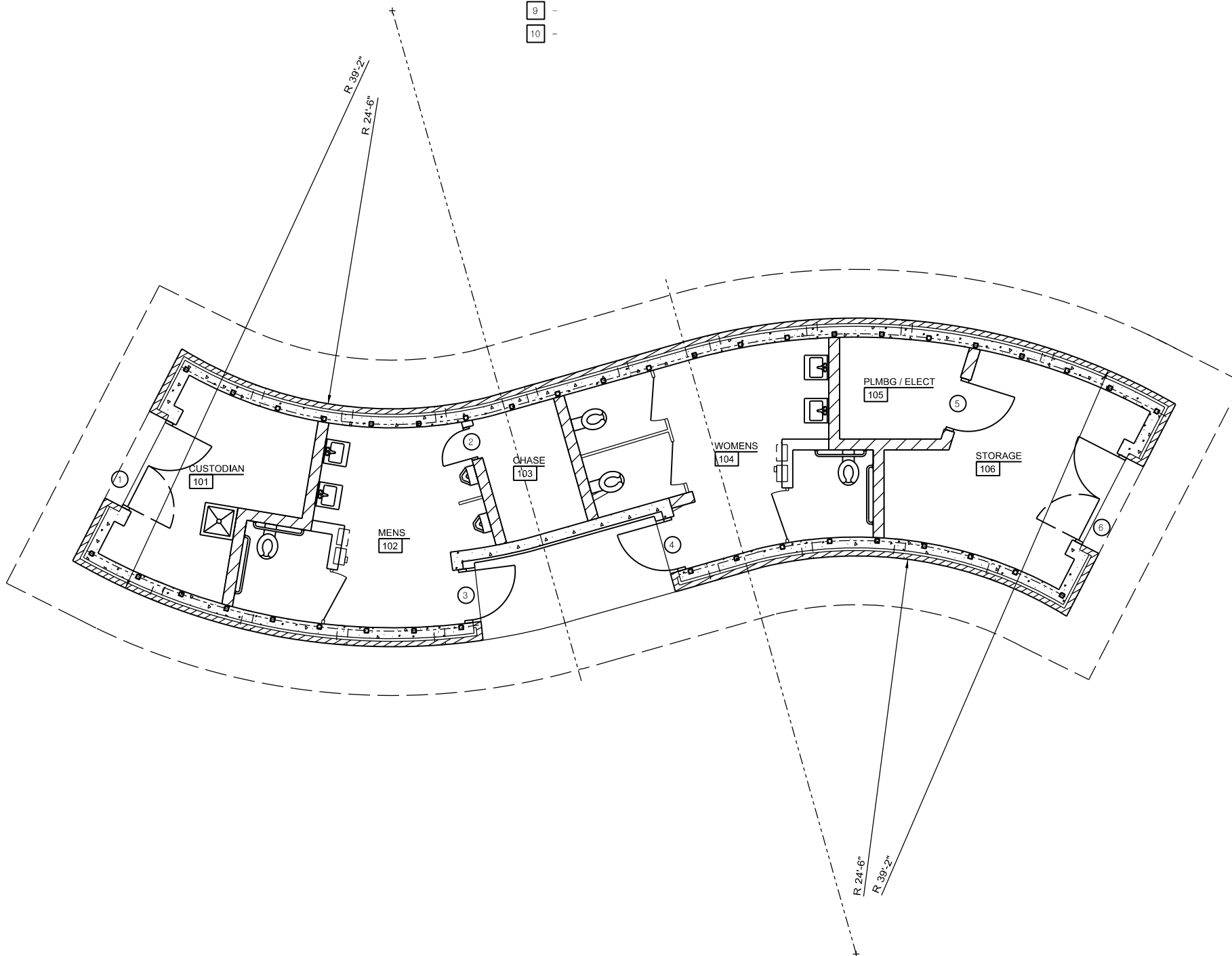
- FLOOR:**
 F1 CONCRETE WITH SEALER
 F2 CONCRETE WITH RESINOUS EPOXY FLOORING
- BASE:**
 B1 NONE
 B2 6" RESINOUS EPOXY BASE
- CEILING:**
 C1 EXPOSED STRUCTURE - STAIN
 C2 EXPOSED STRUCTURE
- WALLS:**
 W1 CONCRETE - PAINT & WOOD VENEER - STAIN
 W2 CONCRET BLOCK - PAINT
 W3 CONCRETE - PAINT

ROOM FINISH REMARKS:

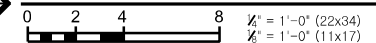
- 1.

