

# URBAN DESIGN COMMISSION APPLICATION

# UDC

City of Madison  
Planning Division  
Madison Municipal Building, Suite 017  
215 Martin Luther King, Jr. Blvd.  
P.O. Box 2985  
Madison, WI 53701-2985  
(608) 266-4635



## FOR OFFICE USE ONLY:

Date Received \_\_\_\_\_  Initial Submittal  
Paid \_\_\_\_\_  Revised Submittal

**Complete all sections of this application, including the desired meeting date and the action requested.** If your project requires both UDC and Land Use application submittals, a completed [Land Use Application](#) and accompanying submittal materials are also required to be submitted.

*If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the Planning Division at (608) 266-4635.*

*Si necesita interprete, traductor, materiales en diferentes formatos, u otro tipo de ayuda para acceder a estos formularios, por favor llame al (608) 266-4635.*

*Yog tias koj xav tau ib tug neeg txhais lus, tus neeg txhais ntawv, los sis xav tau cov ntaub ntawv ua lwm hom ntawv los sis lwm cov kev pab kom paub txog cov lus qhia no, thov hu rau Koog Npaj (Planning Division) (608) 266-4635.*

## 1. Project Information

Address (list all addresses on the project site): 660 S Whitney Way, Madison, WI 53711

Title: Chase Bank - Whitney Odana

## 2. Application Type (check all that apply) and Requested Date

UDC meeting date requested 08/16/2023 Legistar #78223

- New development       Alteration to an existing or previously-approved development  
 Informational       Initial Approval       Final Approval

## 3. Project Type

- Project in an Urban Design District 3  
 Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)  
 Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)  
 Planned Development (PD)  
     General Development Plan (GDP)  
     Specific Implementation Plan (SIP)  
 Planned Multi-Use Site or Residential Building Complex

### Signage

- Comprehensive Design Review (CDR)  
 Modifications of Height, Area, and Setback  
 Sign Exceptions as noted in [Sec. 31.043\(3\)](#), MGO

### Other

- Please specify \_\_\_\_\_

## 4. Applicant, Agent, and Property Owner Information

**Applicant name** Terron Wright  
**Street address** 200 S Michigan Ave.  
**Telephone** 561-628-9845

**Company** The Architects Partnership, LTD.  
**City/State/Zip** Chicago, IL 60604  
**Email** wright@tapchicago.com

**Project contact person** Terron Wright  
**Street address** 200 S Michigan Ave.  
**Telephone** 561-628-9845

**Company** The Architects Partnership, LTD.  
**City/State/Zip** Chicago, IL 60604  
**Email** wright@tapchicago.com

**Property owner (if not applicant)** Rimiro Romo and Stella Romo

**Street address** 315 Main Street #202  
**Telephone** 831-840-0440

**City/State/Zip** Watsonville, CA 95076  
**Email** Gioromo1@aol.com

## Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

## Types of Approvals

There are three types of requests considered by the UDC:

- Informational Presentation. A request for an Informational Presentation to the UDC may be requested prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design efforts. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Modification requests)
- Initial Approval. Applicants may, at their discretion, request Initial Approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information that should be addressed at Final Approval stage.
- Final Approval. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the Initial Approval must be addressed at this time.

## Presentations to the Commission

The Urban Design Commission meets virtually via Zoom, typically on the second and fourth Wednesdays of each month at 4:30 p.m. Applicant presentations are strongly encouraged, although not required. Prior to the meeting, each individual speaker is required to complete an online registration form to speak at the meeting. A link to complete the online registration will be provided by staff prior to the meeting. Please note that individual presentations will be limited to a **maximum of three (3) minutes**. The pooling of time may be utilized to provide one speaker more time to present, however the additional time will be based on the number of registrants from the applicant team, i.e. two (2) applicant registrants = six (6) minutes for one (1) speaker.

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics. Please note that presentation slides, in a PDF file format, are required to be submitted **the Friday before** the UDC meeting.

# URBAN DESIGN DEVELOPMENT PLANS CHECKLIST

The items listed below are minimum application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

## 1. Informational Presentation

- Locator Map
- Letter of Intent (If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan
- Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

### Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1"= 40' or larger

*\*\* All plans must be legible, including the full-sized landscape and lighting plans (if required)*

## 2. Initial Approval

- Locator Map
- Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- Landscape Plan and Plant List (*must be legible*)
- Building Elevations in **both** black & white and color for all building sides, including material and color callouts
- PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

## 3. Final Approval

All the requirements of the Initial Approval (see above), **plus**:

- Grading Plan
- Lighting Plan, including fixture cut sheets and photometrics plan (must be legible)
- Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- Site Plan showing site amenities, fencing, trash, bike parking, etc. (if applicable)
- PD text and Letter of Intent (if applicable)
- Samples of the exterior building materials
- Proposed sign areas and types (if applicable)

## 4. Signage Approval (*Comprehensive Design Review (CDR), Sign Modifications, and Sign Exceptions (per [Sec. 31.043\(3\)](#))*)


- Locator Map
- Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Modifications criteria is required)
- Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- Illustration of the proposed signage that meets [Ch. 31, MGO](#) compared to what is being requested
- Graphic of the proposed signage as it relates to what the [Ch. 31, MGO](#) would permit

**5. Required Submittal Materials**

- Application Form**
  - A completed application form is required for each UDC appearance. For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (Initial or Final Approval) from the UDC.
- Letter of Intent**
  - If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required.
  - For signage applications, a summary of how the proposed signage is consistent with the applicable Comprehensive Design Review (CDR) or Signage Modification review criteria is required.
- Development Plans** (Refer to checklist on Page 4 for plan details)
- Filing Fee** (Refer to Section 7 (below) for a list of application fees by request type)
- Electronic Submittal**
  - Complete electronic submittals must be received prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. All plans must be legible and scalable when reduced. Individual PDF files of each item submitted should be submitted via email to [UDCapplications@cityofmadison.com](mailto:UDCapplications@cityofmadison.com). The email must include the project address, project name, and applicant name.
  - Email Size Limits. Note that an individual email cannot exceed 20MB and it is the responsibility of the applicant to present files in a manner that can be accepted. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.
- Notification to the District Alder**
  - Please provide an email to the District Alder notifying them that you are filing this UDC application. Please send this as early in the process as possible and provide a copy of that email with the submitted application.

**6. Applicant Declarations**

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Jessica Vaughn on 06/15/2023.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant Terron Wright Relationship to property JPMorgan Chase & Co. AOR  
 Authorizing signature of property owner  Date 6/23/2023

**7. Application Filing Fees**

Fee payments are due by the submittal date. Payments received after the submittal deadline may result in the submittal being scheduled for the next application review cycle. Fees may be paid in-person, via US Mail, or City drop box. If mailed, please mail to: *City of Madison Building Inspection, P.O. Box 2984, Madison, WI 53701-2984*. The City's drop box is located outside the Municipal Building at 215 Martin Luther King, Jr. Blvd. on the E Doty Street side of the building. Please make checks payable to *City Treasurer*, and include a completed application form or cover letter indicating the project location and applicant information with all checks mailed or submitted via the City's drop box.

Please consult the schedule below for the appropriate fee for your request:

- Urban Design Districts: \$350 (per [§33.24\(6\) MGO](#)).
- Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per [§33.24\(6\)\(b\) MGO](#))
- Comprehensive Design Review: \$500 (per [§31.041\(3\)\(d\)\(1\)\(a\) MGO](#))
- Minor Alteration to a Comprehensive Sign Plan: \$100 (per [§31.041\(3\)\(d\)\(1\)\(c\) MGO](#))
- All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for Sign Modifications (of height, area, and setback), and additional sign code approvals: \$300 (per [§31.041\(3\)\(d\)\(2\) MGO](#))

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex



Jessica L. Vaughn  
Urban Design Commission Secretary  
Department of Planning & Community  
& Economic Development  
City of Madison  
215 Martin Luther King Jr Blvd  
3<sup>rd</sup> Floor  
Madison, WI 53703

June 26, 2023

Re: Project narrative for the property 660 S Whitney Way

Dear Ms. Vaughn,

This letter is to detail our application for Urban Design Review and Conditional Use to retrofit the existing vacant restaurant building and convert it into a retail banking center. As part of the redevelopment of this site, we are looking to contribute to the goal of improving the appearance and function of Whitney Way. The process of engaging the neighborhood and community through this project will help Whitney Way as a distinctive place that builds on the strengths of its culturally diverse businesses and neighborhoods. "Urban Design District No. 3 is established to make Tokay Boulevard/Odana Road, and adjacent properties, an attractive visual experience; and to establish requirements and guidelines which assure that future developments will complement the existing development in the district, will preserve and enhance the property values in the district, and will not cause substantial depreciation in the property values in the district".

#### **SITE, LANDSCAPE AND ARCHITECTURAL DESIGN No. 3 DISTRICT CRITERIA**

For the existing building we are proposing to add a through the wall ATM/AHD at the west side of the building. The proposed bank equipment will be at the rear of the building keeping it from view along the Whitney Way throughfare. This will involve adding a small addition (70 SF) to the rear of the building and the relocation of a new trash enclosure. The cladding for the new addition will match the existing brick color and where needed we will propose a complementary brick color to work with the existing brick color, metal, and glass. All the previously mentioned materials will be durable, high-quality and appropriate for external use. Rough openings will remain as-is, and a new storefront system will be provided in color black anodized with new energy efficient glazing. All four facades have been designed and enhanced with landscape and design elements such as architectural lighting, and metal awnings that complement the view from the right of way and Whitney Way. Also, awnings, canopies, and landscaping at the street level create a more comfortable pedestrian scale and character to the site.

The existing building will remain as-is, however minor site improvements will be proposed. The configuration of the existing parking lot will remain except for the parking along the Whitney Way right of way being removed to propose re-grading the Whitney Way frontage by providing a new ramp that will serve as the pedestrian connection from the site to the Whitney Way right of way. The existing retaining wall along Whitney Way will be removed due to the poor existing condition of it. The west side of the building will be reconfigured to provide a drive through ATM lane and a by-pass lane.



Mechanical/electrical equipment as well as trash enclosures will be fully screened or landscaped accordingly. New landscaping will be provided throughout the site, specifically an abundance of landscaping foundation plantings and groupings of shrubs will be provided to comply with the landscape ordinance.

Lighting Design and Locations:

To provide the best and most efficient lighting design and locations, a photometric study has been developed and included in this submittal. A fully new layout of site lighting will be proposed along with complementary architectural lighting within the building which will enrich the architectural design of the site at night and will also add to the security for the users during night hours.

Sustainability Components:

The project will contain the following components which would contribute to sustainability practices the City is encouraging:

- Installation of additional trees/landscaping within development area
- LED lighting

The proposed schedule has construction commencing by October 2023 (pending regulatory approvals) and an anticipated occupancy date of May 2024.

Parties Involved:

Applicant

Terron Wright  
The Architects Partnership, LTD (TAP)

Landscape Architect  
Craig Most  
Terra Engineering LTD.

Architect of Record

Timothy Meseck  
The Architects Partnership, LTD (TAP)

Civil Engineer  
Tom Szafranski  
Kimley-Horn and Associates, INC.

Property Owner

Romo Properties  
Jon Thoresen  
obo Romo Properties

Buyer  
Kenneth Colliander  
obo JPMorgan Chase Bank, N.A.



Zoning Classification:

The property in question is in a zoning district classified as CC Commercial Center Zoning District. The building setback is +/- 9 feet, in conformance with the zoning district setback requirement of 5 feet from the front property line.

Type of Business:

The type of business is a retail banking center with one (1) drive-through service lane for use of an automatic teller machine (ATM) through the wall. The hours of operation will be Monday – Friday 9 AM – 6 PM and Saturday 9 AM – 2 PM. The total number of employees and any one time will be eight. The eight employees will consist of one (1) teller, (1) lead teller, two (2) bankers, (1) branch manager, (1) mortgage loan officer, (1) financial advisor and (1) business banker.

