



City of Madison Fire Department

314 W Dayton Street, Madison, WI 53703-2506
Phone: 608-266-4420 • Fax: 608-267-1100 • E-mail: fire@cityofmadison.com

Project Address: 519-547 West Washington Avenue

Contact Name & Phone #: Kevin Burow (608) 836-3690

FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system? If non-sprinklered , fire lanes extend to within 150-feet of all portions of the exterior wall? If sprinklered , fire lanes are within 250-feet of all portions of the exterior wall?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input type="checkbox"/> N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs? a) Is the fire lane a minimum unobstructed width of at least 20-feet? b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet? c) Is the minimum inside turning radius of the fire lane at least 28-feet? d) Is the grade of the fire lane not more than a slope of 8%? e) Is the fire lane posted as fire lane? (Provide detail of signage.) f) Is a roll-able curb used as part of the fire lane? (Provide detail of curb.) g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.)	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A
3. Is the fire lane obstructed by security gates or barricades? If yes: a) Is the gate a minimum of 20-feet clear opening? b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	<input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A
4. Is the Fire lane dead-ended with a length greater than 150-feet? If yes, does the area for turning around fire apparatus comply with IFC D103?	<input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6 If yes, see IFC 3206.6 for further requirements.	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
6. Is any part of the building <u>greater than 30-feet</u> above the grade plane? If yes, answer the following questions: a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter? b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building? c) Are there any overhead power or utility lines located across the aerial apparatus fire lane? d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species) e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet? f) Is the space between the aerial lane and the building free of trees exceeding 20' in heights?	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants? <i>Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus.</i> a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants? b) Is there at least 40' between a hydrant and the building? c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane? d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb? e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1½-feet, within 5-feet of a fire hydrant? <i>Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.</i>	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A

Attach an additional sheet if further explanation is required for any answers.

This worksheet is based on **MGO 34.503** and **IFC 2015 Edition Chapter 5 and Appendix D**; please see the codes for further information.



Existing Building to be Removed

Name: Stopple – W. Washington Development

Number: 2143

Address: 519 – 547 W. Washington Avenue

Exterior







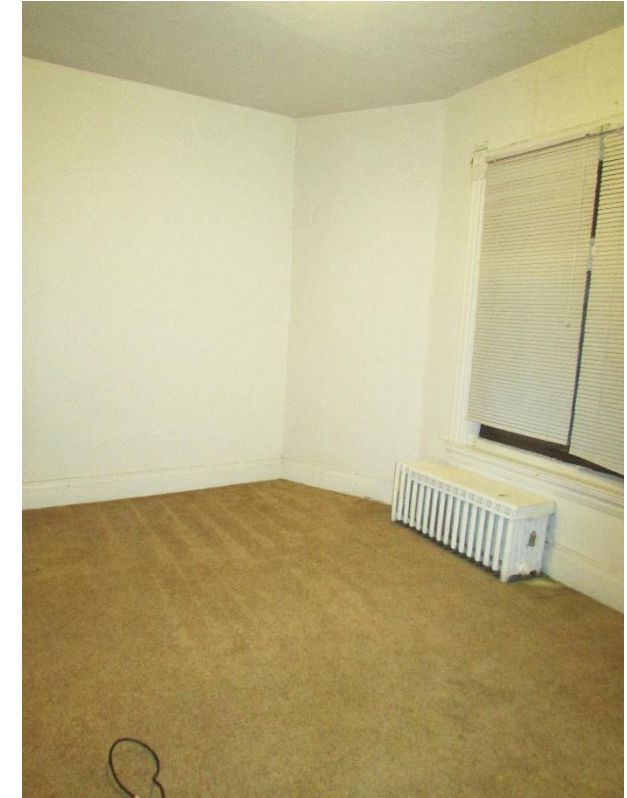
Existing Building to be Removed

Name: Stopple – W. Washington Development

Number: 2143

Address: 519 – 547 W. Washington Avenue

521 – Unit 1





Existing Building to be Removed

Name: Stopple – W. Washington Development

Number: 2143

Address: 519 – 547 W. Washington Avenue

523 – Unit 2





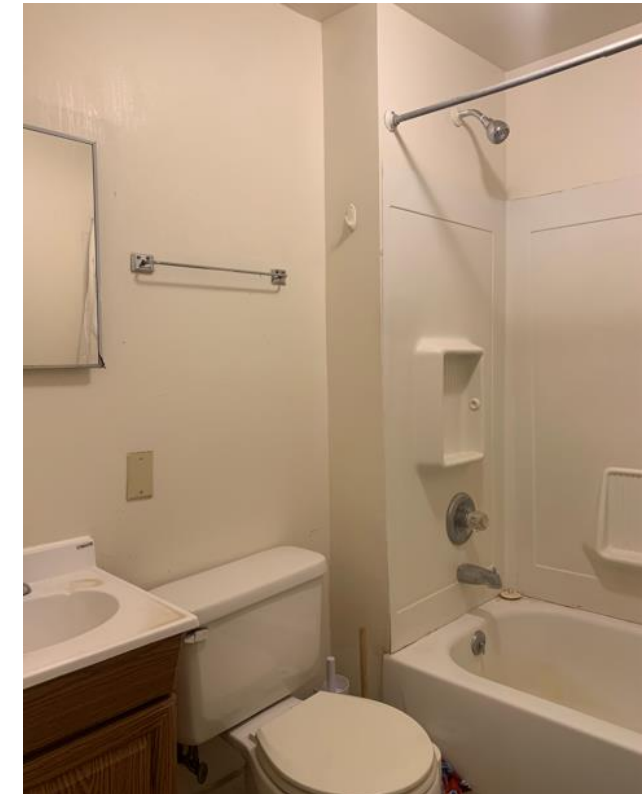
Existing Building to be Removed

Name: Stopple – W. Washington Development

Number: 2143

Address: 519 – 547 W. Washington Avenue

523 – Unit 3



Existing Building to be Removed

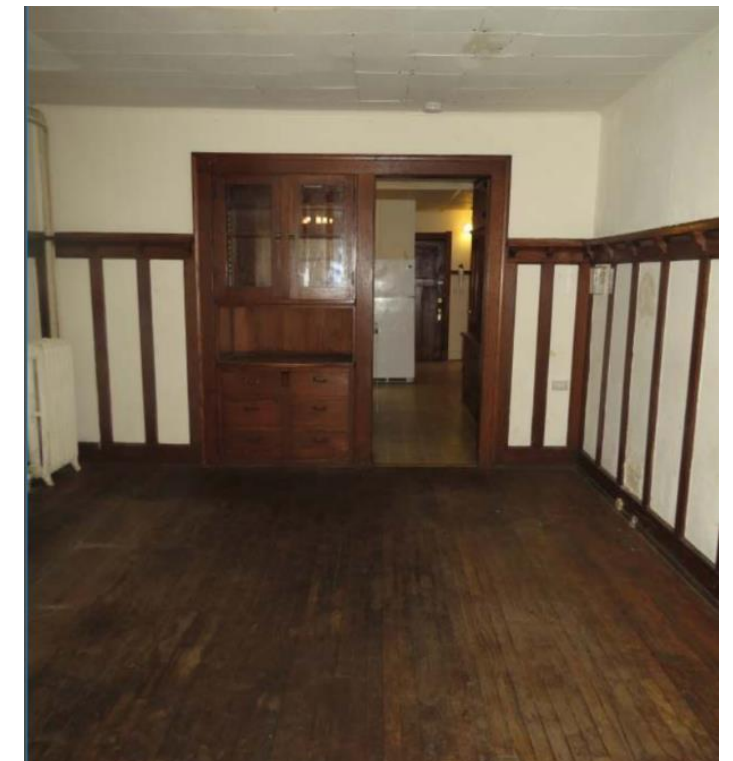
Name: Stopple – W. Washington Development

Number: 2143

Address: 519 – 547 W. Washington Avenue



527-529



Existing Building to be Removed

Name: Stopple – W. Washington Development

Number: 2143

Address: 519 – 547 W. Washington Avenue



Existing Building to be Removed

Name: Stopple – W. Washington Development

Number: 2143

Address: 519 – 547 W. Washington Avenue



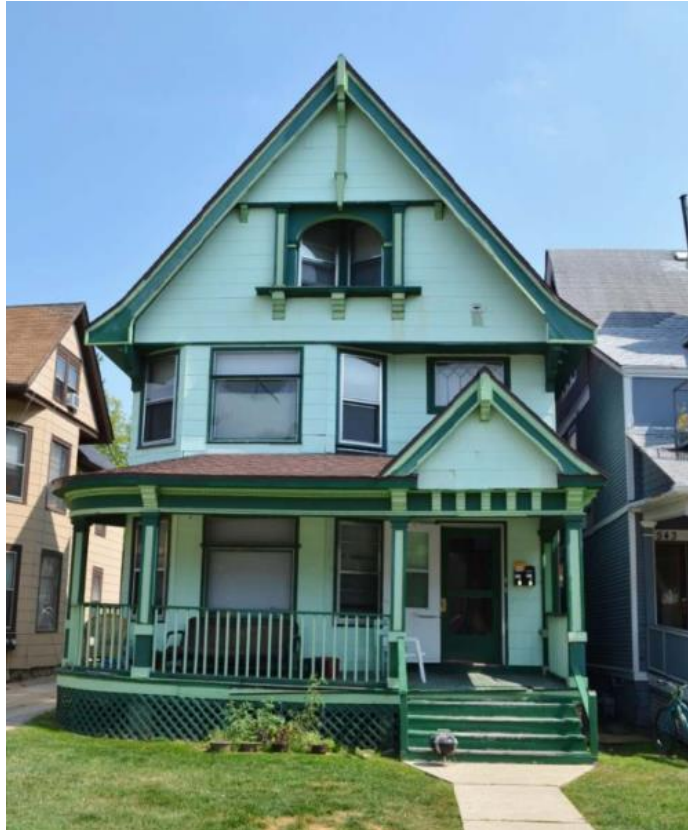
Existing Building to be Removed

Name: Stopple – W. Washington Development

Number: 2143

Address: 519 – 547 W. Washington Avenue







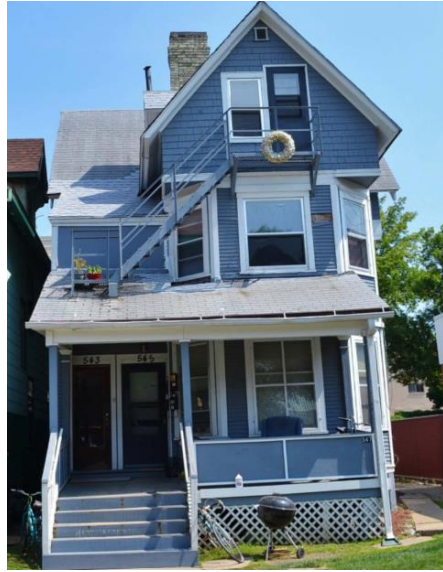
Existing Building to be Removed

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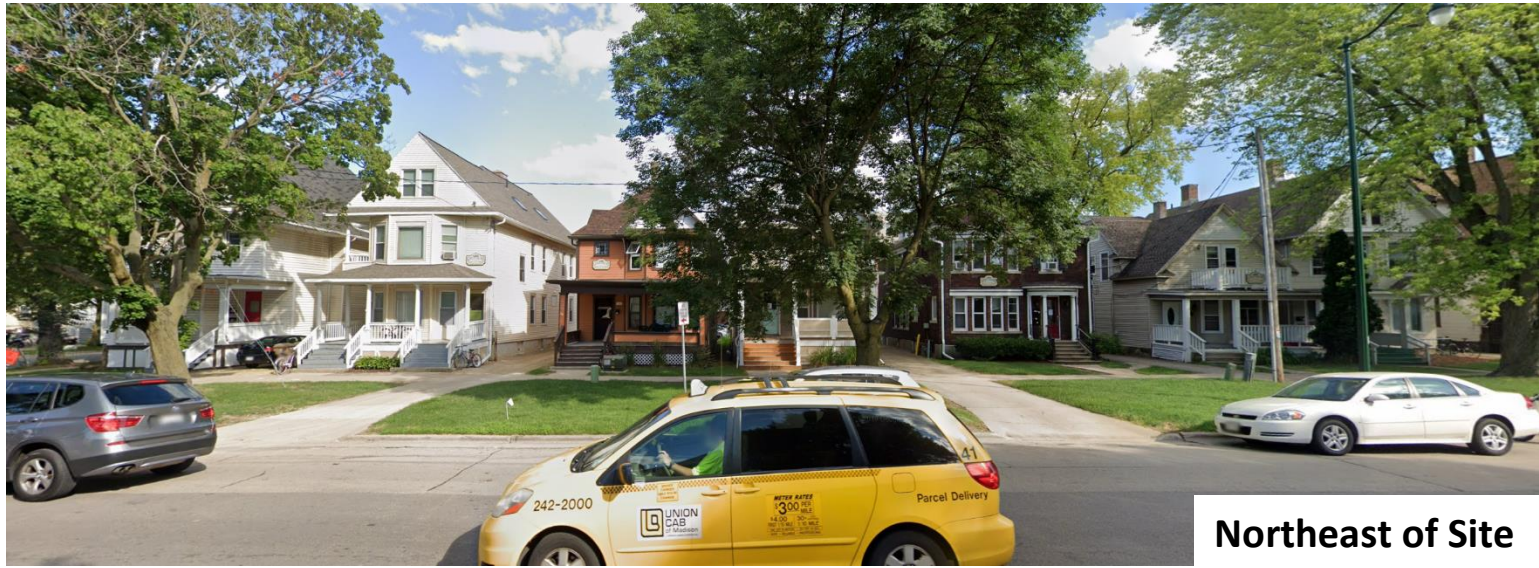
Number: 2143

Address: 519 – 547 W. Washington Avenue

543-547



519-547 W Washington Ave
MADISON, WI
CONTEXTUAL SITE IMAGES



519-547 W Washington Ave
MADISON, WI
CONTEXTUAL SITE IMAGES



Southwest of Site



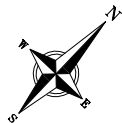
Southwest of Site



East of Site



West of Site



SURVEY LEGEND

- ⊙ FOUND 1" Ø IRON PIPE
- ⊗ FOUND 2" Ø IRON PIPE
- FOUND 1 1/4" Ø IRON ROD
- FOUND 3/4" Ø IRON ROD

BENCHMARK TABLE:

- Ⓐ BENCHMARK #1 - ELEV. 859.24'; TOP NUT OF FIRE HYDRANT LOCATED IN THE NORTH QUADRANT OF THE INTERSECTION OF WEST WASHINGTON AVE. AND BEDFORD ST
- Ⓑ BENCHMARK #2 - ELEV. 858.57'; TOP NUT OF FIRE HYDRANT LOCATED ON THE NORTHWESTERLY RIGHT-OF-WAY OF WEST WASHINGTON AVE APPROXIMATELY 370' NORTHEAST OF BEDFORD ST.

NOTES:

- This survey was prepared based upon information provided in Title Commitment No. NCS-1095066-MAD, Commitment date of October 25, 2021 at 7:30 AM, and Title Commitment No. NCS-1076221-MAD, dated July 07, 2021 at 7:30 AM, both from First American Title Insurance Company, National Commercial Services, 25 West Main Street, Suite 400, Madison, WI 53713.
- The parcels surveyed contain 1.13 Acres or 49,384 sq. ft. more or less
- Elevations depicted on this plan are based upon NAVD88 Datum (2012 Geoid).
- Utility locations were field located based upon substantial, visible, above ground structures, upon maps provided to the surveyor, or upon markings on the ground placed by utility companies and/or their agents. No warranty is given to the utility markings by others or that all underground utilities affecting this property were marked and subsequently located for this survey. A locate request was sent to Digger's Hotline per Digger's Hotline One-Call ticket numbers 20214417172, 20214417179, 20214417185, 20214417192, 20214417199, 20214417202, 20214417208, 20214417211, 20214417218, and 20214417249. Location of buried private utilities are not within the scope of this survey.
- Existing topographic information is based on field observations and/or plan of record drawings.

EASEMENTS

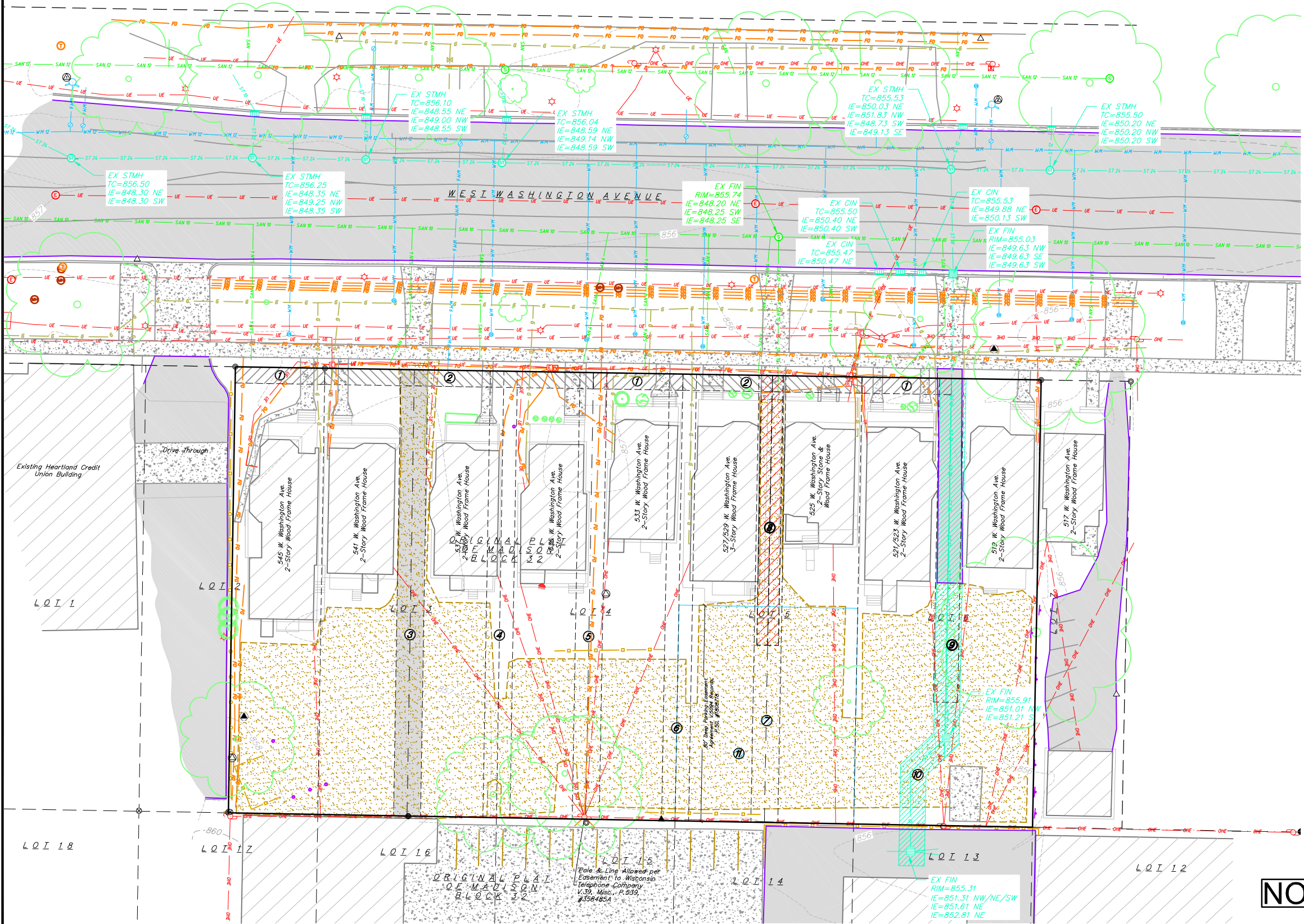
- ① 6' Wide R/W Grant, Underground Electric Easement, V.3811 Records, P.81, #1750301.
- ② 6' Wide R/W Grant, Underground Electric Easement, V.3811 Records, P.79, #1750300
- ③ 10' Joint Driveway, V.167 Deeds, P.507, #219722a & 10' Joint Driveway, V.3426 Records, P.70, #1733259
- ④ 10' Joint Driveway, V.3426 Records, P.77, #1733264
- ⑤ 10' Joint Driveway, V.3445 Records, P.11, #1734075
- ⑥ 10' Joint Driveway, V.3426 Records, P.57, #1733251
- ⑦ 10' Joint Driveway, V.3426 Records, P.84, #1733269
- ⑧ 8' Joint Driveway, V.60 Misc., P.13, #414736 & Approx. Location of Joint Driveway, V.238 Deeds, P.382, #237187a (Northeasterly 4'±) & 4' Joint Driveway V.231 Deeds, P.560, #316525a (Southwesterly 4') & 4' Joint Driveway V.238 Deeds, P.382, Doc. #327187a (Northeasterly 4')
- ⑨ 9'±x120'± Joint Driveway, V.31841 Records, P.11, #2733027
- ⑩ 9.50' Wide Public Storm Sewer Easement per #3192816, #3192817 & #3192818
- ⑪ 80' Deep Parking Easement per #1808718

