

# THE EDISON

MADISON, WISCONSIN

REVISED : 6.18.19  
SCALE : 1"= 200'

**EXHIBIT C:**  
LOCATION  
MAP



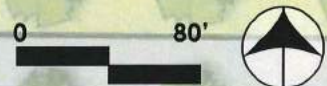
Harvest Moon Lane

South Point Road

CC-T

TR-P

Watts Road



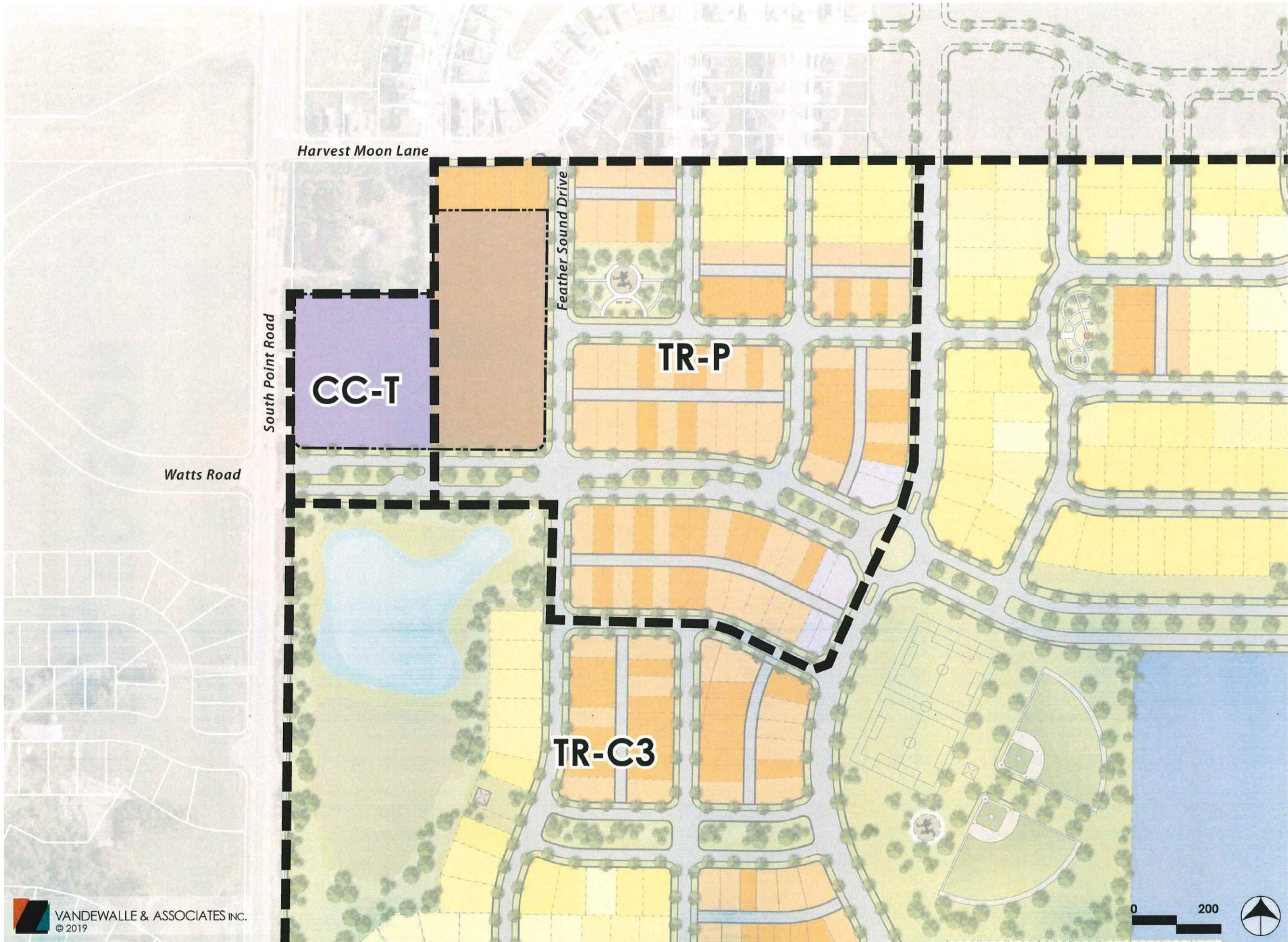
# THE EDISON

MADISON, WISCONSIN

CREATED : 6.19.19

SCALE : 1"= 80'

**EXHIBIT D:**  
EXISTING  
CONDITIONS



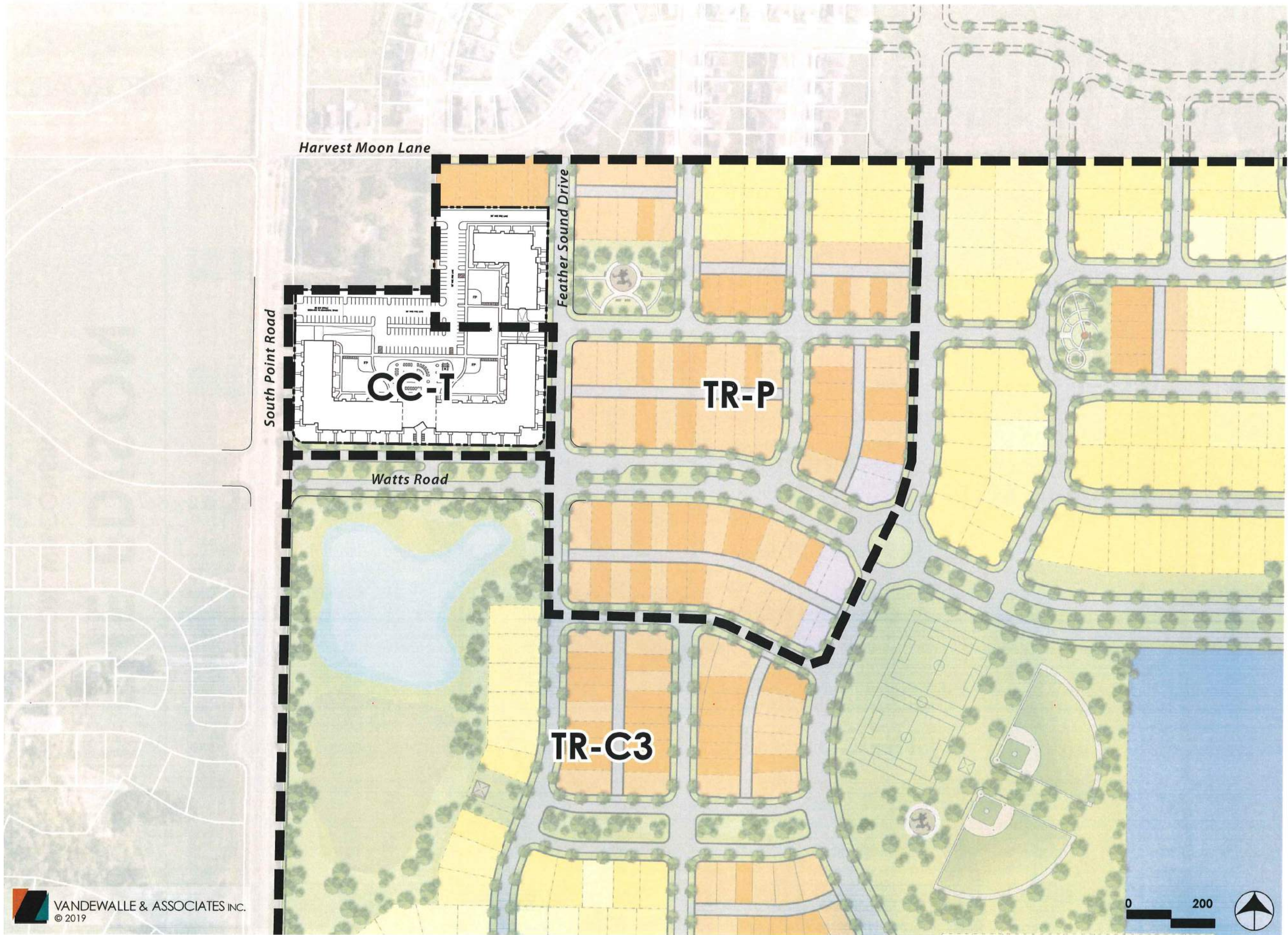
# THE EDISON

MADISON, WISCONSIN

REVISED : 6.18.19

SCALE : 1"= 200'

**EXHIBIT E:**  
ADOPTED  
ZONING  
MAP



# THE EDISON

MADISON, WISCONSIN

REVISED : 6.18.19

SCALE : 1"= 200'

**EXHIBIT F:**  
PROPOSED  
ZONING  
MAP

### Lot 16

#### MIXED USE A

- Residential
- Potential first floor commercial
- 3 Story
- 32 Units
- 32 Underground Parking Stalls
- 40 Surface Parking Stalls

#### MIXED USE B

- Residential
- First floor commercial/Flex Space
- Focus commercial at corner
- 3 Story
- 40 Units
- 40 Underground Parking Stalls
- 41 Surface Parking Stalls

Note: Cross access parking agreement with lot 17

### Lot 17

#### SINGLE FAMILY C

- Residential
- 2 Story
- 6 Units

#### MULTI-FAMILY D

- Residential
- 3 Story
- 42 Units
- 42 Underground Parking Stalls
- 50 Surface Parking Stalls

#### MULTI-FAMILY E

- Residential
- 3 Story
- 48 Units
- 48 Underground Parking Stalls
- 40 Surface Parking Stalls

#### PROJECT TOTAL

SINGLE FAMILY UNITS: 6  
 MULTI-FAMILY UNITS: 162  
**TOTAL UNITS: 168**

TOTAL MULTI-FAMILY PARKING: 333 STALLS  
**PARKING RATIO: 2.06 STALLS/UNIT**



# ACACIA RIDGE NEIGHBORHOOD

MADISON, WISCONSIN

REVISED : 2.13.18  
 SCALE : 1" = 80'

## EXHIBIT G: ADOPTED MASTER PLAN

# THE EDISON

MADISON, WISCONSIN

REVISED : 6.28.19

SCALE : 1" = 80'

## EXHIBIT H: PROPOSED MASTER PLAN



PROJECT:

# THE EDISON

9510 WATTS RD & 604 FEATHER SOUND DR, MADISON, WI

OWNER:

## THE EDISON, LLC

826 NORTH STAR DRIVE  
MADISON, WISCONSIN 53718

CONTACT: DAN SCHMIDT

PHONE: 608-285-8680

FAX: 608-255-3387

email: dans@rentfmi.com

ARCHITECT:

## ULIAN KISSIOV

476 PRESIDENTIAL LANE  
MADISON, WISCONSIN 53711

PHONE: 608-320-3151

email: ukissiov@gmail.com

CIVIL ENGINEER, SURVEYOR, LANDSCAPE ARCHITECT:

## D'ONOFRIO KOTTKE & ASSOC., INC.

7530 WESTWARD WAY  
MADISON, WISCONSIN 53717

CONTACT: DAN DAY

PHONE: 608-833-7530

email: dday@donofrio.cc

PLANNING:

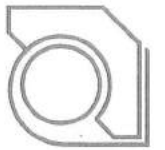
## WANDEWALLE & ASSOCIATES

120 EAST LAKESIDE STREET  
MADISON, WISCONSIN 53715

CONTACT: BRIAN MUNSON

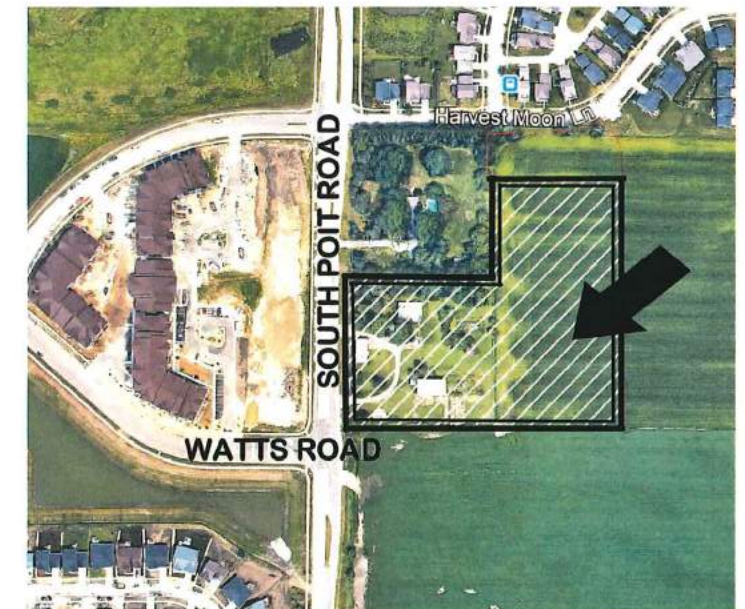
PHONE: 608-255-3988

email: bmunson@vandewalle.com



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- A-6C.1 BUILDING ELEVATIONS - BLDG-C
- A-6C.2 BUILDING ELEVATIONS - BLDG-C



LOCATION MAP  
NO SCALE



### UNIT MIX

	BLDG. A	BLDG. B	BLDG. C	TOTAL
STUDIOS	8	6	7	21
1 BEDRM	38	27	11	76
1 BR+LOFT	6	6	6	18
2 BEDROM	28	21	15	64
3 BEDROM	4	3	3	10
TOTAL	84	63	42	189

JUNE 26, 2019  
REV: JULY 01, 2019

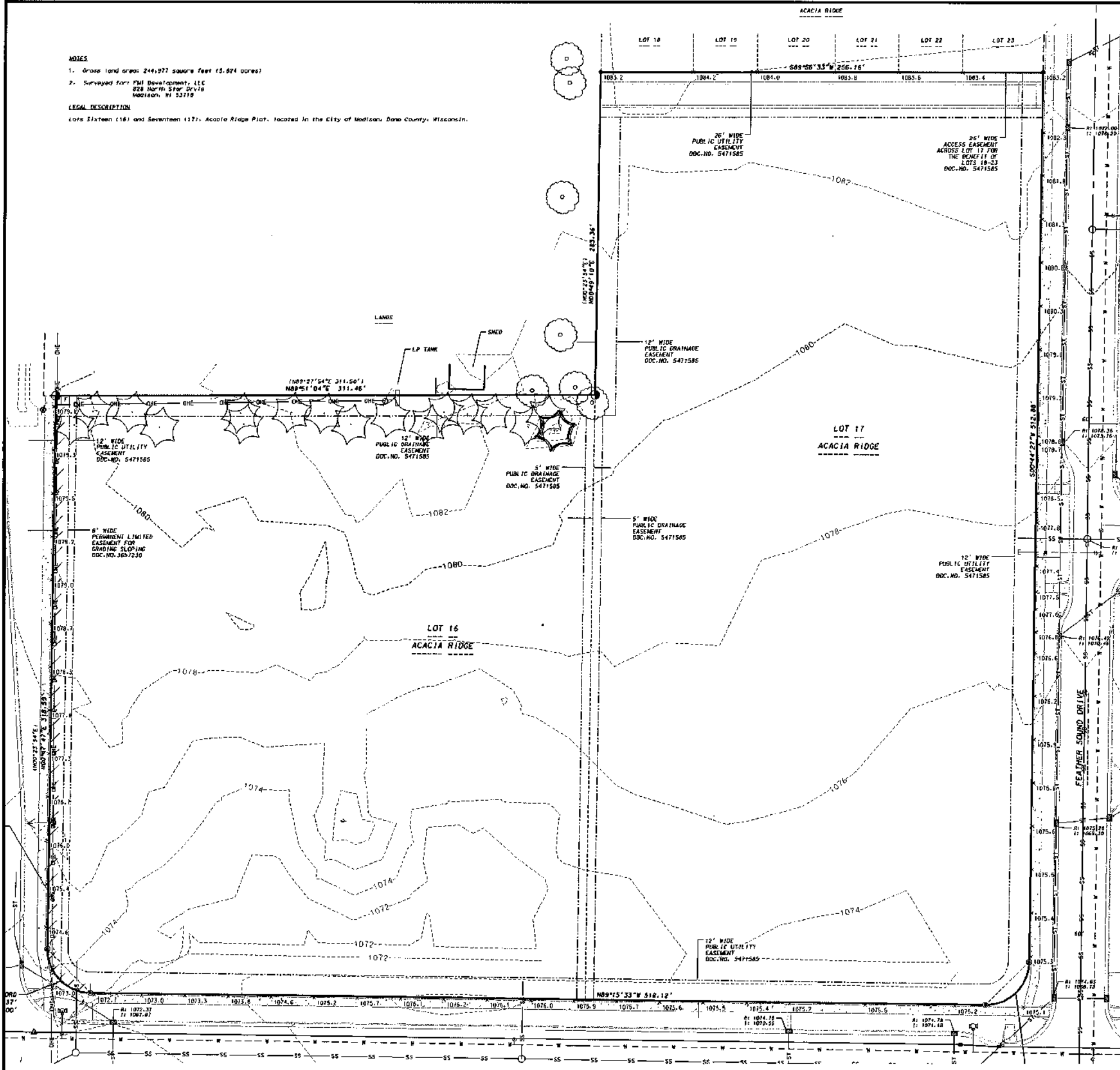
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**NOTES**

1. Gross land area: 244,972 square feet (5.624 acres)
2. Surveyed for: FUL Development, LLC  
828 North Star Drive  
Madison, WI 53719

**LEGAL DESCRIPTION**

Lots Sixteen (16) and Seventeen (17), Acacia Ridge Plat, located in the City of Madison, Dane County, Wisconsin.



**LEGEND**

	FOUND 1" IRON PIPE
	FOUND 1-1/4" REBAR
	FOUND 3/4" REBAR
	WATER MAIN
	STORM SEWER
	OVERHEAD ELECTRIC
	POWER POLE
	HYDRANT
	WELL
	CONCRETE
	CONCRETE CURB AND GUTTER
	"RECORDED AS" INFORMATION

**D'ONOFRIO KOTKE AND ASSOCIATES, INC.**  
 7530 Westward Way, Madison, WI 53717  
 Phone: 608.833.7530 • Fax: 608.833.1089  
 YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

**EXISTING CONDITIONS**  
**THE EDISON**  
 9510 WATTS RD & 604 FEATHER SOUND DRIVE  
 CITY OF MADISON, DANE COUNTY, WI

DATE: 06-25-2019  
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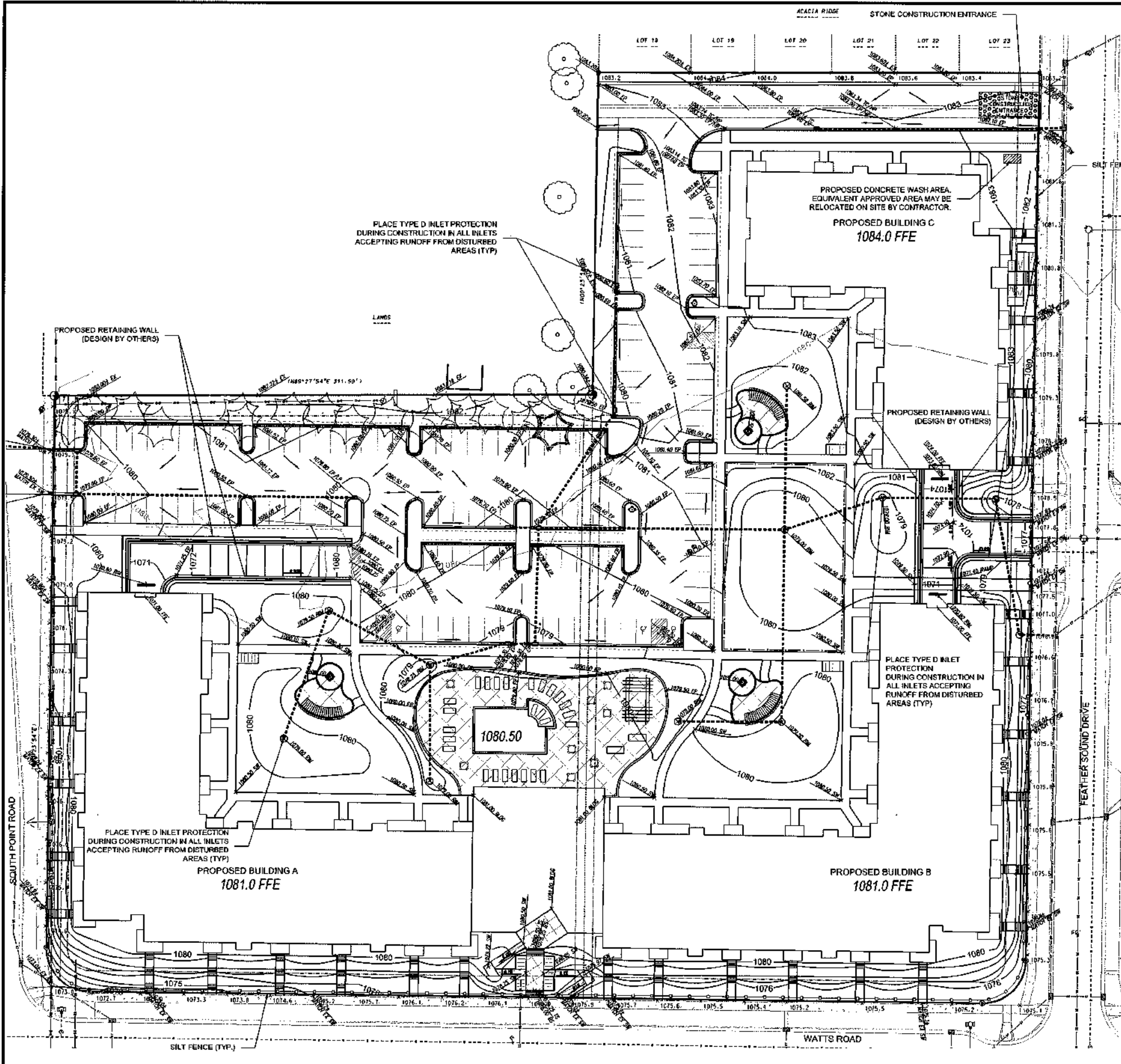
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Sheet Number:  
**C-100**







**LEGEND**

- PROPOSED CONTOUR
- EXISTING CONTOUR
- SPOT ELEVATION
- EP - EDGE OF PAVEMENT
- FFE - FINISHED FLOOR ELEVATION
- TC - TOP OF CURB
- TW - TOP OF WALL (GROUND ELEVATION)
- BW - BOTTOM OF WALL (GROUND ELEVATION)
- HP - HIGHPOINT
- SILT FENCE/SILT SOCK
- FLOW ARROW
- RETAINING WALL (DESIGN BY OTHERS)
- 18" REJECT CONCRETE CURB & GUTTER