A handwritten signature in black ink, appearing to read 'Timothy R. Meseck'. The signature is fluid and cursive, with a large initial 'T'.

Timothy R. Meseck  
The Architects Partnership, LTD.







**WHITNEY ODANA  
RETAIL BANKING CENTER**  
660 WHITNEY WAY  
MADISON, WI 53711

LOCATION MAP



DEVELOPER & CONSULTANTS

**OWNER:**

JP MORGAN CHASE BANK, N.A.  
RETAIL REAL ESTATE  
CHASE TOWER  
10 SOUTH DEARBORN FLOOR 25  
CHICAGO, IL 60603

CONTACT: THEODORE FOGGY  
872-400-0071  
THEODORE.FOGGY@CHASE.COM

**ARCHITECT OF RECORD:**

THE ARCHITECTS PARTNERSHIP  
200 SOUTH MICHIGAN AVENUE  
SUITE 1020  
CHICAGO, ILLINOIS 60604

**MECHANICAL / PLUMBING / ELECTRICAL ENGINEER:**

TERRA ENGINEERING  
CONTACT: CRAIG MOST  
PHONE: 312-467-0123 X 269  
CMOST@TERRAENGINEERING.COM

**CIVIL ENGINEER:**

KIMLEY-HORN  
4201 WINFIELD ROAD  
SUITE 600  
WARRENVILLE, IL 60555  
CONTACT: TOM SZAFRANSKI  
630-209-4811  
TOM.SZAFRANSKI@KIMLEY-HORN.COM

SHEET INDEX

		ISSUE FOR CUP & UDC SUBMITTAL 06.23.2023				
<b>GENERAL</b>						
A0.1	COVER SHEET	●				
<b>CIVIL AND LANDSCAPE</b>						
C0.0	COVER SHEET	●				
V0.0	ALTA SURVEY	●				
C1.0	SITE PLAN	●				
C1.1	FIRE ACCESS AND FIRE HYDRANT	●				
C2.0	GRADING PLAN	●				
C3.0	UTILITY PLAN	●				
L1.0	LANDSCAPE PLAN	●				
L2.0	LANDSCAPE DETAILS	●				
<b>PHOTOMETRIC</b>						
LT1.0	PHOTOMETRIC PLAN	●				
<b>ARCHITECTURAL</b>						
A1.0	FLOOR PLAN	●				
A2.0	ROOF PLAN	●				
A3.1	EXISTING ELEVATIONS	●				
A3.2	EXISTING ELEVATIONS	●				
A3.3	PROPOSED ELEVATIONS	●				
A3.4	PROPOSED ELEVATIONS	●				
A3.5	TRASH ENCLOSURE	●				



WHITNEY  
ODANA  
RETAIL BANKING CENTER  
660 S Whitney Way  
Madison, WI 53711

ARCHITECT/ ENGINEER OF RECORD



NOT FOR  
CONSTRUCTION

ISSUE	DATE	DESCRIPTION
	04/26/2023	ISSUE CUP & UDC SUBMITTAL

PROJECT INFORMATION BLOCK	
JOB #	23067
DRAWN BY:	AK/GP
CHECKED BY:	TW/GP

SHEET TITLE

COVER SHEET

SHEET NUMBER

A0.1



# ALTA/NSPS LAND TITLE SURVEY

**CLIENT**  
The Architects Partnership, Ltd.

**SITE ADDRESS**  
660 S. Whitney Way, City of Madison, Dane County, Wisconsin.

**LEGAL DESCRIPTION**  
LOT FOUR (4) AND THE SOUTH 15.77 FEET OF LOT FIVE (5), TOKAY PLACE, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

**BASIS OF BEARINGS**  
Bearings are referenced to Dane County Coordinates in which the West line of S. Whitney Way bears S00°08'26"E (Recorded as S00°31'48"E in Tokay Place).

**TITLE COMMITMENT**  
This survey was prepared based on First American Title Insurance Company Commitment No. NCS-1164543-CH12, effective date of January 31, 2023 which lists the following easements and/or restrictions from schedule B-II:

- 1, 2, 3, 4 & 5 visible evidence shown, if any.
- 6, 7, 8, & 15-19 not survey related.
- Drainage Swale Requirement as not on plat of Tokay Place recorded in Volume 56-143B of Plats, page 424 as Document No. 2413099. **Affects property by location, shown.** Affidavit of Correction provided Document No. 2413443.
- Covenants, conditions, restrictions and easements in the document recorded March 21, 1986 as Volume 7904 of Records, page 97 as Document No. 1926304 of Official Records, but deleting any covenant, condition, or restriction, if any, indicating a preference, limitation, or discrimination based on race, color, religion, sex, gender, gender identity, gender expression, sexual orientation, familial status, marital status, disability, handicap, veteran or military status, genetic information, national origin, source of income as defined in subdivision (p) of Section 12955, or ancestry, to the extent that such covenants, conditions or restrictions violate applicable state or federal laws. Lawful restrictions under state and federal law on the age of occupants in senior housing or housing for older persons shall not be construed as restrictions based on familial status. **Affects property by location.**
- Covenants, conditions, restrictions and easements in the document recorded March 21, 1986 as Volume 7905 of Records, page 03 as Document No. 1926306 of Official Records, but deleting any covenant, condition, or restriction, if any, indicating a preference, limitation, or discrimination based on race, color, religion, sex, gender, gender identity, gender expression, sexual orientation, familial status, marital status, disability, handicap, veteran or military status, genetic information, national origin, source of income as defined in subdivision (p) of Section 12955, or ancestry, to the extent that such covenants, conditions or restrictions violate applicable state or federal laws. Lawful restrictions under state and federal law on the age of occupants in senior housing or housing for older persons shall not be construed as restrictions based on familial status. **Affects property by location.**
- Terms, conditions, restrictions and provisions relating to the use and maintenance of the Reciprocal Access Agreement recorded on June 22, 1992 in Volume 19258 of Records, Page 57, as Document No. 2365505. **Affects property by location, blanket type.**
- Terms, conditions, restrictions and provisions relating to the use and maintenance of the Reciprocal Easement Agreement recorded on June 22, 1992 in Volume 19265 of Records, Page 1, as Document No. 2365730. **Affects property by location, blanket type.**
- Assignment and Assumption of Reciprocal Easement Agreement recorded August 8, 1995 as Document No. 2694731. **Affects property by location, blanket type.**
- Assignment and Assumption of Reciprocal Easement Agreement recorded September 2, 1998 as Document No. 3014808. **Affects property by location, blanket type.**
- Assumption of Reciprocal Easement Acknowledgement recorded August 4, 2015 as Document No. 5173830. **Affects property by location, blanket type.**
- Utility Easement to Madison Gas and Electric Company, a Wisconsin corporation, dated October 05, 1992, recorded/filed March 13, 1995 in Volume 29481 of Records, Page 6 as Document No. 2664329. **Affects property by location, shown.**

## TABLE "A" ITEMS

- According to the flood insurance rate map of the County of Dane, Community Panel No.55025C0415G, effective date of January 2, 2009, this site falls in Zone X (Areas determined to be outside the 0.2% annual chance floodplain).
- The Land Area of the subject property is 37,556 square feet or 0.8622 acres.
- There are 54 regular parking spaces and 3 handicap space marked on this site.
- No plans or reports provided by client.
- Evidence of underground utilities existing on or serving the surveyed property as determined by markings requested by the surveyor pursuant to a Diggers Hotline One-call center utility locate. Ticket Number 20230704833 and 20230704837. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. Client understands only utility lines with imbedded electric tracer wires or utilities made of materials capable of electric connectivity can be marked at the surface and located. Depth of utilities may prohibit their location even with electric connectivity.
- There is no visible evidence of earth moving, building construction or building additions within recent months.
- There are no changes in street right of way lines either completed or proposed, and available from the controlling jurisdiction. Observable evidence of recent street or sidewalk construction or repairs if any, is shown.
- List the current zoning classification, setback requirements, the height and floor space area restrictions, and parking requirements, if any. Identify the date and source of the zoning information.

The zoning information noted below is taken from the municipal code ordinance. It does not reflect all zoning restrictions that may apply. It is not intended to be used in lieu of a comprehensive zoning report as stated in ALTA Table A item 6(a) nor to be relied on for site development purposes.

Municipal Code: Sec. 28.068  
Site is zoned: CC (Commercial Center District)  
Front setback: 5 feet  
Side setback: 5 feet  
Rear setback: 20 feet  
Maximum building height: 78 feet

## LEGEND

- INDICATES FOUND 3/4" IRON ROD
- INDICATES FOUND 1" IRON PIPE
- ⊕ INDICATES FOUND CHISELED CROSS
- ⊕ SANITARY MANHOLE
- ⊕ SANITARY CLEANOUT OR VENT
- ⊕ SEPTIC TANK ACCESS COVER
- ⊕ M.I.S. MANHOLE
- ⊕ UNKNOWN MANHOLE
- ⊕ STORM MANHOLE
- ⊕ INLET (ROUND)
- ⊕ INLET (SQUARE)
- ⊕ CURB INLET
- ⊕ STORM SEWER END SECTION
- ⊕ GAS VALVE
- ⊕ GAS METER
- ⊕ WATER VALVE
- ⊕ HYDRANT
- ⊕ WATER MANHOLE
- ⊕ WATER SERVICE CURB STOP
- ⊕ WELL HEAD
- ⊕ STAND PIPE
- ⊕ WALL INDICATOR VALVE
- ⊕ POST INDICATOR VALVE
- ⊕ LIGHT POLE
- ⊕ SPOT/YARD LIGHT
- ⊕ UTILITY POLE
- ⊕ GUY WIRE
- ⊕ ELECTRIC MANHOLE
- ⊕ ELECTRIC PEDESTAL
- ⊕ ELECTRIC METER
- ⊕ TELEPHONE MANHOLE
- ⊕ TELEPHONE PEDESTAL
- ⊕ CABLE PEDESTAL
- ⊕ CONTROL BOX
- ⊕ FIBER OPTIC PEDESTAL/SIGN
- ⊕ TRAFFIC LIGHT
- ⊕ COMMUNICATION MANHOLE
- ⊕ BOLLARD
- ⊕ SOIL BORING/MONITORING WELL
- ⊕ WATER SURFACE
- ⊕ WETLANDS FLAG
- ▲ MARSH
- ▲ FLAGPOLE
- ▲ PARKING METER
- ▲ SIGN
- ▲ MAILBOX
- ▲ RAILROAD CROSSING SIGNAL
- ▲ HANDICAP SPACE
- ▲ CONIFEROUS TREE
- ▲ DECIDUOUS TREE
- SANITARY SEWER
- STORM SEWER
- WATERLINE
- MARKED GAS MAIN
- MARKED ELECTRIC
- MARKED OVERHEAD WIRES
- MARKED TELEPHONE
- MARKED CABLE TV LINE
- MARKED FIBER OPTIC
- BURIED ELECTRIC SERVICE
- BOARD FENCE
- CHAIN LINK FENCE
- WIRE FENCE