TOPOGRAPHIC SYMBOL LEGEND

- EXISTING BOLLARD
- ⚡ EXISTING SIGN
- ⌋ EXISTING CURB INLET
- ⊙ EXISTING STORM MANHOLE
- ⊙ EXISTING SANITARY MANHOLE
- ⊙ EXISTING FIRE HYDRANT
- ⊙ EXISTING WATER MAIN VALVE
- ⊙ EXISTING CURB STOP
- ⊙ EXISTING WATER MANHOLE
- ⊙ EXISTING GAS VALVE
- ⊙ EXISTING ELECTRIC PEDESTAL
- ⊙ EXISTING TRANSFORMER
- ⊙ EXISTING LIGHT POLE
- ⊙ EXISTING GENERIC LIGHT
- ⊙ EXISTING UTILITY POLE
- ⊙ EXISTING TV PEDESTAL
- ⊙ EXISTING TELEPHONE PEDESTAL
- ⊙ EXISTING UNIDENTIFIED MANHOLE
- ⊙ EXISTING SHRUB
- ⊙ EXISTING CONIFEROUS TREE
- ⊙ EXISTING DECIDUOUS TREE

TOPOGRAPHIC LINEWORK LEGEND

- EXISTING FIBER OPTIC LINE
- EXISTING RETAINING WALL
- EXISTING CHAIN LINK FENCE
- EXISTING GENERAL FENCE
- EXISTING WIRE FENCE
- EXISTING WOOD FENCE
- EXISTING GAS LINE
- EXISTING UNDERGROUND ELECTRIC LINE
- EXISTING OVERHEAD ELECTRIC LINE
- EXISTING OVERHEAD GENERAL UTILITIES
- EXISTING SANITARY SEWER LINE
- EXISTING STORM SEWER LINE
- EXISTING WATER MAIN
- 820 — EXISTING MAJOR CONTOUR
- 818 — EXISTING MINOR CONTOUR
- GRAVEL
- CONCRETE
- ASPHALT



NOT FOR CONSTRUCTION

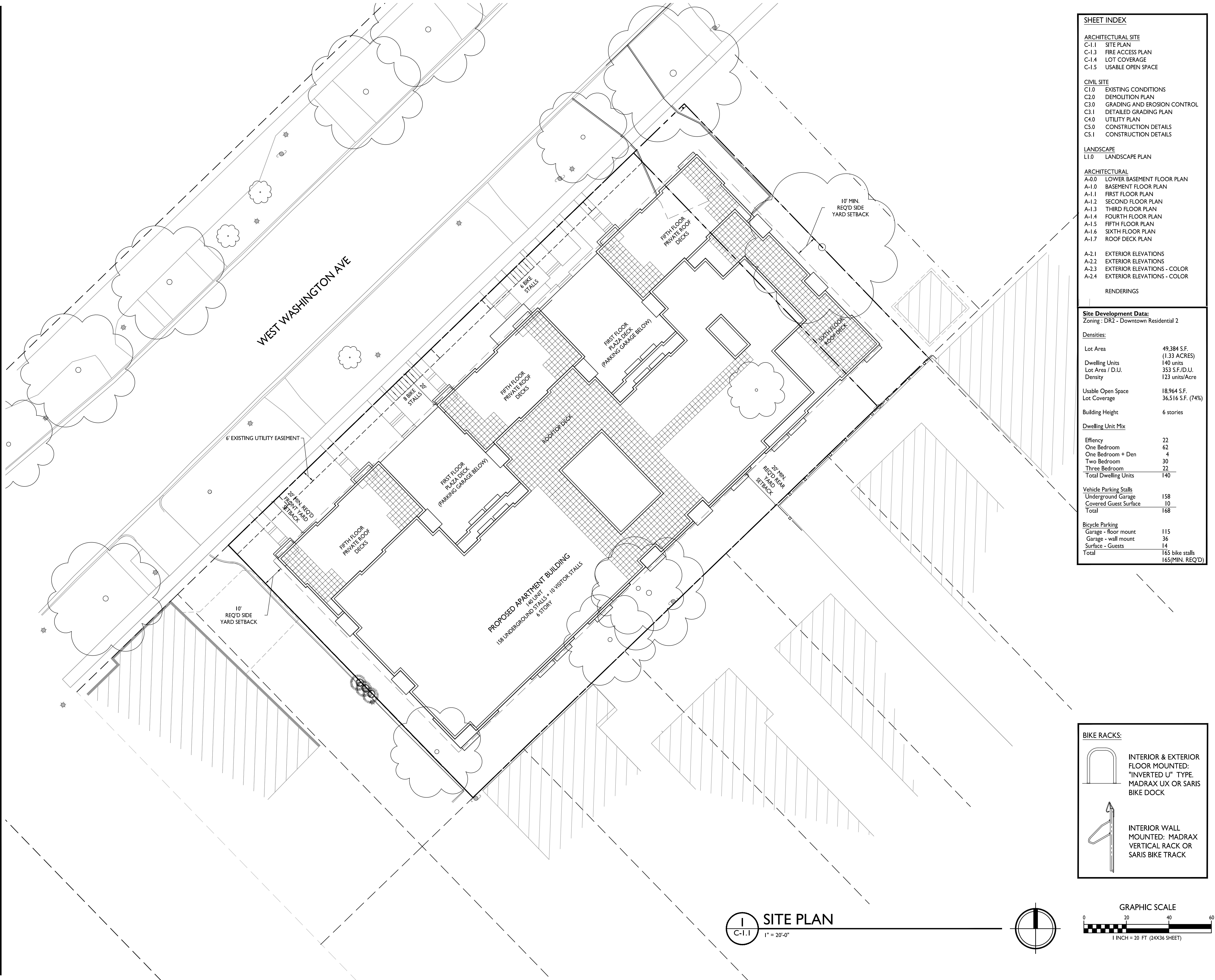
Existing Conditions
519-547 W Washington Avenue
City of Madison
Dane County, Wisconsin

REVISIONS	NO.	DATE	REMARKS

DATE	05/06/2022
DRAFTER	ZDRE
CHECKED	RKOL
PROJECT NO.	210359
C1.0	

GENERAL NOTES:

1. THE APPLICANT SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER THAT ABUTS THE PROPERTY THAT IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
2. ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
3. ALL DAMAGE TO THE PAVEMENT ON CITY STREETS, AND ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA.
4. ALL PROPOSED STREET TREE REMOVALS WITHIN THE RIGHT OF WAY SHALL BE REVIEWED BY CITY FORESTRY BEFORE THE PLAN COMMISSION MEETING. STREET TREE REMOVALS REQUIRE APPROVAL AND A TREE REMOVAL PERMIT ISSUED BY CITY FORESTRY. ANY STREET TREE REMOVALS REQUESTED AFTER THE DEVELOPMENT PLAN IS APPROVED BY THE PLAN COMMISSION OR THE BOARD OF PUBLIC WORKS AND CITY FORESTRY WILL REQUIRE A MINIMUM OF A 72-HOUR REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE ALDERPERSON WITHIN WHO'S DISTRICT IS AFFECTED BY THE STREET TREE REMOVAL(S) PRIOR TO A TREE REMOVAL PERMIT BEING ISSUED.
5. AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION: NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY (266-4816) PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM
6. CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREE(S). THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT 266-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.
7. SECTION 107.13(G) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SPOILS OR DUMPING OF POISONOUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN FIVE (5) FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.
8. ON THIS PROJECT, STREET TREE PROTECTION ZONE FENCING IS REQUIRED. THE FENCING SHALL BE ERECTED BEFORE THE DEMOLITION, GRADING OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF TERRACE AND, EXTEND AT LEAST 5 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE.
9. STREET TREE PRUNING SHALL BE COORDINATED WITH MADISON FORESTRY AT A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION FOR THIS PROJECT. ALL PRUNING SHALL FOLLOW THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 - PART 1 STANDARDS FOR PRUNING.
10. AT LEAST ONE WEEK PRIOR TO STREET TREE PLANTING, CONTRACTOR SHALL CONTACT CITY FORESTRY AT (608) 266-4816 TO SCHEDULE INSPECTION AND APPROVAL OF NURSERY TREE STOCK AND REVIEW PLANTING SPECIFICATIONS WITH THE LANDSCAPER.
11. APPROVAL OF PLANS FOR THIS PROJECT DOES NOT INCLUDE ANY APPROVAL TO PRUNE, REMOVE, OR PLANT TREES IN THE PUBLIC RIGHT-OF-WAY. PERMISSION FOR SUCH ACTIVITIES MUST BE OBTAINED FROM THE CITY FORESTER (266-4816).
12. THE PUBLIC RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME. NO ITEMS SHOWN ON THIS SITE PLAN IN THE RIGHT-OF-WAY ARE PERMANENT AND MAY NEED TO BE REMOVED AT THE APPLICANTS EXPENSE UPON NOTIFICATION BY THE CITY.



SHEET INDEX

ARCHITECTURAL SITE

- C-1.1 SITE PLAN
C-1.3 FIRE ACCESS PLAN
C-1.4 LOT COVERAGE
C-1.5 USABLE OPEN SPACE

CIVIL SITE

- C1.0 EXISTING CONDITIONS
C2.0 DEMOLITION PLAN
C3.0 GRADING AND EROSION CONTROL
C3.1 DETAILED GRADING PLAN
C4.0 UTILITY PLAN
C5.0 CONSTRUCTION DETAILS
C5.1 CONSTRUCTION DETAILS

LANDSCAPE

- L1.0 LANDSCAPE PLAN

ARCHITECTURAL

- A-0.0 LOWER BASEMENT FLOOR PLAN
A-1.0 BASEMENT FLOOR PLAN
A-1.1 FIRST FLOOR PLAN
A-1.2 SECOND FLOOR PLAN
A-1.3 THIRD FLOOR PLAN
A-1.4 FOURTH FLOOR PLAN
A-1.5 FIFTH FLOOR PLAN
A-1.6 SIXTH FLOOR PLAN
A-1.7 ROOF DECK PLAN

- A-2.1 EXTERIOR ELEVATIONS
A-2.2 EXTERIOR ELEVATIONS
A-2.3 EXTERIOR ELEVATIONS - COLOR
A-2.4 EXTERIOR ELEVATIONS - COLOR

RENDERINGS

Site Development Data:

Zoning : DR2 - Downtown Residential 2

Densities:

Lot Area	49,384 S.F. (1.33 ACRES)
Dwelling Units	140 units
Lot Area / D.U.	353 S.F./D.U.
Density	123 units/Acre

Usable Open Space	18,964 S.F.
Lot Coverage	36,516 S.F. (74%)

Building Height	6 stories
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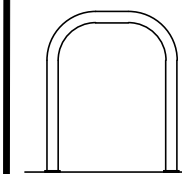
Dwelling Unit Mix

Efficiency	22
One Bedroom	62
One Bedroom + Den	4
Two Bedroom	30
Three Bedroom	22
Total Dwelling Units	140

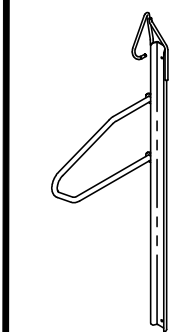
Vehicle Parking Stalls	
Underground Garage	158
Covered Guest Surface	10
Total	168

Bicycle Parking	
Garage - floor mount	115
Garage - wall mount	36
Surface - Guests	14
Total	165 bike stalls 165(MIN. REQ'D)

BIKE RACKS:



INTERIOR & EXTERIOR FLOOR MOUNTED: "INVERTED U" TYPE. MADRAX UX OR SARIS BIKE DOCK



INTERIOR WALL MOUNTED: MADRAX VERTICAL RACK OR SARIS BIKE TRACK



knothe • bruce
ARCHITECTS

Phone: 7601 University Ave., Ste 201
608.836.3690 Middleton, WI 53562

ISSUED

Issued for Review - January 10, 2022
Issued for LUA & UDC Submittal - Feb. 28, 2022
Revised - May 4, 2022

PROJECT TITLE

**West Washington
Development**

**519-547 W Washington
Ave.**

Madison, Wisconsin

SHEET TITLE

Site Plan

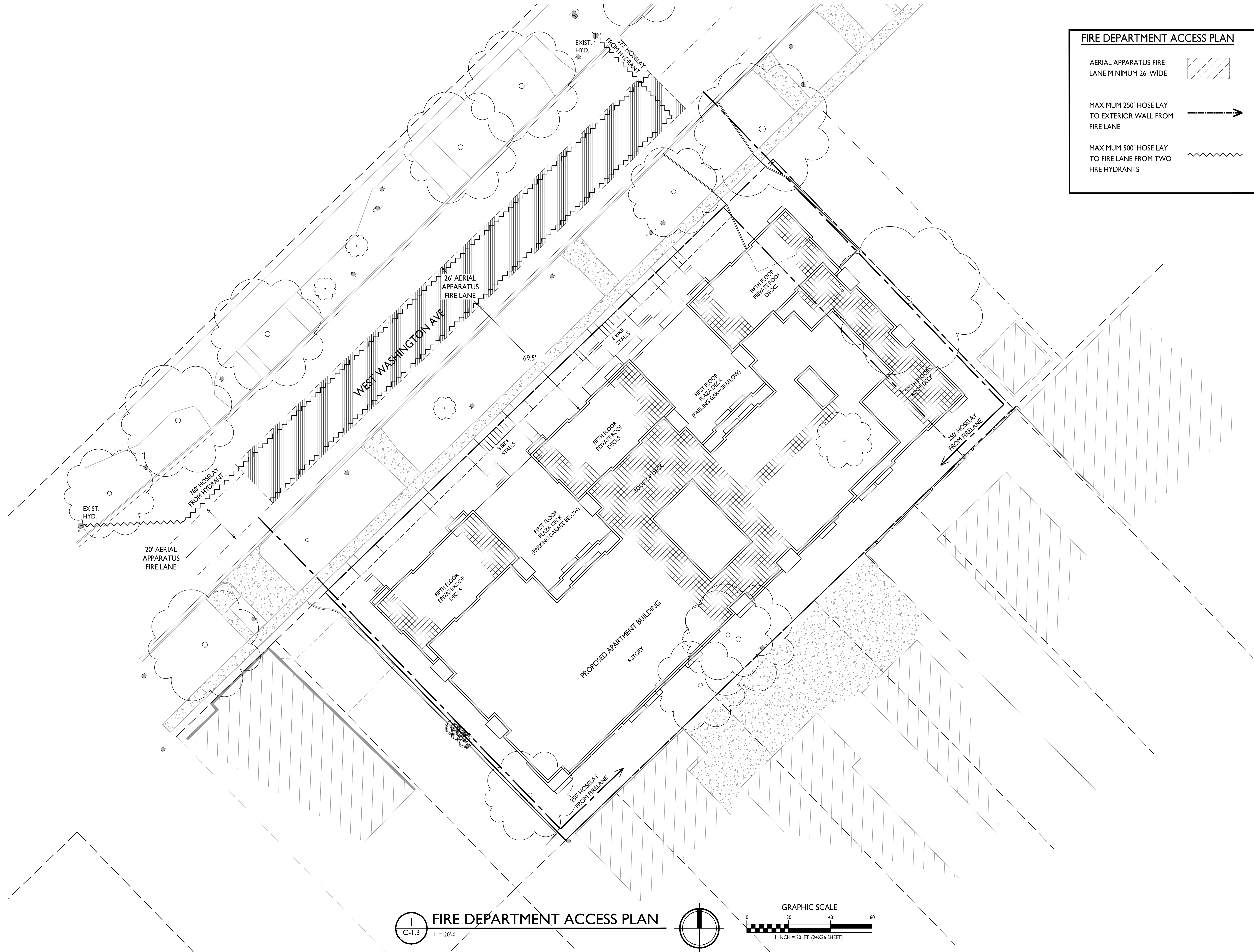
SHEET NUMBER

C-1.1

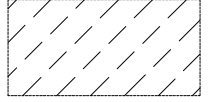
PROJECT NO.