**GENERAL NOTES**

1. ALL WORK SHALL BE PER THE CITY OF MADISON STANDARD SPECIFICATIONS
2. CONTRACTOR IS RESPONSIBLE TO OBTAIN ANY AND ALL PERMITS REQUIRED.
3. BUILDING CORNERS ARE APPROXIMATE AND FOR GENERAL BUILDING FOOTPRINT ONLY
4. IF ANY ERRORS, DISCREPANCIES, OR DIMENSIONS WITH PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION
5. CONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS AWAY FROM BUILDING FOUNDATIONS DURING FINAL RESTORATION
6. ALL DIMENSIONS TO FACE OF CURB UNLESS OTHERWISE NOTED
7. ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR
8. CONTRACTOR SHALL REPLACE ALL SIDEWALK AND CURB & GUTTER WHICH ABUTS THE PROPERTY AND IS DAMAGED BY CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION
10. ALL DAMAGE TO THE PAVEMENT OF ADJACENT PUBLIC STREETS SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA

**GRADING AND EROSION CONTROL NOTES:**

1. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE WISCONSIN DNR TECHNICAL STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS.
2. INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS, AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WDMR TECHNICAL STANDARDS.
3. EROSION CONTROL MEASURES INDICATED ON THE PLANS SHALL BE CONSIDERED MINIMUMS. IF DETERMINED NECESSARY DURING CONSTRUCTION ADDITIONAL MEASURES SHALL BE INSTALLED TO PREVENT SEDIMENT FROM LEAVING THE SITE.
4. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
5. INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
6. NO SITE GRADING OUTSIDE OF THE LIMITS OF DISTURBANCE
7. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER
8. INSTALL TYPE D INLET PROTECTION IN ALL STORM SEWER INLETS AND CATCH BASINS THAT MAY RECEIVE RUNOFF FROM DISTURBED AREAS
9. CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1
10. SLOPES EXCEEDING 4:1 SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING AND ALL DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING.
11. ALL INCIDENTAL MUD TRACKING OFF-SITE ONTO ADJACENT PUBLIC THOROUGHFARES SHALL BE CLEANED UP AND REMOVED BY THE END OF EACH WORKING DAY USING PROPER DISPOSAL METHODS.
12. ANY DISTURBED AREA THAT REMAINS INACTIVE FOR GREATER THAN 7 DAYS SHALL BE STABILIZED WITH TEMPORARY STABILIZATION METHODS SUCH AS TEMPORARY SEEDING, SOIL TREATMENT, EROSION MATTING, OR MULCH
13. PREVENT EXCESSIVE DUST FROM LEAVING THE CONSTRUCTION SITE IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.
14. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES.
15. AT A MINIMUM ALL DISTURBED AREAS SHALL RECEIVE A MINIMUM OF 4" OF TOPSOIL FERTILIZER, SEED AND MULCH. SEED MIXTURE SHALL BE WISCONSIN DOT SEED MIX #40 OR EQUIVALENT APPLIED AT A RATE OF 5 POUNDS PER 1000 SQFT ON ALL DISTURBED AREAS. ANNUAL RYEGRASS AT A RATE OF 14 POUNDS PER 1000 SQFT SHALL BE ADDED TO THE MIXTURE. FERTILIZER SHALL BE PLACED PER A SOIL TEST. SEE LANDSCAPE PLAN FOR A MORE DETAILED PLANTING PLAN AND LANDSCAPE DETAILS.
16. DEWATERING, IF APPLICABLE, SHALL BE CONDUCTED PER WDMR STORM WATER MANAGEMENT TECHNICAL STANDARD 1081.

**D'ONOFRIO KOTTKE AND ASSOCIATES, INC.**  
 7530 Westward Way, Madison, WI 53717  
 Phone: 608.833.7300 • Fax: 608.833.1089  
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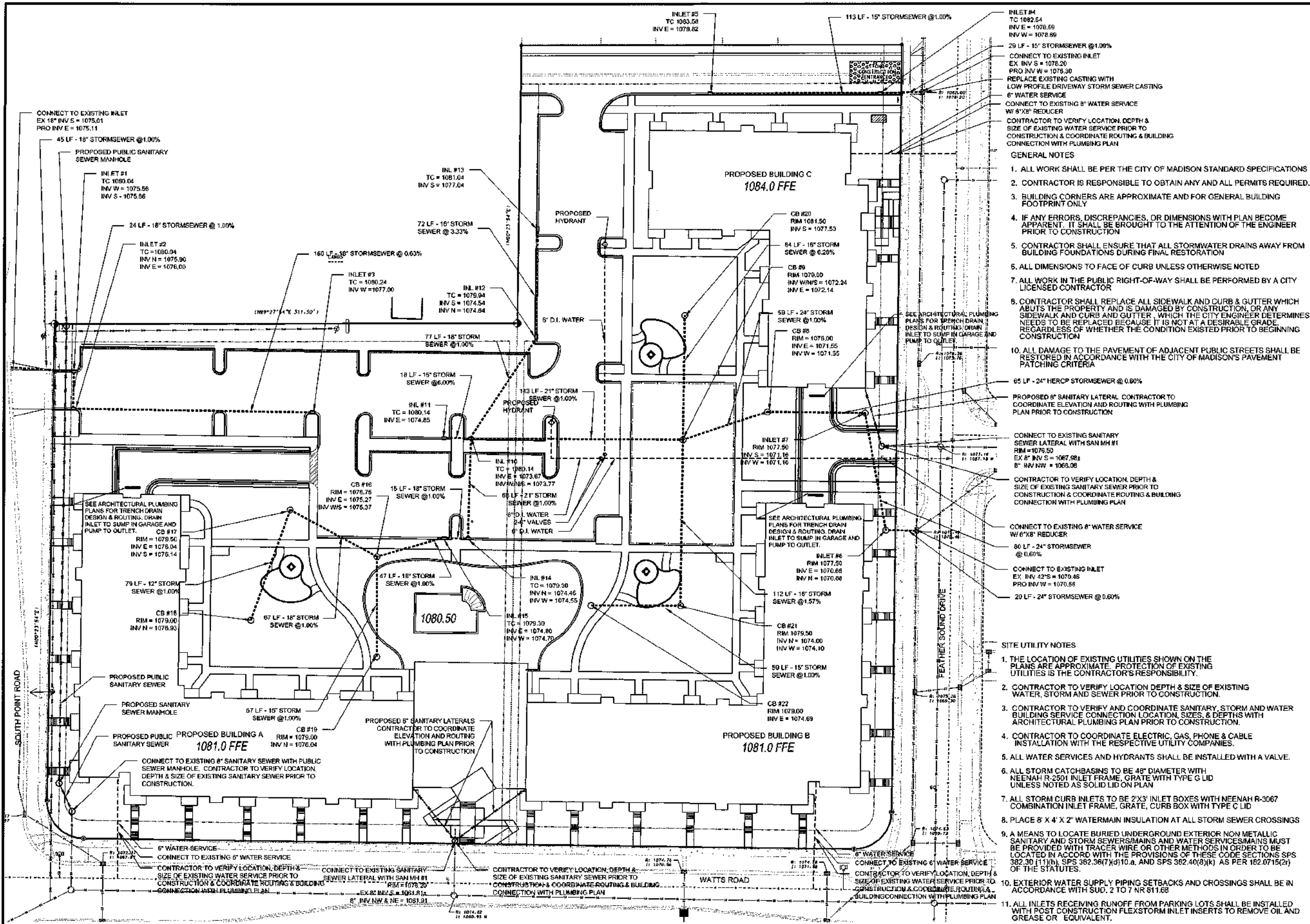
GRADING AND EROSION CONTROL PLAN  
**THE EDISON**  
 9510 WATTS RD & 604 FEATHER SOUND DRIVE  
 CITY OF MADISON, DANE COUNTY, WI



DATE: 06-25-2019  
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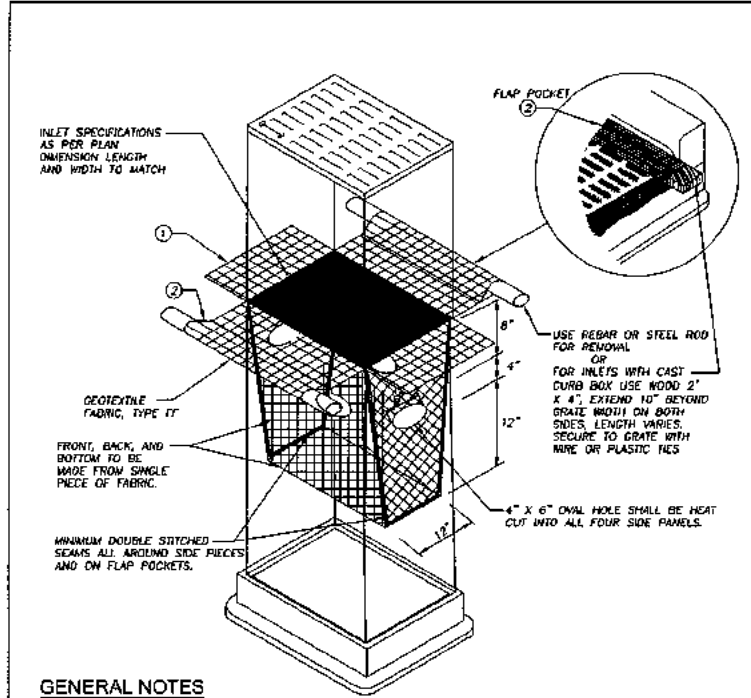
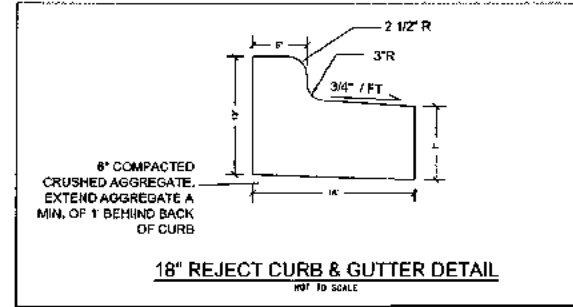
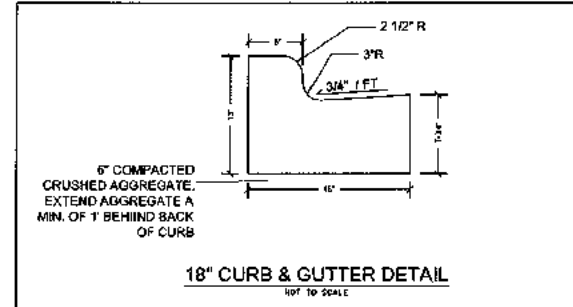
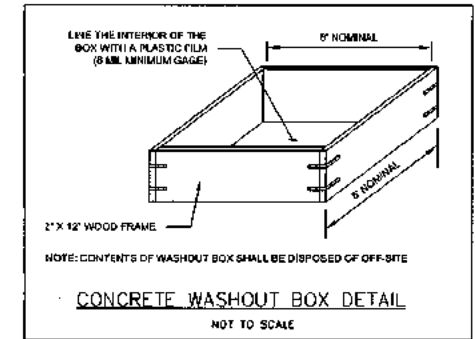
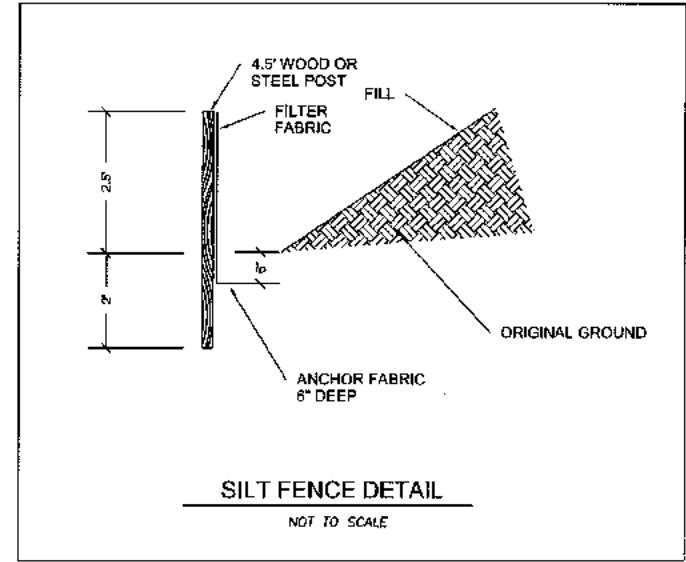
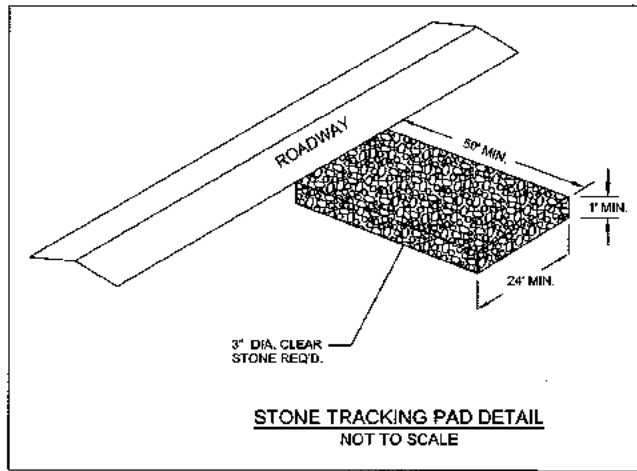
**OTONFRIO KOTKIE AND ASSOCIATES, INC.**  
 7340 Westward Way, Madison, WI 53717  
 Phone: 608.553.7550 • Fax: 608.553.1089  
 YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