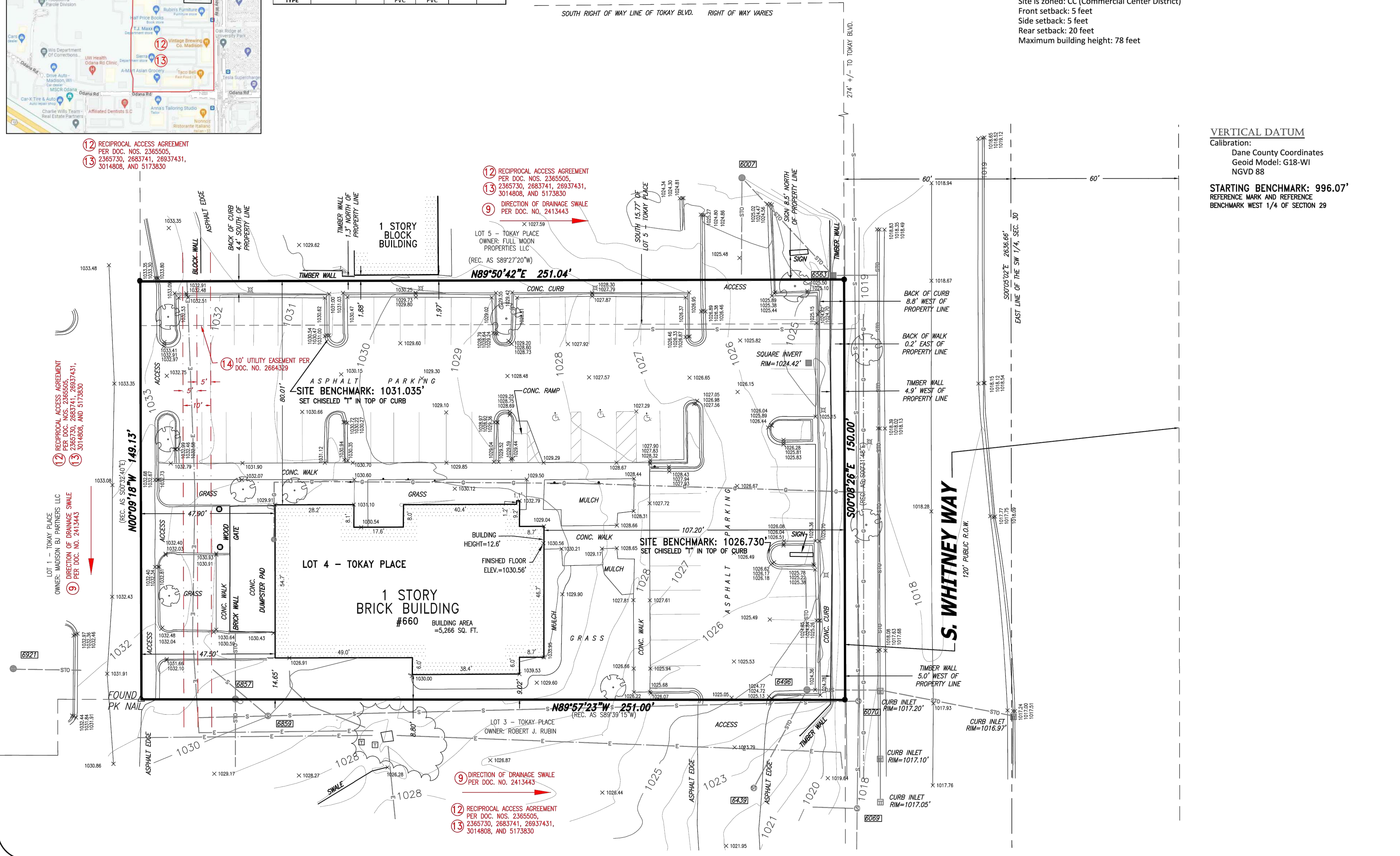
Project# 4395 (SANITARY)						
PT NO.	TYPE	RIM	DEPTH	DEPTH	DEPTH	DEPTH
8859	MH	1030.02	10.1	9.7	9.4	
INVERT		1019.92	1020.32	1020.62		
SIZE		12"	15"	12"		
DIRECTION		E	W	NW		
TYPE		PVC	PVC	PVC		
6069	MH	1018.05	9.35	9.25		
INVERT		1008.7	1008.7	1008.8		
SIZE		12"	12"	12"		
DIRECTION		N	S	W		
TYPE		PVC	PVC	PVC		
6070	MH	1018.26	10.1	9.15	6.5	
INVERT		1008.16	1008.16	1009.11	1011.76	
SIZE		12"	12"	12"	12"	
DIRECTION		N	S	W	W	
TYPE		PVC	PVC	PVC	PVC	

Project# 4395 (STORM)						
PT NO.	TYPE	RIM	DEPTH	DEPTH	DEPTH	DEPTH
6921	ROUND INLET	1031.74	2.65			
INVERT		1029.09				
SIZE		15"				
DIRECTION		E				
6857	ROUND INLET	1030	4.4	8.5	8.6	
INVERT		1025.6	1021.5	1021.4		
SIZE		15"	24"	24"		
DIRECTION		N	E	S		
TYPE		RCP	RCP	RCP		
6489	ROUND INLET	1022.5	4.85			
INVERT		1017.65				
SIZE		15"				
DIRECTION		NE				
TYPE		RCP	RCP	RCP		
6496	ROUND INLET	1024.18	10.3			
INVERT		1013.88	1013.88			
SIZE		15"				
DIRECTION		SW	N			
TYPE		RCP	RCP	RCP		
6563	SQUARE INLET	1024.18	8.2			
INVERT			1015.98			
SIZE		COULD NOT OPEN	TO BOTTOM			
DIRECTION						
6007	ROUND INLET	1023.14	3.2	1.5		
INVERT		1019.94	1021.64			
SIZE		10"	4"			
DIRECTION		SE	S			
TYPE		PVC	PVC			

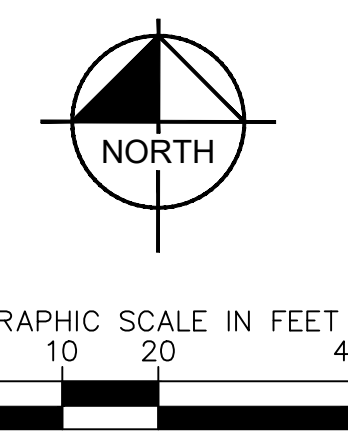
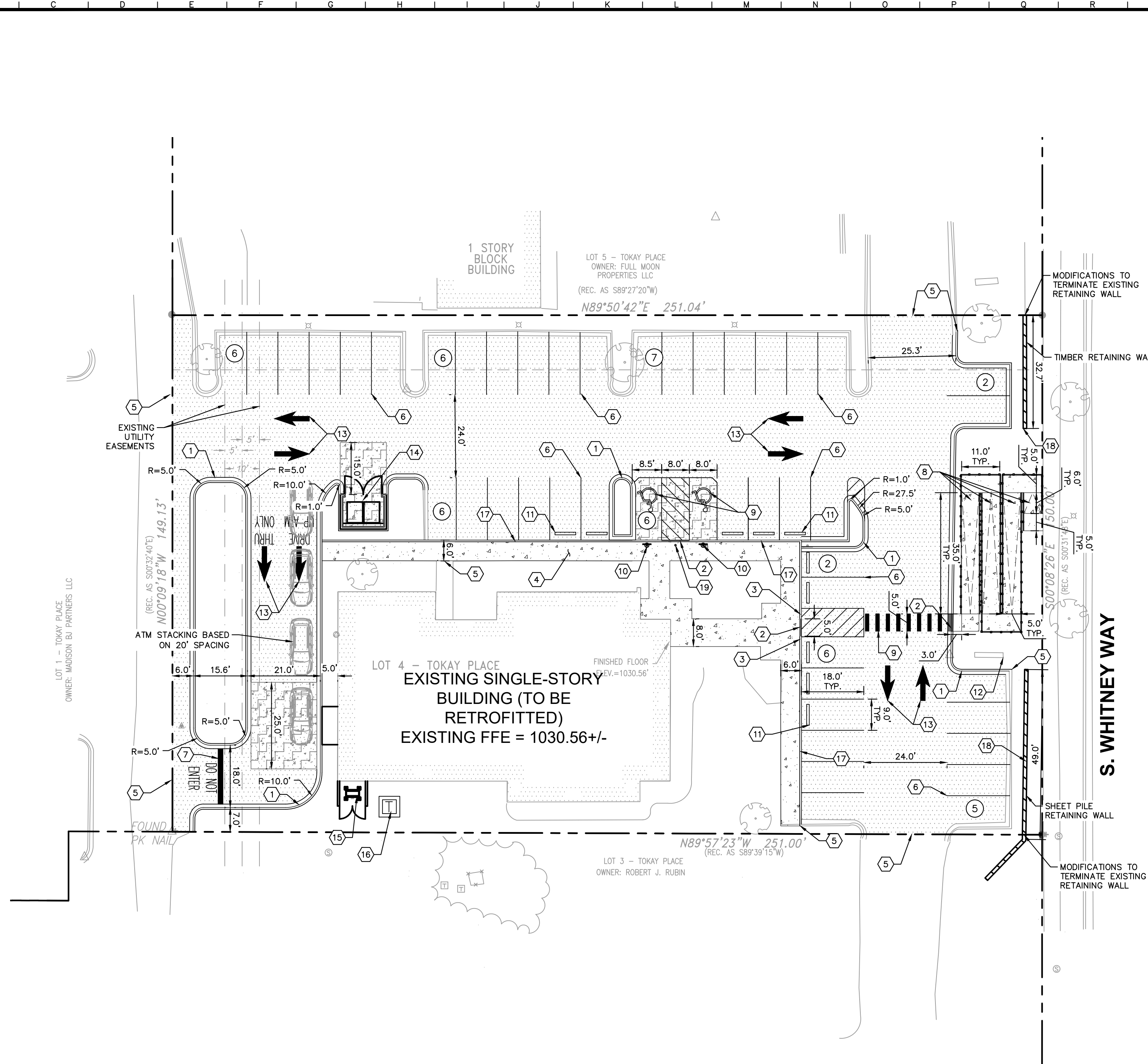
## VICINITY MAP



## TOKAY BOULEVARD



Drawing name: K:\GIS\_DEVA\168558057\_Chase\_Madison\_WA2 Design\CAD\PlanSheets\C1.0 - SITE PLAN.dwg    Layout1    Jun 26, 2023 8:41am    by: JulietteStrosser  
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### GENERAL NOTES

- ALL DIMENSIONS REFER TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS.
- RADI ADJACENT TO PARKING STALL AND NOT DIMENSIONED ON THIS PLAN SHALL BE 3'-FEET, TYPICAL.
- REFER TO ARCHITECTURAL PLANS FOR MONUMENT SIGN DETAILS. SEE MEP PLANS FOR SITE ELECTRICAL DRAWINGS.
- ALL PROPOSED ON-SITE STRIPING SHALL BE PAINTED UNLESS OTHERWISE NOTED.

