

# 1801 WASHINGTON

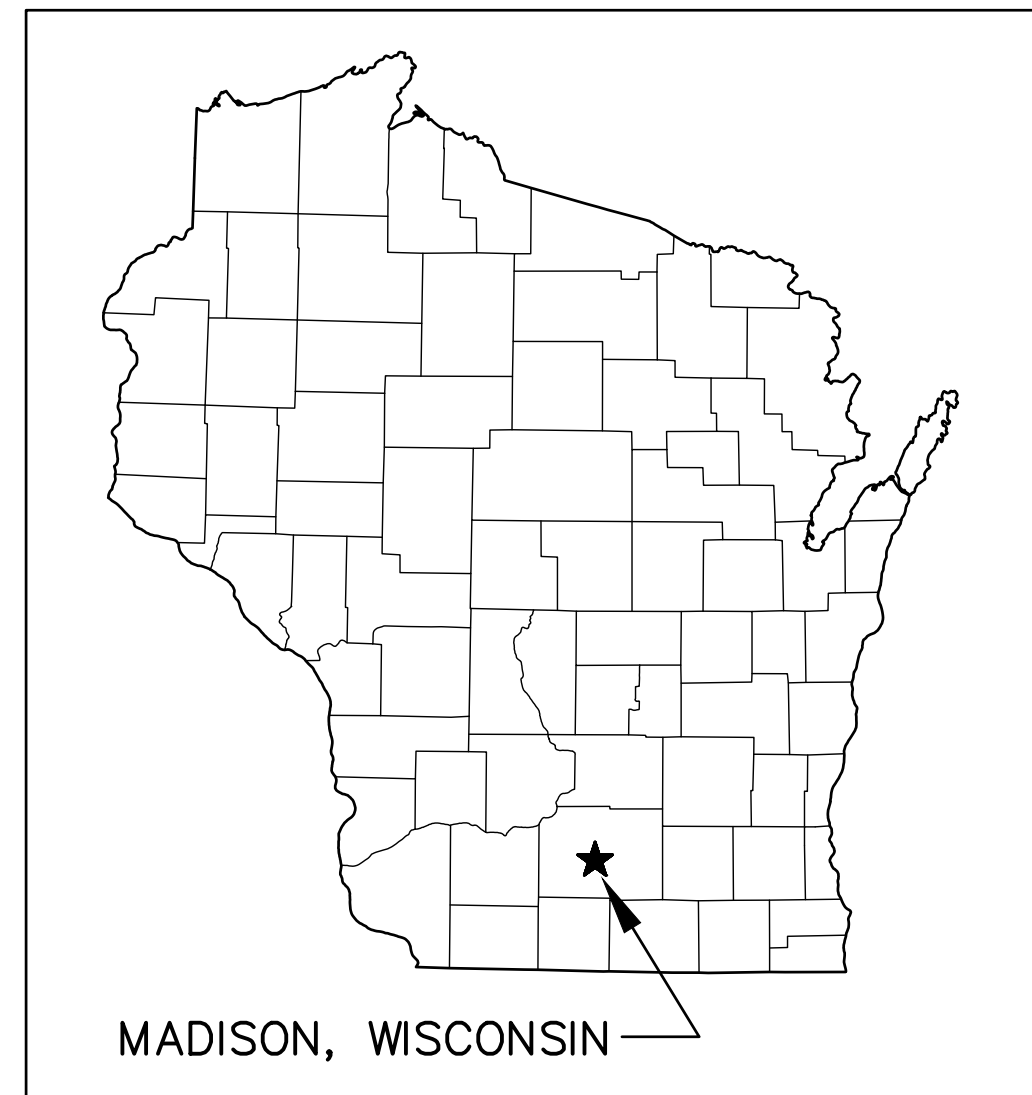
## 1801 EAST WASHINGTON AVENUE

### CITY OF MADISON

### DANE COUNTY, WISCONSIN

# SITE DEVELOPMENT PLANS

**PROPERTY DETAILS:**  
 ADDRESS: 1801 EAST WASHINGTON AVENUE  
 OWNER: CAMPBELL CAPITAL GROUP, LLC  
**LEGAL DESCRIPTION:**  
 Part of the southwest quarter of section six (6), and fractional lot two (2) of section seven (7) in township seven (7) north, range ten (10) east being a part of block two hundred seventy-five (275) of farwells replat and addition to the city of madison, bounded on the southwest by the yahara river, on the southeast by east main street, on the northwest by east washington avenue and of the northeast by a line drawn from a point on the southeasterly side of east washington avenue four hundred fifteen and two tenths (415.2) feet southwesterly from the north corner of said block where the southerly side of the right-of-way of the chicago & northwestern railway company intersects said block, thence easterly along the southerly line of said right-of-way to a point where a line drawn parallel with south first street two hundred fifty-one (251) feet southwesterly therefrom intersects said southerly line of said right-of-way; thence southeasterly parallel with south first street to a point on the northwesterly line of east main street two hundred fifty-one (251) feet from the east corner of said block, excepting therefrom a strip of land fifty (50) feet in width off the southwest end of said block immediately adjoining the northeast bank of said river, excepting therefrom those lands in award of compensation recorded october 11, 2005 as document no. 4119468 corrected by affidavit recorded september 12, 2006 as document no. 4233949.

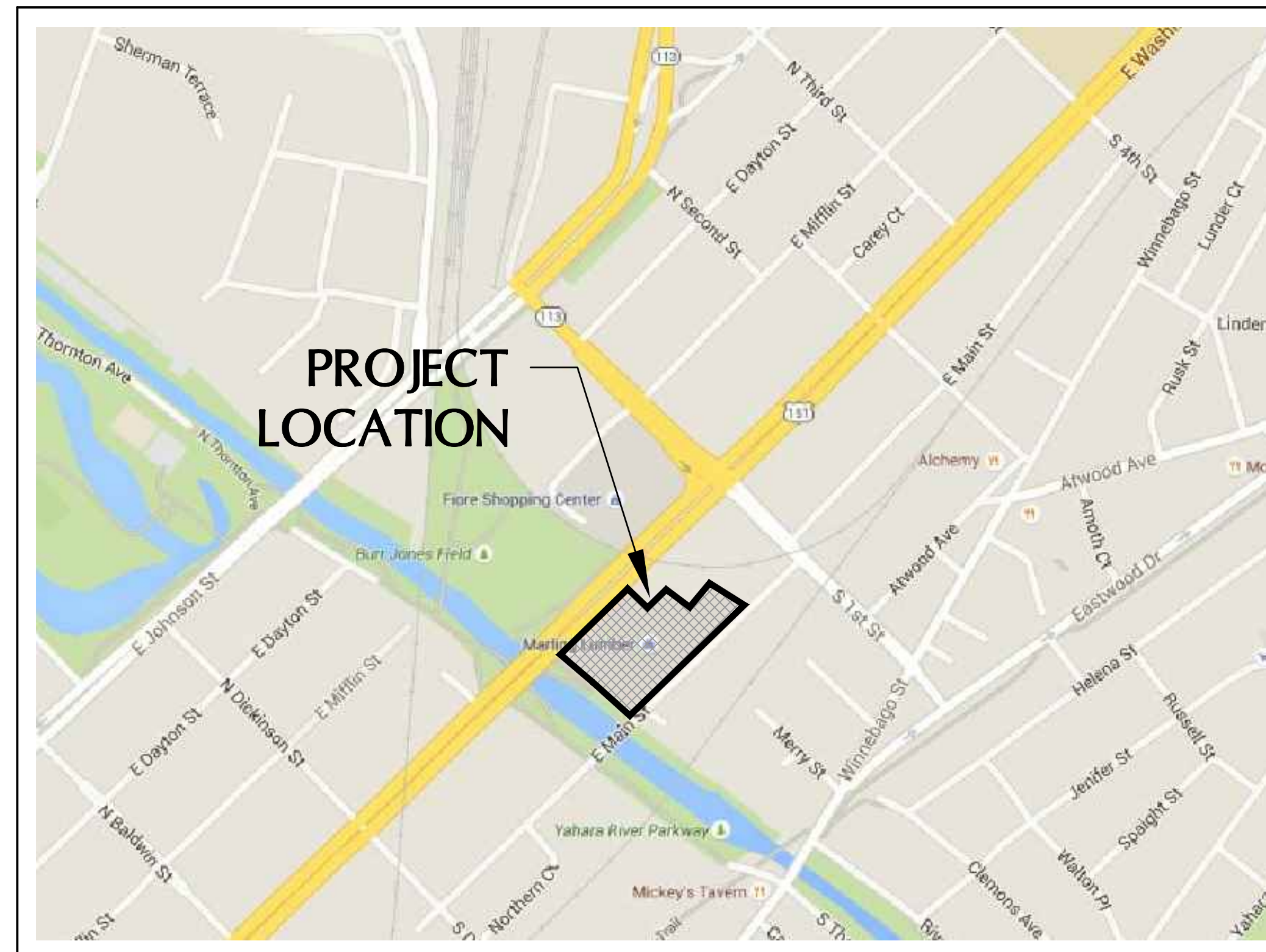


**OWNER/DEVELOPER:**  
 CAMPBELL CAPITAL GROUP, LLC  
 5887 GLENRIDGE DRIVE NE  
 SUITE 360  
 SANDY SPRINGS, GEORGIA 30328  
 PH.: 678.485.3672 (MOBILE)  
 E-MAIL: Mcampbell1@icloud.com