**THE EDISON**  
 9510 WATTS RD & 604 FEATHER SOUND DRIVE  
 CITY OF MADISON, DADE COUNTY, FL

**SITE UTILITY PLAN**

**DATE:** 06-25-2019  
**REVISED:**  
**DRAWN BY:**  
**FN:** 19-03-101  
**Sheet Number:**  
**C-103**

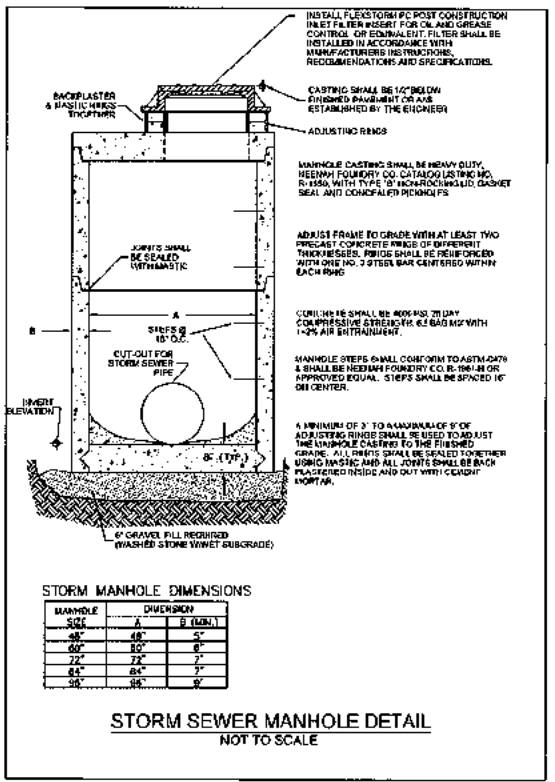
- GENERAL NOTES**
1. ALL WORK SHALL BE PER THE CITY OF MADISON STANDARD SPECIFICATIONS
  2. CONTRACTOR IS RESPONSIBLE TO OBTAIN ANY AND ALL PERMITS REQUIRED.
  3. BUILDING CORNERS ARE APPROXIMATE AND FOR GENERAL BUILDING FOOTPRINT ONLY
  4. IF ANY ERRORS, DISCREPANCIES, OR DIMENSIONS WITH PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION
  5. CONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS AWAY FROM BUILDING FOUNDATIONS DURING FINAL RESTORATION
  6. ALL DIMENSIONS TO FACE OF CURB UNLESS OTHERWISE NOTED
  7. ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR
  8. CONTRACTOR SHALL REPLACE ALL SIDEWALK AND CURB & GUTTER WHICH AFFECTS THE PROPERTY AND IS DAMAGED BY CONSTRUCTION, OR ANY SIDEWALK AND CURB & GUTTER WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION
  9. ALL DAMAGE TO THE PAVEMENT OF ADJACENT PUBLIC STREETS SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA
  10. EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SUD. 2 TO 7 NR 811.68
  11. ALL INLETS RECEIVING RUNOFF FROM PARKING LOTS SHALL BE INSTALLED WITH POST CONSTRUCTION FLEXSTORM INLET INSERTS TO REMOVE OIL AND GREASE OR EQUIVALENT.
- SITE UTILITY NOTES**
1. THE LOCATION OF EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE. PROTECTION OF EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY.
  2. CONTRACTOR TO VERIFY LOCATION DEPTH & SIZE OF EXISTING WATER, STORM AND SEWER PRIOR TO CONSTRUCTION.
  3. CONTRACTOR TO VERIFY AND COORDINATE SANITARY, STORM AND WATER BUILDING SERVICE CONNECTION LOCATION, SIZES, & DEPTHS WITH ARCHITECTURAL PLUMBING PLAN PRIOR TO CONSTRUCTION.
  4. CONTRACTOR TO COORDINATE ELECTRIC, GAS, PHONE & CABLE INSTALLATION WITH THE RESPECTIVE UTILITY COMPANIES.
  5. ALL WATER SERVICES AND HYDRANTS SHALL BE INSTALLED WITH A VALVE.
  6. ALL STORM CATCHBASINS TO BE 48" DIAMETER WITH NEENAH R-2501 INLET FRAME, GRATE WITH TYPE G LID UNLESS NOTED AS SOLID LID ON PLAN
  7. ALL STORM CURB INLETS TO BE 2'X3' INLET BOXES WITH NEENAH R-3067 COMBINATION INLET FRAME, GRATE, CURB BOX WITH TYPE C LID
  8. PLACE 8' X 4' X 2" WATERMAIN INSULATION AT ALL STORM SEWER CROSSINGS
  9. A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SANITARY AND STORM SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORD WITH THE PROVISIONS OF THESE CODE SECTIONS SPS 382.30 (1)(h), SPS 382.36(7)(d)10.a, AND SPS 382.40(8)(k) AS PER 182.0715(2r) OF THE STATUTES.



**GENERAL NOTES**  
WET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.  
MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.  
WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

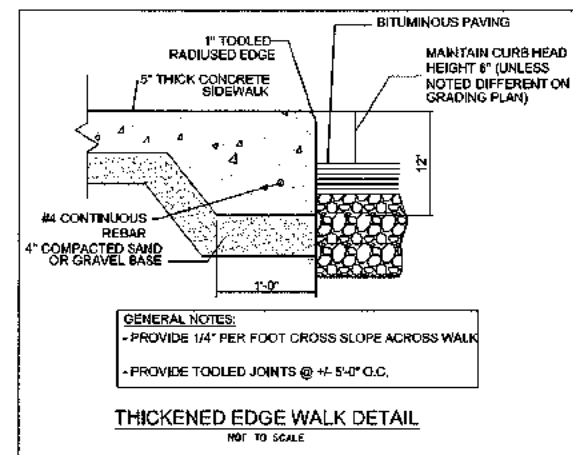
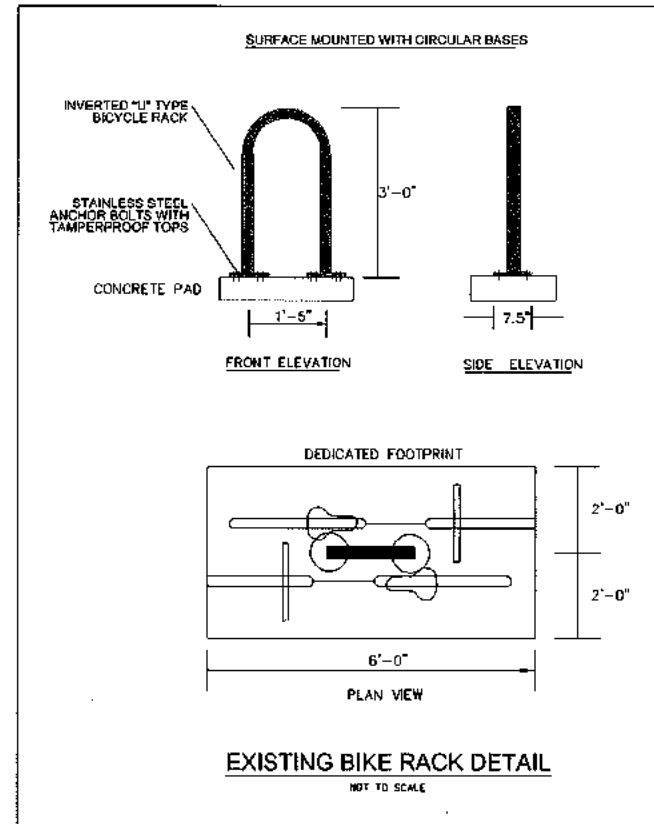
① FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.  
② FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.

**INSTALLATION NOTES**  
DO NOT INSTALL WET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.  
TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.  
THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CATCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.