### KEY NOTES

- CONCRETE CURB AND GUTTER, TYP. (SEE DETAILS)
- DEPRESSED CURB AND GUTTER (SEE DETAILS)
- VARIABLE LENGTH CURB TRANSITION (SEE GRADING PLAN)
- CONCRETE SIDEWALK, TYP. (SEE DETAILS)
- CONNECT TO EXISTING PAVEMENT, SIDEWALK, CURB, TYP.
- 4" WIDE PAINTED SOLID LINE, TYP.
- PAINTED STOP BAR, TYP. (SEE DETAILS)
- ACCESSIBLE RAMP (SEE DETAILS)
- ACCESSIBLE PAVEMENT MARKINGS, TYP. (SEE DETAILS)
- ACCESSIBLE PARKING SIGN, TYP. (MUTCD R7-8, SEE DETAILS)
- WHEEL STOP, TYP. (SEE DETAILS)
- RE-USED EXISTING MONUMENT SIGN (SEE ARCHITECTURAL DETAILS)
- SITE DIRECTIONAL MARKING (SEE ARCHITECTURAL DETAILS)
- TRASH ENCLOSURE (SEE ARCHITECTURAL DETAILS)
- VRF ENCLOSURE (SEE ARCHITECTURAL DETAILS)
- TRANSFORMER PAD (FOR REFERENCE ONLY)
- CONCRETE CURB (SEE WSDOT CURB DETAIL)
- SITE RETAINING WALL PER MANUFACTURER SPECIFICATIONS (SEE DETAILS)
- BOLLARD (SEE DETAILS)

### PAVING AND CURB LEGEND

	ASPHALT VARIABLE DEPTH OVERLAY (2" MIN.) ADDITIONAL ASPHALT DEPTH MAY BE REQUIRED TO ACHIEVE PROPOSED GRADES. SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	CONCRETE SIDEWALK SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	HEAVY DUTY CONCRETE PAVEMENT SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	STANDARD PITCH CONCRETE CURB AND GUTTER
	CONCRETE DEPRESSED CURB AND GUTTER

### PARKING SUMMARY

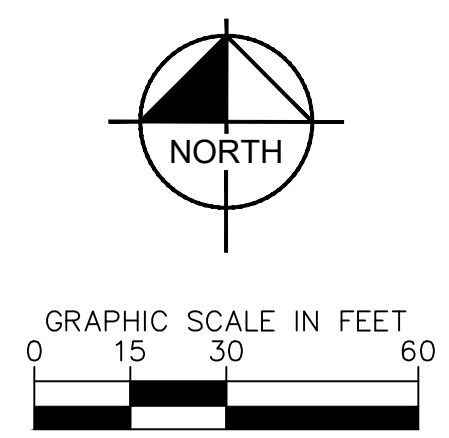
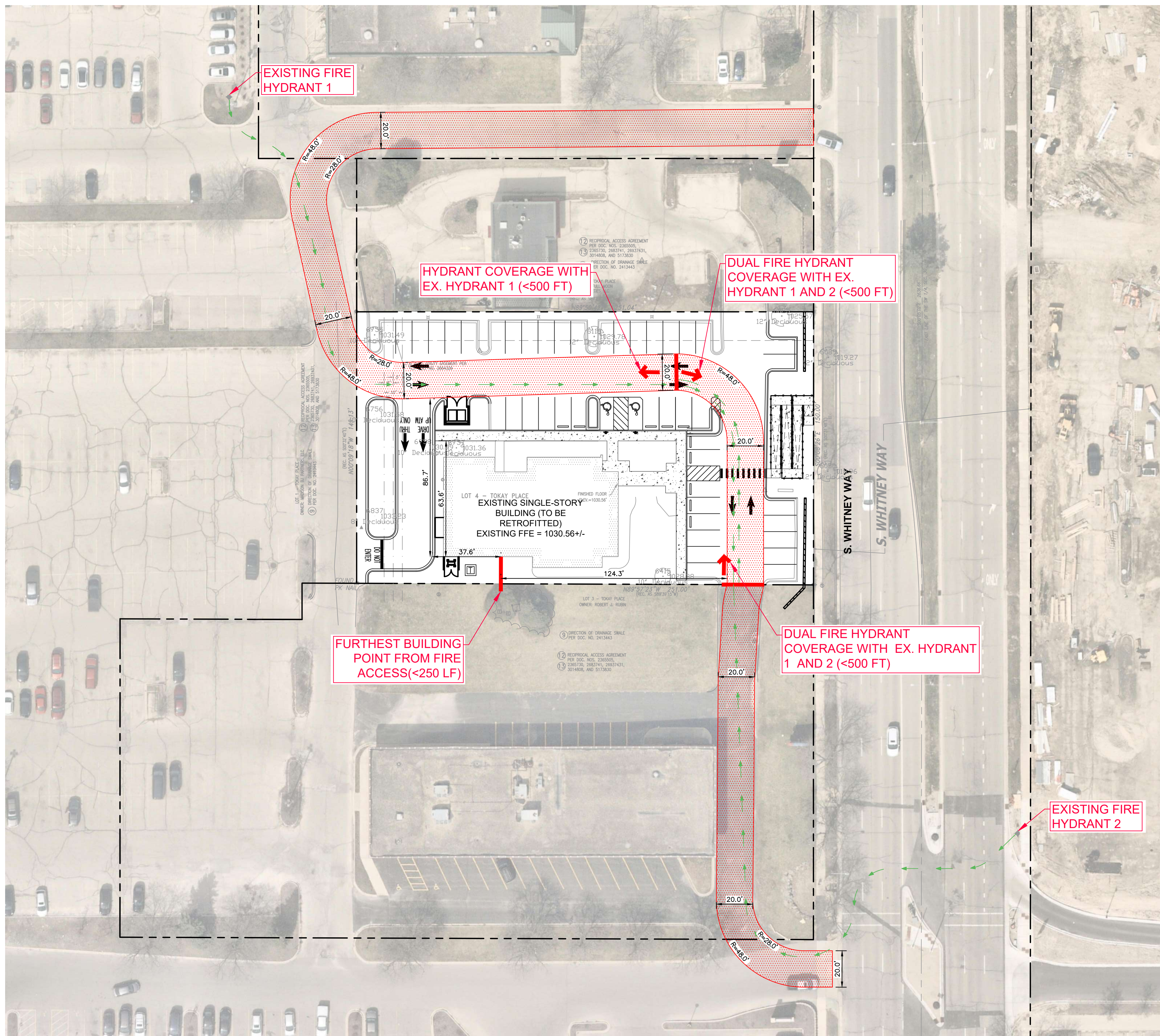
PARKING SPACES REQUIRED (CITY STANDARD)	=	0 SPACES
EXISTING TOTAL PARKING SPACES PROVIDED	=	58 SPACES
PROPOSED TOTAL PARKING SPACES PROVIDED	=	46 SPACES
ACCESSIBLE PARKING SPACES REQUIRED	=	2 SPACES
ACCESSIBLE PARKING SPACES PROVIDED	=	2 SPACES

### FEMA NOTE

PER FLOOD INSURANCE RATE MAP PANEL NO. 55025C0415G, THE SITE OR A PORTION OF THE SITE IS LOCATED IN ZONE X, AREAS OF MINIMAL FLOOD HAZARD.

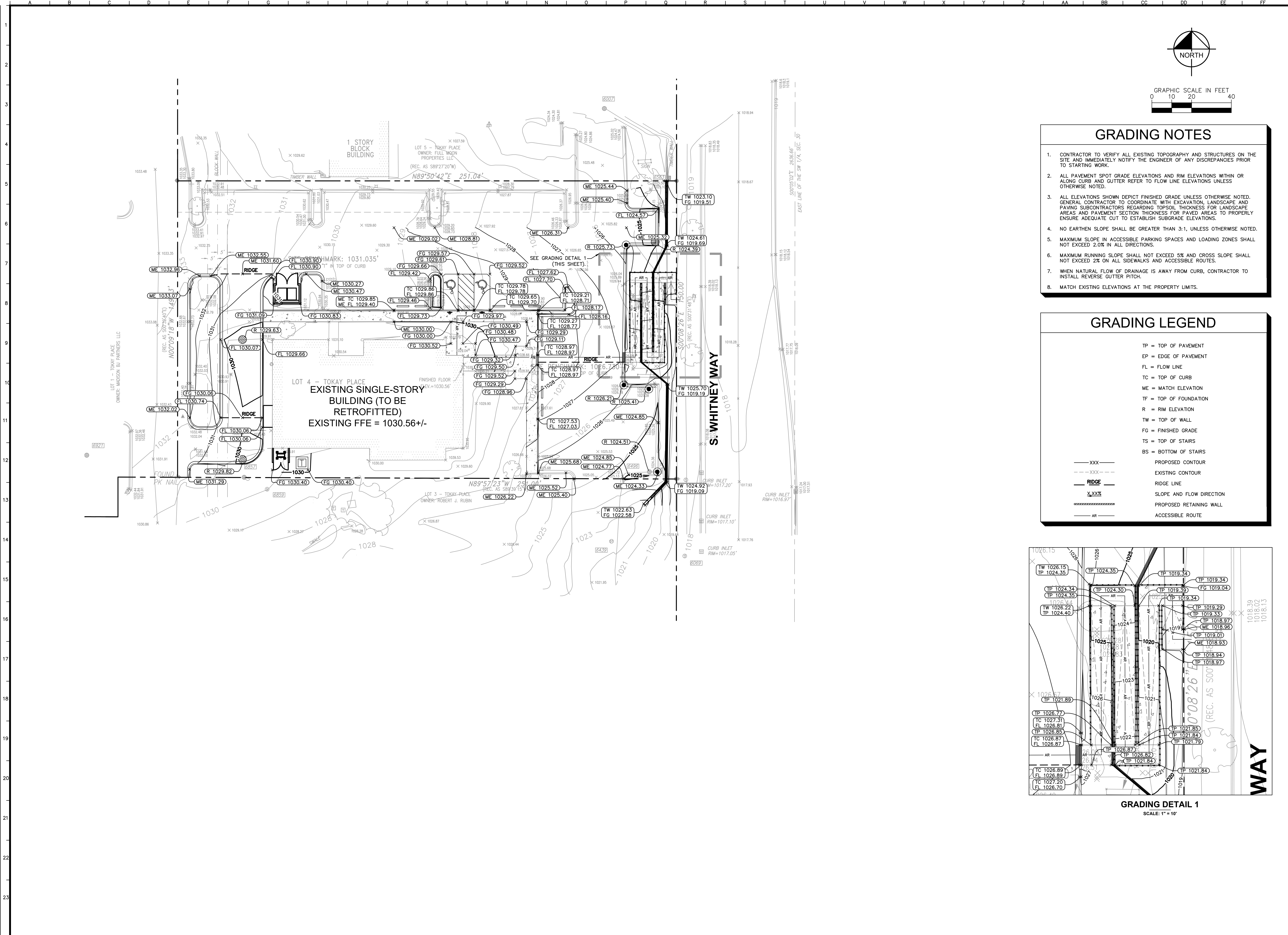
No.	REVISIONS	DATE	BY
© 2023 KIMLEY-HORN AND ASSOCIATES, INC. 4201 WINFIELD ROAD, SUITE 600 MADISON, WI 53711 PHONE: 608-487-2550 WWW.KIMLEY-HORN.COM			
SCALE:	AS NOTED	DESIGNED BY: JRS	DRAWN BY: JRS
		CHECKED BY: TJS	
<h2>SITE PLAN</h2>			
CHASE BANK 660 S. WHITNEY WAY MADISON, WI 53711			
ORIGINAL ISSUE: 06/26/23 KHA PROJECT NO. 168558057 SHEET NUMBER <h1 style="font-size: 2em;">C1.0</h1>			

Drawing name: K:\GIS\_DEVELOPMENT\Chase\_Madison\_WA2 Design\CAD\PlanSheets\C1.1 - FIRE ACCESS AND FIRE HYD COVERAGE PLAN.dwg C1.1 Jun 26, 2023 8:42am. By: Juliette Stroesser  
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SCALE: AS NOTED DESIGNED BY: JRS DRAWN BY: JRS CHECKED BY: TJS	No. _____ DATE _____ BY _____
<b>FIRE ACCESS AND FIRE HYDRANT COVERAGE PLAN</b>	
CHASE BANK 660 S. WHITNEY WAY MADISON, WI 53711	
ORIGINAL ISSUE: 06/26/23 KHA PROJECT NO. 168558057 SHEET NUMBER <b>C1.1</b>	