FLOOR PLAN NOTES:

- 1
- 2
- 3
- 4
- 5
- 6
- 7
- 8
- 9
- 10

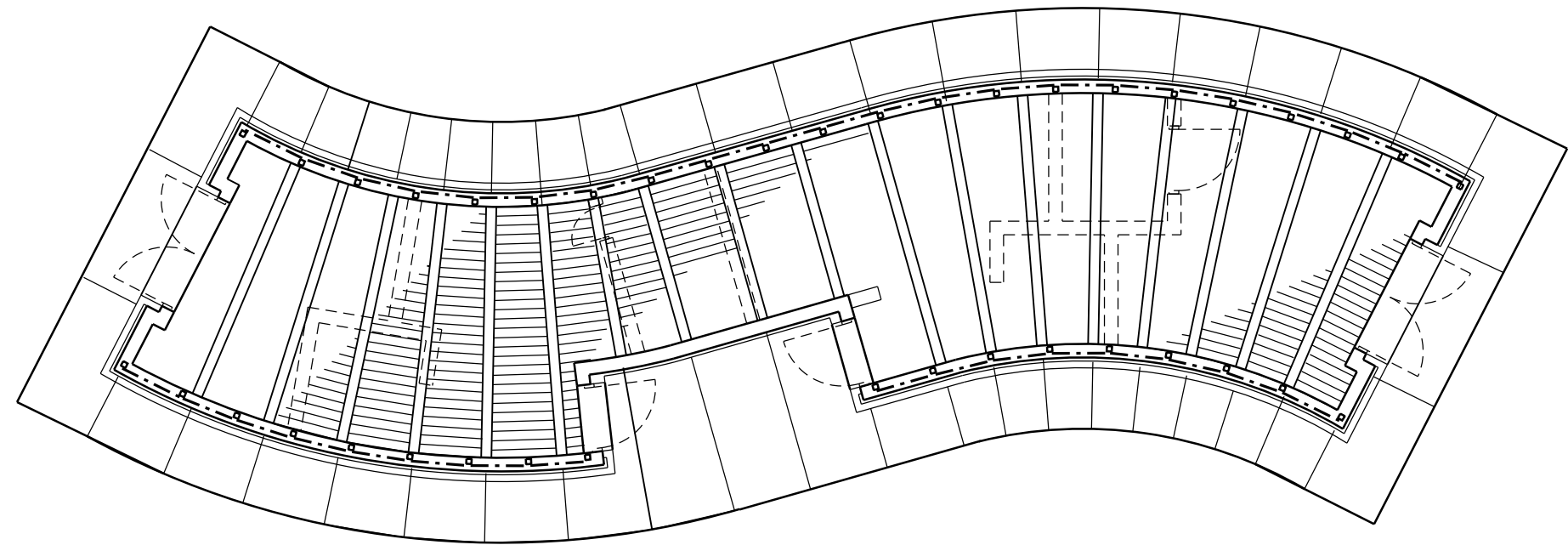


FLOOR PLAN



REFLECTED CEILING PLAN NOTES:

- 1 -
- 2 -
- 3 -
- 4 -
- 5 -
- 6 -
- 7 -
- 8 -
- 9 -
- 10 -

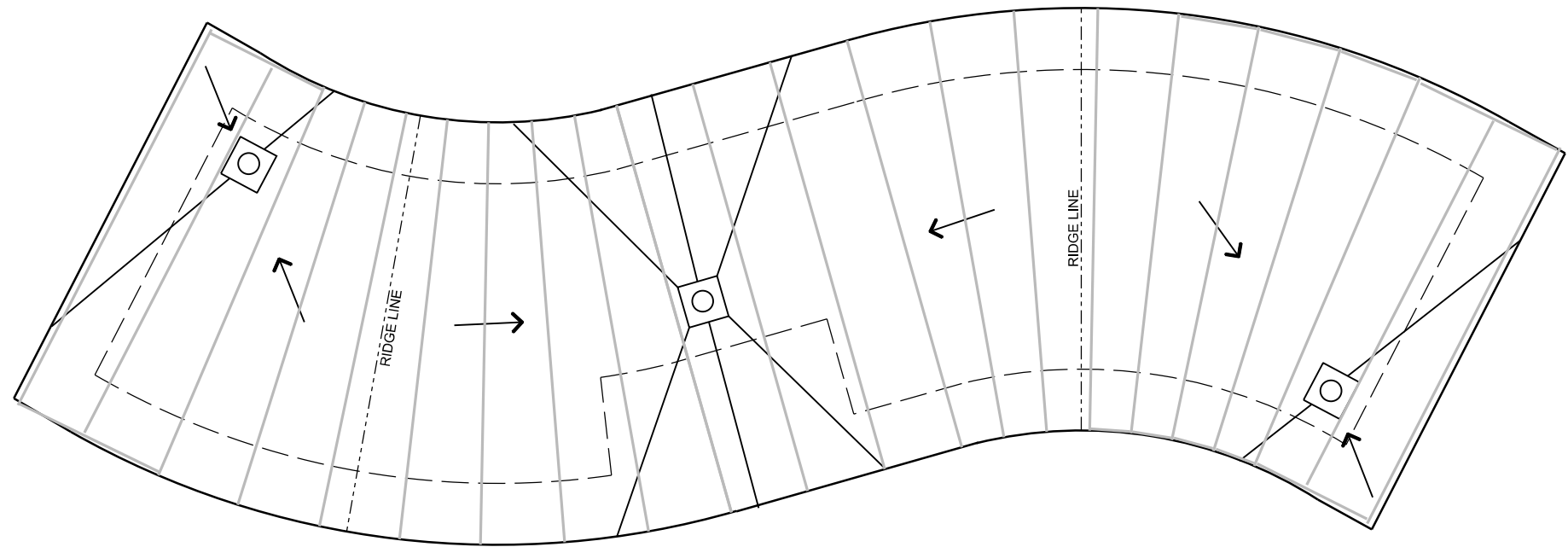


REFLECTED CEILING PLAN

0 2 4 8
 1/4" = 1'-0" (22x34)
 1/8" = 1'-0" (11x17)