**STORM MANHOLE DIMENSIONS**

MANHOLE SIZE	DIMENSION	
	A	B (MIN.)
48"	48"	5"
60"	60"	6"
72"	72"	7"
84"	84"	7"
96"	96"	8"



**GENERAL NOTES:**  
- PROVIDE 1/4" PER FOOT CROSS SLOPE ACROSS WALK  
- PROVIDE TOOLED JOINTS @ +/- 5'-0" O.C.

**DONORIO KOTTE AND ASSOCIATES, INC.**  
7330 Westwood Way, Madison, WI 53717  
Phone: 608.833.7530 • Fax: 608.833.1089  
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

DETAILS  
**THE EDISON**  
9510 WATTS RD & 604 FEATHER SOUND DRIVE  
CITY OF MADISON, DANE COUNTY, WI

DATE: 06-25-2019  
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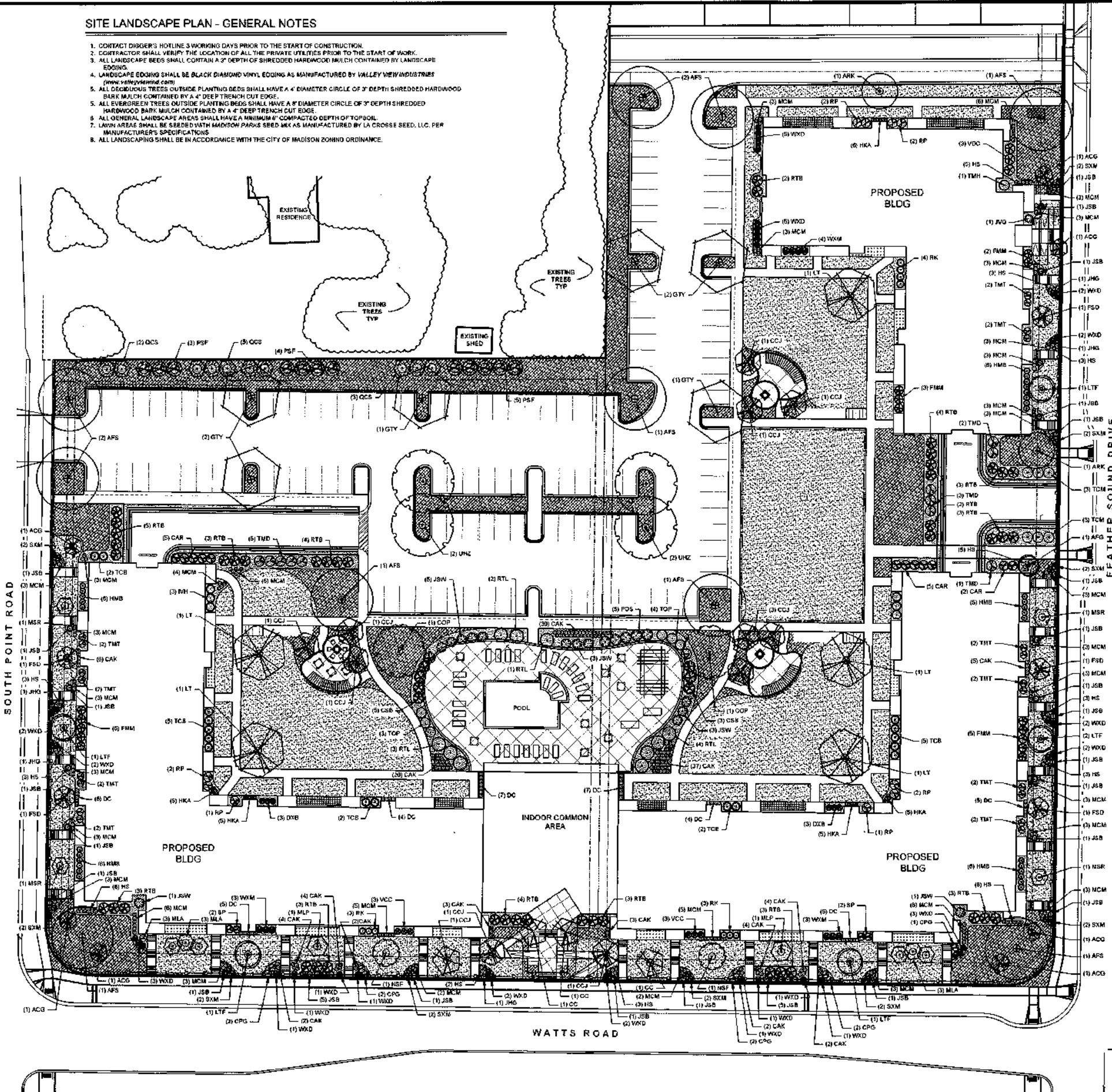






**SITE LANDSCAPE PLAN - GENERAL NOTES**

- CONTACT DIGGER'S HOTLINE 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL THE PRIVATE UTILITIES PRIOR TO THE START OF WORK.
- ALL LANDSCAPE BEDS SHALL CONTAIN A 2" DEPTH OF SHREDDED HARDWOOD MULCH CONTAINED BY LANDSCAPE EDGING.
- LANDSCAPE EDGING SHALL BE BLACK DIAMOND VINYL EDGING AS MANUFACTURED BY VALLEY VIEW INDUSTRIES (www.valleyview.com).
- ALL DECIDUOUS TREES OUTSIDE PLANTING BEDS SHALL HAVE A 4" DIAMETER CIRCLE OF 3" DEPTH SHREDDED HARDWOOD BARK MULCH CONTAINED BY A 4" DEEP TRENCH CUT EDGE.
- ALL EVERGREEN TREES OUTSIDE PLANTING BEDS SHALL HAVE A 8" DIAMETER CIRCLE OF 3" DEPTH SHREDDED HARDWOOD BARK MULCH CONTAINED BY A 4" DEEP TRENCH CUT EDGE.
- ALL ORNAMENTAL LANDSCAPE BEDS SHALL HAVE A MINIMUM 6" COMPACTED DEPTH OF TOPSOIL.
- LAWN AREAS SHALL BE SEED WITH MADISON PARKS SEED MIX AS MANUFACTURED BY LA CROSSE SEED, LLC. PER MANUFACTURER'S SPECIFICATIONS.
- ALL LANDSCAPING SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON ZONING ORDINANCE.



**LANDSCAPE REQUIREMENTS SUMMARY**

**DEVELOPED AREA REQUIREMENTS:**  
 5 POINTS PER 300 SF OF DEVELOPED AREA  
 GROSS DEVELOPED AREA = 205,145 SQ FT  
 BUILDING FOOTPRINTS = 66,147 SQ FT  
 NET DEVELOPED AREA = 138,998 SQ FT (3.12 ACRE)  
 TOTAL POINTS REQUIRED = 2,267 POINTS  
 POINTS PROVIDED = 5,134 POINTS

**STREET FRONTAGE REQUIREMENTS:**  
 TOVERSTORY TREE OR 2 EVERGREEN / ORNAMENTAL & 5 SHRUB PER 50 LF

**SOUTH POINT ROAD FRONTAGE = 300 FT**  
 PLANTS REQUIRED = 10 OVERTORY TREES OR  
 20 EVERGREEN / ORNAMENTAL TREES  
 50 SHRUBS  
 PLANTS PROVIDED = 10 OVERTORY TREES  
 51 SHRUBS

**WATTS ROAD FRONTAGE = 526 FT**  
 PLANTS REQUIRED = 18 OVERTORY TREES OR  
 36 EVERGREEN / ORNAMENTAL TREES  
 98 SHRUBS  
 PLANTS PROVIDED = 18 OVERTORY TREES  
 8 ORNAMENTAL TREES  
 90 SHRUBS

**FEATHER SOUND DRIVE FRONTAGE = 450 FT**  
 PLANTS REQUIRED = 15 OVERTORY TREES OR  
 30 EVERGREEN / ORNAMENTAL TREES  
 75 SHRUBS  
 PLANTS PROVIDED = 15 OVERTORY TREES  
 97 SHRUBS

**PARKING LOT LANDSCAPING REQUIREMENTS:**  
 1 OVERTORY TREE OR 2 ORNAMENTAL TREES PER 100 SQ FT OF REQUIRED AREA

TOTAL PARKING LOT AREA = 53,907 SQ FT  
 REQUIRED LANDSCAPED AREA = 4,313 SQ FT (8% TOTAL PARKING LOT AREA)  
 LANDSCAPED AREA PROVIDED = 4,313 SQ FT  
 OVERTORY TREES REQUIRED = 27 OVERTORY TREES  
 OVERTORY TREES PROVIDED = 27 OVERTORY TREES

**PLANT SCHEDULE**

CODE/SCIENTIFIC NAME	COMMON NAME	QTY	PTS PER PLANT	SUB-TOTAL	SIZE	ROOT COND.	NOTES
<b>OVERSTORY DECIDUOUS TREES</b>							
AFS Acer x freemanii 'Armstrong Gold'	Armstrong Gold Maple	1	35	35	2.5'	B&B	
AFS Acer x freemanii 'Sienna Glen'	Sienna Glen Maple	10	35	350	2.5'	B&B	
ARK Acer rubrum 'Karpak'	Honeycrisp Maple	2	35	70	2.5'	B&B	
ARG Amelanchier canadensis 'Glen Form'	Rainbow Pillar Serviceberry	7	35	245	2.0'	B&B	
CC Carpinus caroliniana	American Hornbeam	4	30	120	2.0'	B&B	
CCJ Carpinus caroliniana 'JN Sweet'	JN Strain Hornbeam	11	30	330	2.0'	B&B	
COP Calla occidentalis 'Prize Prize'	Prize Prize Hackberry	2	35	70	2.5'	B&B	
FSD Fagus sylvatica 'Dawson Purple'	Dawson Purple Beech	5	35	175	2.5'	B&B	
GTY Quercus laevis 'Hayden'	Shawnee Hollows Oak	6	35	210	2.5'	B&B	
LT Liriodendron tulipifera 'JFS Cr'	Emerald City Tulip Poplar	6	35	210	2.5'	B&B	
LTF Liriodendron tulipifera 'Festival'	Columnar Tulip Poplar	5	35	175	2.5'	B&B	
MSR Magnolia stellata 'Royal Star'	Royal Star Magnolia	4	35	140	2.0'	B&B	
NSF Nyssa sylvatica 'Festivaster'	Festivaster Black Gum	2	35	70	2.0'	B&B	
UNZ Ulmus 'New Horizon'	New Horizon Elm	4	35	140	2.0'	B&B	
<b>TALL EVERGREEN TREES</b>							
PSF Pinus strobus 'Fastigiate'	Columnar White Pine	12	35	420	6 TALL	B&B	
<b>ORNAMENTAL TREE</b>							
MLP Malus 'Pink Princess'	Pink Princess Crabapple	6	15	90	1.5'	B&B	
QOS Quercus 'Greschmidt'	Chimney Sweep Oak	2	15	30	1.5'	B&B	
QOS Quercus 'Greschmidt'	Chimney Sweep Oak	10	15	150	1.5'	B&B	
<b>UPRIGHT EVERGREEN SHRUB</b>							
JSW Juniperus scopulorum 'Waltz'	Waltz Juniper	13	10	130	4 TALL	POT	
MSR Juniperus virginiana 'Grey Owl'	Grey Owl Juniper	1	10	10	4 TALL	POT	
TMT Taxus x media 'Hicksii'	Hick's Yew	1	10	10	4 TALL	POT	
TOP Thuja occidentalis 'Pyramidal'	Pyramidal Arborvitae	7	10	70	4 TALL	POT	
<b>DECIDUOUS SHRUB</b>							
CAR Calluna sibirica 'Ruby Spice'	Ruby Spice Clethra	12	3	36	24" TALL	POT	
LSB Cornus sericea 'Ballhoop'	Levy Halo Dogwood	8	3	24	24" TALL	POT	
DXB Diapente x barkwood 'Darted Mocha'	Darted Mocha Dogwood	6	3	18	24" TALL	POT	
FAM Fothergilla 'M. Jay'	M. Jay Fothergilla	15	3	45	24" TALL	POT	
HMB Hydrangea 'Balmie'	Endless Summer Hydrangea	30	3	90	24" TALL	POT	
HTM Hebe x japonica 'Helen's Gem'	Helen's Gem Hebe	6	3	18	24" TALL	POT	
POS Physocarpus opulifolius 'Seward'	Summer Wine Ninebark	5	3	15	24" TALL	POT	
RK Rosa 'Knockout'	Knockout Rose	10	3	30	24" TALL	POT	
RTB Rhod typhina 'Belliger'	Tiger Eyes Sumac	45	3	135	36" TALL	POT	
RTI Rhod typhina 'Laciniata'	Laciniata Sumac	10	3	30	36" TALL	POT	
SP Salix 'Parade'	Parade Willow	4	3	12	36" TALL	POT	
SVM Sieris 'Mardi Gras'	Mardi Gras Spirea	20	2	40	12" TALL	POT	
VCC Vitum x carolinianum 'Hansel'	Connecticut Spice Vitium	6	3	18	24" TALL	POT	
VOC Viburnum dentatum 'Chisom'	Blue Huffer Viburnum	3	3	9	24" TALL	POT	
WWD Weigela 'Dark Horse'	Dark Horse Weigela	40	3	120	18" TALL	POT	
WXM Weigela 'Waxel'	Waxel Weigela	10	3	30	18" TALL	POT	
<b>EVERGREEN SHRUB</b>							
CPC Chamaecyparis platensis 'Golden Mist'	Golden Mist False Cypress	10	4	40	24" TALL	POT	
LSB Liriodendron 'Golden Strike'	Golden Strike Juniper	6	4	24	12" TALL	POT	
JSB Juniperus horizontalis 'Blue Star'	Blue Star Juniper	32	4	128	12" TALL	POT	
RP Rhododendron 'PJM'	PJM Rhododendron	10	4	40	24" TALL	POT	
TCB Thuja canadensis 'Bennett'	Bennett Hemlock	15	4	60	24" TALL	POT	
TCM Taxus cuspidata 'Monaco'	Emerald Sceday Yew	6	4	24	24" TALL	POT	
TMD Taxus x media 'Densata'	Densata Yew	11	4	44	24" TALL	POT	
TMT Taxus 'Tautou'	Tautou Yew	20	4	80	24" TALL	POT	
<b>ORNAMENTAL GRASSES</b>							
CAK Calamagrostis x acutiflora 'Inat Foerster'	Inat Foerster Feather Reed Grass	127	2	254	1 GAL	POT	
DC Deschampsia cespitosa 'Schubertii'	Scotland Tufted Hair Grass	42	2	84	1 GAL	POT	
HM Hakonechloa macro 'All Oak'	All Gold Japanese Forest Grass	25	2	50	1 GAL	POT	
HS Helictotrichon sempervirens	Blue Oat Grass	45	2	90	1 GAL	POT	
MCM Molinia caerulea 'laetiflora'	Flaming Moor Grass	110	2	220	1 GAL	POT	
<b>TOTAL: 5154 POINTS</b>							