Drawing name: K:\GIS\_DEVELOPMENT\18558057\_Chase\_Madison\_WA2 Design\CAD\PlanSheets\C2.0 - GRADING PLAN.dwg C2.0 Jan 26, 2023 8:42am by Juliette.Stresser  
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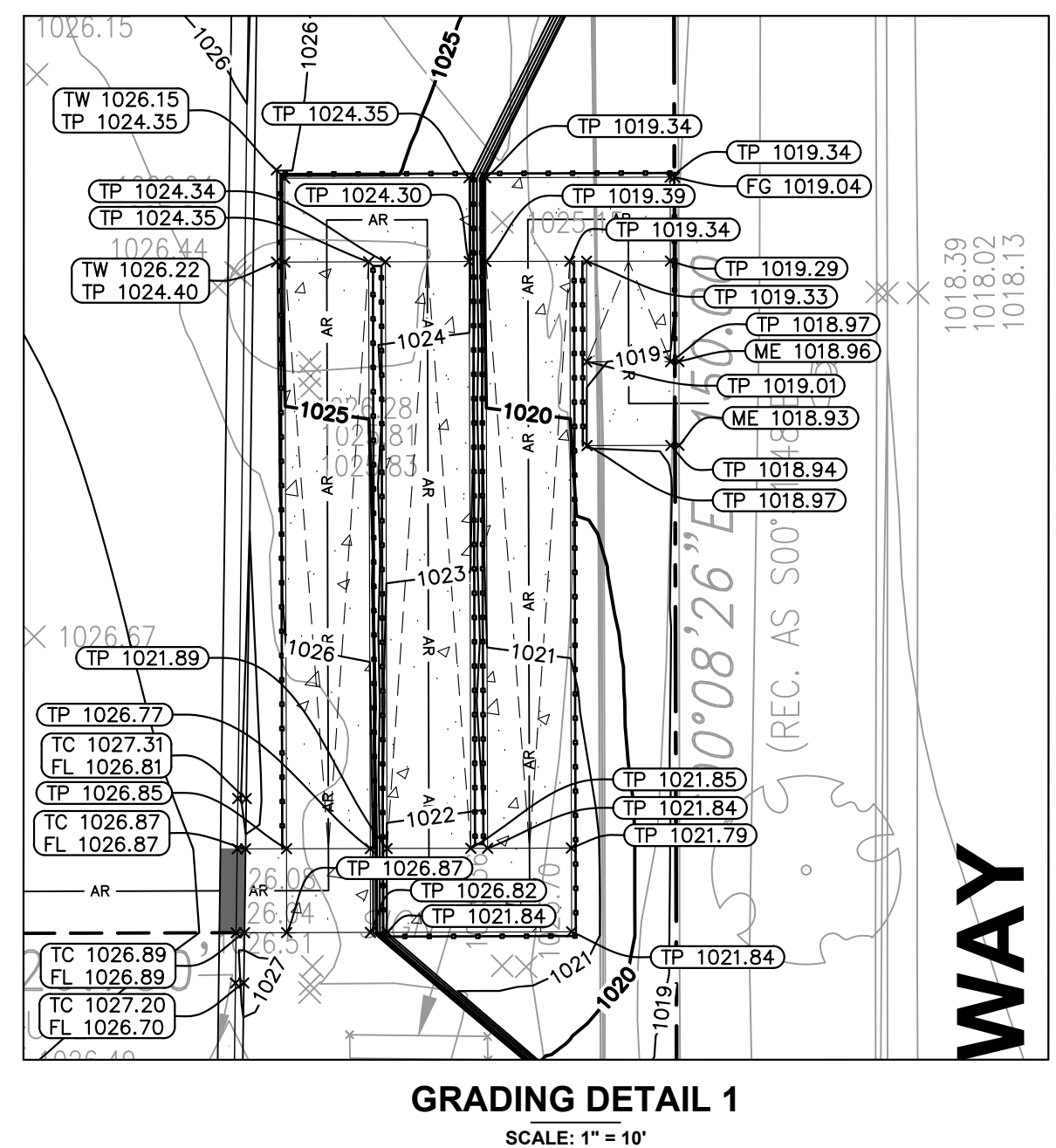


### GRADING NOTES

1. CONTRACTOR TO VERIFY ALL EXISTING TOPOGRAPHY AND STRUCTURES ON THE SITE AND IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
2. ALL PAVEMENT SPOT GRADE ELEVATIONS AND RIM ELEVATIONS WITHIN OR ALONG CURB AND GUTTER REFER TO FLOW LINE ELEVATIONS UNLESS OTHERWISE NOTED.
3. ALL ELEVATIONS SHOWN DEPICT FINISHED GRADE UNLESS OTHERWISE NOTED. GENERAL CONTRACTOR TO COORDINATE WITH EXCAVATION, LANDSCAPE AND PAVING SUBCONTRACTORS REGARDING TOPSOIL THICKNESS FOR LANDSCAPE AREAS AND PAVEMENT SECTION THICKNESS FOR PAVED AREAS TO PROPERLY ENSURE ADEQUATE CUT TO ESTABLISH SUBGRADE ELEVATIONS.
4. NO EARTHEN SLOPE SHALL BE GREATER THAN 3:1, UNLESS OTHERWISE NOTED.
5. MAXIMUM SLOPE IN ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL NOT EXCEED 2.0% IN ALL DIRECTIONS.
6. MAXIMUM RUNNING SLOPE SHALL NOT EXCEED 5% AND CROSS SLOPE SHALL NOT EXCEED 2% ON ALL SIDEWALKS AND ACCESSIBLE ROUTES.
7. WHEN NATURAL FLOW OF DRAINAGE IS AWAY FROM CURB, CONTRACTOR TO INSTALL REVERSE GUTTER PITCH.
8. MATCH EXISTING ELEVATIONS AT THE PROPERTY LIMITS.

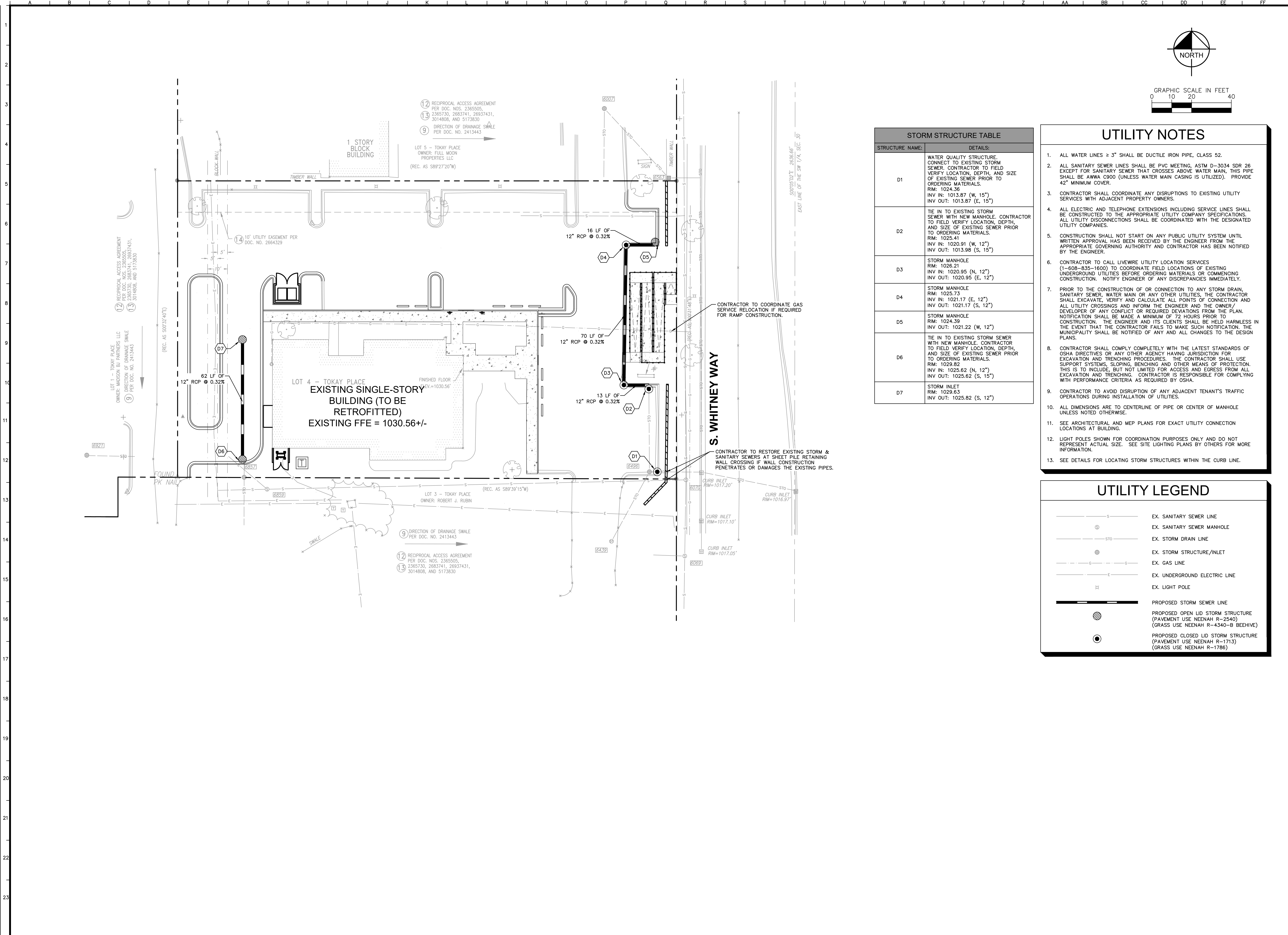
### GRADING LEGEND

TP = TOP OF PAVEMENT	XXX	PROPOSED CONTOUR
EP = EDGE OF PAVEMENT	---	EXISTING CONTOUR
FL = FLOW LINE	---	RIDGE LINE
TC = TOP OF CURB	XXX	SLOPE AND FLOW DIRECTION
ME = MATCH ELEVATION	---	PROPOSED RETAINING WALL
TF = TOP OF FOUNDATION	---	ACCESSIBLE ROUTE
R = RIM ELEVATION	---	
TW = TOP OF WALL	---	
FG = FINISHED GRADE	---	
TS = TOP OF STAIRS	---	
BS = BOTTOM OF STAIRS	---	



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<p style="font-size: x-small;">CHASE BANK</p>	<p style="font-size: x-small;">GRADING PLAN</p>
<p style="font-size: x-small;">CHASE BANK</p> <p style="font-size: x-small;">660 S. WHITNEY WAY</p> <p style="font-size: x-small;">MADISON, WI 53711</p>	<p style="font-size: x-small;">ORIGINAL ISSUE:</p> <p style="font-size: x-small;">06/26/23</p> <p style="font-size: x-small;">KHA PROJECT NO.</p> <p style="font-size: x-small;">18558057</p> <p style="font-size: x-small;">SHEET NUMBER</p> <p style="font-size: x-small;">C2.0</p>
<p style="font-size: x-small;">NO.</p> <p style="font-size: x-small;">REVISIONS</p> <p style="font-size: x-small;">DATE</p> <p style="font-size: x-small;">BY</p>	

Drawing name: K:\GIS\_DEVELOPMENT\168558057\_Chase\_Madison\_WA2\_Design\CAD\PlanSheets\C3.0 - UTILITY PLAN.dwg  
 C3.0 Jun 26, 2023 8:42am by: Juliette Strosser  
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STORM STRUCTURE TABLE	
STRUCTURE NAME:	DETAILS:
D1	WATER QUALITY STRUCTURE. CONNECT TO EXISTING STORM SEWER. CONTRACTOR TO FIELD VERIFY LOCATION, DEPTH, AND SIZE OF EXISTING SEWER PRIOR TO ORDERING MATERIALS. RIM: 1024.36 INV IN: 1013.87 (W, 15") INV OUT: 1013.87 (E, 15")
D2	TIE IN TO EXISTING STORM SEWER WITH NEW MANHOLE. CONTRACTOR TO FIELD VERIFY LOCATION, DEPTH, AND SIZE OF EXISTING SEWER PRIOR TO ORDERING MATERIALS. RIM: 1025.41 INV IN: 1020.91 (W, 12") INV OUT: 1013.98 (E, 15")
D3	STORM MANHOLE RIM: 1026.21 INV IN: 1020.95 (N, 12") INV OUT: 1020.95 (E, 12")
D4	STORM MANHOLE RIM: 1025.73 INV IN: 1021.17 (E, 12") INV OUT: 1021.17 (S, 12")
D5	STORM MANHOLE RIM: 1024.39 INV OUT: 1021.22 (W, 12")
D6	TIE IN TO EXISTING STORM SEWER WITH NEW MANHOLE. CONTRACTOR TO FIELD VERIFY LOCATION, DEPTH, AND SIZE OF EXISTING SEWER PRIOR TO ORDERING MATERIALS. RIM: 1029.82 INV IN: 1025.62 (N, 12") INV OUT: 1025.62 (S, 15")
D7	STORM INLET RIM: 1029.63 INV OUT: 1025.82 (S, 12")