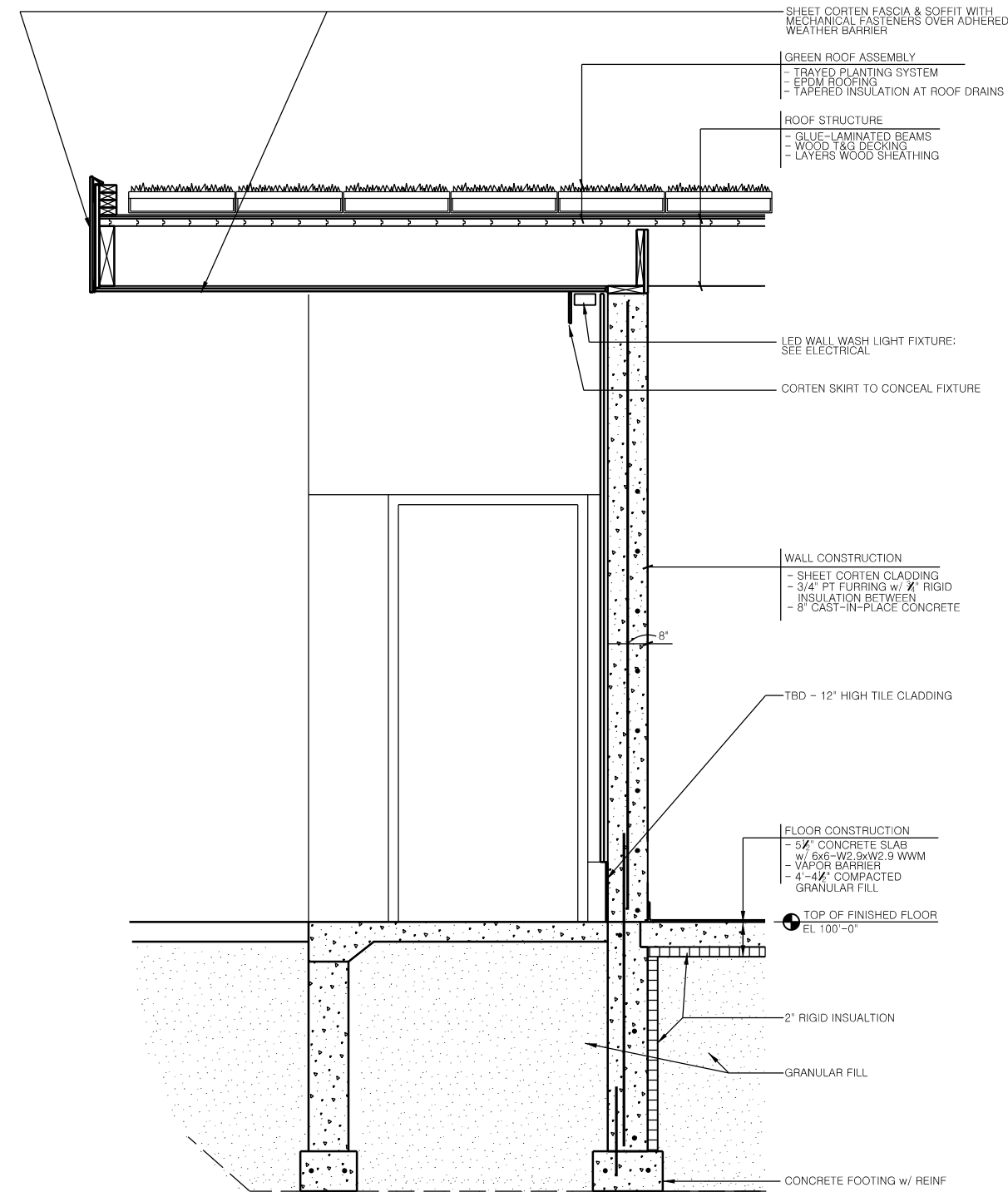
ROOF PLAN NOTES:

- 1 -
- 2 -
- 3 -
- 4 -
- 5 -
- 6 -
- 7 -
- 8 -
- 9 -
- 10 -



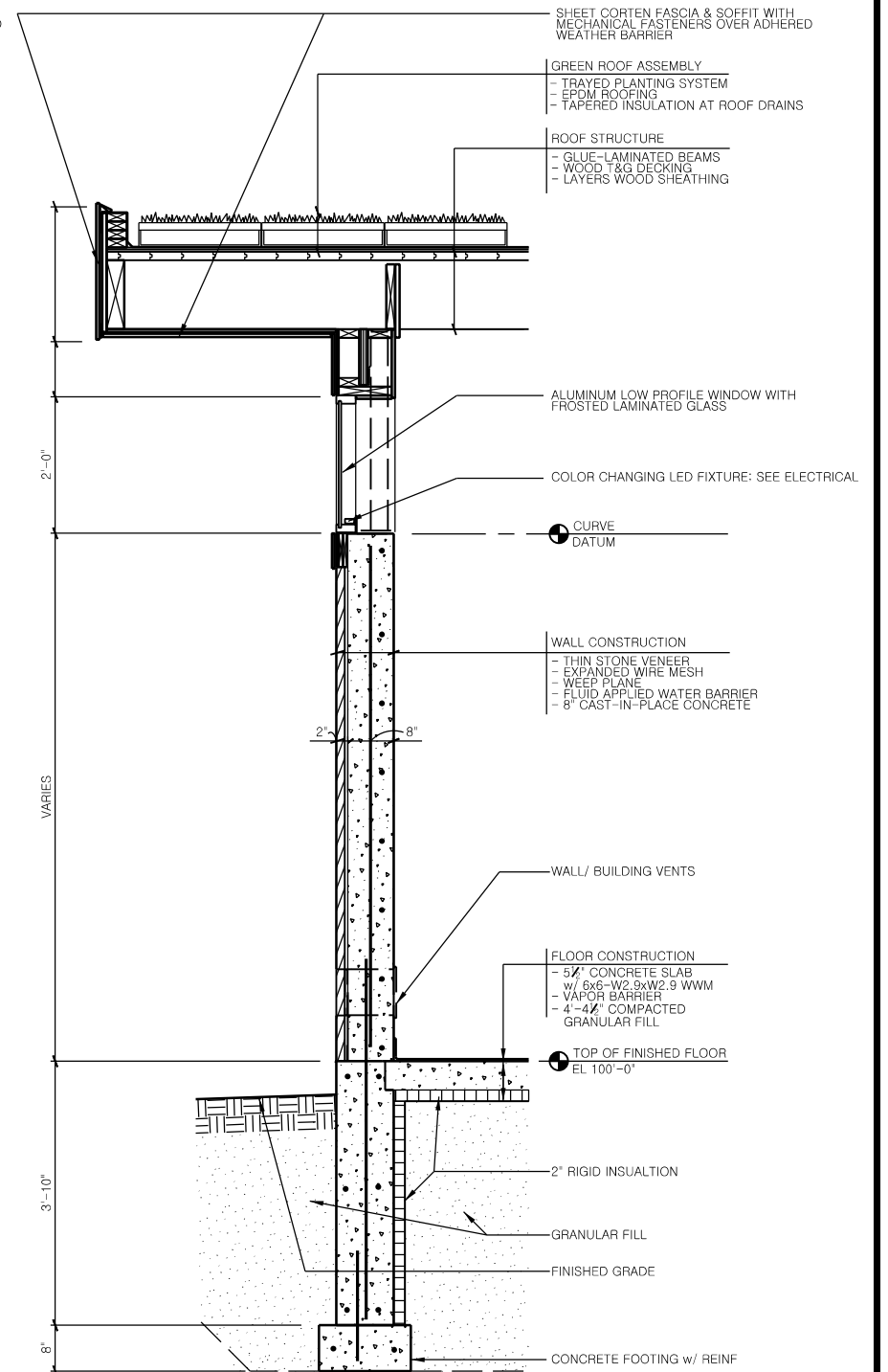
ROOF PLAN

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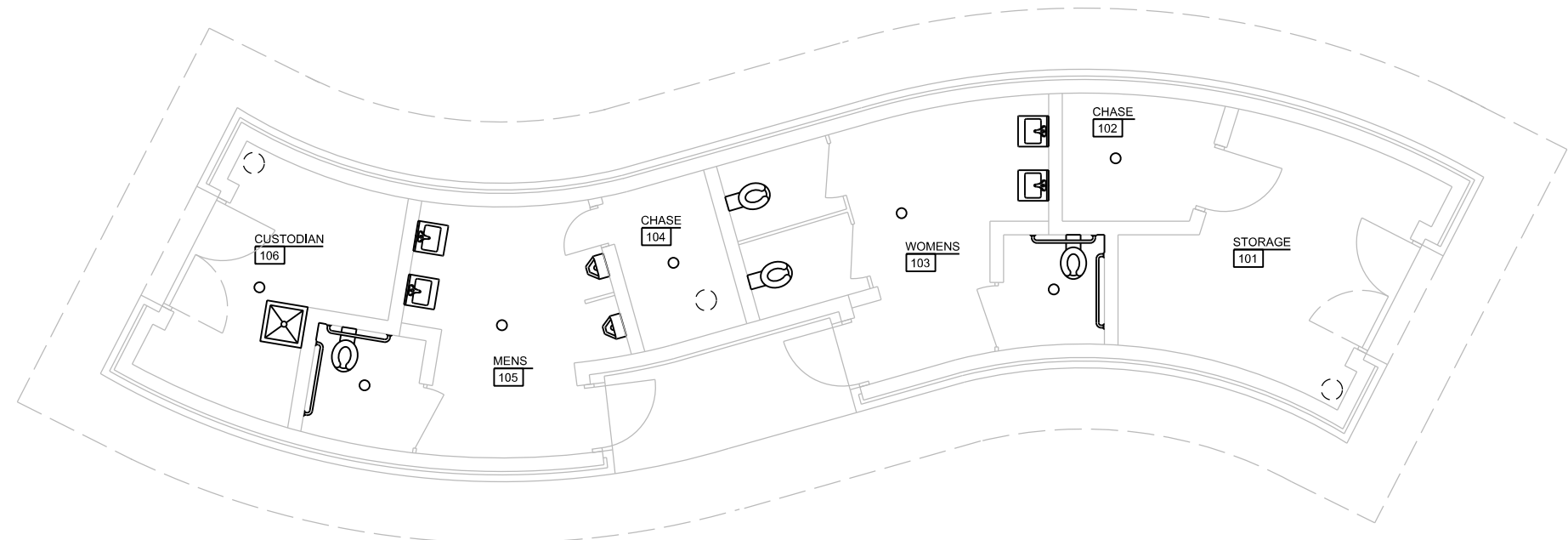
2 ENTRY ALCOVE WALL SECTION