**CIVIL ENGINEER:**  
**R.A. Smith National**  
*Beyond Surveying  
 and Engineering*

**ARCHITECT:**  
 POOLE & POOLE ARCHITECTURE  
 3736 WINTERFIELD ROAD  
 SUITE 102  
 MIDLOTHIAN, VA 23113  
 PH.: 804-225-0215  
 E-MAIL: mpool@2pa.net

### VICINITY MAP



### PLAN INDEX

SHEET NO.	DESCRIPTION
C000	PROJECT INFORMATION
C001	ALTA SURVEY
C100	EROSION CONTROL & SITE DEMOLITION PLAN
C200	DIMENSIONED SITE PLAN
C300	GRADING PLAN
C400	UTILITY PLAN
L100	LANDSCAPE PLAN

MUNICIPAL REVIEW  
DOCUMENTS

NOT FOR  
CONSTRUCTION

PLAN DATE: FEBRUARY 10, 2016

REVISION	ISSUE DATE	ISSUED SHEETS	ISSUED FOR



16745 W. Bluemound Road, Brookfield, WI 53005-5938  
 262-781-1000 Fax 262-781-8466, www.rasmithnational.com  
 Appleton, WI Orange County, CA Pittsburgh, PA

DESCRIPTION

DATE

**R.A. Smith National**  
*Beyond Surveying  
 and Engineering*  
 www.rasmithnational.com

1801 WASHINGTON  
CITY OF MADISON, WI

PROJECT INFORMATION

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 DATE: 02/10/16  
 SCALE: NOT TO SCALE  
 JOB NO. 3150290  
 PROJECT MANAGER:  
 MICHAEL A. BACH, P.E.  
 DESIGNED BY: MAB  
 CHECKED BY: CDH

SHEET NUMBER  
 C000

# ALTA/ACSM LAND TITLE SURVEY WITH TOPOGRAPHIC DATA

Known as 1801 East Washington Avenue, in the City of Madison, Dane County Wisconsin.

That part of the Southwest quarter of Section Six (6), and fractional Lot Two (2) of Section Seven (7) in Township Seven (7) North, Range Ten (10) East being a part of Block Two Hundred Seventy-five (275) of Farwells Replat and Addition to the City of Madison, bounded on the southwest by the Yahara River, on the southeast by East Main Street, on the northwest by East Washington Avenue and of the northeast by a line drawn from a point on the southeasterly side of East Washington Avenue four hundred fifteen and two tenths (415.2) feet southwesterly from the north corner of said block where the southerly side of the right-of-way of the Chicago & Northwestern Railway Company intersects said block, thence easterly along the southerly line of said right-of-way to a point where a line drawn parallel with South First Street two hundred fifty-one (251) feet southwesterly therefrom intersects said southerly line of said right-of-way; thence southeasterly parallel with South First Street to a point on the northwesterly line of East Main Street two hundred fifty-one (251) feet from the east corner of said block, excepting therefrom a strip of land fifty (50) feet in width off the southwest end of said block immediately adjoining the northeast bank of said river. Excepting therefrom those lands in Award of Compensation recorded October 11, 2005 as Document No. 4119468 corrected by Affidavit recorded September 12, 2006 as Document No. 4233949.

Prepared for: Campbell Capital Group, LLC

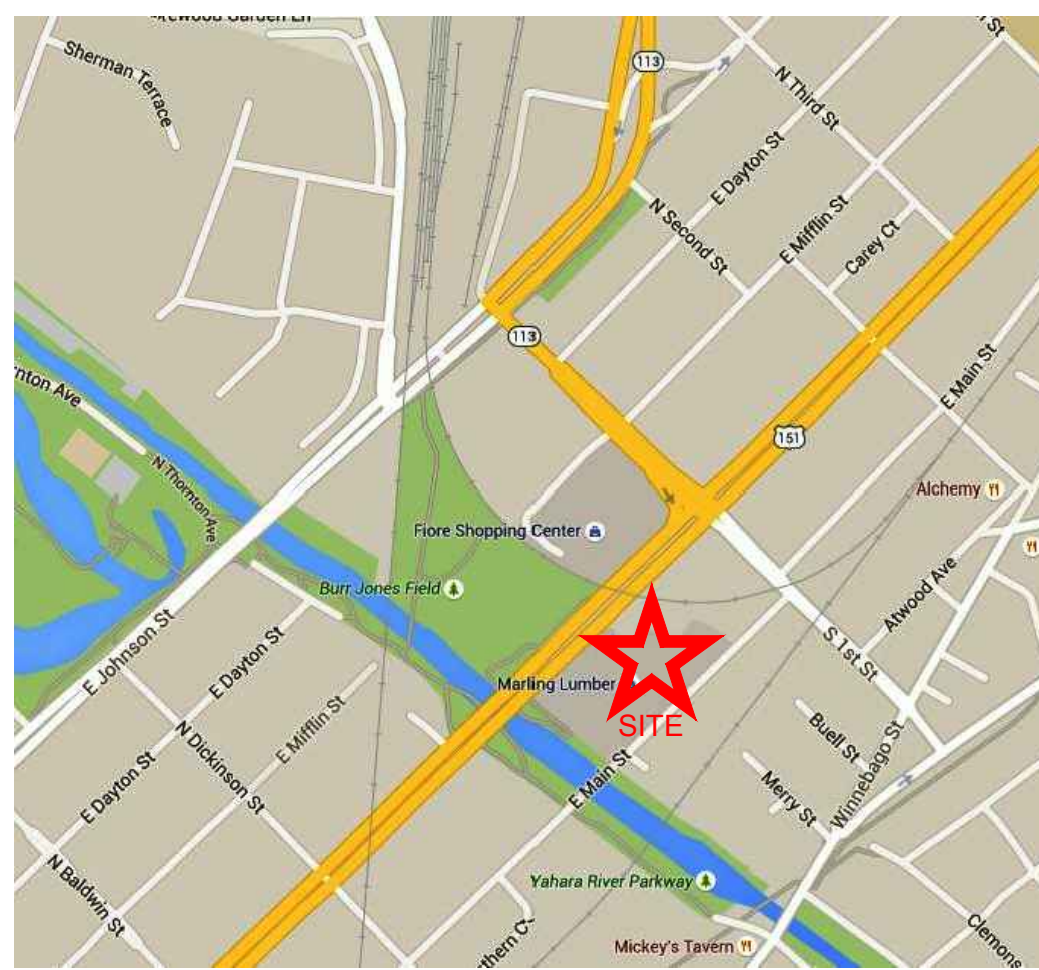
Survey No. 166475-BMJ

- A. **Basis of Bearings**  
Bearings are based on the South line of East Washington Avenue, which is assumed to bear North 45°58'04" East.
- B. **Title Commitment**  
This survey was prepared based on First American Title Insurance Company title commitment number NCS-735670-MAD, effective date of June 24, 2015, which lists the following easements and/or restrictions from schedule B-II:
- 1-3, 10. **Visible evidence shown, if any.**
- 4-9. **Not survey related.**
11. Rights and easements, if any, in and to any and all railroad switches, sidetracks, spur tracks and rights of way located upon or appurtenant to the subject premises. **Affects site by location - Spur tracks shown.**
12. Model Ground Use Restriction Agreement recorded December 3, 1997 as Document No. 2911960. **Affects site by location - General in nature, cannot be plotted.**
13. Grant of Right-of-way to Madison Gas and Electric Company recorded November 8, 1995 as Document No. 2717361. **Affects site by location - Shown.**
- C. **Flood Note**  
According to flood insurance rate map of the City of Madison, community panel number 55025C0428G, effective date of January 2, 2009, this site falls in zone X (areas determined to be outside the 0.2% annual chance floodplain)
- D. **Elevations**  
Elevations refer to NGVD 1929 Datum.

## LEGEND

- ( ) INDICATES RECORDED DIMENSION WHERE DIFFERENT FROM ACTUAL MEASUREMENT
- OR SECTION OR 1/4 SECTION CORNER AS DESCRIBED
- 1" DIA. IRON PIPE FOUND (UNLESS OTHERWISE NOTED)
- 1" DIA. IRON PIPE, 18" LONG-SET (UNLESS OTHERWISE NOTED)
- BOLLARD
- SOIL BORING/MONITORING WELL
- FLAGPOLE
- MAILBOX
- SIGN
- BILLBOARD
- AIR CONDITIONER
- CONTROL BOX
- TRAFFIC SIGNAL
- RAILROAD CROSSING SIGNAL
- CABLE PEDESTAL
- POWER POLE
- GUY POLE
- GUY WIRE
- LIGHT POLE
- SPOT/YARD/PEDESTAL LIGHT
- HANDICAPPED PARKING
- ELECTRIC MANHOLE
- ELECTRIC PEDESTAL
- ELECTRIC METER
- ELECTRIC TRANSFORMER
- TELEPHONE MANHOLE
- TELEPHONE PEDESTAL
- MARKED FIBER OPTIC
- GAS VALVE
- GAS METER
- GAS WARNING SIGN
- STORM MANHOLE
- ROUND INLET
- SQUARE INLET
- STORM SEWER END SECTION
- SANITARY MANHOLE
- SANITARY CLEANOUT OR SEPTIC VENT
- SANITARY INTERCEPTOR MANHOLE
- MISCELLANEOUS MANHOLE
- WATER VALVE
- HYDRANT
- WATER SERVICE CURB STOP
- WATER MANHOLE
- WELL
- WATER SURFACE
- WETLANDS FLAG
- MARSH
- CONIFEROUS TREE
- DECIDUOUS TREE
- SHRUB
- EDGE OF TREES
- S-SANITARY SEWER
- STO-STORM SEWER
- W-WATERMAIN
- G-MARKED GAS MAIN
- E-MARKED ELECTRIC
- OHW-OVERHEAD WIRES
- B-BUREAU ELEC. SERV.
- T-MARKED TELEPHONE
- TV-MARKED CABLE TV LINE
- FO-MARKED FIBER OPTIC
- INDICATES EXISTING CONTOUR ELEVATION
- INDICATES EXISTING SPOT ELEVATION