2143


© Knothe & Bruce Architects, LLC



FIRE DEPARTMENT ACCESS PLAN

AERIAL APPARATUS FIRE LANE MINIMUM 26' WIDE 

MAXIMUM 250' HOSE LAY TO EXTERIOR WALL FROM FIRE LANE 

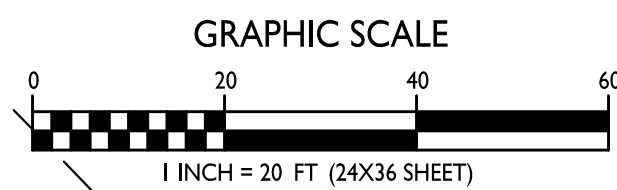
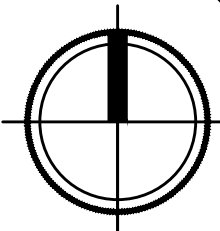
MAXIMUM 500' HOSE LAY TO FIRE LANE FROM TWO FIRE HYDRANTS 

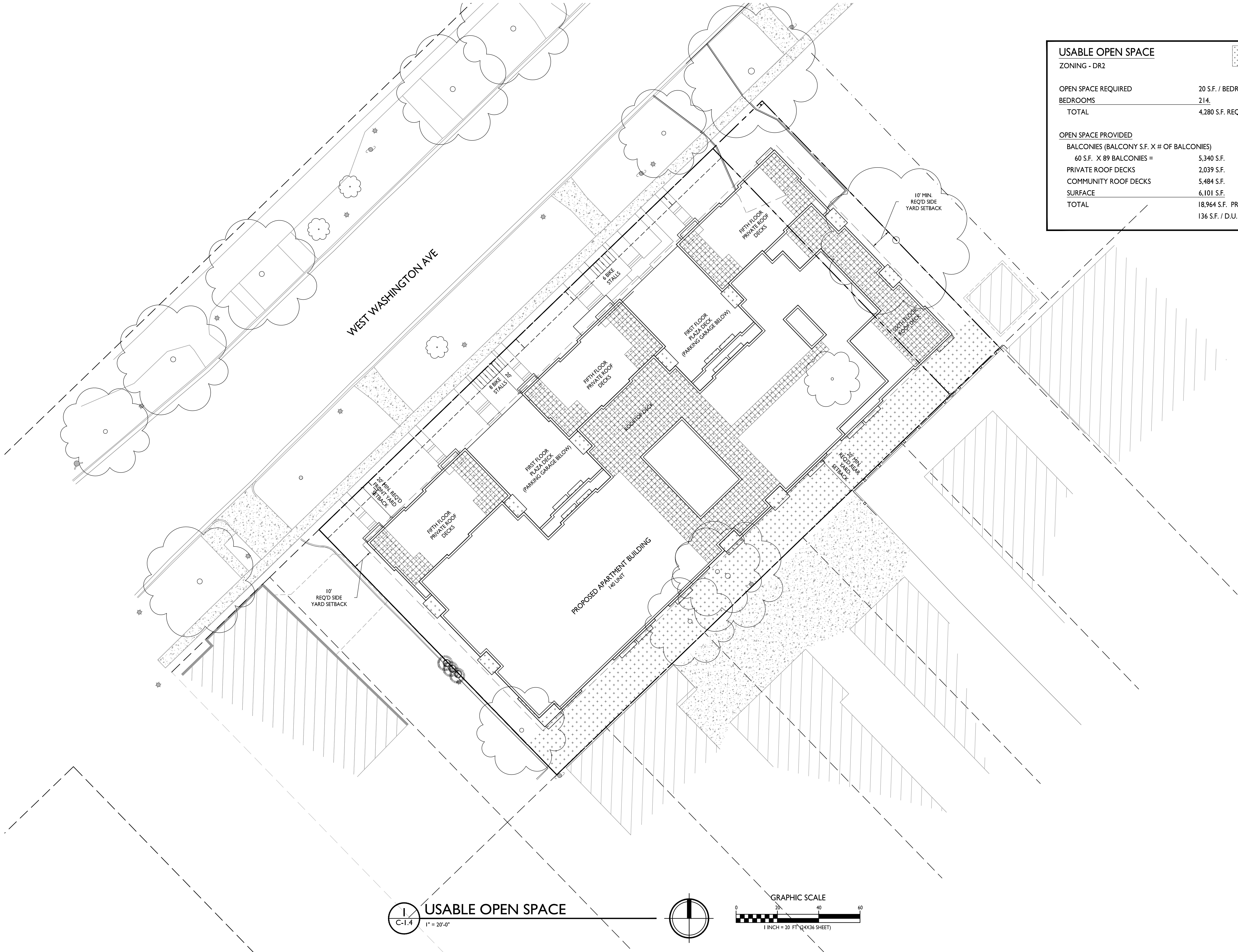
ISSUED
Issued for LUA & UDC Submittal - Feb. 28, 2022
Revised - May 4, 2022

PROJECT TITLE
West Washington Development

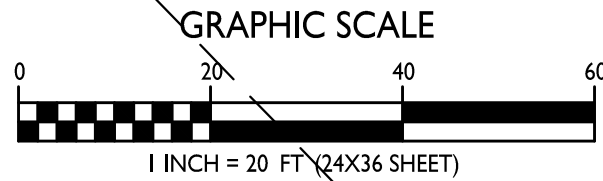
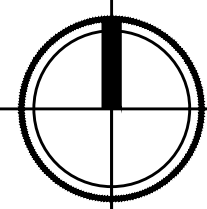
519-547 W Washington Ave.
Madison, Wisconsin
SHEET TITLE
Fire Department Access Plan

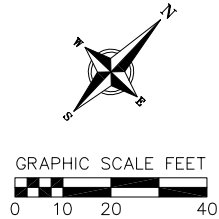
SHEET NUMBER





USABLE OPEN SPACE	
ZONING - DR2	
OPEN SPACE REQUIRED	20 S.F. / BEDROOM
BEDROOMS	214.
TOTAL	4,280 S.F. REQUIRED
OPEN SPACE PROVIDED	
BALCONIES (BALCONY S.F. X # OF BALCONIES)	
60 S.F. X 89 BALCONIES =	5,340 S.F.
PRIVATE ROOF DECKS	2,039 S.F.
COMMUNITY ROOF DECKS	5,484 S.F.
SURFACE	6,101 S.F.
TOTAL	18,964 S.F. PROVIDED
	136 S.F. / D.U.





DEMOLITION NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED DURING CONSTRUCTION TO PUBLIC PROPERTY, PRIVATE PROPERTY OR UTILITIES.
2. CONTRACTOR SHALL KEEP ALL CITY STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
3. COORDINATE EXISTING UTILITY REMOVAL/ABANDONMENT WITH LOCAL AUTHORITIES AND UTILITY COMPANIES HAVING JURISDICTION.
4. ALL SAWCUTTING SHALL BE FULL DEPTH TO PROVIDE A CLEAN EDGE TO MATCH NEW CONSTRUCTION. MATCH EXISTING ELEVATIONS AT POINTS OF CONNECTION FOR NEW AND EXISTING PAVEMENT, CURB, SIDEWALKS, ETC. ALL SAWCUT LOCATIONS SHOWN ARE APPROXIMATE AND MAY BE FIELD ADJUSTED TO ACCOMMODATE CONDITIONS, JOINTS, MATERIAL TYPE, ETC. REMOVE MINIMUM AMOUNT NECESSARY FOR INSTALLATION OF PROPOSED IMPROVEMENTS.
5. CONTRACTOR SHALL OBTAIN ANY NECESSARY DEMOLITION AND UTILITY PLUGGING PERMITS.
6. CONTRACTOR SHALL PROVIDE AND SHALL BE RESPONSIBLE FOR ANY NECESSARY TRAFFIC CONTROL SIGNAGE AND SAFETY MEASURES DURING DEMOLITION AND CONSTRUCTION OPERATIONS WITHIN OR NEAR THE PUBLIC ROADWAY.
7. COORDINATE TREE REMOVAL WITH LANDSCAPE ARCHITECT. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GROUND TO 12" BELOW PROPOSED SUBGRADE.
8. IF APPLICABLE, PROVIDE TREE PROTECTION FENCING PRIOR TO CONSTRUCTION OPERATIONS. MAINTAIN THROUGHOUT CONSTRUCTION.
9. CONTRACTOR SHALL CLOSE ALL ABANDONED DRIVEWAYS BY REPLACING THE CURB IN FRONT OF THE DRIVEWAYS AND RESTORING THE TERRACE WITH GRASS.
10. ANY DAMAGE TO THE CITY PAVEMENT, INCLUDING DAMAGE RESULTING FROM CURB REPLACEMENT, WILL REQUIRE RESTORATION IN ACCORDANCE WITH THE CITY ENGINEERING PATCHING CRITERIA.

DEMOLITION PLAN LEGEND

- X-X-X CURB AND GUTTER REMOVAL
- ASPHALT REMOVAL
- CONCRETE REMOVAL
- CONCRETE REMOVAL
- BUILDING REMOVAL
- X TREE REMOVAL
- SAWCUT
- UTILITY STRUCTURE REMOVAL
- X-X-X UTILITY LINE REMOVAL

TOPOGRAPHIC SYMBOL LEGEND

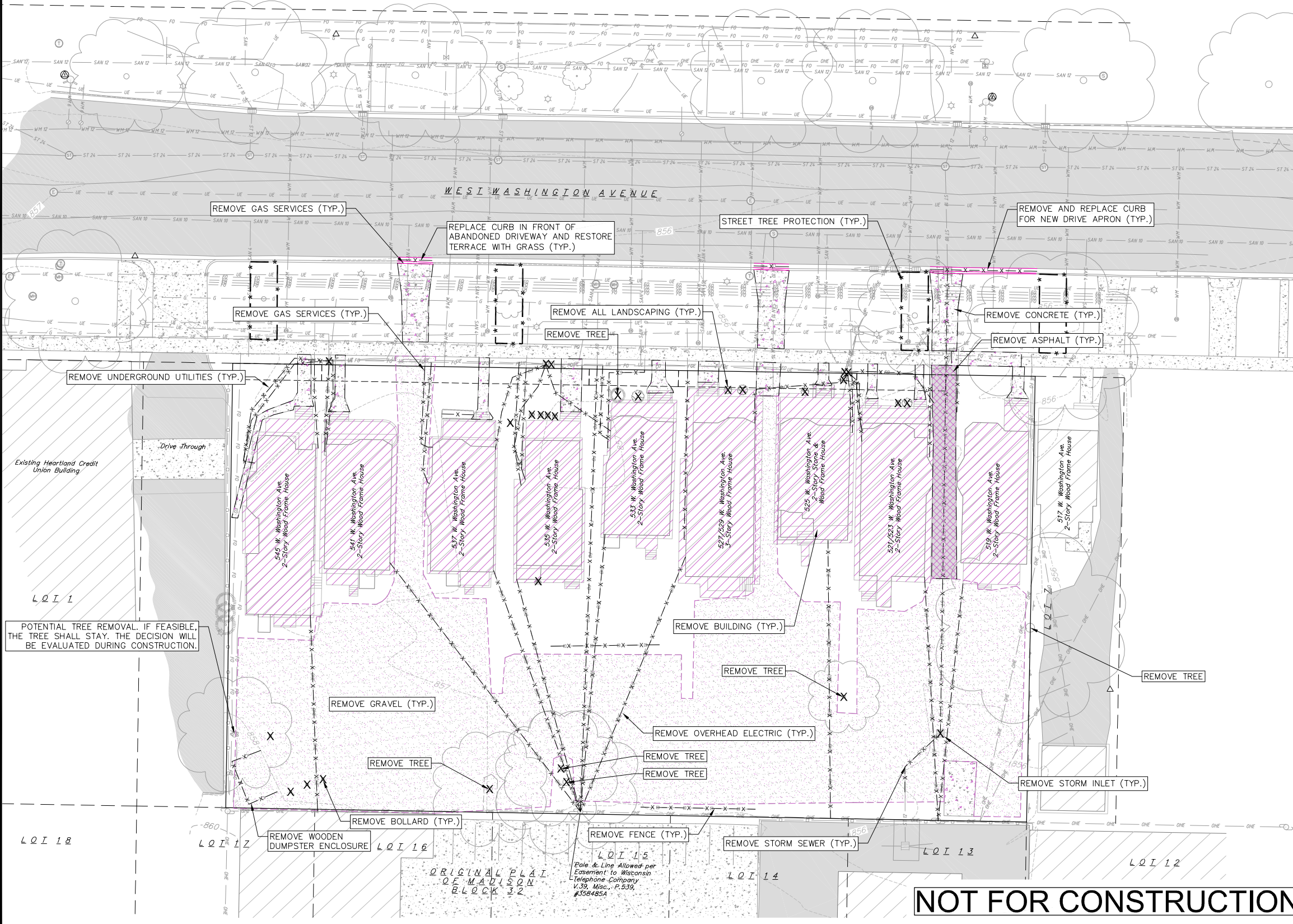
- EXISTING BOLLARD
- EXISTING SIGN
- EXISTING CURB INLET
- EXISTING STORM MANHOLE
- EXISTING SANITARY MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER MAIN VALVE
- EXISTING CURB STOP
- EXISTING WATER MANHOLE
- EXISTING GAS VALVE
- EXISTING ELECTRIC PEDESTAL
- EXISTING TRANSFORMER
- EXISTING LIGHT POLE
- EXISTING GENERIC LIGHT
- EXISTING UTILITY POLE
- EXISTING TV PEDESTAL
- EXISTING TELEPHONE PEDESTAL
- EXISTING UNIDENTIFIED MANHOLE
- EXISTING SHRUB
- EXISTING CONIFEROUS TREE
- EXISTING DECIDUOUS TREE

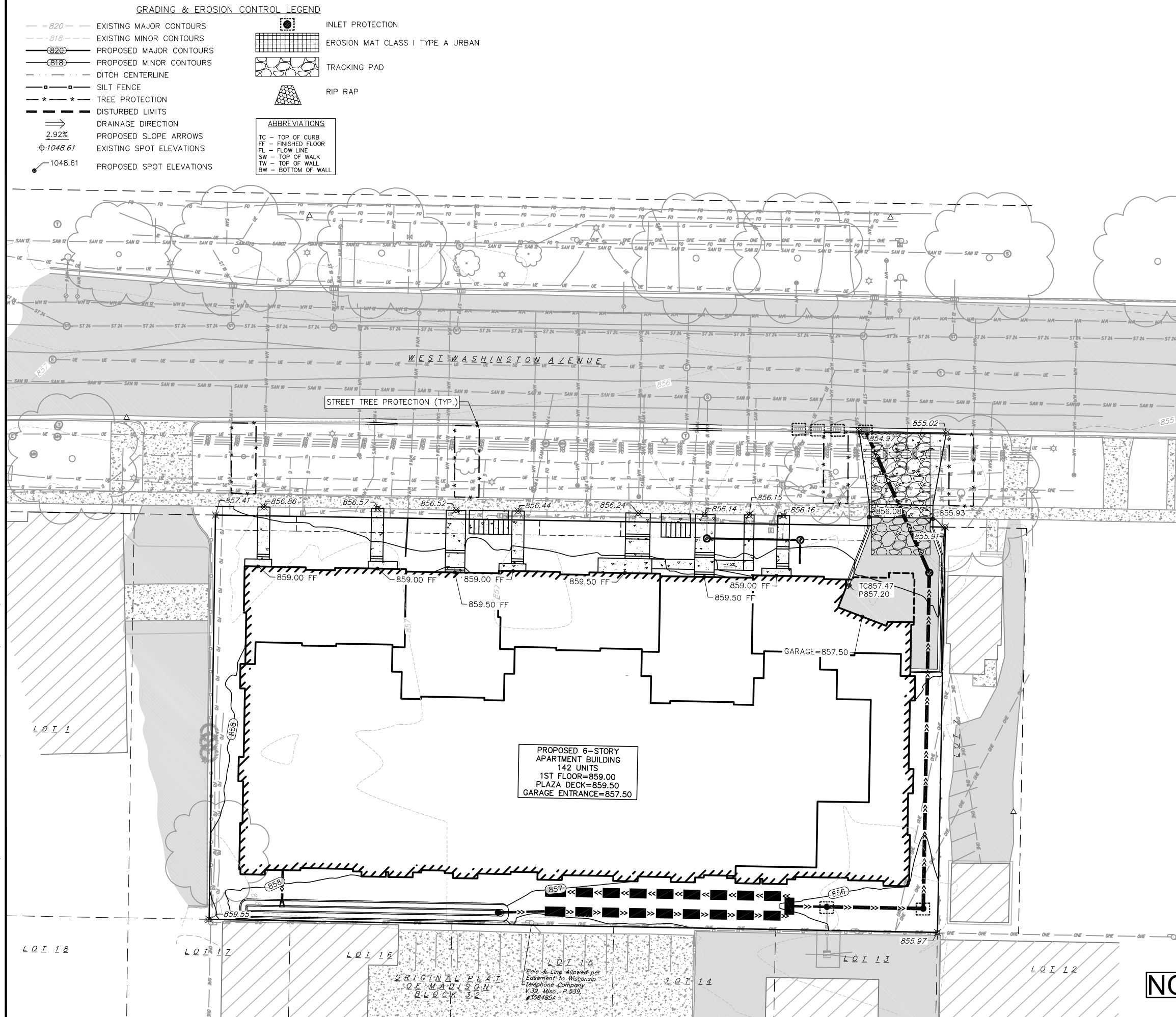
TOPOGRAPHIC LINEWORK LEGEND

- FO EXISTING FIBER OPTIC LINE
- EXISTING RETAINING WALL
- EXISTING CHAIN LINK FENCE
- EXISTING GENERAL FENCE
- EXISTING WIRE FENCE
- EXISTING WOOD FENCE
- EXISTING GAS LINE
- EXISTING UNDERGROUND ELECTRIC LINE
- EXISTING OVERHEAD ELECTRIC LINE
- EXISTING OVERHEAD GENERAL UTILITIES
- EXISTING SANITARY SEWER LINE
- EXISTING STORM SEWER LINE
- EXISTING WATER MAIN
- 820 EXISTING MAJOR CONTOUR
- 818 EXISTING MINOR CONTOUR
- GRAVEL
- CONCRETE
- ASPHALT

CITY FORESTRY NOTES:

1. CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREE(S). THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT 608-266-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.
2. STREET TREE PROTECTION ZONE FENCING IS REQUIRED. THE FENCING SHALL BE ERCTED BEFORE THE DEMOLITION, GRADING, OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF THE TERRACE AND EXTEND AT LEAST 5 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE.
3. STREET TREE PRUNING SHALL BE COORDINATED WITH MADISON FORESTRY AT A MINIMUM OF 2 WEEKS PRIOR TO THE START OF CONSTRUCTION. ALL PRUNING SHALL FOLLOW THE ANSI A300 - PART 1 STANDARDS FOR PRUNING.
4. SECTION 107.13(g) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY THE CONTRACTOR. THE STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SPOILS OR DUMPING OF POISONOUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN 5 FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.
5. ALL PROPOSED STREET TREE REMOVAL WITHIN THE RIGHT OF WAY SHALL BE REVIEWED BY CITY FORESTRY BEFORE THE PLAN COMMISSION MEETING. STREET TREE REMOVALS REQUIRE APPROVAL AND A TREE REMOVAL PERMIT ISSUED BY CITY FORESTRY. ANY STREET TREE REMOVALS REQUESTED AFTER THE DEVELOPMENT PLAN IS APPROVED BY THE PLAN COMMISSION OR THE BOARD OF PUBLIC WORKS AND CITY FORESTRY, WILL REQUIRE A MINIMUM OF A 72 HOUR REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE ALDERPERSON WITHIN WHOSE DISTRICT IS AFFECTED BY THE STREET TREE REMOVAL PRIOR TO A TREE REMOVAL PERMIT BEING ISSUED.