0 6" 1" 2" 3" 3/8" = 1'-0" (22x34)
1/8" = 1'-0" (11x17)



1 TYPICAL EXTERIOR WALL SECTION

0 6" 1" 2" 3" 3/8" = 1'-0" (22x34)
1/8" = 1'-0" (11x17)

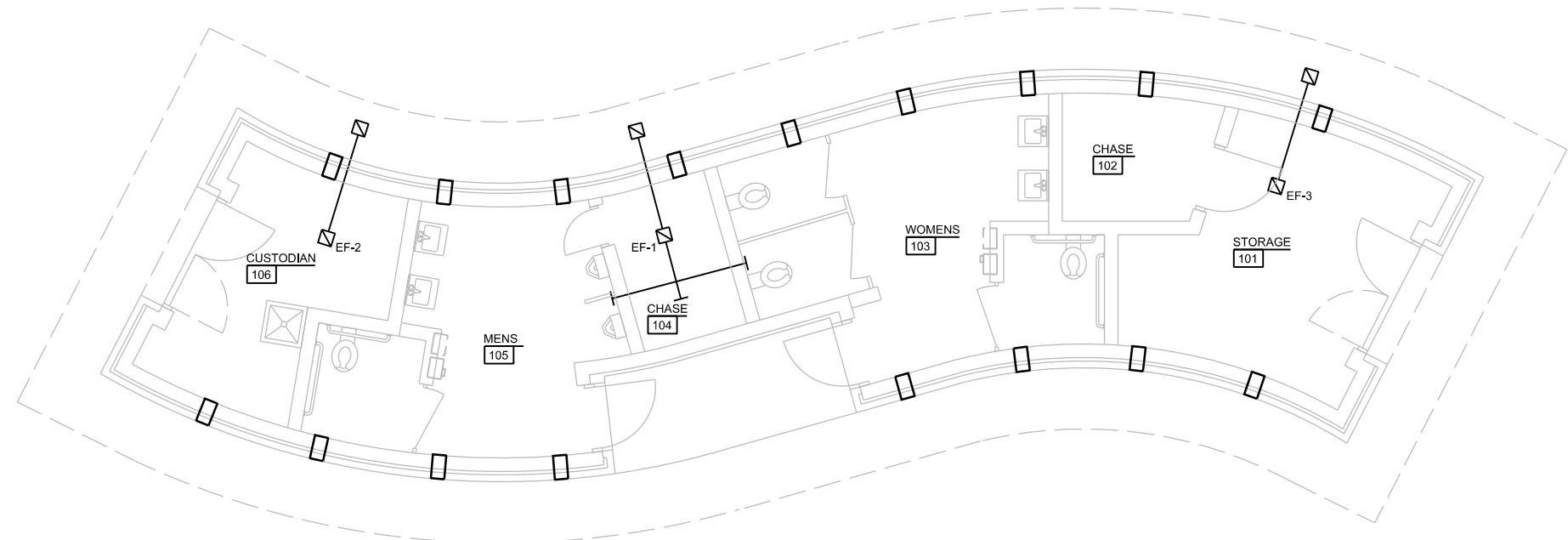


PLUMBING PLAN

0 2 4 8

1/4" = 1'-0" (22x34)
 1/8" = 1'-0" (11x17)

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VENTILATION PLAN

0 2 4 8
 1/4" = 1'-0" (22x34)
 1/8" = 1'-0" (11x17)