STARTING BENCHMARK:  
NW COR. OF NW 1/4  
SEC. 7-10, FOUND  
CONC. MON. W/BRASS  
CAP, EL=852.51'



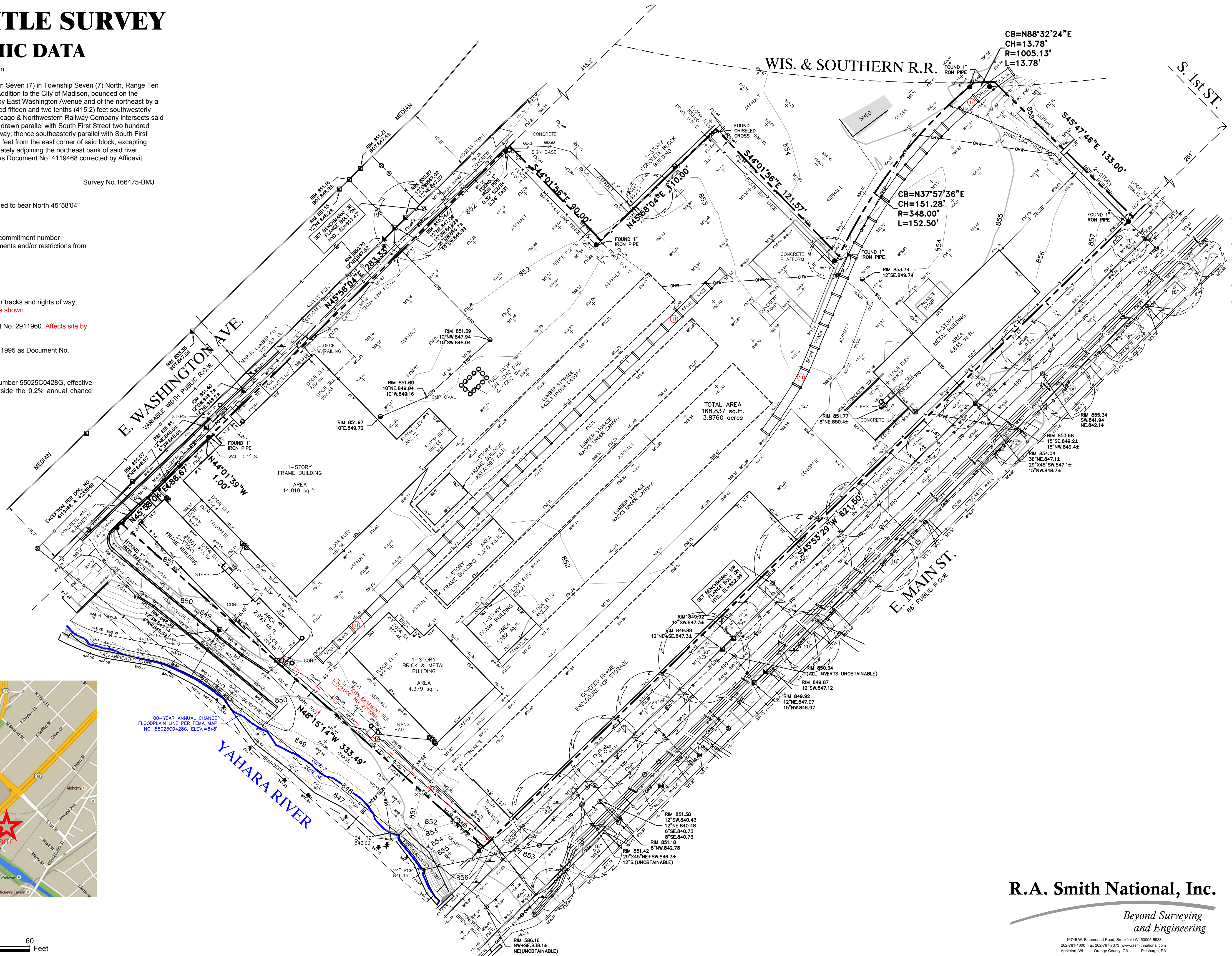
VICINITY MAP  
NOT TO SCALE



DIGGERS HOTLINE NO. 2015-29-10745

THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, UPON INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.

(P) INDICATES PIPE SIZES PER RECORD PLANS. OTHER PIPE SIZES ARE ESTIMATED. NO PIPE SIZES SHOULD BE RELIED UPON WITHOUT FURTHER VERIFICATION.



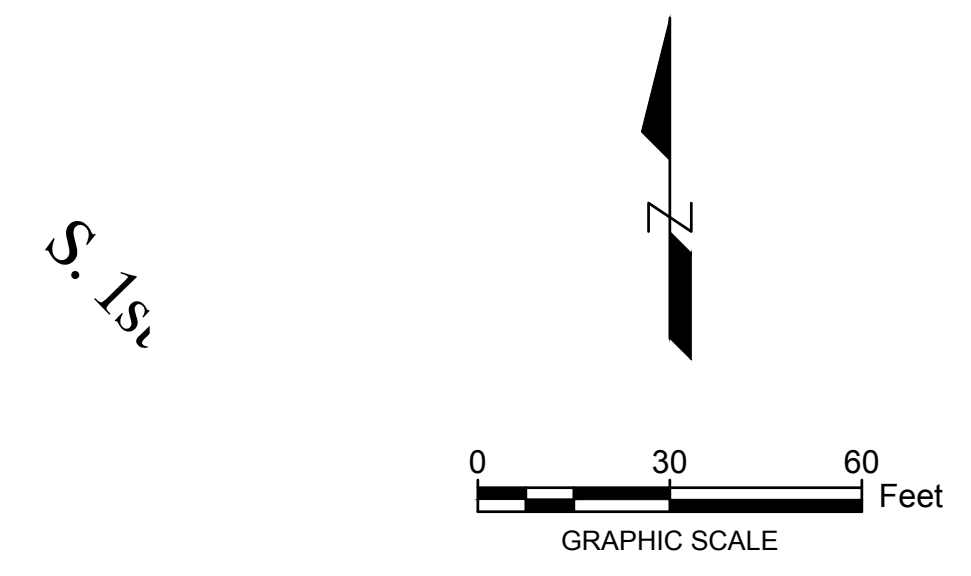
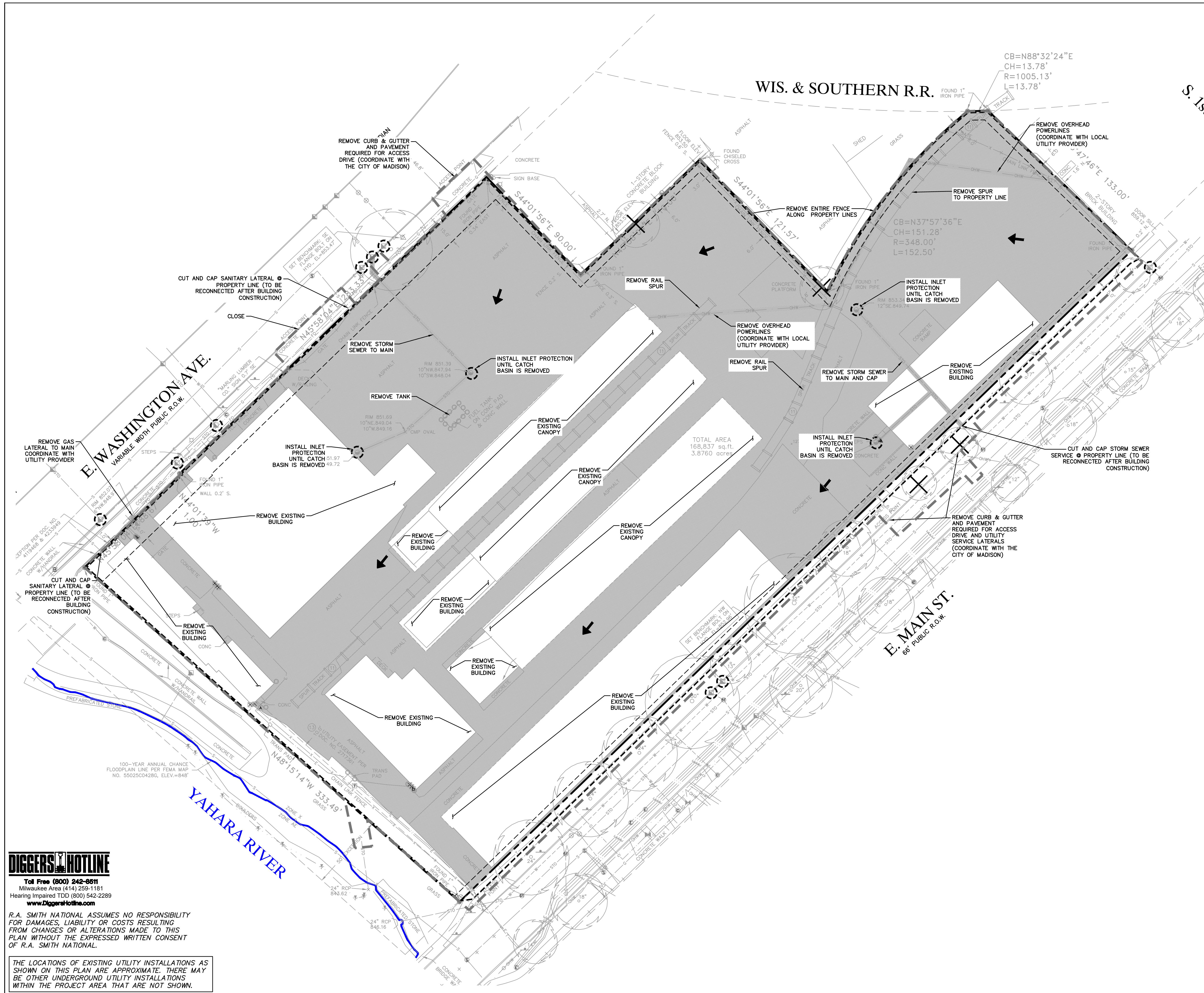
R.A. Smith National, Inc.