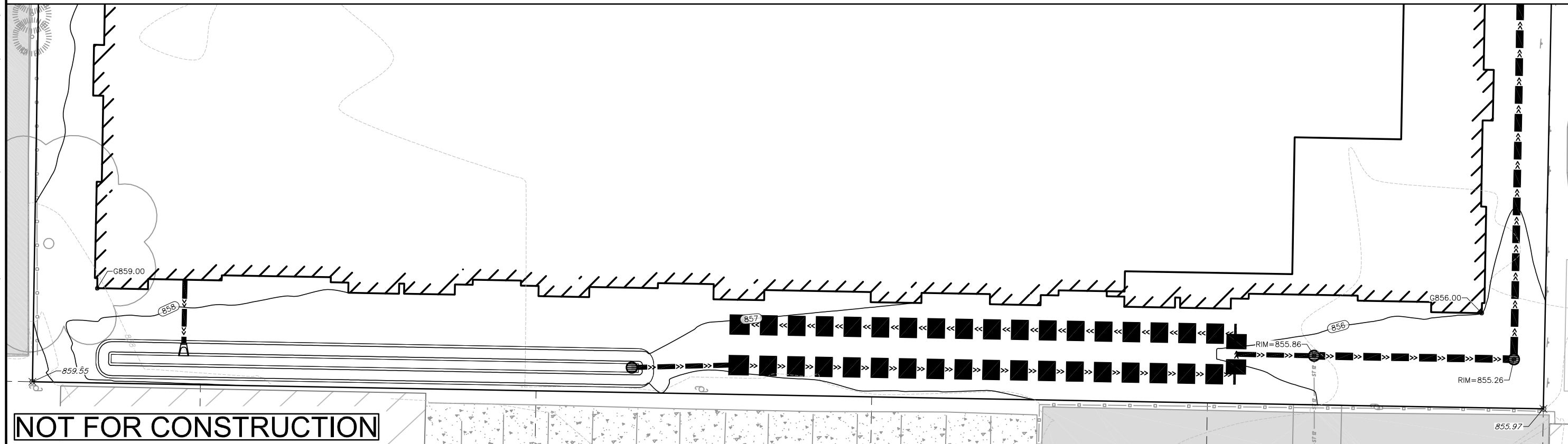
GRADING NOTES:

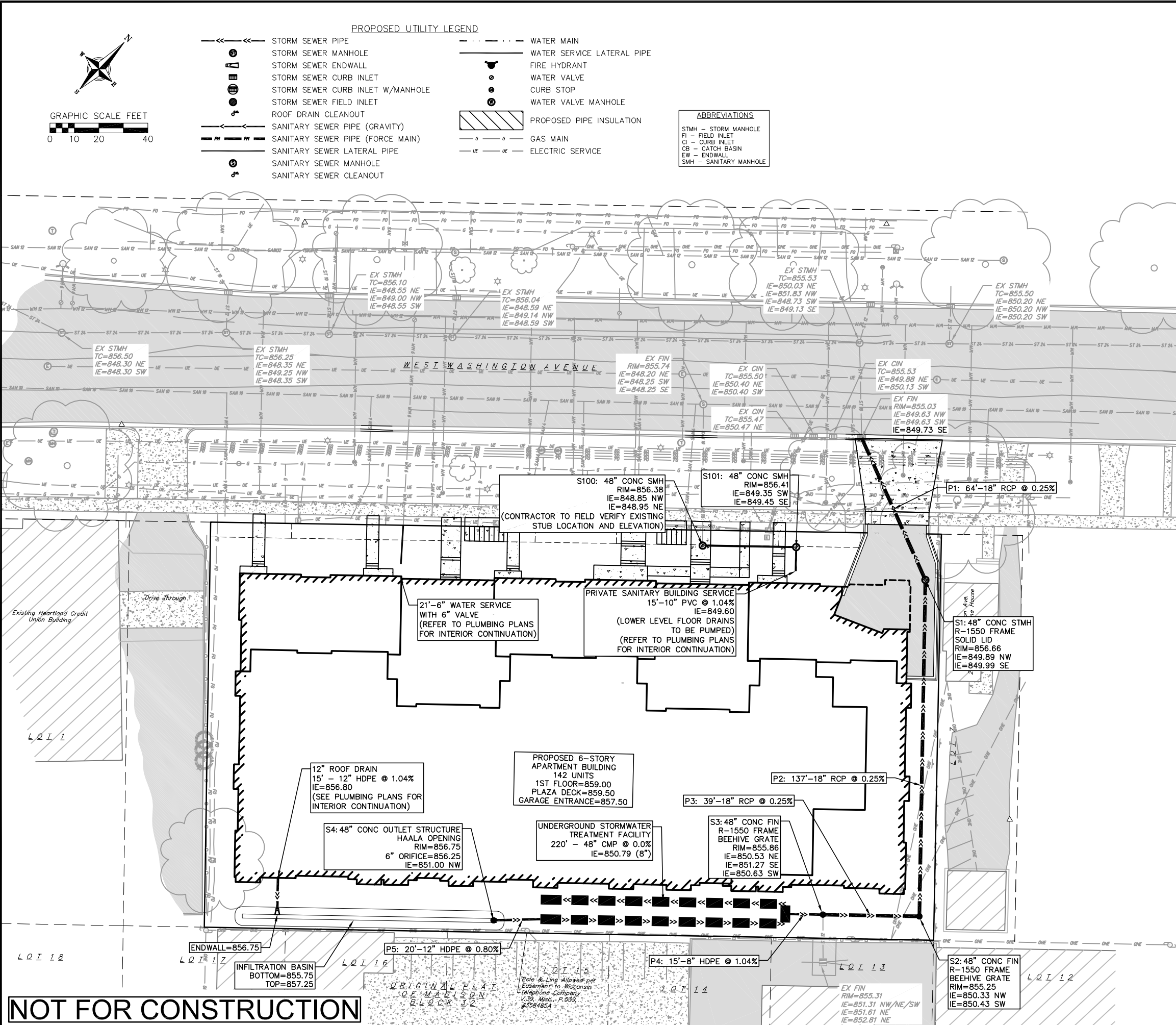
1. CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
2. ALL GRADES SHOWN REFERENCE FINISHED ELEVATIONS.
3. CROSS SLOPE OF SIDEWALKS SHALL BE 1.5% UNLESS OTHERWISE NOTED.
4. LONGITUDINAL GRADE OF SIDEWALK RAMPS SHALL NOT EXCEED 8.33% (1:12) AND SHALL BE IN ACCORDANCE WITH ADA REQUIREMENTS.
5. LONGITUDINAL GRADE OF SIDEWALK SHALL NOT EXCEED 5.0% OR THE ADJACENT STREET GRADE WHICHEVER IS GREATER.
6. ACCESSIBLE ROUTES SHALL BE 5.0% MAX LONGITUDINAL SLOPE AND 1.5% MAX CROSS SLOPE. ACCESSIBLE LOADING AREAS OR LANDINGS SHALL BE 2.0% MAX SLOPE IN ANY DIRECTION. RAMPS SHALL BE 8.33% MAX SLOPE.
7. NO LAND DISTURBANCE ACTIVITIES SHALL BEGIN UNTIL ALL EROSION CONTROL BMP'S ARE INSTALLED.
8. SEE DETAIL SHEETS FOR EROSION CONTROL NOTES AND CONSTRUCTION SEQUENCE.
9. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED DURING CONSTRUCTION TO PUBLIC PROPERTY, PRIVATE PROPERTY OR UTILITIES.
10. RIGHT OF WAY (ROW) AND PROPERTY LINES ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING PROPERTY CORNER MONUMENTATION. ANY MONUMENTS DISTURBED BY CONTRACTOR SHALL BE REPLACED AT THE CONTRACTORS EXPENSE.

CITY FORESTRY NOTES:

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NOT FOR CONSTRUCTION





UTILITY NOTES:

- CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT OF WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING AND ABANDONMENT PERMITS PRIOR TO CONSTRUCTION.
- CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS AND ELEVATIONS PRIOR TO STARTING WORK.
- SANITARY & STORM SEWER LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. STORM SEWER END SECTIONS ARE INCLUDED IN THE LENGTH AND SLOPE OF THE PIPE.
- CONTRACTOR SHALL INVESTIGATE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL UTILITY STRUCTURES TO FINISHED GRADE (MANHOLE RIMS, WATER VALVES, AND CURB STOPS), IF NECESSARY.
- FOR ALL SEWER AND WATER MAIN CROSSINGS: PROVIDE MINIMUM 18" SEPARATION WHEN WATER MAIN CROSSES BELOW SEWER AND MINIMUM 6" SEPARATION WHEN WATER MAIN CROSSES ABOVE SEWER.
- IF DEWATERING OPERATIONS EXCEED 70 GALLONS PER MINUTE OF PUMPING CAPACITY, A DEWATERING WELL PERMIT SHALL BE OBTAINED PRIOR TO STARTING ANY DEWATERING ACTIVITIES.
- A COPY OF THE APPROVED UTILITY PLANS, SPECIFICATIONS AND PLUMBING PERMIT APPROVAL LETTER SHALL BE ON-SITE DURING CONSTRUCTION AND OPEN TO INSPECTION BY AUTHORIZED REPRESENTATIVES OF THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES AND OTHER LOCAL INSPECTORS.
- PROPOSED UTILITY SERVICE LINES SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATION WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
- STORM BUILDING SEWER PIPE SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-6 OF SPS 384.30(3)(c).
- UNDERGROUND DRAIN AND VENT PIPE/TUBING SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-2 OF SPS 384.30(2).
- PRIVATE WATER SERVICES AND PRIVATE WATER MAINS SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-7 OF SPS 384.30(4)(d).
- PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-3 OF SPS 384.30(2)(c).
- A MEANS TO LOCATE BURIED UNDERGROUND EXISTING NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER SPS 382.10(11)(h) AND SPS 382.40(8)(k).
- EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SPS 382.40(8)(b.).
- NO PERSON MAY ENGAGE IN PLUMBING WORK IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PER S.145.06.
- SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE, LOCATION, AND INVERT ELEVATION OF PROPOSED SANITARY AND WATER LATERALS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING VALVES WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. THE CITY IS NOT RESPONSIBLE FOR ANY COSTS INCURRED DUE TO THE CONTRACTOR NOT VERIFYING THAT THE EXISTING VALVE WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. IF A NEW VALVE IS REQUIRED, THE APPLICANT WILL BE REQUIRED TO INSTALL ONE AT THEIR EXPENSE, AT THE POINT OF CONNECTION.
- CONTRACTOR TO CHLORINATE AND BACTERIA TEST BEFORE DOMESTIC SUPPLY PURPOSES
- CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
- SANITARY SEWER MAIN AT BURY DEPTHS GREATER THAN 15' SHALL BE SDR 26. ALL OTHER SANITARY SEWER MAIN SHALL BE SDR 35.
- CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED.
- ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GRADE ELEVATION TO TOP OF MAIN. PROVIDE 1.5' CLEAR SEPARATION IF WATER CROSSES BELOW SEWER AND MINIMUM 0.5' IF WATER CROSSES ABOVE.
- SANITARY MANHOLES WITH SEWER MAIN CONNECTIONS GREATER THAN 2' ABOVE THE LOWEST INVERT SHALL BE CONSTRUCTED WITH AN EXTERNAL DROP. MANHOLES WITH SEWER LATERAL CONNECTIONS GREATER THAN 2' ABOVE THE LOWEST INVERT SHALL BE CONSTRUCTED WITH AN INTERNAL DROP.
- INSTALL 1 SHEET OF 4'x8'x4" HIGH DENSITY STYROFOAM INSULATION AT ALL LOCATIONS WHERE STORM SEWER CROSSES WATER MAIN OR WATER LATERALS.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW BY THE ENGINEER, PRIOR TO PLACING AN ORDER OF ANY SUCH ITEM.

REVISONS	NO.	DATE	REMARKS
DATE	05/06/2022		
DRAFTER	ZDR		
CHECKED	RKL		
PROJECT NO.	210359		
C4.0			

06 May 2022 - 10:30a M:\Madison Property Mgmt\210359_519-547 W Washington Ave\CA DD\210359_Notes and Details.dwg by: rjch

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EROSION CONTROL MEASURES

- EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.
- CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (<http://dnr.wi.gov/runoff/stormwater/techstds.htm>) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.
- INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, ETC.) PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
- EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
- A 3" CLEAR STONE TRACKING PAD SHALL BE INSTALLED AT THE END OF ROAD CONSTRUCTION LIMITS TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WisDNR TECHNICAL STANDARD 1057. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.
- CHANNELIZED RUNOFF: FROM ADJACENT AREAS PASSING THROUGH THE SITE SHALL BE DIVERTED AROUND DISTURBED AREAS.
- STABILIZED DISTURBED GROUND: ANY SOIL OR DIRT PILES WHICH WILL REMAIN IN EXISTENCE FOR MORE THAN 7-CONSECUTIVE DAYS, WHETHER TO BE WORKED DURING THAT PERIOD OR NOT, SHALL NOT BE LOCATED WITHIN 25-FEET OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TARPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN-WORKED FOR A PERIOD OF MORE THAN 7-CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS STABILIZED.
- SITE DE-WATERING: WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROL MEASURES. SEDIMENTATION BASINS SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BE SURROUNDED BY SNOWFENCE OR EQUIVALENT BARRIER AND HAVE SUFFICIENT SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NO MORE THAN 750 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1061 (DE-WATERING).
- RESTORATION (SEED, FERTILIZE AND MULCH) SHALL BE PER SPECIFICATIONS ON THIS SHEET UNLESS SPECIAL RESTORATION IS CALLED FOR ON THE LANDSCAPE PLAN OR THE DETENTION BASIN DETAIL SHEET.
- TERRACES SHALL BE RESTORED WITH 6" TOPSOIL, PERMANENT SEED, FERTILIZER AND MULCH. LOTS SHALL BE RESTORED WITH 6" TOPSOIL, TEMPORARY SEED, FERTILIZER AND MULCH.
- SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.
- FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, EROSION MAT, SOD) OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEEDED AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
- SOIL STABILIZERS SHALL BE APPLIED TO DISTURBED AREAS WITH SLOPES BETWEEN 10% AND 3:1 (DO NOT USE IN CHANNELS). SOIL STABILIZERS SHALL BE TYPE B, PER WISCONSIN D.O.T. P.A.L. (PRODUCT ACCEPTABILITY LIST), OR EQUAL. APPLY AT RATES AND METHODS SPECIFIED PER MANUFACTURER/THIS SHEET. SOIL STABILIZERS SHALL BE RE-APPLIED WHENEVER VEHICLES OR OTHER EQUIPMENT TRACK ON THE AREA.
- SILT FENCE OR EROSION MAT SHALL BE INSTALLED ALONG THE CONTOURS AT 100 FOOT INTERVALS DOWN THE SLOPE ON THE DISTURBED SLOPES STEEPER THAN 5% AND MORE THAN 100 FEET LONG THAT SHEET FLOW TO THE ROADWAY UNLESS SOIL STABILIZERS ARE USED.
- SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY. SEE DETAILS.
- SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE.
- ALL CONSTRUCTION ENTRANCES SHALL HAVE TEMPORARY ROAD CLOSED SIGNS THAT WILL BE IN PLACE WHEN THE ENTRANCE IS NOT IN USE AND AT THE END OF EACH DAY.
- ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY ENGINEER OR PERMITTING MUNICIPALITY.
- THE CITY, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.

CONSTRUCTION SEQUENCE:

- INSTALL SILT FENCE, TRACKING PAD, INLET PROTECTION
- DEMOLISH EXISTING BUILDINGS
- ROUGH GRADE SITE
- EXCAVATE AND CONSTRUCT BUILDING FOUNDATION
- CONSTRUCT UNDERGROUND UTILITIES
- INSTALL INLET PROTECTION ON NEW INLET
- CONSTRUCT BUILDING
- CONSTRUCT PAVEMENT (STONE BASE, CURB & GUTTER, AND SIDEWALK)
- RESTORE TERRACES
- REMOVE TRACKING PAD AND SILT FENCE AFTER DISTURBED AREAS ARE RESTORED

SEEDING RATES:

TEMPORARY:

- USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.
- USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF FOR FALL PLANTINGS STARTED

AFTER SEPTEMBER 15.

PERMANENT:

- USE WISCONSIN D.O.T. SEED MIX #40 AT 2 LB./1,000 S.F.

FERTILIZING RATES:

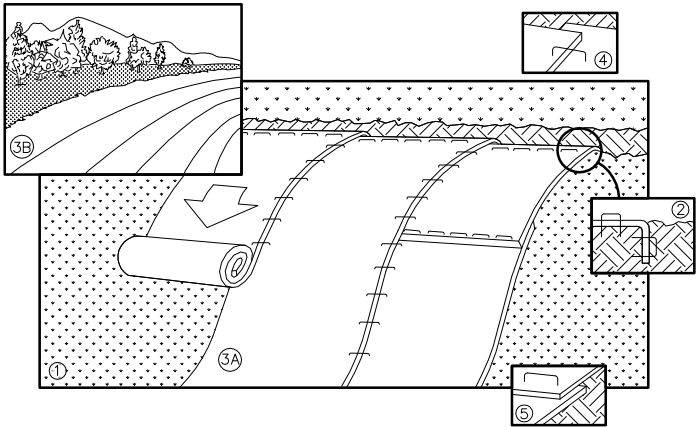
TEMPORARY AND PERMANENT:

USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.

MULCHING RATES:

TEMPORARY AND PERMANENT:

USE ½" TO 1-½" STRAW OR HAY MULCH, CRIMPED PER SECTION 607.3.2.3, OR OTHER RATE AND METHOD PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION

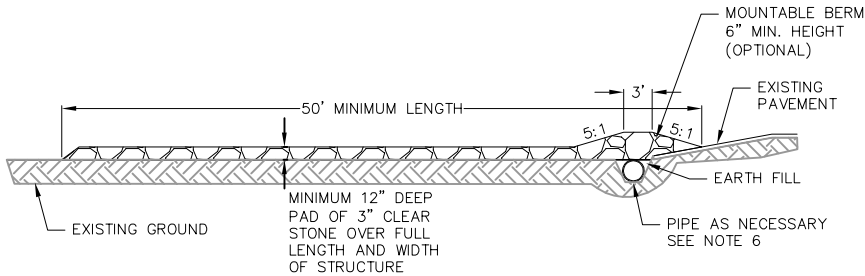


NOTE: REFER TO GENERAL STAPLE PATTERN GUIDE FOR CORRECT STAPLE PATTERN RECOMMENDATIONS FOR SLOPE INSTALLATIONS.

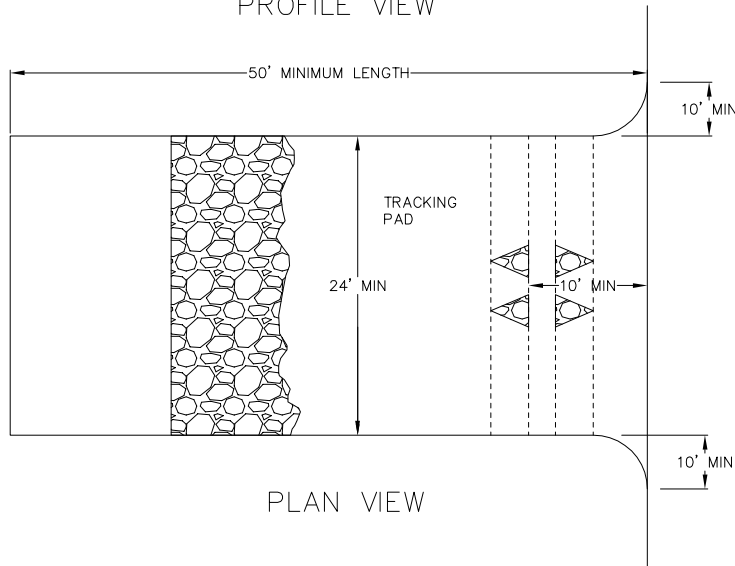
- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF FERTILIZER AND SEED.
NOTE: WHEN USING CELL-O-SEED, DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
- BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP BY 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
- ROLL THE BLANKETS <A.> DOWN, OR <B.> HORIZONTALLY ACROSS THE SLOPE.
- THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
- WHEN BLANKETS MUST BE SPLICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 4" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.
- ALL BLANKETS MUST BE SECURELY FASTENED TO THE SLOPE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS RECOMMENDED BY THE MANUFACTURER.