- ### UTILITY NOTES
- ALL WATER LINES ≥ 3" SHALL BE DUCTILE IRON PIPE, CLASS 52.
  - ALL SANITARY SEWER LINES SHALL BE PVC MEETING, ASTM D-3034 SDR 26 EXCEPT FOR SANITARY SEWER THAT CROSSES ABOVE WATER MAIN. THIS PIPE SHALL BE ANWA C900 (UNLESS WATER MAIN CASING IS UTILIZED). PROVIDE 42" MINIMUM COVER.
  - CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
  - ALL ELECTRIC AND TELEPHONE EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
  - CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.
  - CONTRACTOR TO CALL LIVEWIRE UTILITY LOCATION SERVICES (1-800-835-1600) TO COORDINATE FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES BEFORE ORDERING MATERIALS OR COMMENCING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.
  - PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OTHER UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM THE ENGINEER AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION. THE ENGINEER AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION. THE MUNICIPALITY SHALL BE NOTIFIED OF ANY AND ALL CHANGES TO THE DESIGN PLANS.
  - CONTRACTOR SHALL COMPLY COMPLETELY WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT LIMITED TO ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH PERFORMANCE CRITERIA AS REQUIRED BY OSHA.
  - CONTRACTOR TO AVOID DISRUPTION OF ANY ADJACENT TENANT'S TRAFFIC OPERATIONS DURING INSTALLATION OF UTILITIES.
  - ALL DIMENSIONS ARE TO CENTERLINE OF PIPE OR CENTER OF MANHOLE UNLESS NOTED OTHERWISE.
  - SEE ARCHITECTURAL AND MEP PLANS FOR EXACT UTILITY CONNECTION LOCATIONS AT BUILDING.
  - LIGHT POLES SHOWN FOR COORDINATION PURPOSES ONLY AND DO NOT REPRESENT ACTUAL SIZE. SEE SITE LIGHTING PLANS BY OTHERS FOR MORE INFORMATION.
  - SEE DETAILS FOR LOCATING STORM STRUCTURES WITHIN THE CURB LINE.

### UTILITY LEGEND

	EX. SANITARY SEWER LINE
	EX. SANITARY SEWER MANHOLE
	EX. STORM DRAIN LINE
	EX. STORM STRUCTURE/INLET
	EX. GAS LINE
	EX. UNDERGROUND ELECTRIC LINE
	EX. LIGHT POLE
	PROPOSED STORM SEWER LINE
	PROPOSED OPEN LID STORM STRUCTURE (PAVEMENT USE NEENAH R-2540) (GRASS USE NEENAH R-4340-B BEEHIVE)
	PROPOSED CLOSED LID STORM STRUCTURE (PAVEMENT USE NEENAH R-1713) (GRASS USE NEENAH R-1786)

 © 2023 KIMLEY-HORN AND ASSOCIATES, INC. 4201 WINFIELD ROAD, SUITE 600 MADISON, WI 53711 PHONE: 608-487-2500 WWW.KIMLEY-HORN.COM	CHASE UTILITY PLAN
CHASE BANK 660 S. WHITNEY WAY MADISON, WI 53711	ORIGINAL ISSUE: 06/26/23 KHA PROJECT NO. 168558057 SHEET NUMBER <b>C3.0</b>

# Landscape Requirements

Chase Bank - 660 S. Whitney Way Madison, WI 53711

Zoning:	RMX
Site Area:	36,543 SF (0.83 AC)
Building Footprint:	5,266 SF
Total Developed Area:	31,278 SF
Total Parking:	46 Stalls (Includes 3 ADA)

**FRONTAGE LANDSCAPE**  
 Requirement: 1 Shade tree and 5 shrubs per 30 LF of lot frontage (5 shade trees required, 25 shrubs 150 LF along S. Whitney Way requires 5 Trees and 25 Shrubs)

1	Existing Trees
4	Trees Provided
5	<b>Total Trees Provided</b>
25	Shrubs Provided
26	<b>Total Shrubs Provided</b>

**INTERIOR PARKING LANDSCAPE**  
 Requirement: Changes to developed site required 5% of pavement area shall be landscaped. (1) Shade tree for every 160 SF of required landscape area. 19,305 SF Parking pavement requires 965.25 SF of interior landscape area  
 Landscape Areas Provided: 2,352 SF

965.25 SF Interior Landscape area requires 6.0 Interior trees.

5	Existing Trees
1	Trees Provided
6	<b>Total Trees Provided</b>

**FOUNDATION LANDSCAPE**  
 Requirement: Shrubs and perennials shall be provided along building facades.

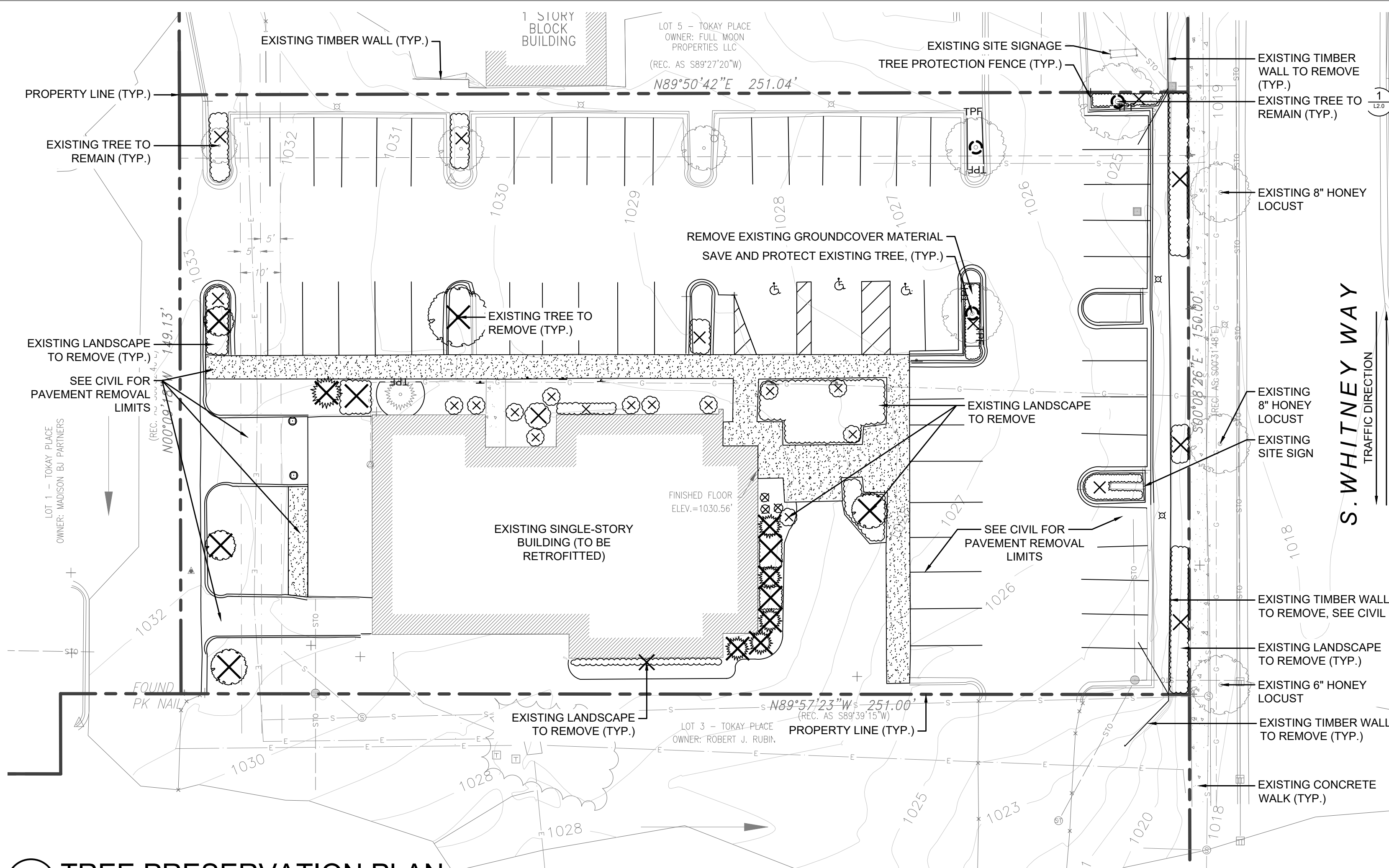
1	Existing Evergreen Shrubs
1	Ornamental Tree
38	Deciduous Shrubs Provided
293	Perennial/Grasses Provided

**SCREENING LANDSCAPE**  
 Requirement: Screening shall consist of a solid wall, solid fence, or hedge with year-round foliage, between six (6) and eight (8) feet in height, except that within the front yard setback area, screening shall not exceed four (4) feet in height.

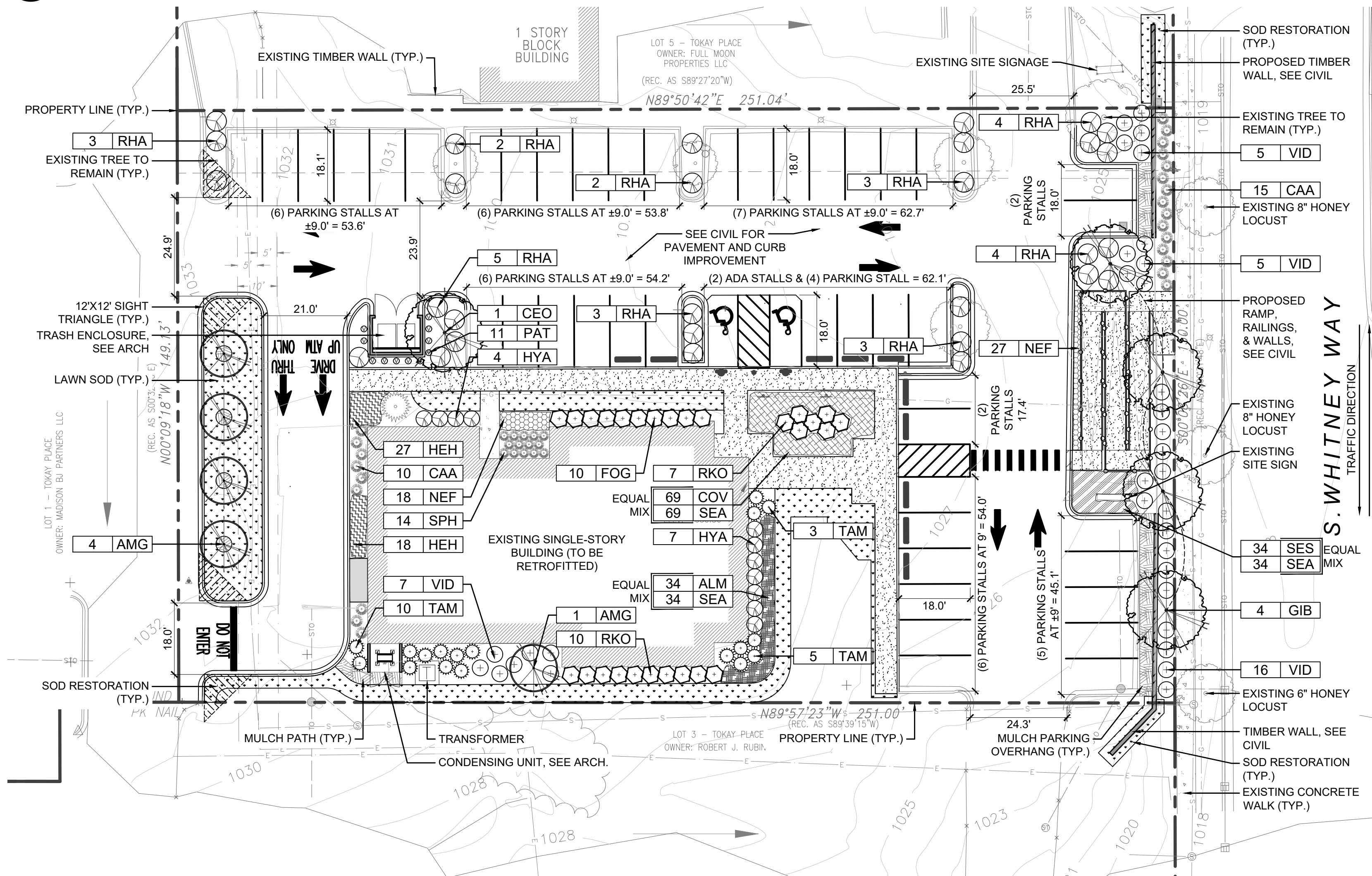
10	Evergreen Shrubs
----	------------------