Beyond Surveying  
and Engineering

16745 W. Bluemound Road, Brookfield WI 53005-9938  
262-781-1000 Fax 262-797-7373, www.ra-smithnational.com  
Appleton, WI Orange County, CA Pittsburgh, PA  
P:\3150290.Dwg (6/14/20) (RAB) (MMP) COPY.dwg | ALTA

SHEET NUMBER C001 SHEET 1 OF 1

R.A. Smith National, Inc.



- LEGEND**
- 80- EXISTING 5-FT CONTOUR
  - 81- EXISTING 1-FT CONTOUR
  - - - - - LIMITS OF DISTURBANCE = 4.08 AC.
  - - - - - SILT FENCE OR STRAW WATTLE
  - ⊙ STORM SEWER INLET PROTECTION
  - UTILITY TO BE REMOVED
  - █ EXISTING PAVEMENT OR GRAVEL SURFACE TO BE REMOVED
  - ➔ OVERLAND FLOW PATH
  - ✕ TREE TO BE REMOVED

- CONSTRUCTION SEQUENCE**
1. INSTALL SILT FENCE AND/OR STRAW WATTLES AS SHOWN ON PLAN. MAINTAIN AS NECESSARY DURING CONSTRUCTION.
  2. INSTALL TRACKING PAD.
  3. BEGIN CLEARING AND GRUBBING OF SITE.
  4. STRIP ANY REMAINING TOPSOIL AND TEMPORARILY STOCKPILE ON SITE WHERE LOCALIZED DISTURBANCE ACTIVITIES OCCUR (EXCESS TO BE REMOVED FROM SITE ACCORDING TO GENERAL CONTRACTORS CONSTRUCTION PHASING PLAN).
  5. INSTALL TEMPORARY SEDIMENT TRAPS IN LOCALIZED AREAS OF GRADING ACTIVITIES.
  6. BEGIN CONSTRUCTION OF FOOTING AND FOUNDATION.
  7. PROCEED WITH UTILITY CONSTRUCTION.
  8. GRADE SITE AND PREPARE AGGREGATE BASE.
  9. STABILIZE DISTURBED GROUND WITH TEMPORARY SEED AND MULCH.
  10. INSTALL PAVEMENT SURFACE.
  11. INSTALL LANDSCAPING.
  12. CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION CONTROL BMPs WHEN DISTURBED AREAS ARE PERMANENTLY STABILIZED AND NO LONGER SUSCEPTIBLE TO EROSION.

- EROSION CONTROL NOTES**
1. EROSION CONTROL MEASURES MUST BE INSPECTED AND REPAIRED WEEKLY AND AFTER EACH RAIN TOTALING ONE-HALF INCH OR MORE.
  2. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD OR SIDEWALK SHALL BE REMOVED BY STREET CLEANING, OTHER THAN FLUSHING, IMMEDIATELY.
  3. CONTRACTOR SHALL KEEP A COPY OF THE EROSION CONTROL PLANS AT THE PROJECT SITE AND PROVIDE COMPLETED EROSION CONTROL CHECK SHEETS TO THE CONSTRUCTION INSPECTOR. CITY OF MADISON AND WDNR MAY REQUEST INSPECTION REPORTS AT ANY TIME.
  4. ALL EROSION CONTROL METHODS SHALL BE IN ACCORDANCE WITH WDNR TECHNICAL STANDARDS AND CITY OF MADISON REQUIREMENTS AND STANDARDS.
  5. ALL EXPOSED SOIL AREAS NOT DISTURBED FOR UP TO SEVEN DAYS SHALL BE IMMEDIATELY RESTORED WITH SEED AND MULCH.
  6. COPIES OF THE INSPECTION REPORTS SHALL BE KEPT AT THE PROJECT SITE FOR CITY OR WDNR ACCESS.
  7. SEDIMENT TRAPS ARE APPROXIMATE AND ARE SUBJECT TO CHANGE DEPENDING ON CONTRACTOR GRADING AND CONSTRUCTION SEQUENCE.
  8. SEDIMENT TRAPS ARE TO BE DESIGNED, CONSTRUCTED, AND OPERATED ACCORDING TO WDNR STANDARD 1064.
  9. TEMPORARY GRADING METHODS SHALL BE USED TO DIRECT WATER TO TEMPORARY SEDIMENT TRAPS.
  10. DEWATERING AS NEEDED TO BE DONE ACCORDING TO WDNR STANDARD 1061.
  11. DISTURBED AREAS THAT CANNOT BE STABILIZED WITH A DENSE GROWTH OF VEGETATION BY SEEDING AND MULCHING DUE TO TEMPERATURE (WINTER) OR TIMING OF CONSTRUCTION, SHALL BE STABILIZED BY APPLYING ANIONIC POLYACRYLAMIDE (PAM) IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1050.
  12. CONTRACTOR IS RESPONSIBLE FOR EROSION CONTROL MEASURES AND PERFORMING MAINTENANCE THROUGHOUT THE DURATION OF CONSTRUCTION ACTIVITIES.

DESCRIPTION

**R.A. Smith National**  
*Beyond Surveying and Engineering*  
 www.rasmithnational.com

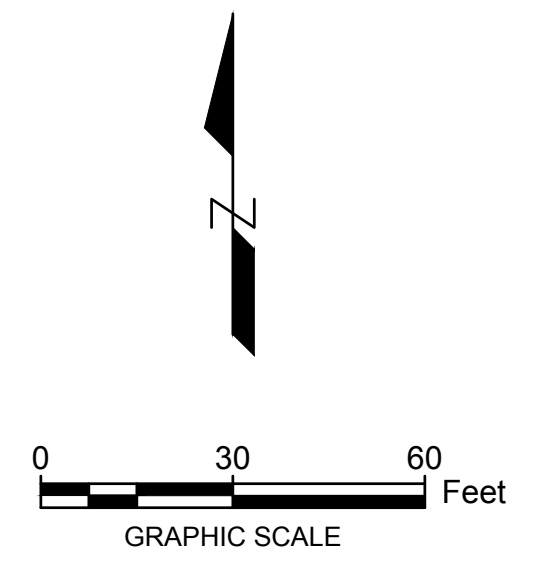
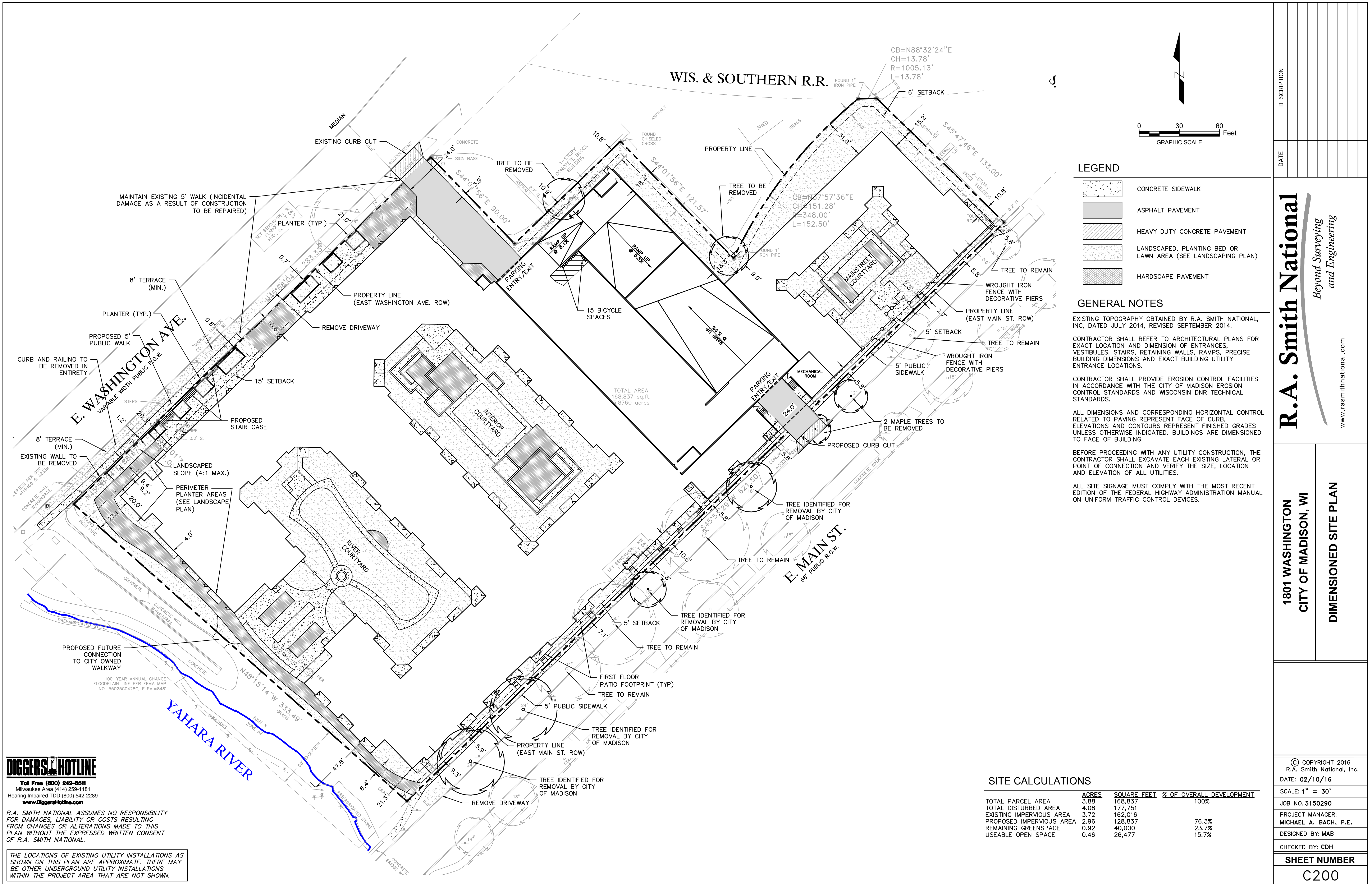
1801 WASHINGTON  
 CITY OF MADISON, WI  
 EROSION CONTROL &  
 SITE DEMOLITION PLAN