1 EROSION MAT

C5.0 NOT TO SCALE



PROFILE VIEW

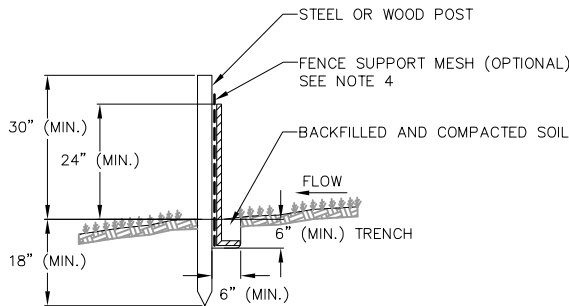


PLAN VIEW

- FOLLOW WISCONSIN DNR TECHNICAL STANDARD 1057 FOR FURTHER DETAILS AND INSTALLATION.
- LENGTH - MINIMUM OF 50'
- WIDTH - 24' MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
- ON SITES WITH A HIGH GROUND WATER TABLE OR WHERE SATURATED CONDITIONS EXIST, GEOTEXTILE FABRIC SHALL BE PLACED OVER EXISTING GROUND PRIOR TO PLACING STONE. FABRIC SHALL BE WISDOT TYPE-HR GEOTEXTILE FABRIC.
- STONE - CRUSHED 3" CLEAR STONE SHALL BE PLACED AT LEAST 12" DEEP OVER THE ENTIRE LENGTH AND WIDTH OF ENTRANCE.
- SURFACE WATER - ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARDS CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND MINIMUM OF 6" STONE OVER THE PIPE. PIPE SHALL BE SIZED ACCORDING TO THE DRAINAGE REQUIREMENTS. WHEN THE ENTRANCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY A PIPE SHALL NOT BE NECESSARY. THE MINIMUM PIPE DIAMETER SHALL BE 6". CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF SAID PIPE.
- LOCATION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED WHERE CONSTRUCTION TRAFFIC ENTERS AND/OR LEAVES THE CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE TRACKING PAD.

2 TRACKING PAD

C5.0 NOT TO SCALE



NOTES:

- INSTALL SILT FENCE TO FOLLOW THE GROUND CONTOURS AS CLOSELY AS POSSIBLE.
- CURVE THE SILT FENCE UP THE SLOPE TO PREVENT WATER FROM RUNNING AROUND THE ENDS.
- POST SPACING WITH FENCE SUPPORT MESH = 10 FT. (MAX.)
POST SPACING WITHOUT FENCE SUPPORT MESH = 6 FT. (MAX.)
- SILT FENCE SUPPORT MESH CONSISTS OF 14-GAUGE STEEL WIRE WITH A MESH SPACING OF 6 IN. X 6 IN. OR PREFABRICATED POLYMERIC MESH OF EQUIVALENT STRENGTH

3 SILT FENCE

C5.0 NOT TO SCALE

NOT FOR CONSTRUCTION



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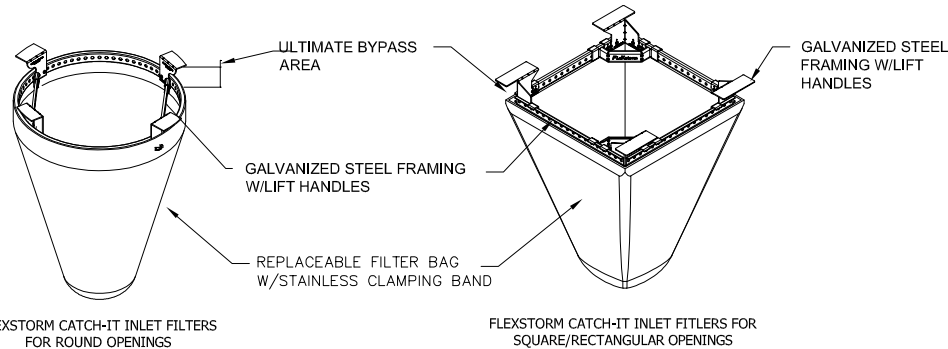
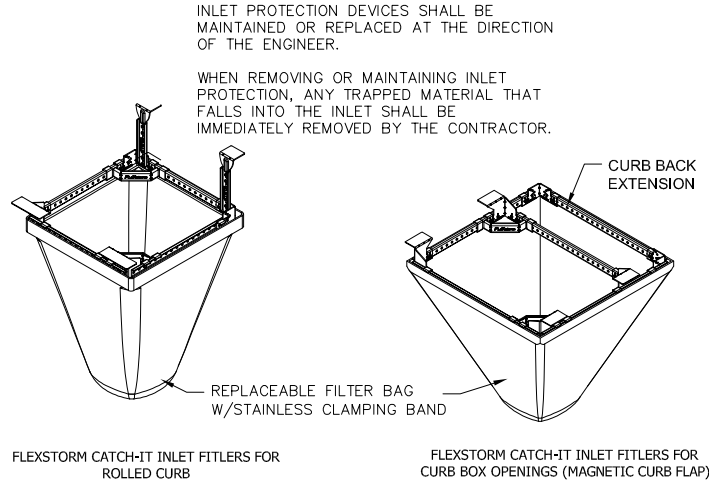
Construction Details

519-547 W Washington Avenue

City of Madison

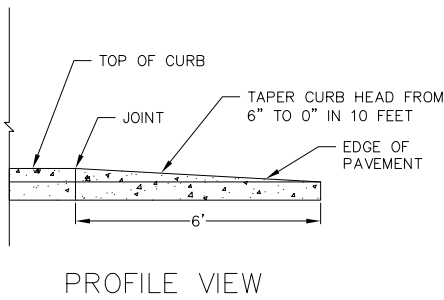
Dane County, Wisconsin

REVISIONS	NO.	DATE	REMARKS	NO.	DATE	REMARKS
DATE						
05/06/2022						
DRAFTER						
ZDRE						
CHECKED						
RKOL						
PROJECT NO.						
210359						
C5.0						

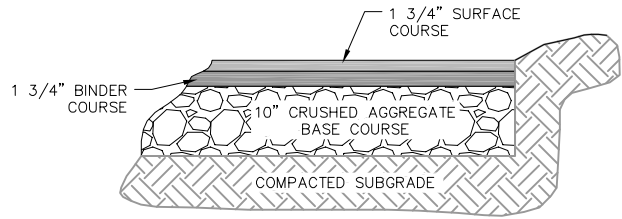


NEENAH CASTING	INLET TYPE	GRATE SIZE	OPENING SIZE	ADS P/N
1040/1642/1733	ROUND	26	24	62MRDFX
3067 W/FLAP	CURB BOX	35.25 X 17.75	33.0 X 15.0	62LCBEXTFX
3067 EXTENDED BACK	CURB BOX	35.25 X 17.75	33.0 X 15.0	62LCBEXTFX
3246A	CURB BOX	35.75 X 23.875	33.5 X 21.0	62LCBFX
3030	SQUARE/RECT	23 X 16	20.5 X 13.5	62MCBFX
3067-C	SQUARE/RECT	35.25 X 17.75	33 X 15	62LSQFX

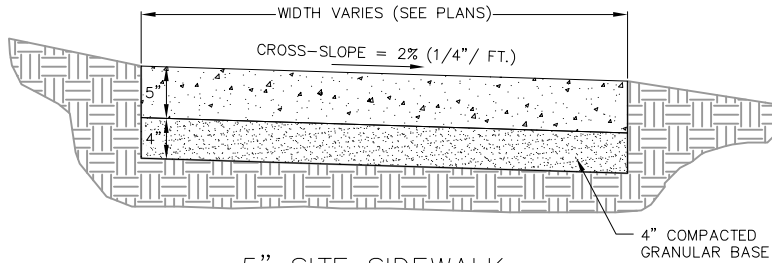
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C5.1
FRAMED INLET PROTECTION
NOT TO SCALE



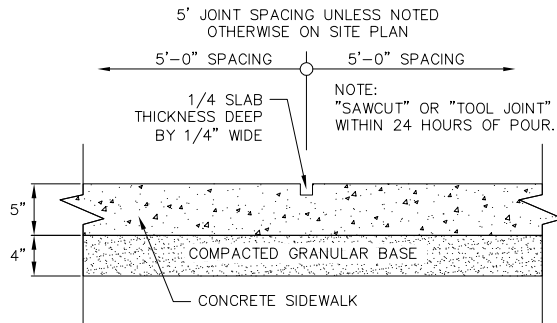
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C5.1
CURB & GUTTER TERMINATION
NOT TO SCALE



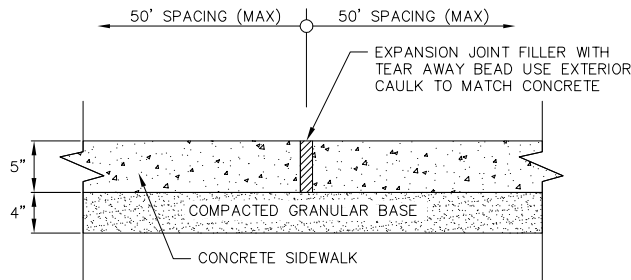
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C5.1
SITE PAVEMENT
NOT TO SCALE



5" SITE SIDEWALK

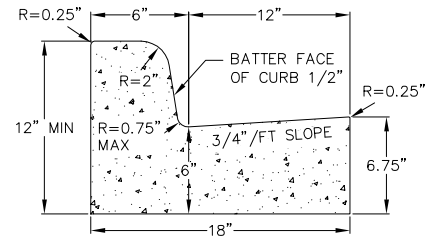


SIDEWALK CONTROL JOINT

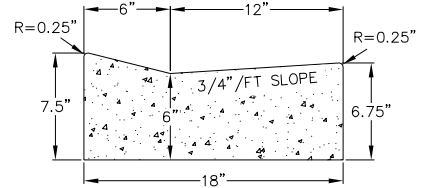


SIDEWALK EXPANSION JOINT

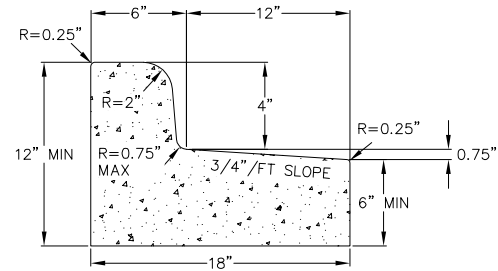
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C5.1
5" SIDEWALK
NOT TO SCALE



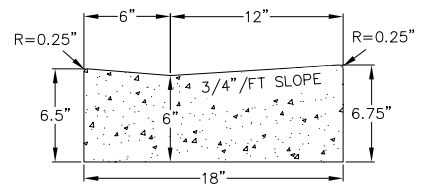
CURB AND GUTTER CROSS SECTION



DRIVEWAY GUTTER CROSS SECTION



CURB AND GUTTER REJECT SECTION



HANDICAP RAMP GUTTER CROSS SECTION

5
C5.1
18" CONCRETE CURB AND GUTTER
NOT TO SCALE

NOT FOR CONSTRUCTION



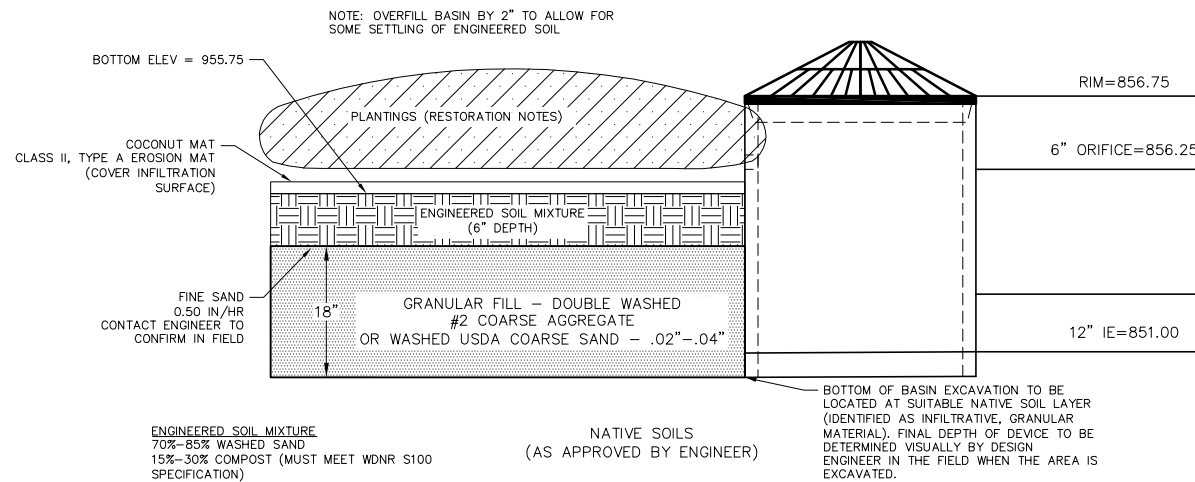
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Construction Details
519-547 W Washington Avenue
City of Madison
Dane County, Wisconsin

REVISIONS	NO.	DATE	REMARKS

DATE	05/06/2022
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PROJECT NO.	210359

C5.1

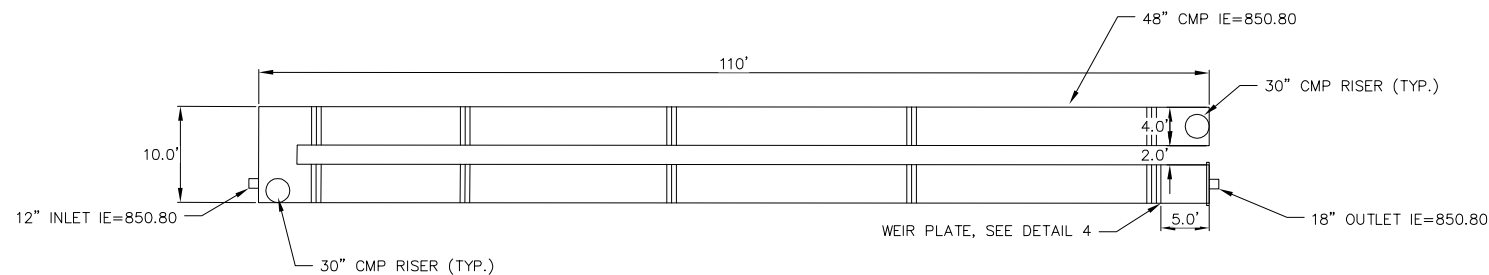


RESTORATION OF THE INFILTRATION AREA (NOT INCLUDING SIDE SLOPES):

1. OVER-EXCAVATE THE AREA TO INFILTRATIVE LAYER TO BE DETERMINED IN THE FIELD, DURING EXCAVATION, BY DESIGN ENGINEER.
2. CONTRACTOR SHALL CHISEL PLOW OR ROTO-TILL THE BOTTOM OF THE INFILTRATION FACILITY TO BREAK UP ANY HARDPAK IN THE NATIVE SOIL LAYER AFTER REMOVAL OF CONSTRUCTION SEDIMENT AND OVER EXCAVATION TO A BAY AREA.
3. PLACE WASHED SAND (FREE OF P200 PARTICLES) TO DEPTH OF SUITABLE NATIVE SOIL LAYER (IF REQUIRED).
4. PLACE 6 INCHES OF ENGINEERED SOIL, COMPRISED OF:
70-85% WASHED SAND
15-30% COMPOST (MUST MEET WDNR S100 SPECIFICATION)
5. INFILTRATION FACILITY INTERIOR SIDE SLOPES AND TOP OF ACCESS BERM SHALL BE SEEDDED WITH SHORT GRASS PRAIRIE SEED MIX BY AGRECOL (OR APPROVED EQUAL). APPLICATION RATES PER MANUFACTURER'S RECOMMENDATIONS.
6. BOTTOM OF INFILTRATION FACILITY TO BE RESTORED WITH INFILTRATION SWALE SEED MIX BY AGRECOL (OR APPROVED EQUAL). APPLICATION RATES PER MANUFACTURER'S RECOMMENDATIONS.

1 INFILTRATION BASIN

C5.2) NOT TO SCALE

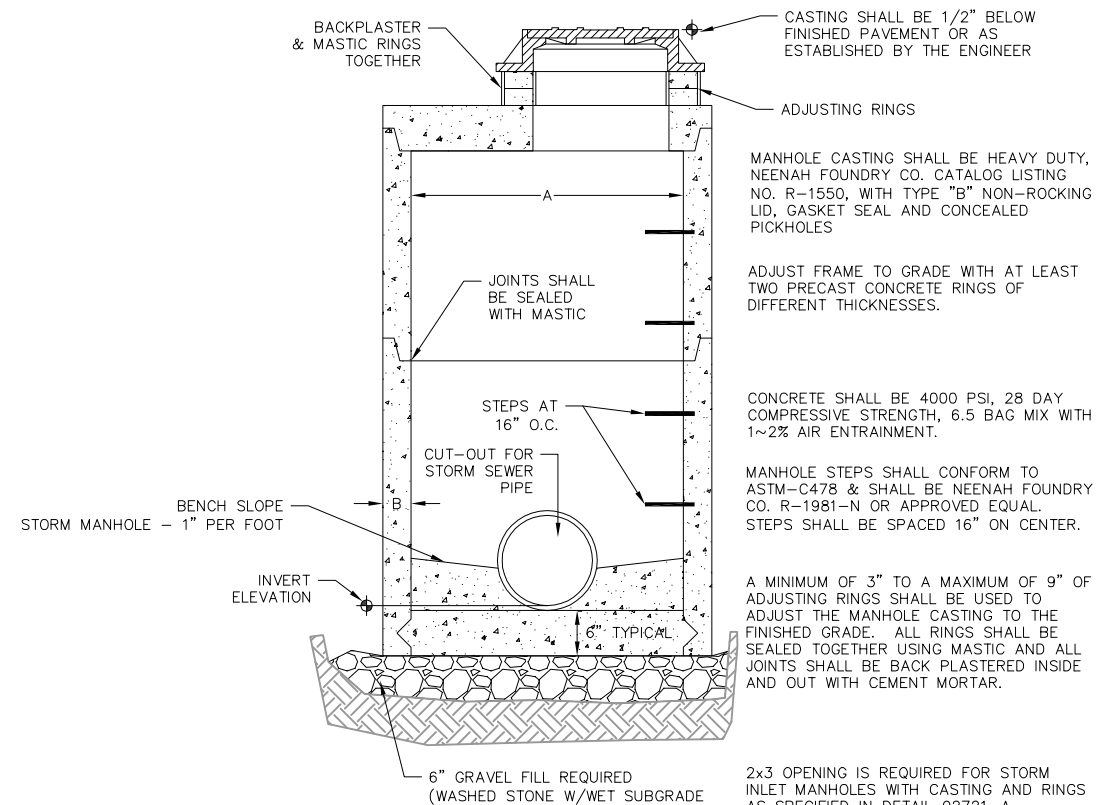


PLAN VIEW

REFER TO PLANS FROM CONTECH FOR FINAL LAYOUT
AND CONSTRUCTION & INSTALLATION DETAILS

3 48" CMP DETENTION SYSTEM

5.2) NOT TO SCALE

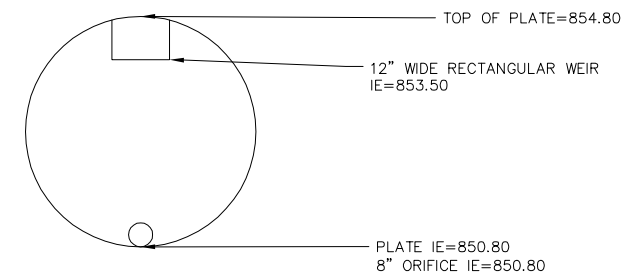


STORM MANHOLE DIMENSIONS

MANHOLE SIZE	DIMENSION	
	A	B (MIN.)
48"	48"	5"
60"	60"	6"
72"	72"	7"
84"	84"	7"
96"	96"	9"