**GROUND COVER LEGEND**

- MADISON PARKS LAWN SEED AS MANUFACTURED BY EARTH CARPET
- PRAIRIE LOW GROWING MEADOW FOR DRY SOILS SEED MIX AS MANUFACTURED BY PRAIRIE NURSERY
- FOLLMATOR SEED MIX FOR DRY SOILS AS MANUFACTURED BY PRAIRIE NURSERY
- WOODLAND EDGE / SAVANNAH MIX FOR MEDIUM SOILS SEED AS MANUFACTURED BY PRAIRIE NURSERY
- BARK MULCH

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 7530 Westward Way, Madison, WI 53717  
 Phone: 608.833.7520 • Fax: 608.833.1089  
 YOUR NATURAL RESOURCE FOR LANDSCAPE DEVELOPMENT

LANDSCAPE PLAN  
**THE EDISON**  
 9510 WATTS RD & 604 FEATHER SOUND DRIVE  
 CITY OF MADISON, DANE COUNTY, WI

DATE: 06-25-2019  
 REVISED:  
 DRAWN BY:  
 FN: 19-03-101  
 Sheet Number:  
 L-101





**CITY OF MADISON  
LANDSCAPE WORKSHEET**

Section 28.142 Madison General Ordinance

Project Location / Address 9402 & 9510 WATS ROAD  
Name of Project EDISON APARTMENTS  
Owner / Contact EDISON, LLC / ULIAN KISSIOV / MATT SALTZBERRY, PLA  
Contact Phone 608-320-3151 Contact Email UKISSIOV@GMAIL.COM  
MSALTZBERRY@DONOFRIO.CC

**\*\* Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size  
MUST be prepared by a registered landscape architect. \*\***

**Applicability**

The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless **all** of the following conditions apply, in which case only the affected areas need to be brought up to compliance:

- (a) The area of site disturbance is less than ten percent (10%) of the entire development site during any ten-(10) year period.
- (b) Gross floor area is only increased by ten percent (10%) during any ten-(10) year period.
- (c) No demolition of a principal building is involved.
- (d) Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

**Landscape Calculations and Distribution**

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and Zoning District.

- (a) For all lots except those described in (b) and (c) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.

Total square footage of developed area 135,996  
Total landscape points required 2,267

- (b) For lots larger than five (5) acres, points shall be provided at five (5) points per three hundred (300) square feet for the first five (5) developed acres, and one (1) point per one hundred (100) square feet for all additional acres.

Total square footage of developed area N/A  
Five (5) acres = 217,800 square feet  
First five (5) developed acres = 3,630 points  
Remainder of developed area \_\_\_\_\_  
Total landscape points required \_\_\_\_\_

- (c) For the Industrial – Limited (IL) and Industrial – General (IG) districts, one (1) point shall be provided per one hundred (100) square feet of developed area.

Total square footage of developed area N/A  
Total landscape points required \_\_\_\_\_

**Tabulation of Points and Credits**

Use the table to indicate the quantity and points for all existing and proposed landscape elements.

Plant Type/ Element	Minimum Size at Installation	Points	Credits/ Existing Landscaping		New/ Proposed Landscaping	
			Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2½ inch caliper measured diameter at breast height (dbh)	35			68	2,380
Tall evergreen tree (i.e. pine, spruce)	5-6 feet tall	35			12	420
Ornamental tree	1 1/2 inch caliper	15			18	270
Upright evergreen shrub (i.e. arborvitae)	3-4 feet tall	10			22	220
Shrub, deciduous	#3 gallon container size, Min. 12"-24"	3			230	690
Shrub, evergreen	#3 gallon container size, Min. 12"-24"	4			113	452
Ornamental grasses/ perennials	#1 gallon container size, Min. 8"-18"	2			351	702
Ornamental/ decorative fencing or wall	n/a	4 per 10 lineal ft.				
Existing significant specimen tree	Minimum size: 2 ½ inch caliper dbh. *Trees must be within developed area and cannot comprise more than 30% of total required points.	14 per caliper inch dbh. Maximum points per tree: 200				
Landscape furniture for public seating and/or transit connections	* Furniture must be within developed area, publically accessible, and cannot comprise more than 5% of total required points.	5 points per "seat"				
<b>Sub Totals</b>						<b>5,134</b>

**Total Number of Points Provided 5,134**

\* As determined by ANSI, ANLA- American standards for nursery stock. For each size, minimum plant sizes shall conform to the specifications as stated in the current American Standard for Nursery Stock.



LOT 3  
1000 OAKS

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PARK AREAS	illuminance	Fc	1.09	12.6	0.0	N.A.	N.A.
PARKING	illuminance	Fc	1.99	8.7	0.2	9.95	43.50

Luminaire Schedule									
Symbol	Qty	Label	Description	Arrangement	Total Lamp Lumens	Lum. Lumens	Lum. Watts	LLF	
○	7	OA	ASL-16L-5K-210-4	SINGLE	13104	13104	115	0.900	
□	1	OA2	ASL-16L-4K-210-4	BACK-BACK	13104	13104	115	0.900	
□	1	OB	ASL-16L-4K-210-3	SINGLE	12801	12801	115	0.900	
○	14	OD	PKWM-ANG-Y2HD-32LED-4K-700	SINGLE	N.A.	4311	71	0.900	
□	43	WP	SG1-30-4K-PCU	SINGLE	N.A.	3060	29.1	0.900	
□	2	WP2	WD1Q360BZ-L26	SINGLE	1069	1069	15.04	2.430	

- Standard Reflectance of 80/50/20 unless noted otherwise
- Not a Construction Document, for Design purposes only
- Standard indoor calc points @ 0" A.F.F.
- Standard outdoor calc points @ Grade unless noted otherwise
- Mlazgar Associates assumes no responsibility for installed light levels due to field conditions, etc.

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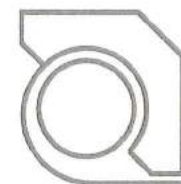


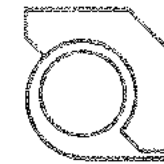
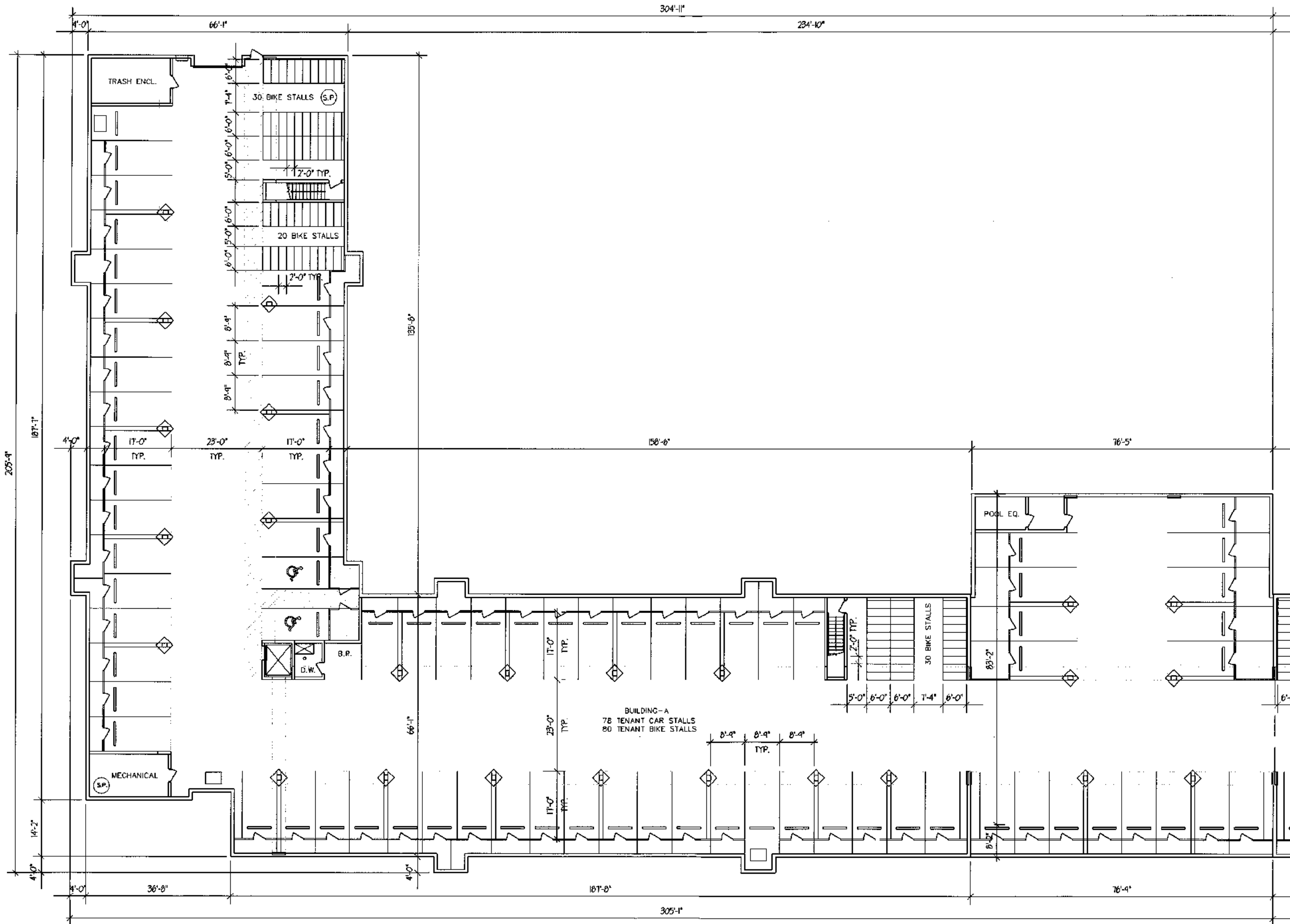
#	Date	Comments