**DIGGERS HOTLINE**  
 Toll Free (800) 242-8811  
 Milwaukee Area (414) 259-1181  
 Hearing Impaired TDD (800) 542-2289  
 www.DiggersHotline.com

R.A. SMITH NATIONAL ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A. SMITH NATIONAL.

THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

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DATE: 02/10/16
SCALE: 1" = 30'
JOB NO. 3150290
PROJECT MANAGER: MICHAEL A. BACH, P.E.
DESIGNED BY: AJS
CHECKED BY: CDH
<b>SHEET NUMBER</b>
C100



**LEGEND**

- CONCRETE SIDEWALK
- ASPHALT PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- LANDSCAPED, PLANTING BED OR LAWN AREA (SEE LANDSCAPING PLAN)
- HARDSCAPE PAVEMENT

**GENERAL NOTES**

EXISTING TOPOGRAPHY OBTAINED BY R.A. SMITH NATIONAL, INC, DATED JULY 2014, REVISED SEPTEMBER 2014.

CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSION OF ENTRANCES, VESTIBULES, STAIRS, RETAINING WALLS, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.

CONTRACTOR SHALL PROVIDE EROSION CONTROL FACILITIES IN ACCORDANCE WITH THE CITY OF MADISON EROSION CONTROL STANDARDS AND WISCONSIN DNR TECHNICAL STANDARDS.

ALL DIMENSIONS AND CORRESPONDING HORIZONTAL CONTROL RELATED TO PAVING REPRESENT FACE OF CURB, ELEVATIONS AND CONTOURS REPRESENT FINISHED GRADES UNLESS OTHERWISE INDICATED. BUILDINGS ARE DIMENSIONED TO FACE OF BUILDING.

BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE SIZE, LOCATION AND ELEVATION OF ALL UTILITIES.

ALL SITE SIGNAGE MUST COMPLY WITH THE MOST RECENT EDITION OF THE FEDERAL HIGHWAY ADMINISTRATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

**SITE CALCULATIONS**

	ACRES	SQUARE FEET	% OF OVERALL DEVELOPMENT
TOTAL PARCEL AREA	3.88	168,837	100%
TOTAL DISTURBED AREA	4.08	177,751	
EXISTING IMPERVIOUS AREA	3.72	162,016	
PROPOSED IMPERVIOUS AREA	2.96	128,837	76.3%
REMAINING GREENSPACE	0.92	40,000	23.7%
USEABLE OPEN SPACE	0.46	26,477	15.7%

**DIGGERS HOTLINE**  
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Milwaukee Area (414) 259-1181  
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DATE

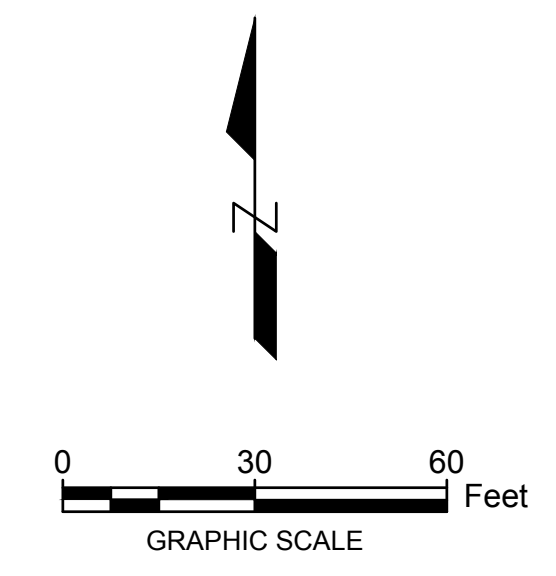
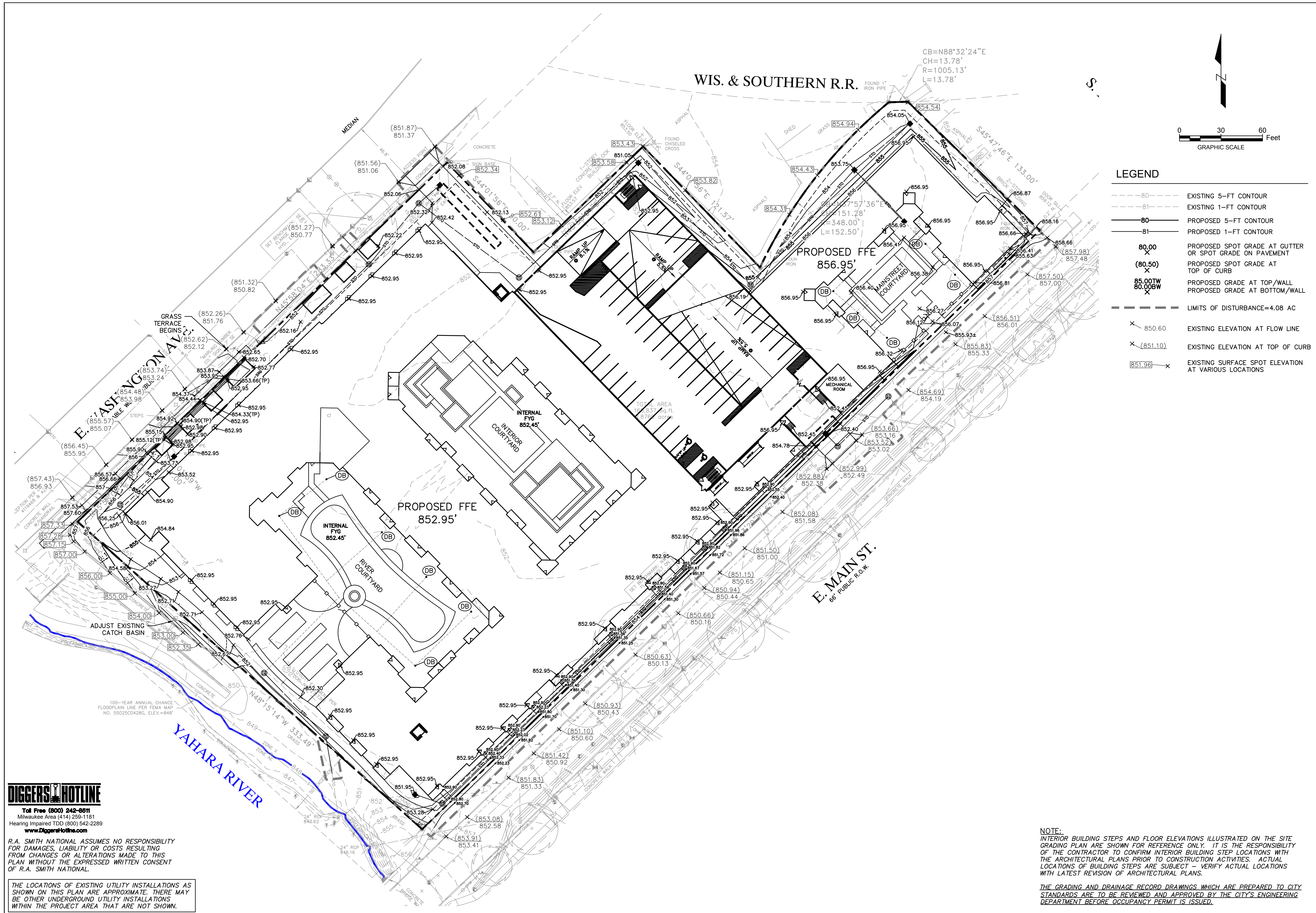
**R.A. Smith National**  
*Beyond Surveying and Engineering*

www.rasmithnational.com

**1801 WASHINGTON  
CITY OF MADISON, WI**

**DIMENSIONED SITE PLAN**

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DATE: 02/10/16
SCALE: 1" = 30'
JOB NO. 3150290
PROJECT MANAGER: MICHAEL A. BACH, P.E.
DESIGNED BY: MAB
CHECKED BY: CDH
<b>SHEET NUMBER</b>
C200