2 STORM SEWER MANHOLE

NOT TO SCALE



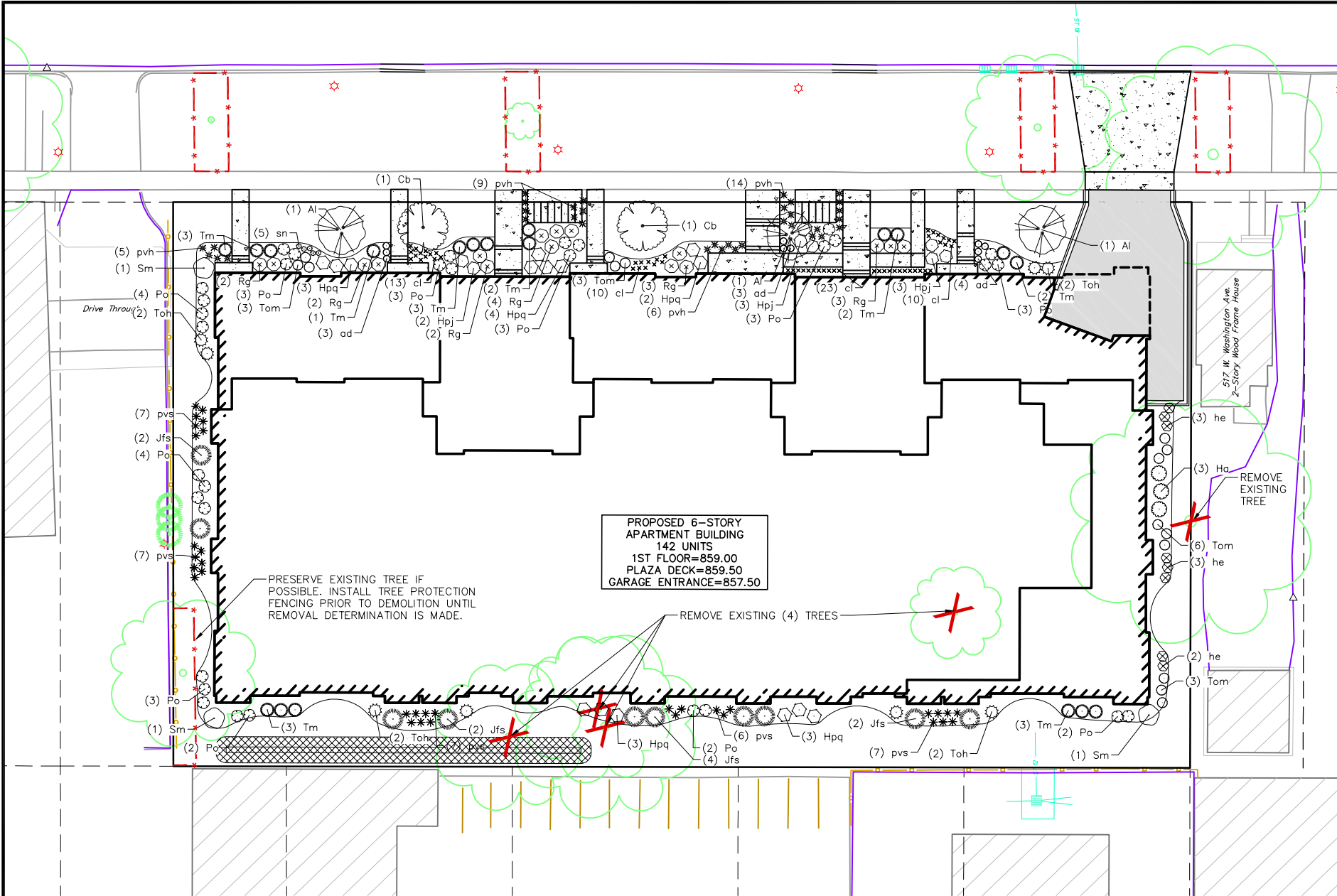
48" DIAMETER WEIR PLATE

NOT TO SCALE

NOT FOR CONSTRUCTION

REPORTING			REPORTING		
NO.	DATE	REMARKS	NO.	DATE	REMARKS

DATE	05/06/2022
RAFTER	ZDRE
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PROJECT NO.	210359

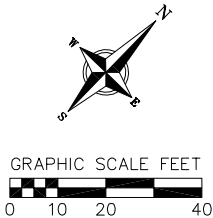


PLANT SCHEDULE

UNDERSTORY TREES	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	NOTES	QTY
Al	Amelanchier laevis / Allegheny Serviceberry	B & B	7' ht.	Multi-Stem	3
Cb	Carpinus caroliniana 'J.N. Globe' TM / Ball O' Fire American Hornbeam	B & B	2" Cal		2
DECIDUOUS SHRUBS	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	NOTES	QTY
Ha	Hydrangea arborescens 'Incrediball' / Incrediball White Hydrangea	Cont.	5 Gal.		3
Hpj	Hydrangea paniculata 'Jane' TM / Little Lime Hydrangea	Cont.	5 Gal.		8
Hpq	Hydrangea paniculata 'Little Quick Fire' / Little Quick Fire Hydrangea	Cont.	5 Gal.		15
Po	Physocarpus opulifolius 'Donna May' TM / Little Devil Ninebark	Cont.	5 Gal.		32
Rg	Ribes alpinum 'Green Mound' / Green Mound Alpine Currant	Cont.	3 Gal.		16
Sm	Syringa meyeri 'Palibin' / Dwarf Korean Lilac	Cont.	7 Gal.		3
EVERGREEN SHRUBS	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	NOTES	QTY
Jfs	Juniperus chinensis 'Sea Green' / Sea Green Juniper	Cont.	5 Gal.		10
Tm	Taxus x media 'Everlow' / Everlow Yew	Cont.	5 Gal.		19
Tom	Thuja occidentalis 'Hetz Midget' / Hetz Midget Arborvitae	Cont.	5 Gal.		15
Toh	Thuja occidentalis 'Holmstrup' / Holmstrup Cedar	B & B	5' ht.		8
PERENNIALS	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	NOTES	QTY
ad	Astilbe x 'Delft Lace' / Delft Lace Astilbe	Cont.	1 Gal.		10
cl	Chasmanthium latifolium / Northern Sea Oats	Cont.	1 Gal.		56
he	Hosta x 'Earth Angel' / Earth Angel Hosta	Cont.	1 Gal.		8
pvh	Panicum virgatum 'Heavy Metal' / Heavy Metal Switch Grass	Cont.	1 Gal.		34
pvs	Panicum virgatum 'Shenandoah' / Shenandoah Red Switch Grass	Cont.	1 Gal.		34
sn	Salvia nemorosa 'Blue Hill' / Woodland Sage	Cont.	1 Gal.		5

BASIN SEED SCHEDULE

	STORMWATER BASIN SEED MIX	835 sf
--	---------------------------	--------



PLANT MATERIAL NOTES:

- ALL PLANTINGS SHALL CONFORM TO QUALITY REQUIREMENTS AS PER ANSI Z60.1.
- ALL PLANT MATERIAL SHALL BE TRUE TO SPECIES, VARIETY AND SIZE SPECIFIED, NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES, AND UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE OF THE PROJECT SITE.
- CONTACT LANDSCAPE ARCHITECT, IN WRITING, TO REQUEST ANY PLANT MATERIAL SUBSTITUTIONS DUE TO AVAILABILITY ISSUES.
- ALL PLANTS SHALL BE GUARANTEED TO BE IN HEALTHY AND FLOURISHING CONDITION DURING THE GROWING SEASON FOLLOWING INSTALLATION. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR FROM THE TIME OF INSTALLATION.

LANDSCAPE MATERIAL NOTES:

- CONTRACTOR SHALL PROVIDE A SUITABLE AMENDED TOPSOIL BLEND FOR ALL PLANTING AREAS WHERE SOIL CONDITIONS ARE UNSUITABLE FOR PLANT GROWTH. TOPSOIL SHALL CONFORM TO QUALITY REQUIREMENTS AS PER SECTION 625.2(1) OF THE "STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION." PROVIDE A MINIMUM OF 18" OF TOPSOIL IN ALL PLANTING AREAS AND 6" OF TOPSOIL IN AREAS TO BE SEEDED/SODDED.
- LANDSCAPE BEDS TO BE MULCHED WITH UNDYED SHREDDED HARDWOOD BARK MULCH TO 3" DEPTH MIN. AND EDGED WITH COMMERCIAL GRADE ALUMINUM LANDSCAPE EDGING, PERMALOC CLEANLINE 1/8"x4" OR EQUAL, COLOR BLACK ANODIZED.
- ALL TREES AND/OR SHRUBS PLANTED IN LAWN AREAS TO BE INSTALLED WITH A 5' DIAMETER MULCH RING AND SHOVEL CUT EDGE. A PRE-EMERGENT GRANULAR HERBICIDE WEED-PREVENTER SHOULD BE MIXED WITH MULCH AS WELL AS TOPICALLY APPLIED TO TREE RING.

SEEDING NOTES:

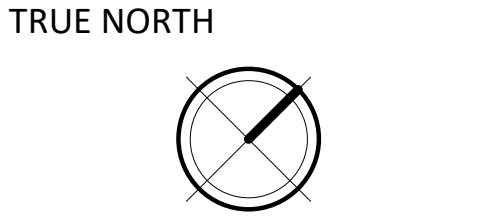
- ALL DISTURBED AREAS, UNLESS OTHERWISE NOTED, TO BE SEEDED WITH 'MADISON PARKS' MIX BY 'LACROSSE SEED COMPANY' OR EQUIVALENT, PER MANUFACTURER'S SPECIFIED APPLICATION RATES. ALL SEEDED AREAS ARE TO BE WATERED DAILY TO MAINTAIN ADEQUATE SOIL MOISTURE FOR PROPER GERMINATION. AFTER VIGOROUS GROWTH IS ESTABLISHED, APPLY 1/2" WATER TWICE WEEKLY UNTIL FINAL ACCEPTANCE.
- ALL AREAS NOTED ON PLAN AS STORMWATER BASIN SEEDING, INSTALL 'DETENTION BASIN - BIOSWALE' SEED MIX BY 'PRAIRIE NURSERY'. INSTALL PER MANUFACTURER'S SPECIFIED APPLICATION RATES. ALL SEEDED AREAS ARE TO BE WATERED DAILY TO MAINTAIN ADEQUATE SOIL MOISTURE FOR PROPER GERMINATION. AFTER VIGOROUS GROWTH IS ESTABLISHED, APPLY 1/2" WATER TWICE WEEKLY UNTIL FINAL ACCEPTANCE.

City of Madison Landscape Worksheet									
Address:	525-547 W Washington	Date:	5.10.2022						
Total Square Footage of Developed Area:	(Site Area) 49,384		-	(Building Footprint at Grade)	33,919	=	15,465	sf	
Total Landscape Points Required (<5 ac):	15,465	/ 300 =	52	x 5 =	258				
Landscape Points Required >5 ac:	0	/ 100 =	0	x 1 =	-				
Plant Type/ Element	Min. Size at Installation	Points	Quantity	Points Achieved	Quantity	Points Achieved			
Overstory deciduous tree	2.5" cal	35	1	35		0			
Tall Evergreen Tree	5-6 feet tall	35		0		0			
Ornamental tree	1.5" cal	15		0	5	75			
Upright evergreen shrub	3-4 feet tall	10		0	8	80			
Shrub, deciduous	#3 gallon container size, Min. 12-24"	3		0	77	231			
Shrub, evergreen	#3 gallon container size, Min. 12-24"	4		0	44	176			
Ornamental grasses/perennials	#1 gallon container size, Min. 8-18"	2		0	147	294			
Ornamental/decorative fencing or wall	n/a	4 per 10 LF		0		0			
Existing significant specimen tree	Min. Size 2.5" cal. Trees must be within developed area and cannot comprise more than 30% of total required points.	14 per caliper inch. Max. points per tree: 200		0		0			
Landscape Furniture for public seating and/or transit connections	Furniture must be within developed area, publicly accessible, and cannot comprise more than 5% of total required points	5 points per "seat"		0		0			
Sub Totals				35		856			
Total Points Provided:				891					

NOT FOR CONSTRUCTION

REVISIONS	NO.	DATE	REMARKS

DATE	5/10/2022
DRAFTER	SVIN
CHECKED	RKOL
PROJECT NO.	210359



KEY PLAN

ISSUED

PROJECT TITLE
West Washington
Development

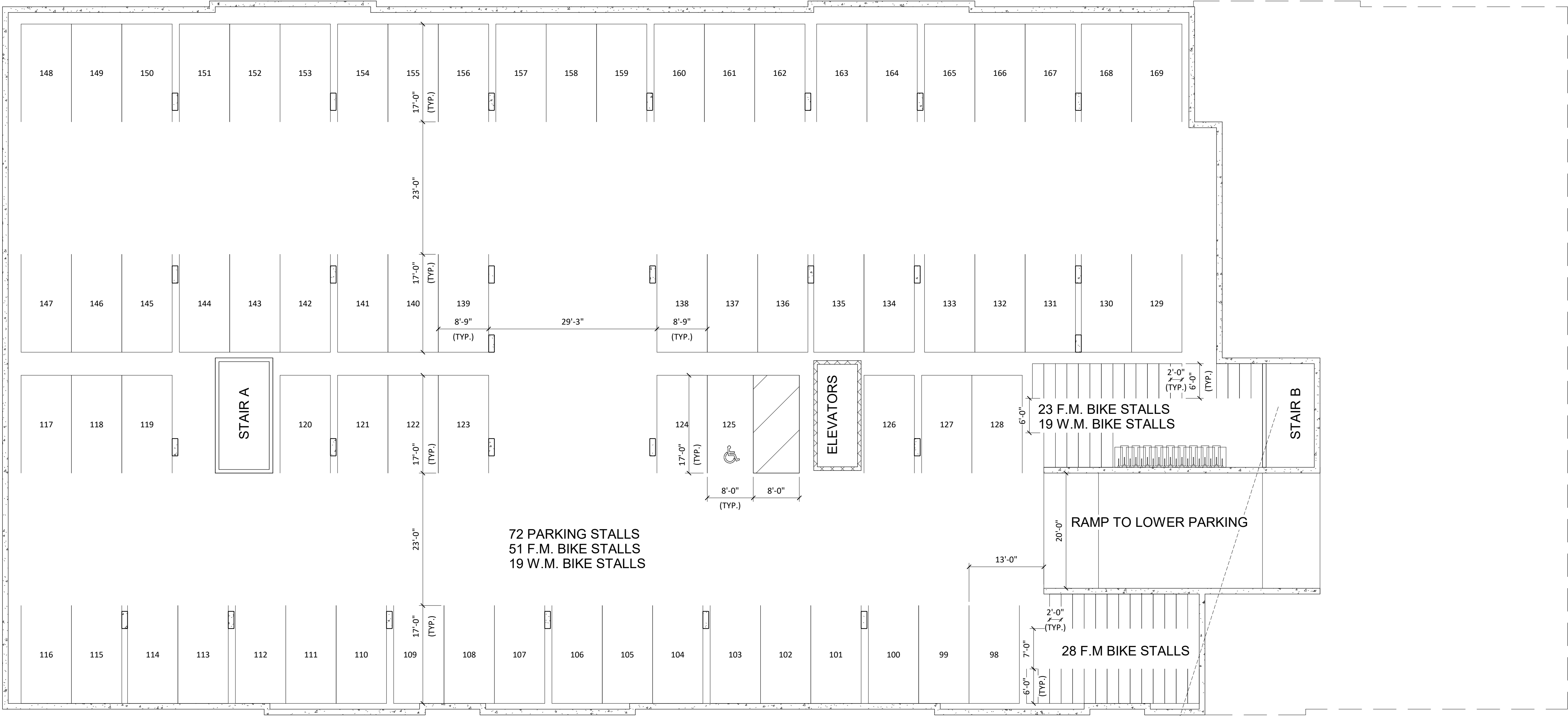
525-547 W Washington
Ave.
Madison, Wisconsin
SHEET TITLE

LOWER
BASEMENT
FLOOR PLAN

SHEET NUMBER

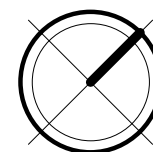
A-0.0
PROJECT NUMBER 2143

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1 -00 - LOWER BASEMENT
A-0.0 3/32" = 1'-0"

TRUE NORTH



KEY PLAN

ISSUED

PROJECT TITLE

West Washington
Development

525-547 W Washington
Ave.