## PLANT SCHEDULE

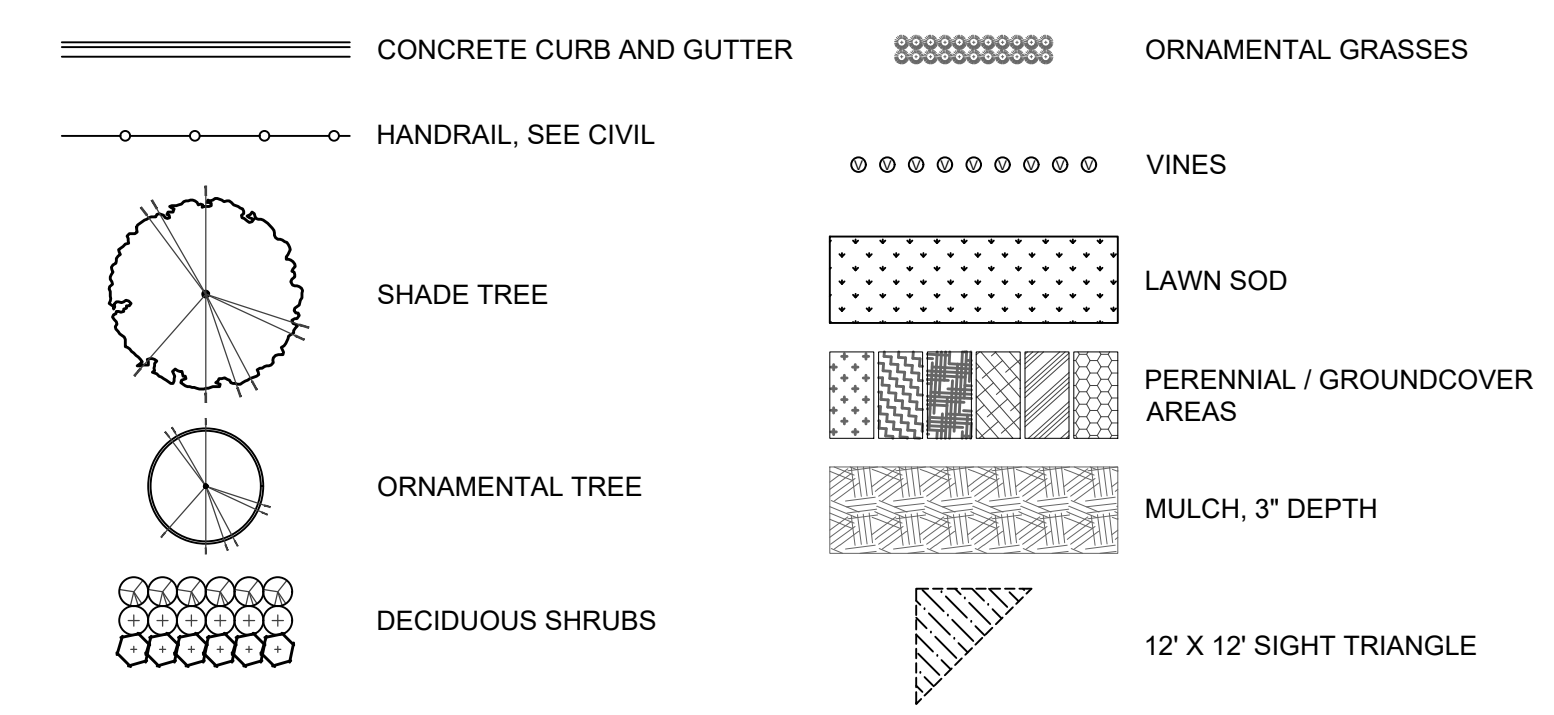
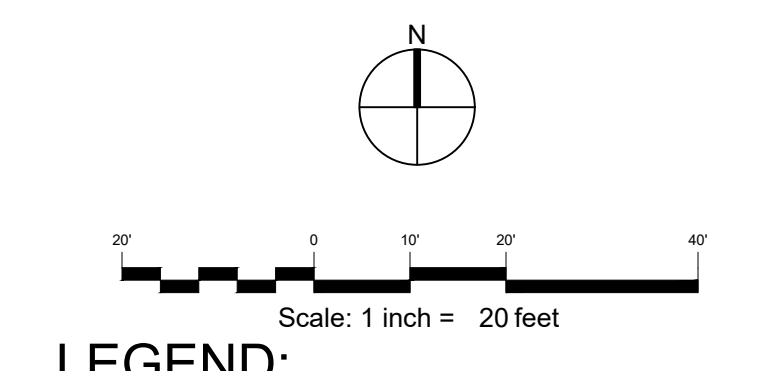
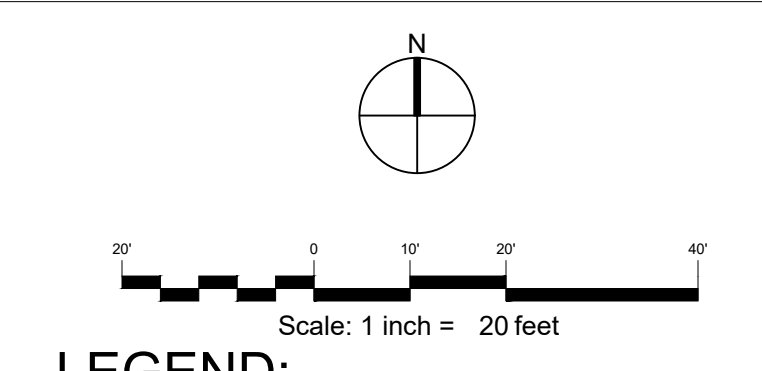
Qty.	Key	Botanical name	Common name	Size at Planting	Notes
<b>SHADE TREES</b>					
1	CEO	Celtis occidentalis	Hackberry	2.5" BB	Central Leader
4	GIB	Ginkgo biloba "Autumn Gold"	Autumn Gold Ginkgo	2.5" BB	Central Leader
5	<b>TOTAL SHADE TREES</b>				
<b>ORNAMENTAL TREES</b>					
5	AMG	Amelanchier x grandiflora "Autumn Brilliance"	Autumn Brilliance Apple Serviceberry	9" ht. BB	Central Leader
5	<b>TOTAL ORNAMENTAL TREES</b>				
<b>EVERGREEN SHRUBS</b>					
18	TAM	Taxus media "Densiformis"	Dense Yew	18" BB	4" o.c.
18	<b>TOTAL EVERGREEN SHRUBS</b>				
<b>DECIDUOUS SHRUBS</b>					
11	HYA	Hydrangea arborescens "Annabelle"	Annabelle Hydrangea	#5 Cont.	4" o.c.
29	RHA	Rhus aromatica "Gro-Low"	Gro-Low Fragrant Sumac	#1 Cont.	Min 12" ht, 5" o.c.
10	FOG	Fothergilla gardenii	Dwarf Fothergilla	#3 Cont.	4" o.c.
17	RKO	Rosa "Knockout"	Knockout Rose	#5 Cont.	4" o.c.
33	VID	Viburnum dentatum "Blue Muffin"	Blue Muffin Arrowwood Viburnum	24" BB	5" o.c.
100	<b>TOTAL DECIDUOUS SHRUBS</b>				
<b>PERENNIALS AND ORNAMENTAL GRASSES</b>					
34	ALM	Allium "McGonick 13"	Summer Peak-A-Boo Allium	#1 Cont.	18" o.c.
25	CAA	Calamagrostis acutiflora "Karl Foerster"	Karl Foerster Feather Reed Grass	#1 Cont.	3" o.c.
69	COV	Cortaderia verticillata "Zagreb"	Zagreb Coreopsis	#1 Cont.	18" o.c.
45	HEH	Hemerocallis "Happy Returns"	Happy Returns Daylily	#1 Cont.	18" o.c.
45	NEF	Nipeta racemosa "Walker's Low"	Walker's Low Catmint	#1 Cont.	18" o.c.
34	SES	Sedum spectabile "Neon"	Neon Sedum	#1 Cont.	18" o.c.
137	SEA	Sesleria autumnalis	Autumn Moor Grass	#1 Cont.	18" o.c.
14	SPH	Sporobolus heterolepis	Prairie Dropseed	#1 Cont.	30" o.c.
403	<b>TOTAL PERENNIALS AND ORNAMENTAL GRASSES</b>				
<b>VINES</b>					
11	PAT	Parthenocissus tricuspidata	Boston Ivy	#1 Cont.	3" o.c., 6" off wall
11	<b>TOTAL VINES</b>				
<b>SEED AND SOD AREAS</b>					
TBD	Sod	Restore any disturbed areas with sod. Quantities determined by Contractor			



**1 TREE PRESERVATION PLAN**  
 SCALE: 1" = 10'-0"



**2 LANDSCAPE PLAN**  
 SCALE: 1" = 10'-0"

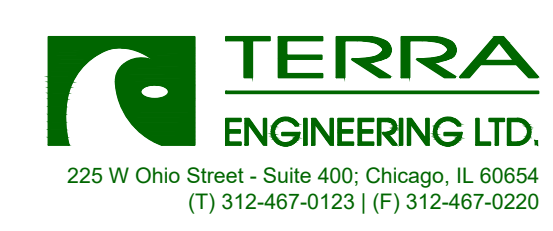


**NOTES:**  
 1. RESTORE ANY DISTURBED TURF AREAS NOT RECEIVING OTHER LANDSCAPE TREATMENTS WITH SOD.



**CHASE BANK**  
 660 S. Whitney Way  
 Madison, WI 53711

Project Team  
 LANDSCAPE ARCHITECT



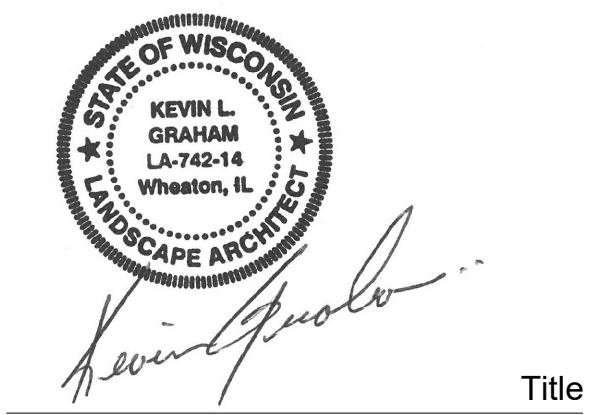
ARCHITECT  
**THE ARCHITECTS PARTNERSHIP, LTD.**  
 200 S. Michigan Ave.  
 Chicago, IL 60604  
 312-583-9800

CIVIL ENGINEER  
**KIMLEY HORN**  
 4201 Winfield Road  
 Suite 600  
 Warrenville, IL 60555  
 630-487-5550