**LEGEND**

---	EXISTING 5-FT CONTOUR
---	EXISTING 1-FT CONTOUR
---	PROPOSED 5-FT CONTOUR
---	PROPOSED 1-FT CONTOUR
80.00	PROPOSED SPOT GRADE AT GUTTER OR SPOT GRADE ON PAVEMENT
(80.50)	PROPOSED SPOT GRADE AT TOP OF CURB
85.00TW 80.00BW	PROPOSED GRADE AT TOP/WALL PROPOSED GRADE AT BOTTOM/WALL
---	LIMITS OF DISTURBANCE=4.08 AC
x	EXISTING ELEVATION AT FLOW LINE
x	EXISTING ELEVATION AT TOP OF CURB
x	EXISTING SURFACE SPOT ELEVATION AT VARIOUS LOCATIONS

DATE	DESCRIPTION

**R.A. Smith National**  
*Beyond Surveying  
 and Engineering*  
 www.rasmithnational.com

**1801 WASHINGTON  
 CITY OF MADISON, WI**

**GRADING PLAN**

**DIGGERS HOTLINE**  
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 Milwaukee Area (414) 259-1181  
 Hearing Impaired TDD (800) 542-2289  
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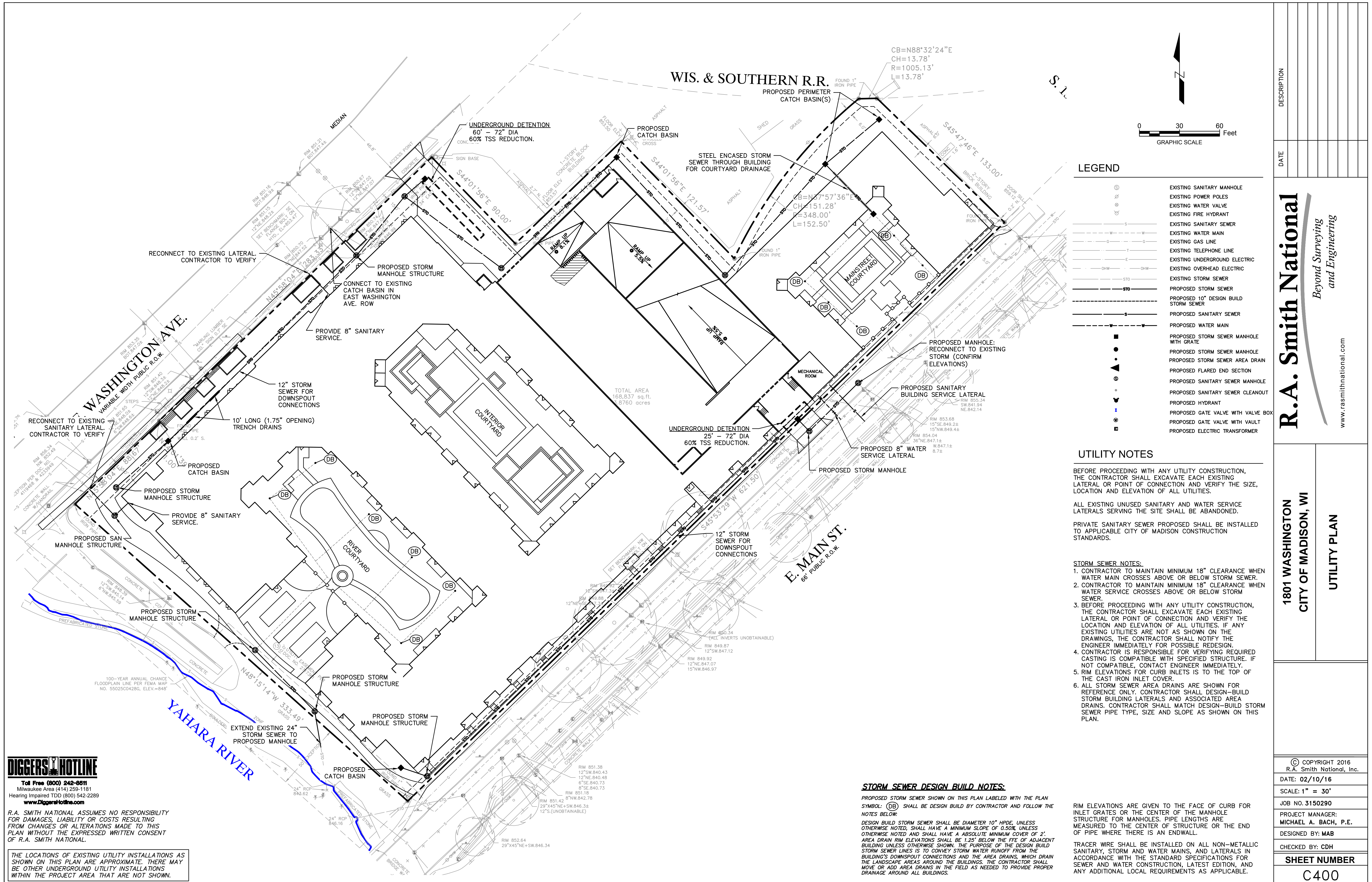
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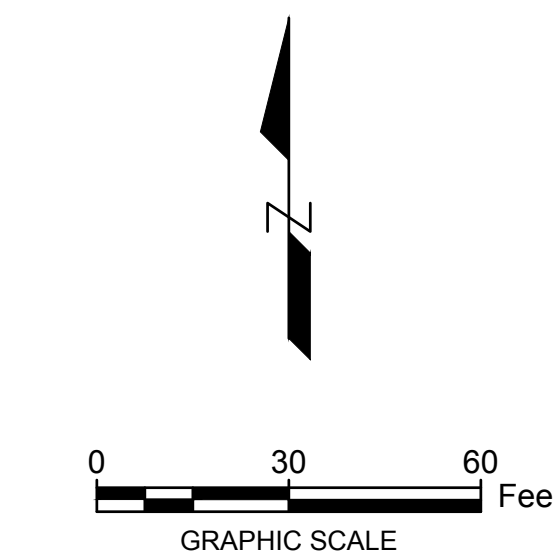
**NOTE:**  
 INTERIOR BUILDING STEPS AND FLOOR ELEVATIONS ILLUSTRATED ON THE SITE GRADING PLAN ARE SHOWN FOR REFERENCE ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONFIRM INTERIOR BUILDING STEP LOCATIONS WITH THE ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION ACTIVITIES. ACTUAL LOCATIONS OF BUILDING STEPS ARE SUBJECT - VERIFY ACTUAL LOCATIONS WITH LATEST REVISION OF ARCHITECTURAL PLANS.

THE GRADING AND DRAINAGE RECORD DRAWINGS WHICH ARE PREPARED TO CITY STANDARDS ARE TO BE REVIEWED AND APPROVED BY THE CITY'S ENGINEERING DEPARTMENT BEFORE OCCUPANCY PERMIT IS ISSUED.

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DATE: 02/10/16
SCALE: 1" = 30'
JOB NO. 3150290
PROJECT MANAGER: MICHAEL A. BACH, P.E.
DESIGNED BY: MAB
CHECKED BY: CDH
<b>SHEET NUMBER</b>
<b>C300</b>



# WIS. & SOUTHERN R.R. PROPOSED PERIMETER CATCH BASIN(S)



## LEGEND

- EXISTING SANITARY MANHOLE
- EXISTING POWER POLES
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- EXISTING SANITARY SEWER
- EXISTING WATER MAIN
- EXISTING GAS LINE
- EXISTING TELEPHONE LINE
- EXISTING UNDERGROUND ELECTRIC
- EXISTING OVERHEAD ELECTRIC
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- PROPOSED 10" DESIGN BUILD STORM SEWER
- PROPOSED SANITARY SEWER
- PROPOSED WATER MAIN
- PROPOSED STORM SEWER MANHOLE WITH GRATE
- PROPOSED STORM SEWER MANHOLE
- PROPOSED STORM SEWER AREA DRAIN
- PROPOSED FLARED END SECTION
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED SANITARY SEWER CLEANOUT
- PROPOSED HYDRANT
- PROPOSED GATE VALVE WITH VALVE BOX
- PROPOSED GATE VALVE WITH VAULT
- PROPOSED ELECTRIC TRANSFORMER

## UTILITY NOTES

BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE SIZE, LOCATION AND ELEVATION OF ALL UTILITIES.

ALL EXISTING UNUSED SANITARY AND WATER SERVICE LATERALS SERVING THE SITE SHALL BE ABANDONED.

PRIVATE SANITARY SEWER PROPOSED SHALL BE INSTALLED TO APPLICABLE CITY OF MADISON CONSTRUCTION STANDARDS.