Revisions	

RLMA Project #: 82983  
Drawn By: MB  
Date: 6/24/2019

**SITE PLAN**  
**EDISON APARTMENTS**  
**MADISON, WI**



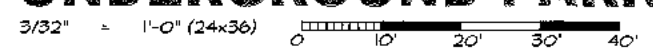


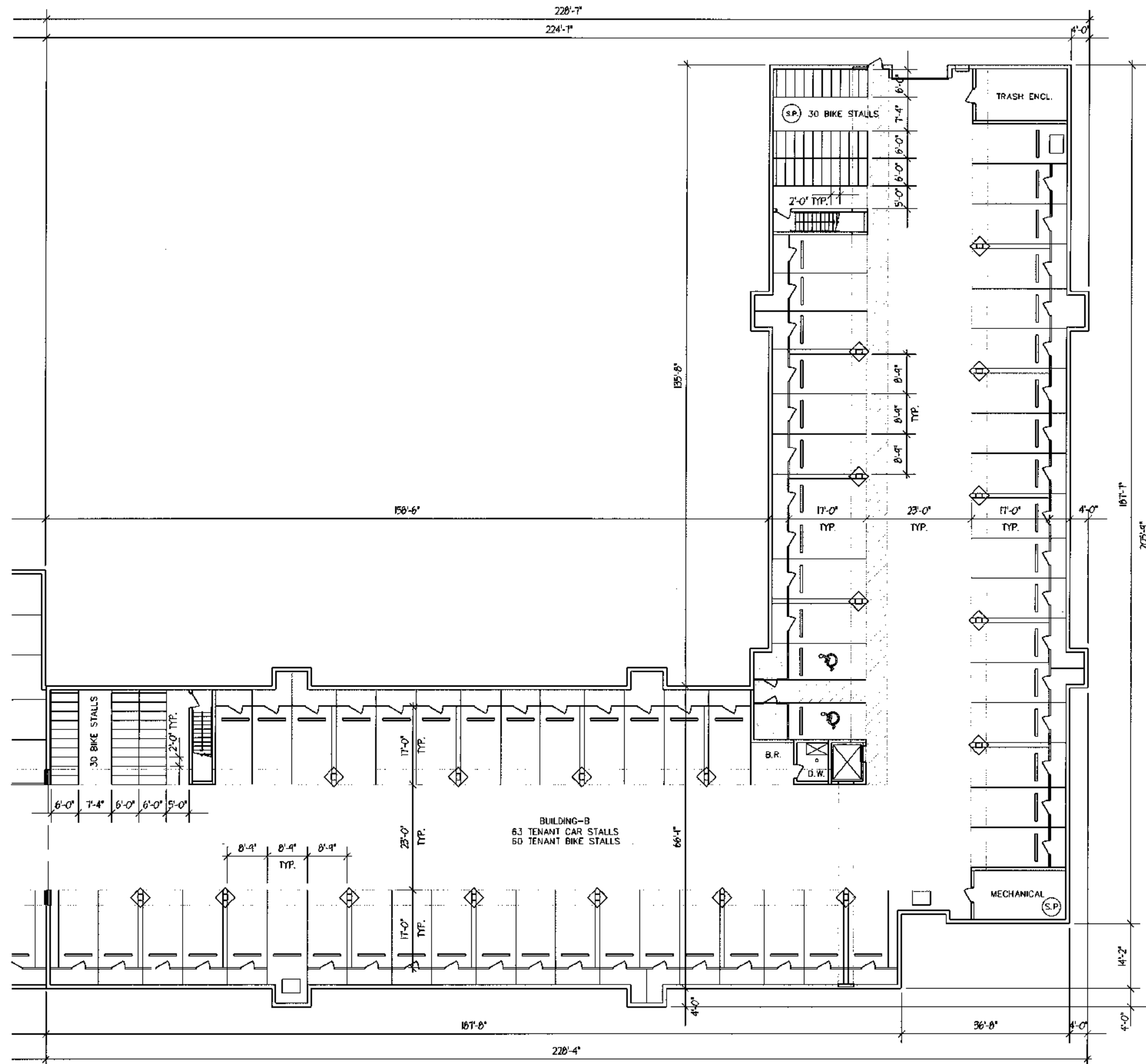
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PROJECT:  
**THE EDISON**  
9510 WATTS RD & 604 FEATHER SOUND DR, MADISON, WI  
CLIENT:  
**THE EDISON, LLC**  
826 NORTH STAR DRIVE, MADISON, WI 53718

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DATE: 06/26/19

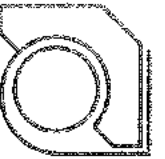
**UNDERGROUND PARKING - BLDG.A**





**UNDERGROUND PARKING - BLDG.B**

3/32" = 1'-0" (24x36) 0 10' 20' 30' 40'

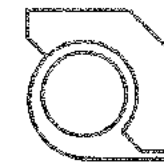


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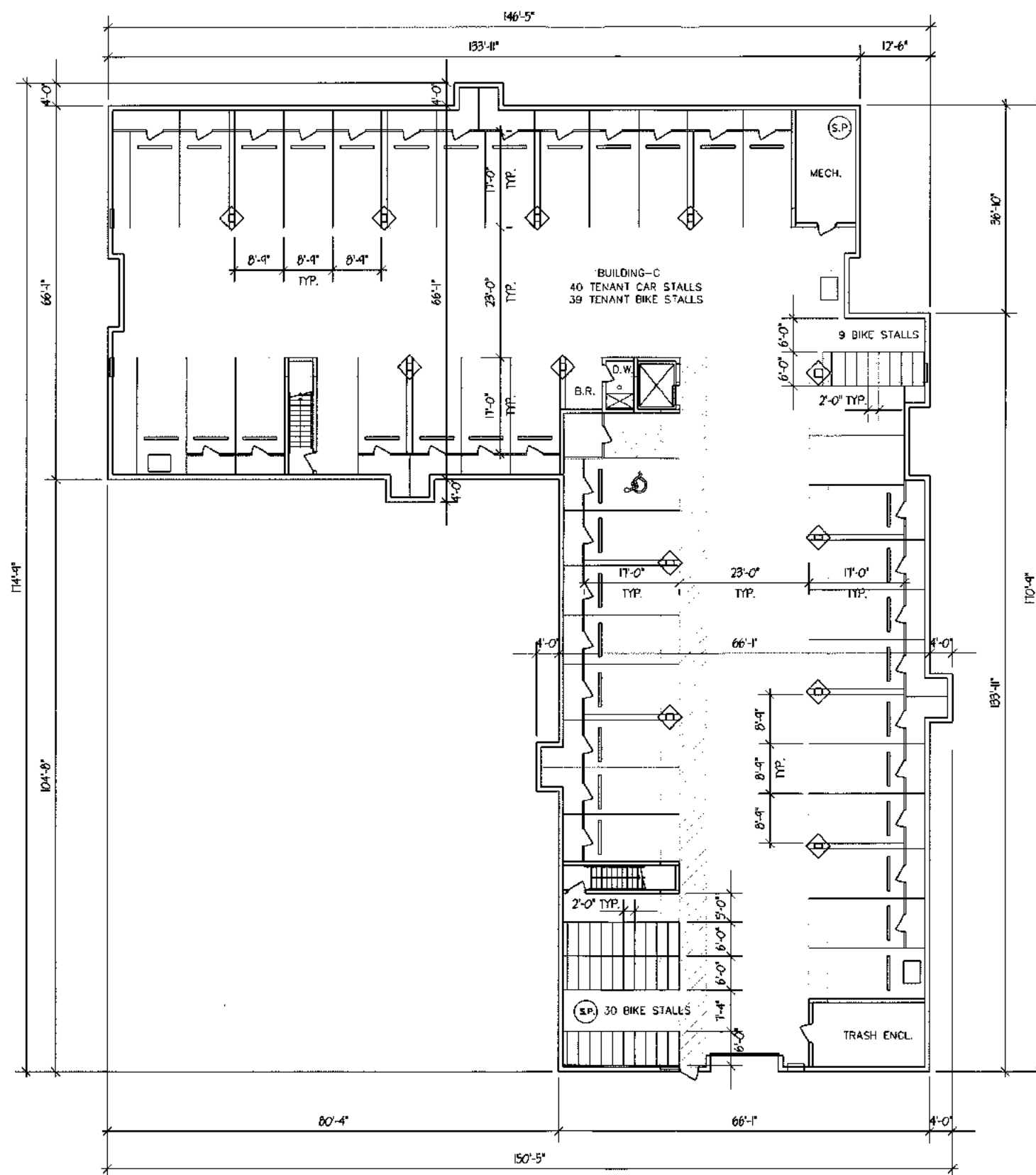
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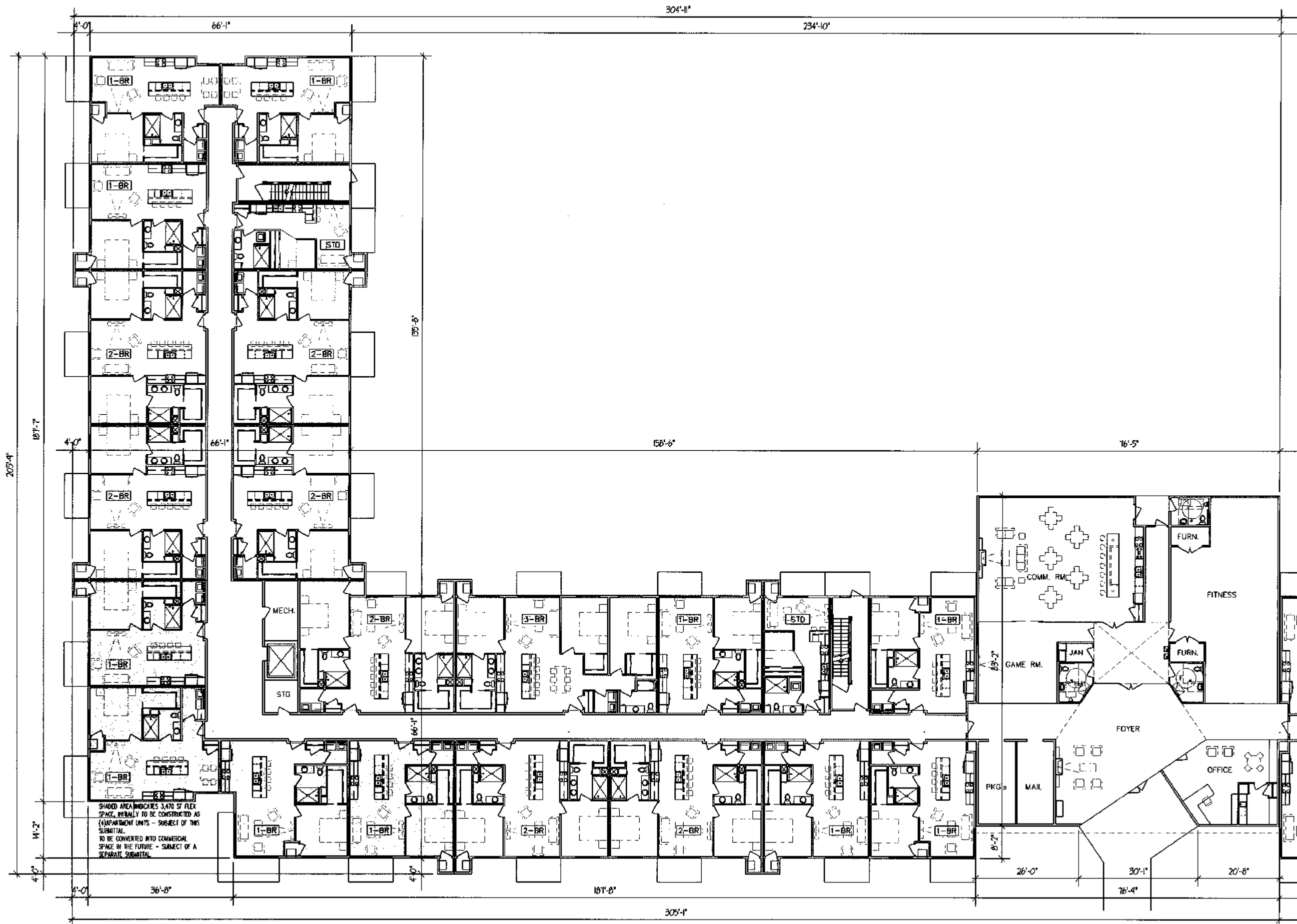
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# UNDERGROUND PARKING - BLDG.C