### Revisions

Date	Issue
5/30/2023	SUBMITTAL REVIEW
6/23/2023	SUBMITTAL REVIEW

Stamp



Title  
**LANDSCAPE PLAN**

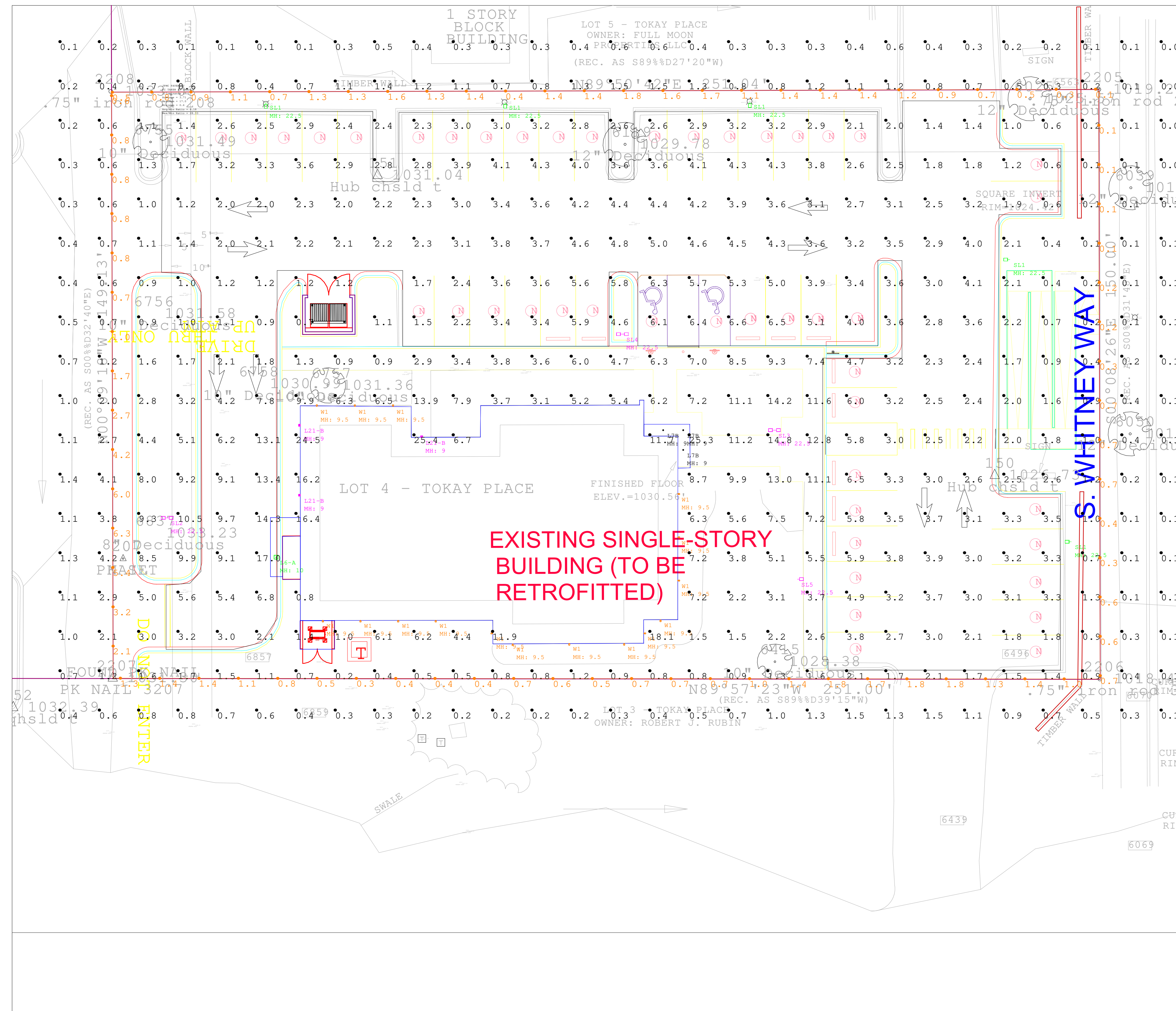
Sheet No.  
**L1.0**





Label	Units	Avg	Max	Min	Avg/Min	Max/Min	Description
ATM 5'	Fc	34.68	46.5	18.4	1.88	2.53	FC TAKEN 5' FROM ATM @ 3'-0" AFG
ATM 50'	Fc	7.83	28.1	0.7	11.19	40.14	FC TAKEN 50' FROM ATM @ 3'-0" AFG
ENTRY	Fc	15.93	43.9	2.2	7.24	19.95	FC TAKEN 10' FROM ENTRY @ 3'-0" AFG
ENTRY 50'	Fc	7.54	38.2	1.0	7.54	38.20	FC TAKEN 50' FROM ENTRY @ 3'-0" AFG
PARKING 60'	Fc	3.78	6.6	2.0	1.89	3.30	FC TAKEN 60' FROM ENTRY @ 3'-0" AFG
PROPERTY LINE	Fc	1.19	6.3	0.1	11.90	63.00	FC TAKEN AT GRADE
SITE	Fc	3.00	25.4	0.0	N.A.	N.A.	FC TAKEN AT GRADE
JPMC PAVEMENT	Fc	3.71	17.0	0.6	6.18	28.33	FC TAKEN AT GRADE

Symbol	Label	Qty	Part Number	Description
	SL4	1	EACL010F4AF740-DIMMING-D1-FINISH	FULL CUTOFF AREA LIGHT
	SL3	1	EACL010F2AN740-DIMMING-D1-FINISH	FULL CUTOFF AREA LIGHT
	L7B	3	LDXB4R010T35V1+RDI4RWPTWTWTR	RECESSED DOWNLIGHT
	W1	16	9004-W2-RW-LED3090-W-BK-L1-UNV	WALL MOUNT UP/ DN LIGHT
	SL2	1	EACL010E2AN740-DIMMING-D1-FINISH	FULL CUTOFF AREA LIGHT
	SL1	5	EACL010D4AF740-DIMMING-D1-FINISH WSHEILD	FULL CUTOFF AREA LIGHT W/SHEILD
	SL5	1	EACL010D4AF740-DIMMING0E1-FINISH	FULL CUTOFF AREA LIGHT
	L6-A	1	ECLS010A5SM740-DIMMING-SM-WHTE	SURFACE MOUNT CANOPY
	L21-B	3	XTOR6B-W	WALL MOUNT FULL CUTOFF HO WALLPACK



- DUE TO CHANGING LIGHTING ORDINANCES IT IS THE CONTRACTORS RESPONSIBILITY TO SUBMIT THE SITE PHOTOMETRICS AND LUMINAIRE SPECS TO THE LOCAL INSPECTOR BEFORE ORDERING TO ENSURE THIS PLAN COMPLIES WITH LOCAL LIGHTING ORDINANCES
- THIS LIGHTING DESIGN IS BASED ON INFORMATION SUPPLIED BY OTHERS. CHANGES IN ELECTRICAL SUPPLY, AREA GEOMETRY AND OBJECTS WITHIN THE LIGHTED AREA MAY PRODUCE ILLUMINATION VALUES DIFFERENT FROM THE PREDICTED RESULTS SHOWN ON THIS LAYOUT.
- THIS LAYOUT IS BASED ON IES FILES THAT WERE LAB TESTED OR COMPUTER GENERATED. ACTUAL RESULTS MAY VARY



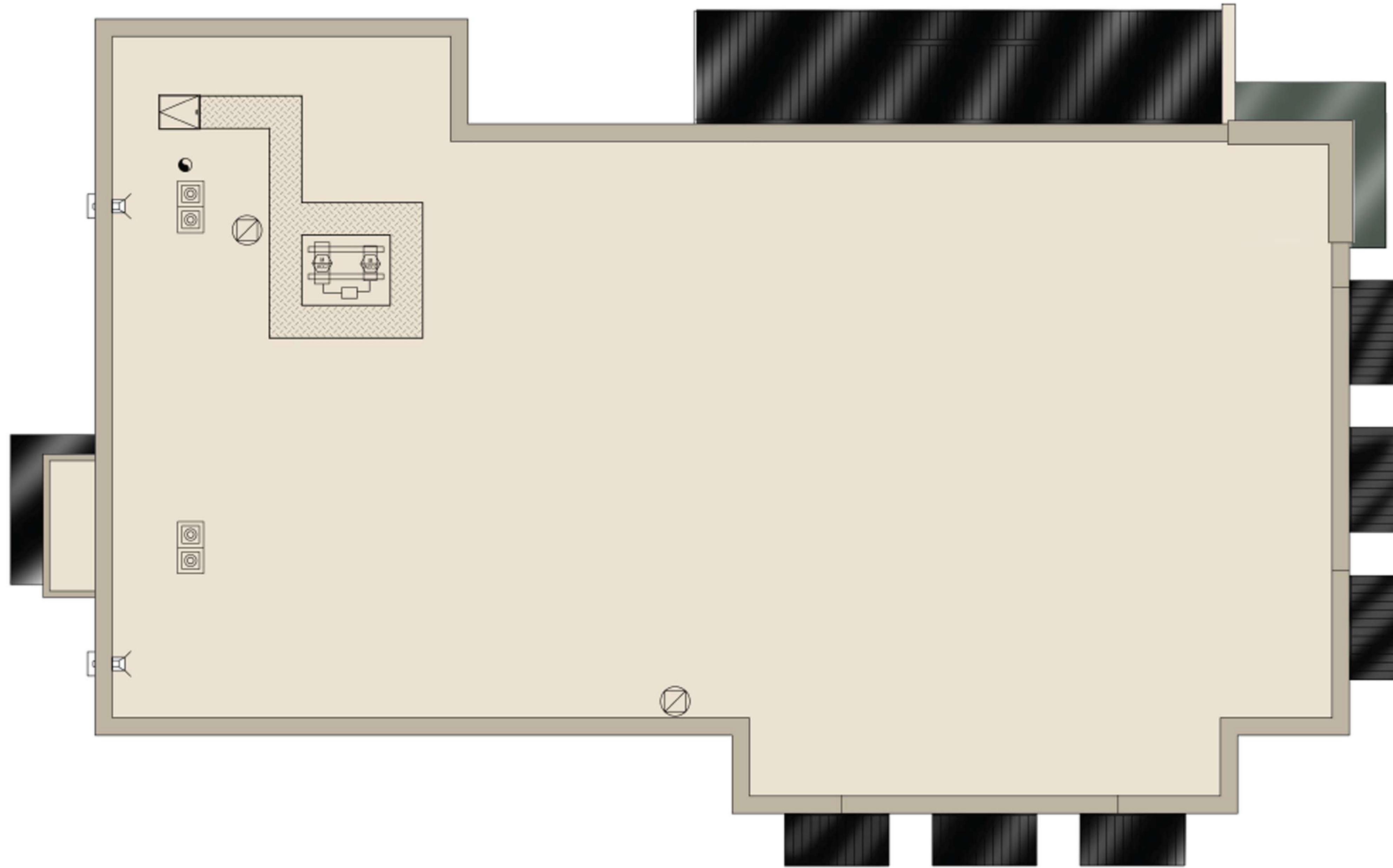
#	Date	Comments

Revisions

Drawn By: JJM  
 Checked By:  
 Date: 6/25/2023

**JPMC WHITNEY LIGHTING LAYOUT**  
**PHOTOMETRIC CALCULATIONS**





**WHITNEY  
ODANA**  
RETAIL BANKING CENTER  
660 S Whitney Way  
Madison, WI 53711

ARCHITECT/ENGINEER OF RECORD



**NOT FOR  
CONSTRUCTION**

ISSUE	DATE	DESCRIPTION
	06/26/2023	ISSUE CLIP & UDC SUBMITTAL

PROJECT INFORMATION BLOCK	
JOB #	23067
DRAWN BY:	AK/GP
CHECKED BY:	TW/GP

SHEET TITLE  
**A2.0**

SHEET NUMBER  
ROOF PLAN











**NOT FOR  
CONSTRUCTION**

ISSUE	DATE	DESCRIPTION
	06/26/2023	ISSUE CUP & UDC SUBMITTAL

PROJECT INFORMATION BLOCK	
JOB #	23067
DRAWN BY:	AK/GP
CHECKED BY:	TW/GP

SHEET TITLE

**A3.5**

SHEET NUMBER

**TRASH  
ENCLOSURE**