### STORM SEWER NOTES:

1. CONTRACTOR TO MAINTAIN MINIMUM 18" CLEARANCE WHEN WATER MAIN CROSSES ABOVE OR BELOW STORM SEWER.
2. CONTRACTOR TO MAINTAIN MINIMUM 18" CLEARANCE WHEN WATER SERVICE CROSSES ABOVE OR BELOW STORM SEWER.
3. BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES. IF ANY EXISTING UTILITIES ARE NOT AS SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY FOR POSSIBLE REDESIGN.
4. CONTRACTOR IS RESPONSIBLE FOR VERIFYING REQUIRED CASTING IS COMPATIBLE WITH SPECIFIED STRUCTURE. IF NOT COMPATIBLE, CONTACT ENGINEER IMMEDIATELY.
5. RIM ELEVATIONS FOR CURB INLETS IS TO THE TOP OF THE CAST IRON INLET COVER.
6. ALL STORM SEWER AREA DRAINS ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL DESIGN-BUILD STORM BUILDING LATERALS AND ASSOCIATED AREA DRAINS. CONTRACTOR SHALL MATCH DESIGN-BUILD STORM SEWER PIPE TYPE, SIZE AND SLOPE AS SHOWN ON THIS PLAN.

### STORM SEWER DESIGN BUILD NOTES:

PROPOSED STORM SEWER SHOWN ON THIS PLAN LABELED WITH THE PLAN SYMBOL: **(DB)** SHALL BE DESIGN BUILD BY CONTRACTOR AND FOLLOW THE NOTES BELOW:  
 DESIGN BUILD STORM SEWER SHALL BE DIAMETER 10" HPDE, UNLESS OTHERWISE NOTED, SHALL HAVE A MINIMUM SLOPE OF 0.50% UNLESS OTHERWISE NOTED AND SHALL HAVE A ABSOLUTE MINIMUM COVER OF 2'. AREA DRAIN RIM ELEVATIONS SHALL BE 1.25' BELOW THE FFE OF ADJACENT BUILDING UNLESS OTHERWISE SHOWN. THE PURPOSE OF THE DESIGN BUILD STORM SEWER LINES IS TO CONVEY STORM WATER RUNOFF FROM THE BUILDING'S DOWNSPOUT CONNECTIONS AND THE AREA DRAINS, WHICH DRAIN THE LANDSCAPE AREAS AROUND THE BUILDINGS. THE CONTRACTOR SHALL MOVE OR ADD AREA DRAINS IN THE FIELD AS NEEDED TO PROVIDE PROPER DRAINAGE AROUND ALL BUILDINGS.

RIM ELEVATIONS ARE GIVEN TO THE FACE OF CURB FOR INLET GRATES OR THE CENTER OF THE MANHOLE STRUCTURE FOR MANHOLES. PIPE LENGTHS ARE MEASURED TO THE CENTER OF STRUCTURE OR THE END OF PIPE WHERE THERE IS AN ENDWALL.

TRACER WIRE SHALL BE INSTALLED ON ALL NON-METALLIC SANITARY, STORM AND WATER MAINS, AND LATERALS IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION, LATEST EDITION, AND ANY ADDITIONAL LOCAL REQUIREMENTS AS APPLICABLE.



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THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

DATE	DESCRIPTION

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**1801 WASHINGTON  
 CITY OF MADISON, WI**

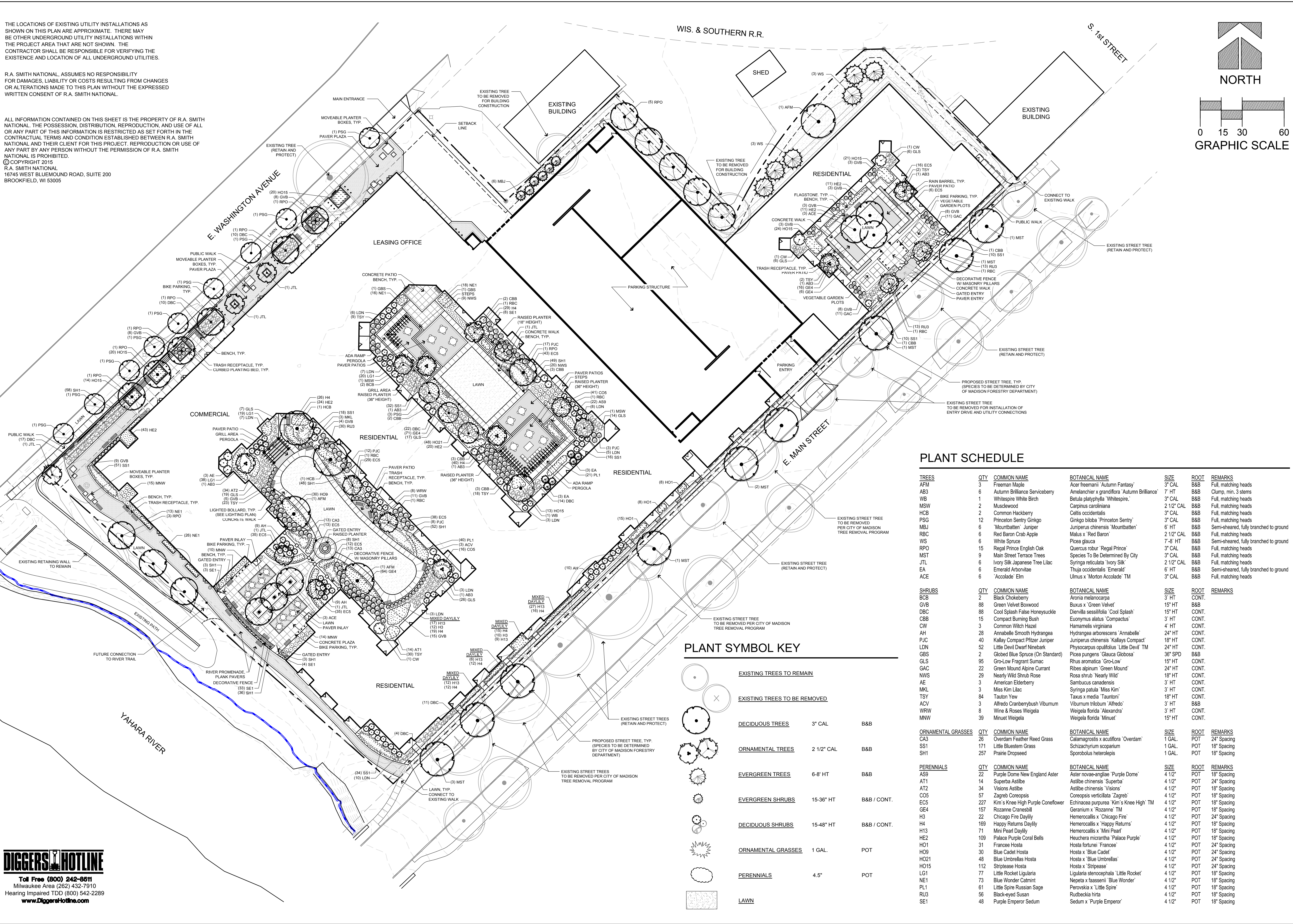
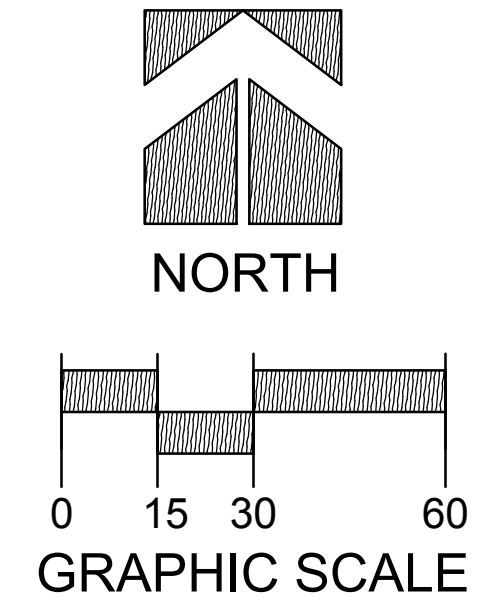
**UTILITY PLAN**

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 DATE: 02/10/16  
 SCALE: 1" = 30'  
 JOB NO. 3150290  
 PROJECT MANAGER:  
 MICHAEL A. BACH, P.E.  
 DESIGNED BY: MAB  
 CHECKED BY: CDH  
 SHEET NUMBER  
 C400

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**PLANT SCHEDULE**

TREES	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
AFM	3	Freeman Maple	Acer freemanii 'Autumn Fantasy'	3" CAL	B&B	Full, matching heads
AB3	6	Autumn Brilliance Serviceberry	Amelanchier x grandiflora 'Autumn Brilliance'	7" HT	B&B	Clump, min. 3 stems
WB	1	Whitespire White Birch	Betula platyphylla 'Whitespire.'	3" CAL	B&B	Full, matching heads
MSW	2	Musclewood	Carpinus caroliniana	2 1/2" CAL	B&B	Full, matching heads
HCB	2	Common Hackberry	Celtis occidentalis	3" CAL	B&B	Full, matching heads
PSG	12	Princeton Sentry Ginkgo	Ginkgo biloba 'Princeton Sentry'	3" CAL	B&B	Full, matching heads
MBJ	6	'Mountbatten' Juniper	Juniperus chinensis 'Mountbatten'	6" HT	B&B	Semi-sheared, fully branched to ground
RBC	6	Red Baron Crab Apple	Malus x 'Red Baron'	2 1/2" CAL	B&B	Full, matching heads
WS	6	White Spruce	Picea glauca	7'-8" HT	B&B	Semi-sheared, fully branched to ground
RPO	15	Regal Prince English Oak	Quercus robur 'Regal Prince'	3" CAL	B&B	Full, matching heads
MST	9	Main Street Terrace Trees	Species To Be Determined By City	3" CAL	B&B	Full, matching heads
JTL	6	Ivory Silk Japanese Tree Lilac	Syringa reticulata 'Ivory Silk'	2 1/2" CAL	B&B	Full, matching heads
EA	6	Emerald Arborvitae	Thuja occidentalis 'Emerald'	6" HT	B&B	Semi-sheared, fully branched to ground
ACE	6	'Accolade' Elm	Ulmus x 'Morton Accolade' TM	3" CAL	B&B	Full, matching heads