Madison, Wisconsin

SHEET TITLE

FIRST FLOOR
PLAN

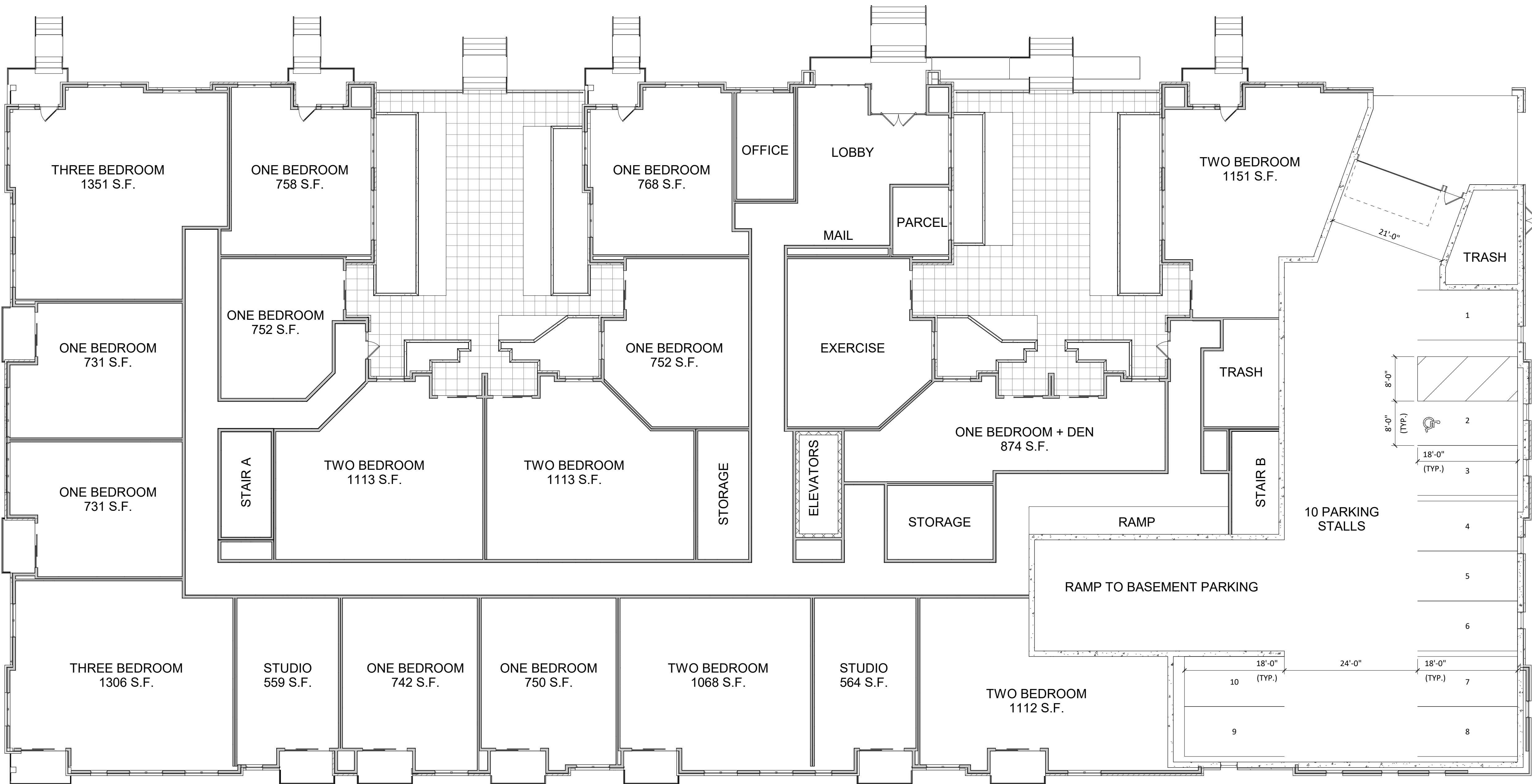
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A-1.1

PROJECT NUMBER 2143

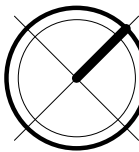
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1 01 - FIRST FLOOR
A-1.1 3/32" = 1'-0"

TRUE NORTH



KEY PLAN

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PROJECT TITLE

West Washington
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525-547 W Washington
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Madison, Wisconsin
SHEET TITLE

SECOND FLOOR
PLAN

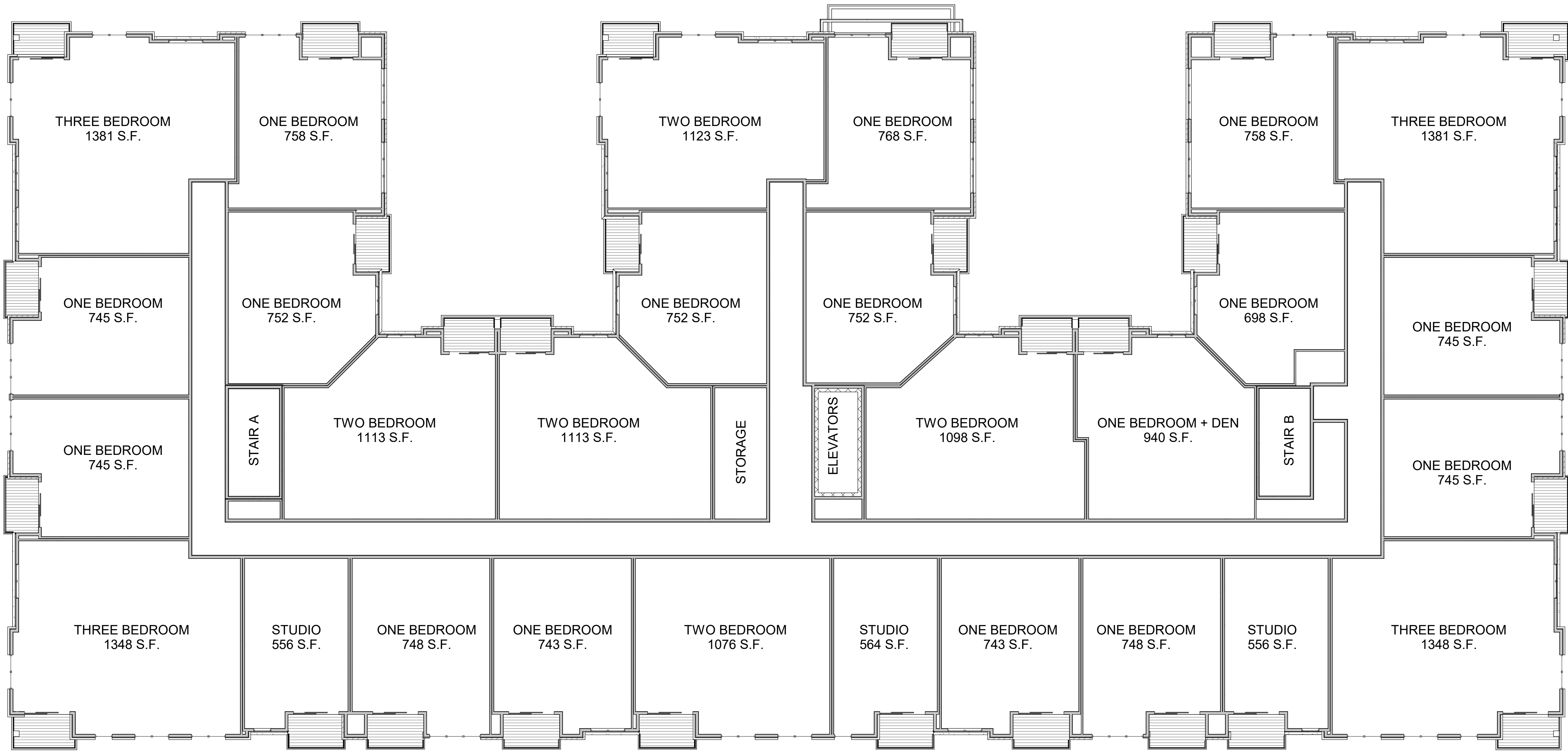
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A-1.2

PROJECT NUMBER 2143

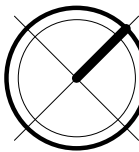
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1 02 - SECOND FLOOR
A-1.2 3/32" = 1'-0"

TRUE NORTH



KEY PLAN

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PROJECT TITLE

West Washington
Development

525-547 W Washington
Ave.

Madison, Wisconsin
SHEET TITLE

THIRD FLOOR
PLAN

SHEET NUMBER

A-1.3

PROJECT NUMBER 2143

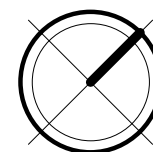
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1 03 - THIRD FLOOR
A-1.3 3/32" = 1'-0"

TRUE NORTH



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West Washington
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525-547 W Washington
Ave.

Madison, Wisconsin
SHEET TITLE

FOURTH FLOOR
PLAN

SHEET NUMBER

A-1.4

PROJECT NUMBER 2143

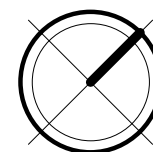
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1 04 - FOURTH FLOOR
A-1.4 3/32" = 1'-0"

TRUE NORTH



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PROJECT TITLE

West Washington
Development

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Madison, Wisconsin
SHEET TITLE

FIFTH FLOOR
PLAN

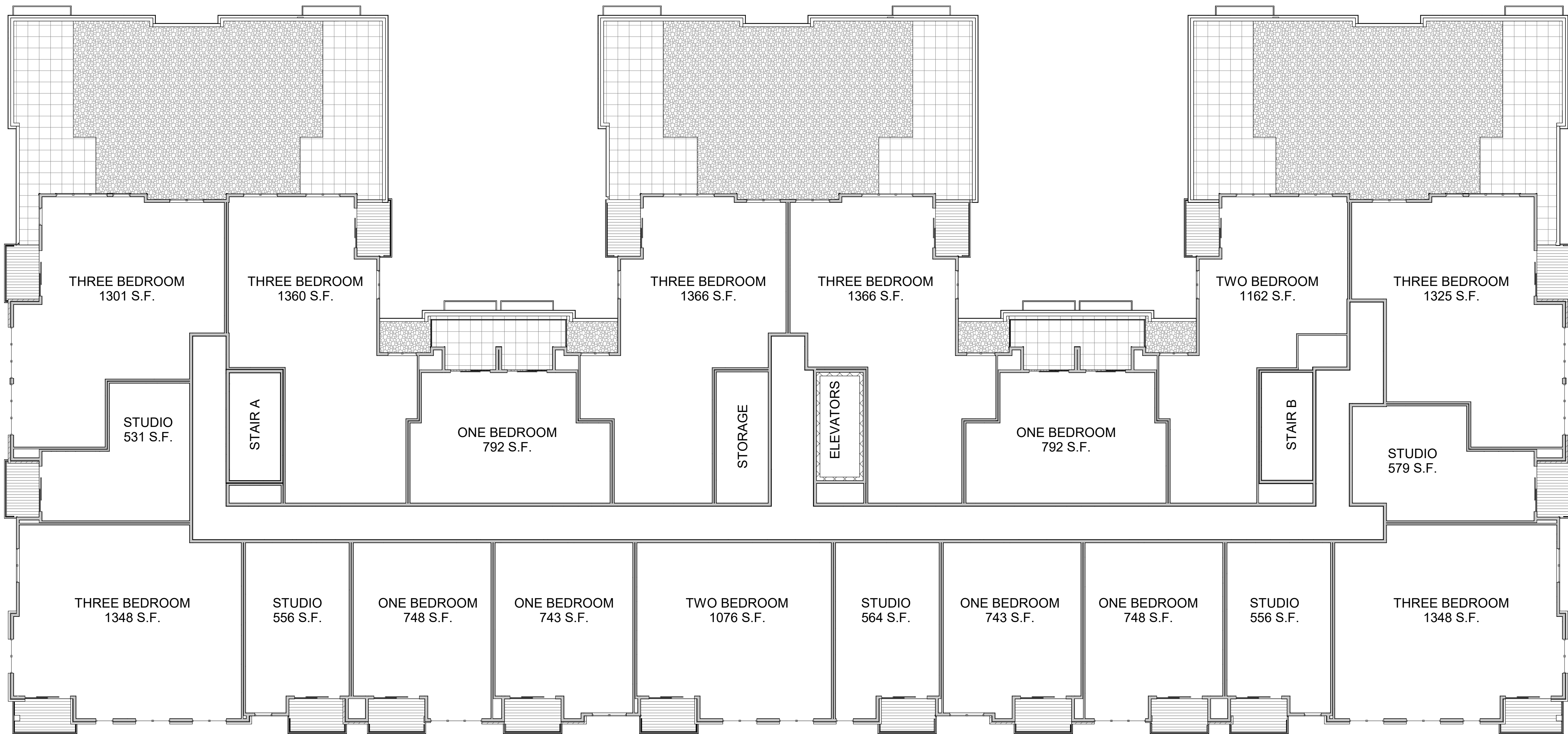
SHEET NUMBER

A-1.5

PROJECT NUMBER 2143

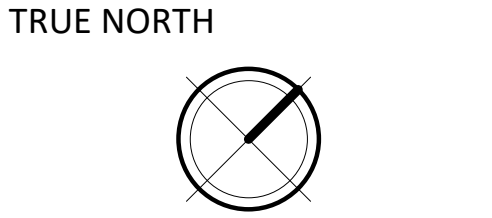
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1 05 - FIFTH FLOOR
A-1.5 3/32" = 1'-0"

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KEY PLAN

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Development

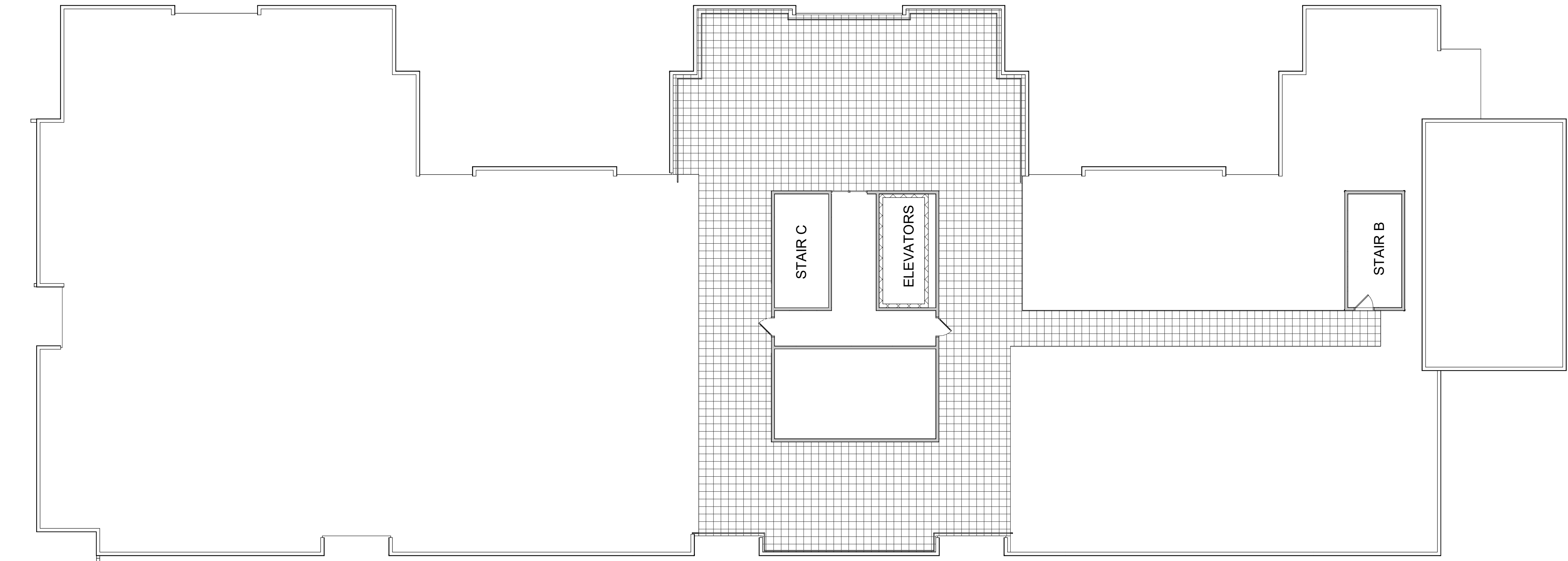
525-547 W Washington
Ave.
Madison, Wisconsin

SHEET TITLE
SIXTH FLOOR
PLAN

SHEET NUMBER

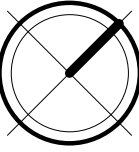
A-1.6
PROJECT NUMBER 2143





1 07 - ROOF DECK
A-1.7 3/32" = 1'-0"

TRUE NORTH



KEY PLAN

ISSUED

PROJECT TITLE

West Washington
Development

525-547 W Washington
Ave.

Madison, Wisconsin

SHEET TITLE

ROOF DECK PLAN

SHEET NUMBER

A-1.7

PROJECT NUMBER

2143



1 ELEVATION - NORTH
A-2.1 3/32" = 1'-0"



2 ELEVATION - SOUTH
A-2.1 3/32" = 1'-0"

EXTERIOR MATERIAL SCHEDULE					
BUILDING ELEMENT	MANUFACTURER	COLOR	BUILDING ELEMENT	MANUFACTURER	COLOR
METAL SIDING (#1)	CMG	ALMOND	CAST STONE BANDS & SILLS	EDWARDS CAST STONE	TBD
METAL SIDING (#2)	CMG	DARK BRONZE	COMPOSITE WINDOWS	ANDERSEN 100	BLACK
COMPOSITE PANEL	JAMES HARDIE	IRON GRAY	ALUM. STOREFRONT	N/A	BLACK
COMPOSITE TRIM	JAMES HARDIE	MATCH ADJ. SIDING COLOR	INSULATED METAL DOORS/FRAMES	N/A	TBD
BRICK VENEER (#1)	INTERSTATE BRICK	ALMOND	CANOPY & BAY SOFFITS	JAMES HARDIE	COLOR TO MATCH ADJ. TRIM/SIDING
BRICK VENEER (#2)	INTERSTATE BRICK	TUMBLEWEED	RAILINGS & HANDRAILS	SUPERIOR	BLACK
MASONRY BASE VENEER	ARRISCRAFT	SUNSET	TREATED-EXPOSED DECK BEAMS	N/A	BROWN TREATED

ISSUED

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Development

525-547 W Washington
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Madison, Wisconsin
SHEET TITLE
EXTERIOR
ELEVATIONS

SHEET NUMBER

A-2.1
PROJECT NUMBER 2143



1 ELEVATION - EAST
A-2.2 3/32" = 1'-0"



2 ELEVATION - WEST
A-2.2 3/32" = 1'-0"

EXTERIOR MATERIAL SCHEDULE					
BUILDING ELEMENT	MANUFACTURER	COLOR	BUILDING ELEMENT	MANUFACTURER	COLOR
METAL SIDING (#1)	CMG	ALMOND	CAST STONE BANDS & SILLS	EDWARDS CAST STONE	TBD
METAL SIDING (#2)	CMG	DARK BRONZE	COMPOSITE WINDOWS	ANDERSEN 100	BLACK
COMPOSITE PANEL	JAMES HARDIE	IRON GRAY	ALUM. STOREFRONT	N/A	BLACK
COMPOSITE TRIM	JAMES HARDIE	MATCH ADJ. SIDING COLOR	INSULATED METAL DOORS/FRAMES	N/A	TBD
BRICK VENEER (#1)	INTERSTATE BRICK	ALMOND	CANOPY & BAY SOFFITS	JAMES HARDIE	COLOR TO MATCH ADJ. TRIM/SIDING
BRICK VENEER (#2)	INTERSTATE BRICK	TUMBLEWEED	RAILINGS & HANDRAILS	SUPERIOR	BLACK
MASONRY BASE VENEER	ARRISCRAFT	SUNSET	TREATED-EXPOSED DECK BEAMS	N/A	BROWN TREATED