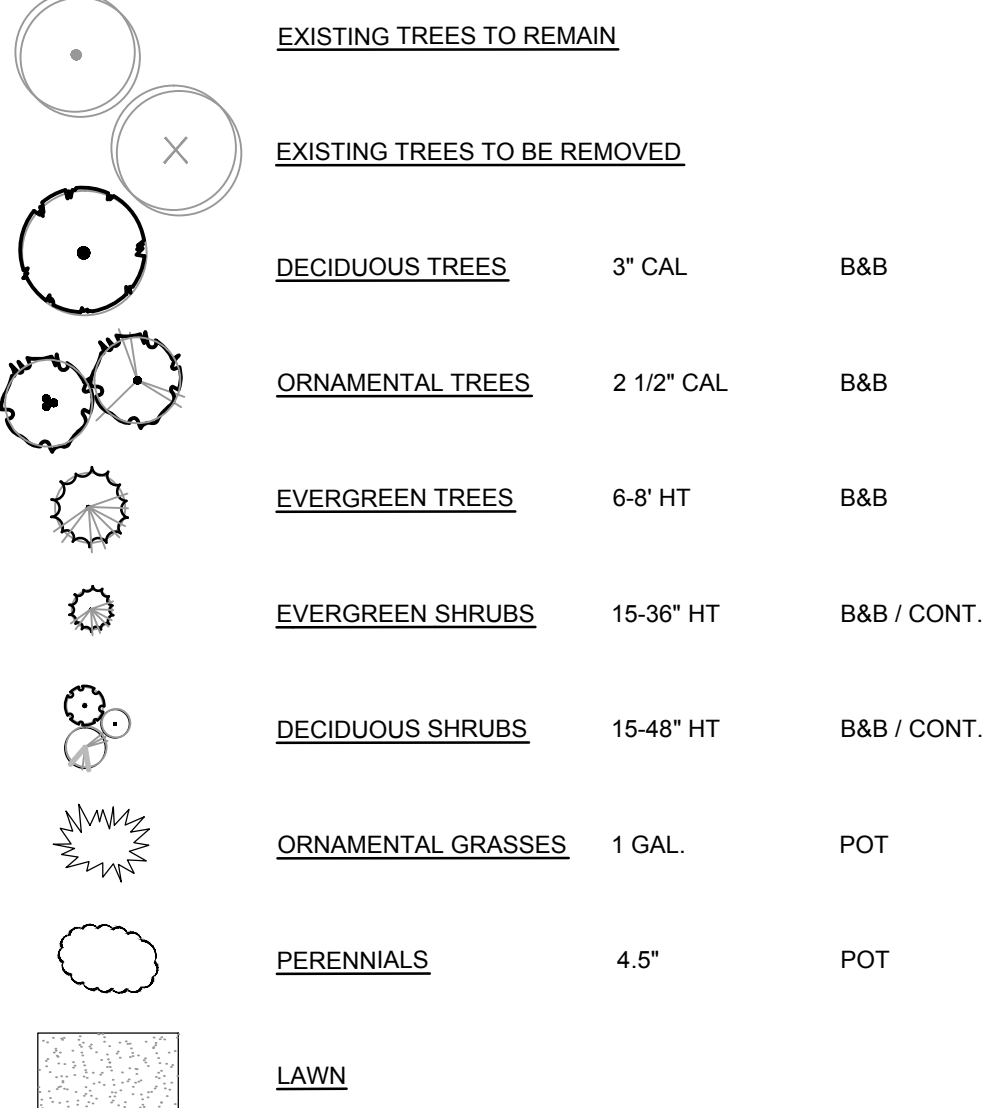
SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
BCB	2	Black Chokeberry	Aronia melanocarpa	3" HT	CONT.	
GVB	88	Green Velvet Bowwood	Buxus x 'Green Velvet'	15" HT	B&B	
DBC	88	Cool Splash False Honeysuckle	Diervilla sessilifolia 'Cool Splash'	15" HT	CONT.	
CBB	15	Compact Burning Bush	Euonymus alatus 'Compactus'	3" HT	CONT.	
CW	3	Common Witch Hazel	Hamamelis virginiana	4" HT	CONT.	
AH	28	Annabelle Smooth Hydrangea	Hydrangea arborescens 'Annabelle'	24" HT	CONT.	
PJC	40	Kalloy Compact Pflizer Juniper	Juniperus chinensis 'Kallays Compact'	18" HT	CONT.	
LDN	52	Little Devil Dwarf Ninebark	Physocarpus opulifolius 'Little Devil' TM	24" HT	CONT.	
GBS	2	Globed Blue Spruce (On Standard)	Picea pungens 'Glaucia Globosa'	36" SPD	B&B	
GLS	95	Gro-Low Fragrant Sumac	Rhus aromatica 'Gro-Low'	15" HT	CONT.	
GAC	22	Green Mound Alpine Currant	Ribes alpinum 'Green Mound'	24" HT	CONT.	
NWS	29	Nearly Wild Shrub Rose	Rosa shrub 'Nearly Wild'	18" HT	CONT.	
AE	3	American Elderberry	Sambucus canadensis	3" HT	CONT.	
MKL	3	Miss Kim Lilac	Syringa patula 'Miss Kim'	3" HT	CONT.	
TSY	84	Tauton Yew	Taxus x media 'Tautoni'	18" HT	CONT.	
ACV	3	Alfredo Cranberrybush Viburnum	Viburnum trilobum 'Alfredo'	3" HT	B&B	
WRW	8	Wine & Roses Weigela	Weigela florida 'Alexandra'	3" HT	CONT.	
MNW	39	Minuet Weigela	Weigela florida 'Minuet'	15" HT	CONT.	

ORNAMENTAL GRASSES	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
CA3	26	Overdam Feather Reed Grass	Calamagrostis x acutiflora 'Overdam'	1" GAL.	POT	24" Spacing
SS1	171	Little Bluestem Grass	Schizanthium scoparium	1" GAL.	POT	18" Spacing
SH1	257	Prairie Dropseed	Sporobolus heterolepis	1" GAL.	POT	18" Spacing

PERENNIALS	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
AS9	22	Purple Dome New England Aster	Aster novae-angliae 'Purple Dome'	4 1/2"	POT	18" Spacing
AT1	14	Superta Astilbe	Astilbe chinensis 'Superta'	4 1/2"	POT	24" Spacing
AT2	34	Visions Astilbe	Astilbe chinensis 'Visions'	4 1/2"	POT	18" Spacing
CO5	57	Zagreb Coreopsis	Coreopsis verticillata 'Zagreb'	4 1/2"	POT	18" Spacing
EC5	227	Kim's Knee High Purple Coneflower	Echinacea purpurea 'Kim's Knee High' TM	4 1/2"	POT	18" Spacing
GE4	157	Rozanne Cranesbill	Geranium x 'Rozanne' TM	4 1/2"	POT	18" Spacing
H3	22	Chicago Fire Daylily	Hemerocallis x 'Chicago Fire'	4 1/2"	POT	24" Spacing
H4	169	Happy Returns Daylily	Hemerocallis x 'Happy Returns'	4 1/2"	POT	18" Spacing
H13	71	Mini Pearl Daylily	Hemerocallis x 'Mini Pearl'	4 1/2"	POT	18" Spacing
HE2	109	Palace Purple Coral Bells	Heuchera micrantha 'Palace Purple'	4 1/2"	POT	18" Spacing
HO1	31	Francee Hosta	Hosta fortunei 'Francee'	4 1/2"	POT	24" Spacing
HO9	30	Blue Cadet Hosta	Hosta x 'Blue Cadet'	4 1/2"	POT	24" Spacing
HO21	48	Blue Umbrellas Hosta	Hosta x 'Blue Umbrellas'	4 1/2"	POT	24" Spacing
HO15	112	Striptease Hosta	Hosta x 'Striptease'	4 1/2"	POT	24" Spacing
LG1	77	Little Rocket Ligularia	Ligularia stenosephala 'Little Rocket'	4 1/2"	POT	18" Spacing
NE1	73	Blue Wonder Calamint	Nepeta x faassenii 'Blue Wonder'	4 1/2"	POT	18" Spacing
PL1	611	Little Spire Russian Sage	Perovskia x 'Little Spire'	4 1/2"	POT	18" Spacing
RL3	56	Black-eyed Susan	Rudbeckia hirta	4 1/2"	POT	18" Spacing
SE1	48	Purple Emperor Sedum	Sedum x 'Purple Emperor'	4 1/2"	POT	18" Spacing

**PLANT SYMBOL KEY**



DESCRIPTION

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LANDSCAPE PLAN

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