NOT FOR CONSTRUCTION

ISSUED

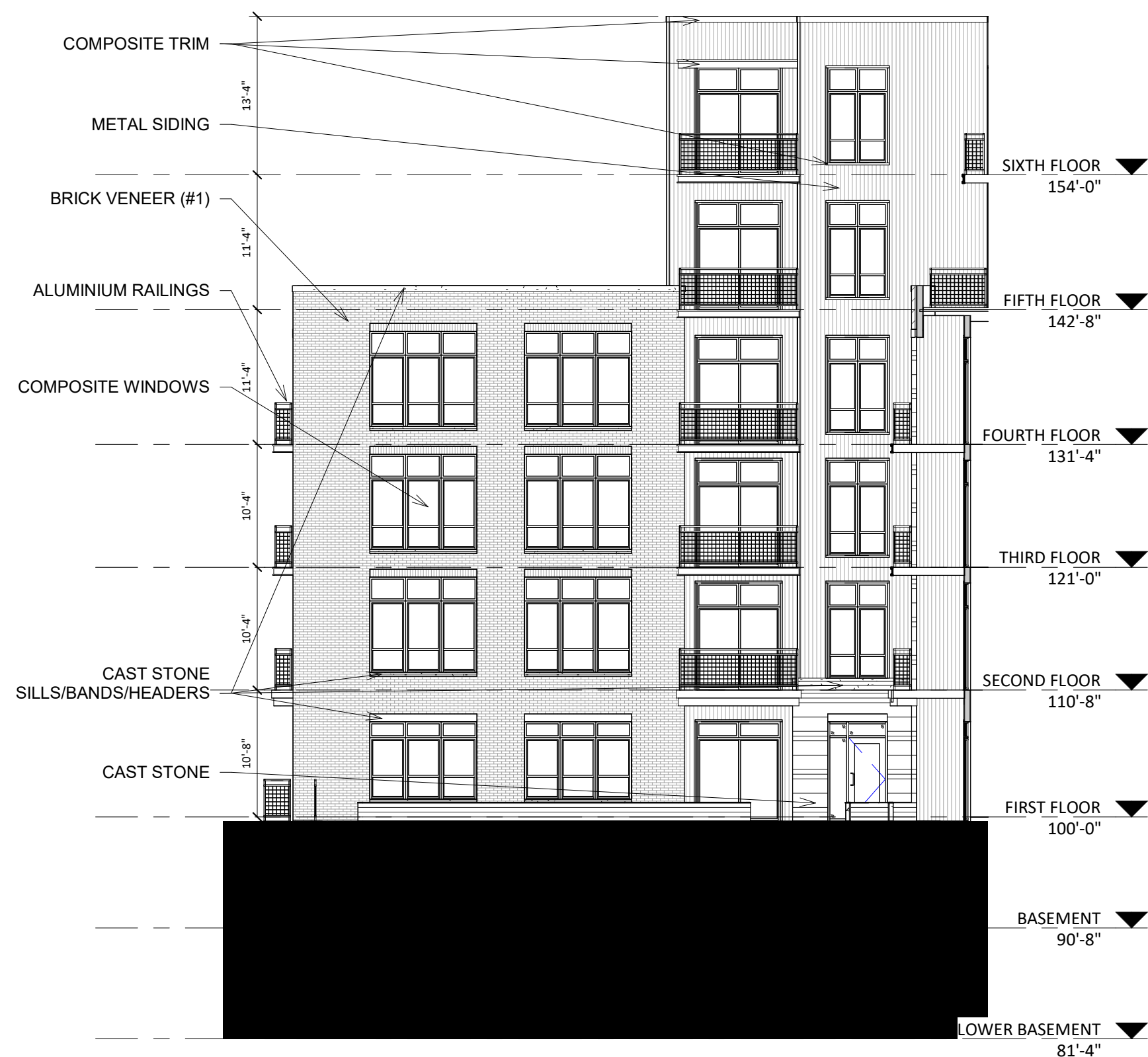
PROJECT TITLE
West Washington
Development

525-547 W Washington
Ave.
Madison, Wisconsin
SHEET TITLE

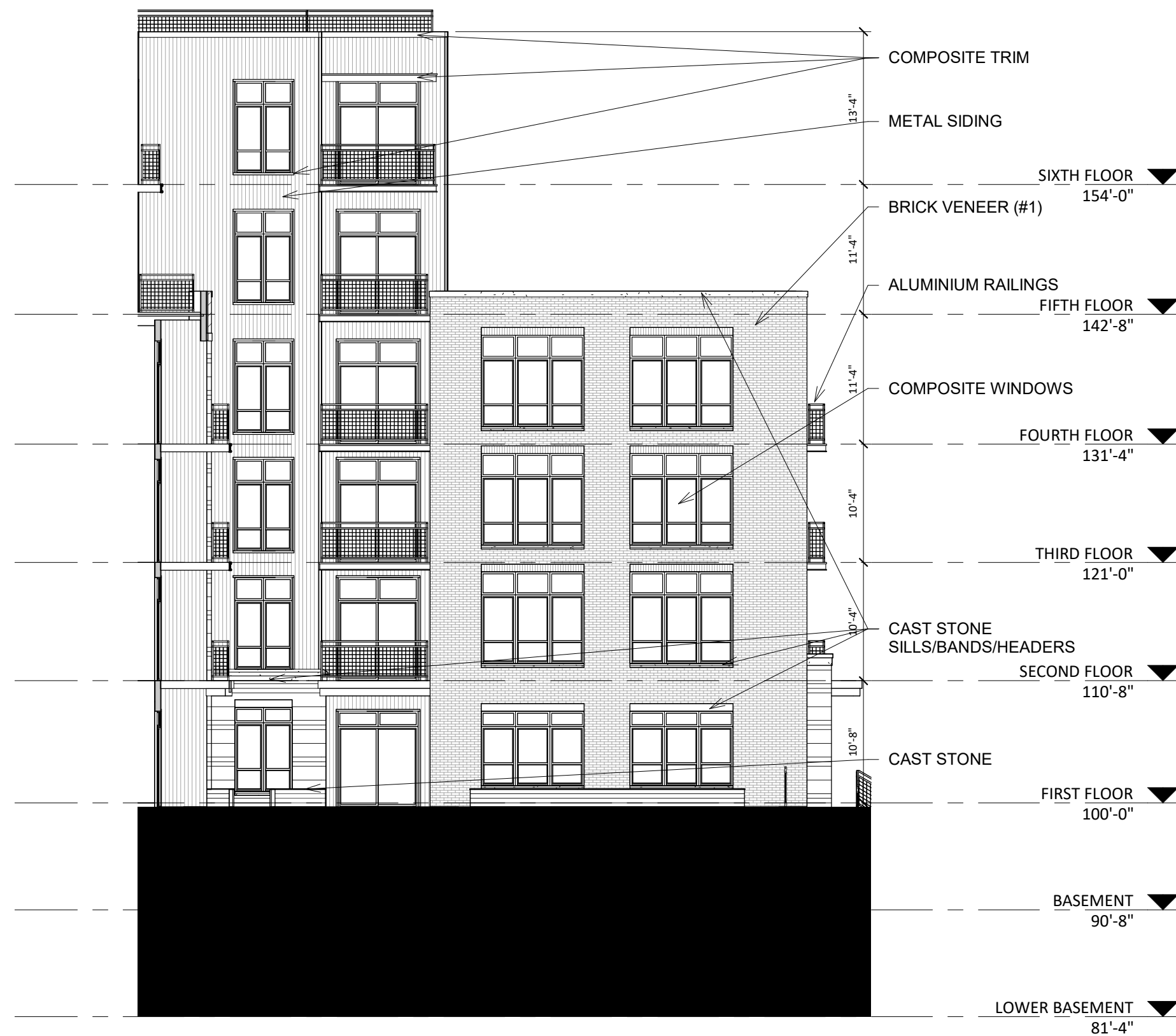
EXTERIOR
ELEVATIONS

SHEET NUMBER

A-2.2
PROJECT NUMBER 2143



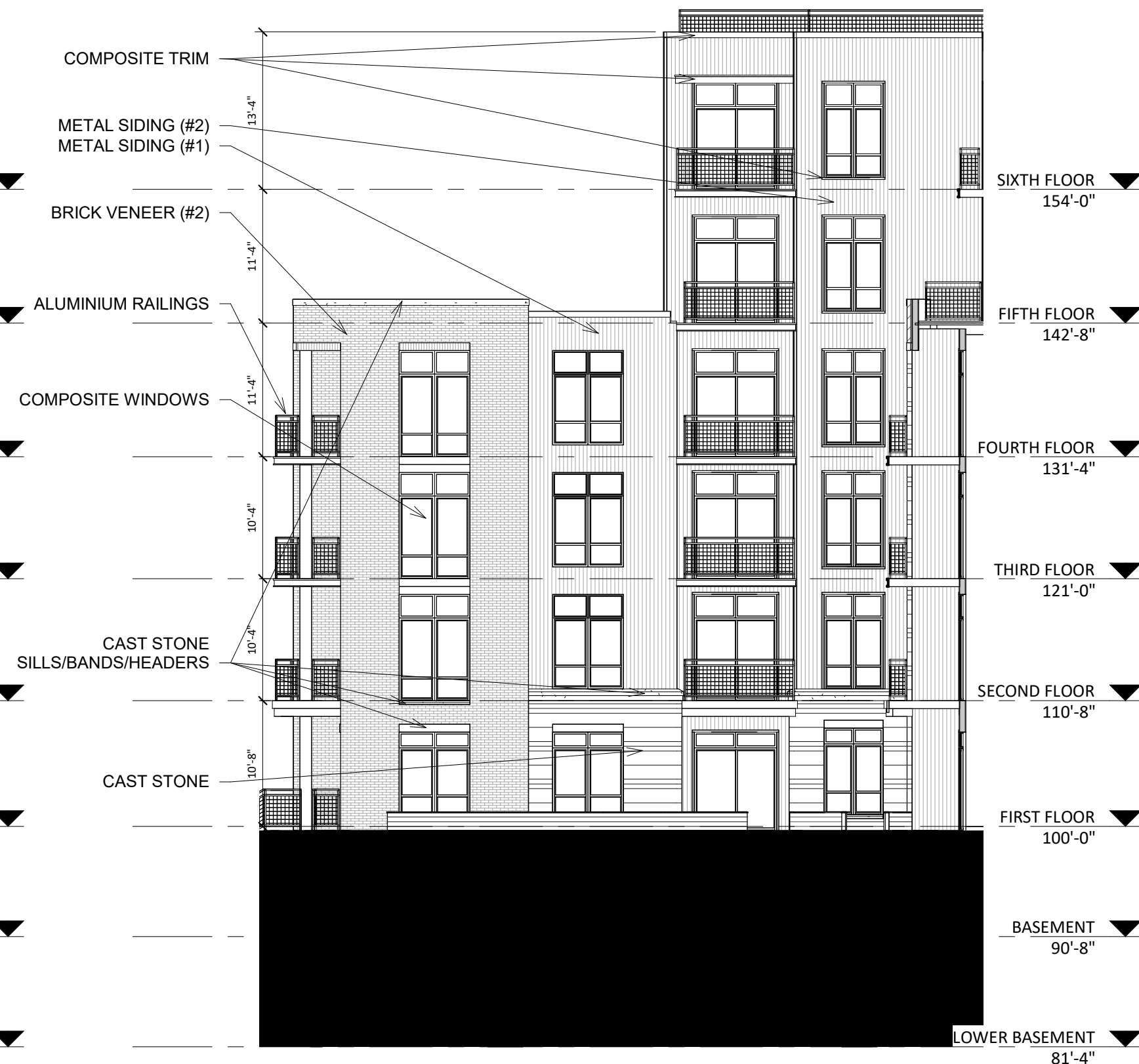
1 ELEVATION - COURTYARD A-1
A-2.3 3/32" = 1'-0"



2 ELEVATION - COURTYARD A-2
A-2.3 3/32" = 1'-0"



3 ELEVATION - COURTYARD B-1
A-2.3 3/32" = 1'-0"



4 ELEVATION - COURTYARD B-2
A-2.3 3/32" = 1'-0"

EXTERIOR MATERIAL SCHEDULE					
BUILDING ELEMENT	MANUFACTURER	COLOR	BUILDING ELEMENT	MANUFACTURER	COLOR
METAL SIDING (#1)	CMG	ALMOND	CAST STONE BANDS & SILLS	EDWARDS CAST STONE	TBD
METAL SIDING (#2)	CMG	DARK BRONZE	COMPOSITE WINDOWS	ANDERSEN 100	BLACK
COMPOSITE PANEL	JAMES HARDIE	IRON GRAY	ALUM. STOREFRONT	N/A	BLACK
COMPOSITE TRIM	JAMES HARDIE	MATCH ADJ. SIDING COLOR	INSULATED METAL DOORS/FRAMES	N/A	TBD
BRICK VENEER (#1)	INTERSTATE BRICK	ALMOND	CANOPY & BAY SOFFITS	JAMES HARDIE	COLOR TO MATCH ADJ. TRIM/SIDING
BRICK VENEER (#2)	INTERSTATE BRICK	TUMBLEWEED	RAILINGS & HANDRAILS	SUPERIOR	BLACK
MASONRY BASE VENEER	ARRISCRAFT	SUNSET	TREATED-EXPOSED DECK BEAMS	N/A	BROWN TREATED

NOT FOR CONSTRUCTION

ISSUED

PROJECT TITLE
West Washington
Development

525-547 W Washington
Ave.
Madison, Wisconsin
SHEET TITLE

EXTERIOR
ELEVATIONS

SHEET NUMBER

A-2.3
PROJECT NUMBER 2143



1
A-2.4
COLORED - ELEVATION - NORTH
3/32" = 1'-0"



2
A-2.4
COLORED - ELEVATION - SOUTH
3/32" = 1'-0"

EXTERIOR MATERIAL SCHEDULE					
BUILDING ELEMENT	MANUFACTURER	COLOR	BUILDING ELEMENT	MANUFACTURER	COLOR
METAL SIDING (#1)	CMG	ALMOND	CAST STONE BANDS & SILLS	EDWARDS CAST STONE	TBD
METAL SIDING (#2)	CMG	DARK BRONZE	COMPOSITE WINDOWS	ANDERSEN 100	BLACK
COMPOSITE PANEL	JAMES HARDIE	IRON GRAY	ALUM. STOREFRONT	N/A	BLACK
COMPOSITE TRIM	JAMES HARDIE	MATCH ADJ. SIDING COLOR	INSULATED METAL DOORS/FRAMES	N/A	TBD
BRICK VENEER (#1)	INTERSTATE BRICK	ALMOND	CANOPY & BAY SOFFITS	JAMES HARDIE	COLOR TO MATCH ADJ. TRIM/SIDING
BRICK VENEER (#2)	INTERSTATE BRICK	TUMBLEWEED	RAILINGS & HANDRAILS	SUPERIOR	BLACK
MASONRY BASE VENEER	ARRISCRAFT	SUNSET	TREATED-EXPOSED DECK BEAMS	N/A	BROWN TREATED

ISSUED

PROJECT TITLE
West Washington
Development

525-547 W Washington
Ave.
Madison, Wisconsin
SHEET TITLE
COLORED
EXTERIOR
ELEVATIONS

SHEET NUMBER

A-2.4
PROJECT NUMBER 2143



1
A-2.5 COLORED - ELEVATION - EAST
3/32" = 1'-0"



2
A-2.5 COLORED - ELEVATION - WEST
3/32" = 1'-0"

EXTERIOR MATERIAL SCHEDULE					
BUILDING ELEMENT	MANUFACTURER	COLOR	BUILDING ELEMENT	MANUFACTURER	COLOR
METAL SIDING (#1)	CMG	ALMOND	CAST STONE BANDS & SILLS	EDWARDS CAST STONE	TBD
METAL SIDING (#2)	CMG	DARK BRONZE	COMPOSITE WINDOWS	ANDERSEN 100	BLACK
COMPOSITE PANEL	JAMES HARDIE	IRON GRAY	ALUM. STOREFRONT	N/A	BLACK
COMPOSITE TRIM	JAMES HARDIE	MATCH ADJ. SIDING COLOR	INSULATED METAL DOORS/FRAMES	N/A	TBD
BRICK VENEER (#1)	INTERSTATE BRICK	ALMOND	CANOPY & BAY SOFFITS	JAMES HARDIE	COLOR TO MATCH ADJ. TRIM/SIDING
BRICK VENEER (#2)	INTERSTATE BRICK	TUMBLEWEED	RAILINGS & HANDRAILS	SUPERIOR	BLACK
MASONRY BASE VENEER	ARRISCRAFT	SUNSET	TREATED-EXPOSED DECK BEAMS	N/A	BROWN TREATED

ISSUED

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SHEET TITLE

COLORED
EXTERIOR
ELEVATIONS

SHEET NUMBER

A-2.5
PROJECT NUMBER 2143



1 COLORED - ELEVATION - COURTYARD A-1
A-2.6 3/32" = 1'-0"



2 COLORED - ELEVATION - COURTYARD A-2
A-2.6 3/32" = 1'-0"



3 COLORED - ELEVATION - COURTYARD B-1
A-2.6 3/32" = 1'-0"



4 COLORED - ELEVATION - COURTYARD B-2
A-2.6 3/32" = 1'-0"

EXTERIOR MATERIAL SCHEDULE					
BUILDING ELEMENT	MANUFACTURER	COLOR	BUILDING ELEMENT	MANUFACTURER	COLOR
METAL SIDING (#1)	CMG	ALMOND	CAST STONE BANDS & SILLS	EDWARDS CAST STONE	TBD
METAL SIDING (#2)	CMG	DARK BRONZE	COMPOSITE WINDOWS	ANDERSEN 100	BLACK
COMPOSITE PANEL	JAMES HARDIE	IRON GRAY	ALUM. STOREFRONT	N/A	BLACK
COMPOSITE TRIM	JAMES HARDIE	MATCH ADJ. SIDING COLOR	INSULATED METAL DOORS/FRAMES	N/A	TBD
BRICK VENEER (#1)	INTERSTATE BRICK	ALMOND	CANOPY & BAY SOFFITS	JAMES HARDIE	COLOR TO MATCH ADJ. TRIM/SIDING
BRICK VENEER (#2)	INTERSTATE BRICK	TUMBLEWEED	RAILINGS & HANDRAILS	SUPERIOR	BLACK
MASONRY BASE VENEER	ARRISCRAFT	SUNSET	TREATED-EXPOSED DECK BEAMS	N/A	BROWN TREATED

ISSUED

PROJECT TITLE
West Washington
Development

525-547 W Washington
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Madison, Wisconsin
SHEET TITLE

COLORED
EXTERIOR
ELEVATIONS

SHEET NUMBER

A-2.6

PROJECT NUMBER 2143











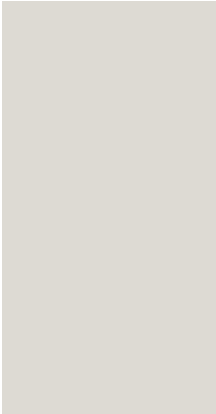




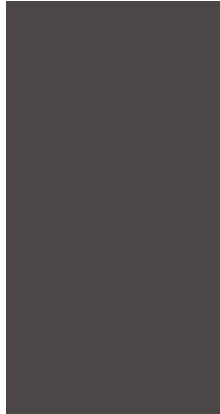




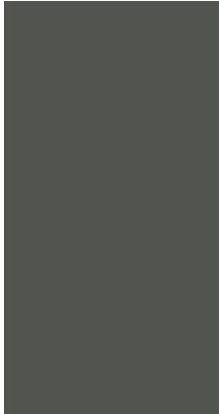




Metal Siding #1
CMG
Almond



Metal Siding #2
CMG
Dark Bronze



Composite Panel
James Hardie
Iron Gray



Masonry Base Veneer
Arriscraft
Sunset



Brick Veneer #1
Interstate Brick
Almond



Brick Veneer #2
Interstate Brick
Tumbleweed



Window Trim - Black



Cast Stone Elements
Edwards Cast Stone



EXTERIOR MATERIAL SCHEDULE						
BUILDING ELEMENT	MANUFACTURER	COLOR		BUILDING ELEMENT	MANUFACTURER	COLOR
METAL SIDING (#1)	CMG	ALMOND		CAST STONE BANDS & SILLS	EDWARDS CAST STONE	TBD
METAL SIDING (#2)	CMG	DARK BRONZE		COMPOSITE WINDOWS	ANDERSEN 100	BLACK
COMPOSITE PANEL	JAMES HARDIE	IRON GRAY		ALUM. STOREFRONT	N/A	BLACK
COMPOSITE TRIM	JAMES HARDIE	MATCH ADJ. SIDING COLOR		INSULATED METAL DOORS/FRAMES	N/A	TBD
BRICK VENEER (#1)	INTERSTATE BRICK	ALMOND		CANOPY & BAY SOFFITS	JAMES HARDIE	COLOR TO MATCH ADJ. TRIM/SIDING
BRICK VENEER (#2)	INTERSTATE BRICK	TUMBLEWEED		RAILINGS & HANDRAILS	SUPERIOR	BLACK
MASONRY BASE VENEER	ARRISCRAFT	SUNSET		TREATED-EXPOSED DECK BEAMS	N/A	BROWN TREATED