3/32" = 1'-0" (24x36)



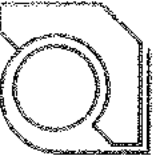
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SHADE AREA INDICATES 3,470 SF FLEX SPACE, INTENDED TO BE CONSTRUCTED AS (4) APARTMENT UNITS - SUBJECT OF THIS SUBMITTAL. TO BE CONVERTED INTO COMMERCIAL SPACE IN THE FUTURE - SUBJECT OF A SEPARATE SUBMITTAL.

**FIRST FLOOR PLAN - BLDG.A**

3/32" = 1'-0" (24x36) 0 10' 20' 30' 40'

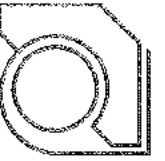
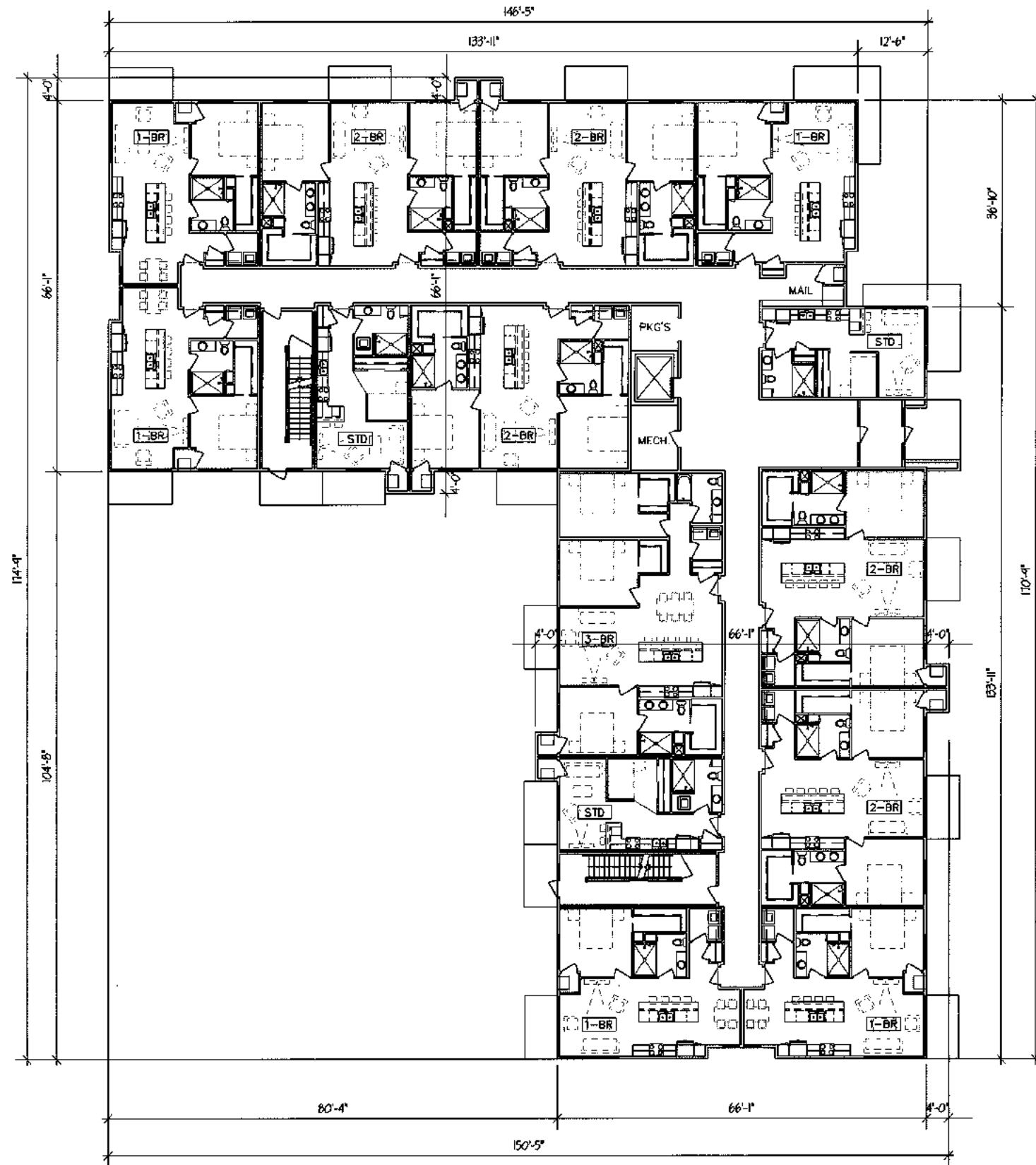


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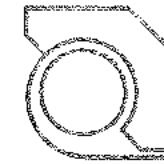
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**FIRST FLOOR PLAN - BLDG.C**

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**A-1.C**



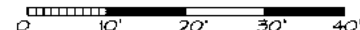
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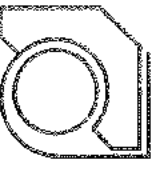
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**SECOND & THIRD FLOOR PLAN - BLDG.A**

3/32" = 1'-0" (24x36)





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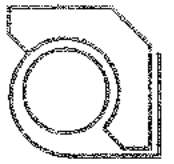
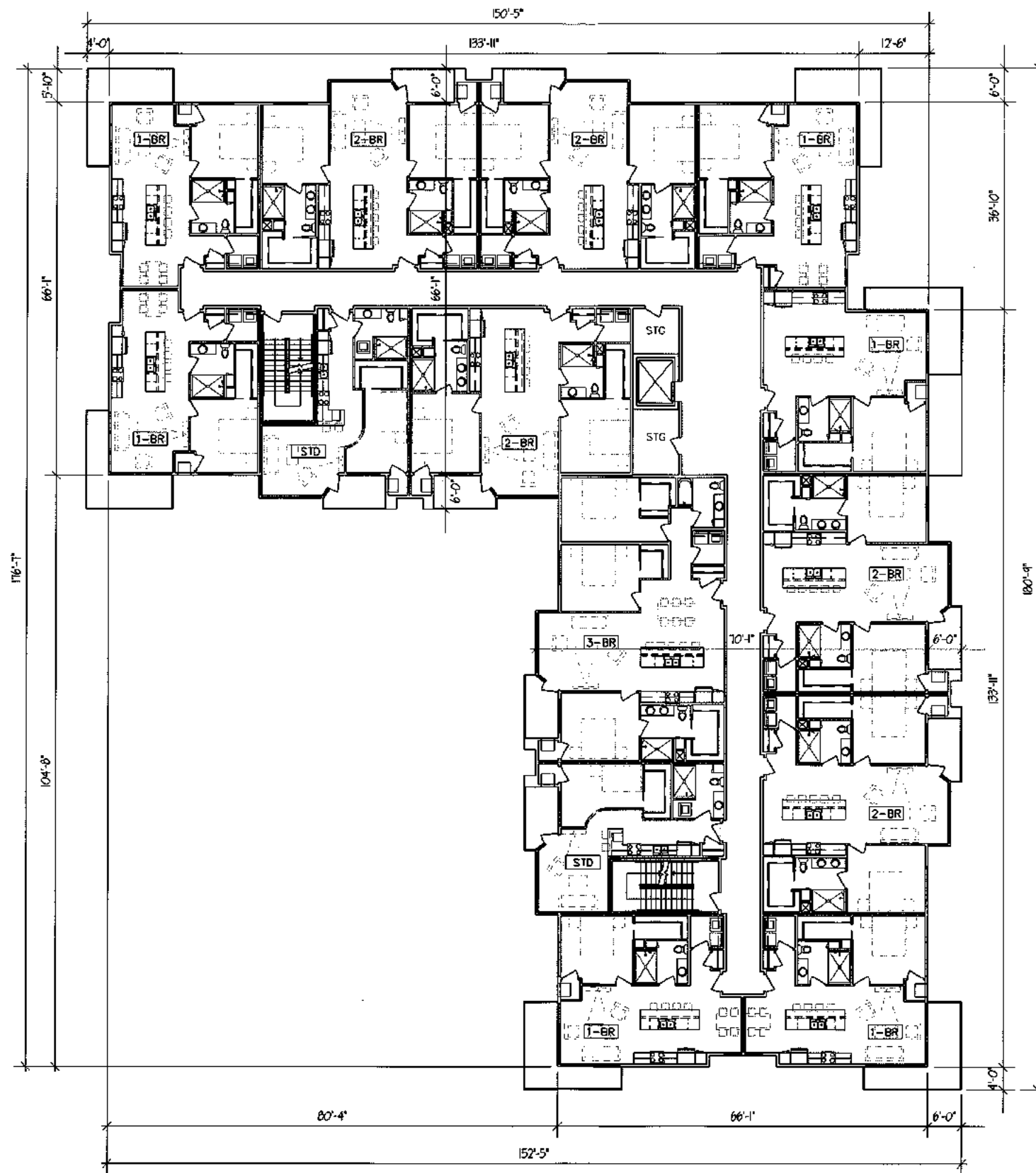
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**SECOND FLOOR PLAN - BLDG.B**

3/32" = 1'-0" (24x36)  
0 10' 20' 30' 40'





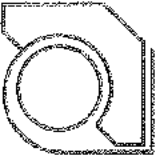
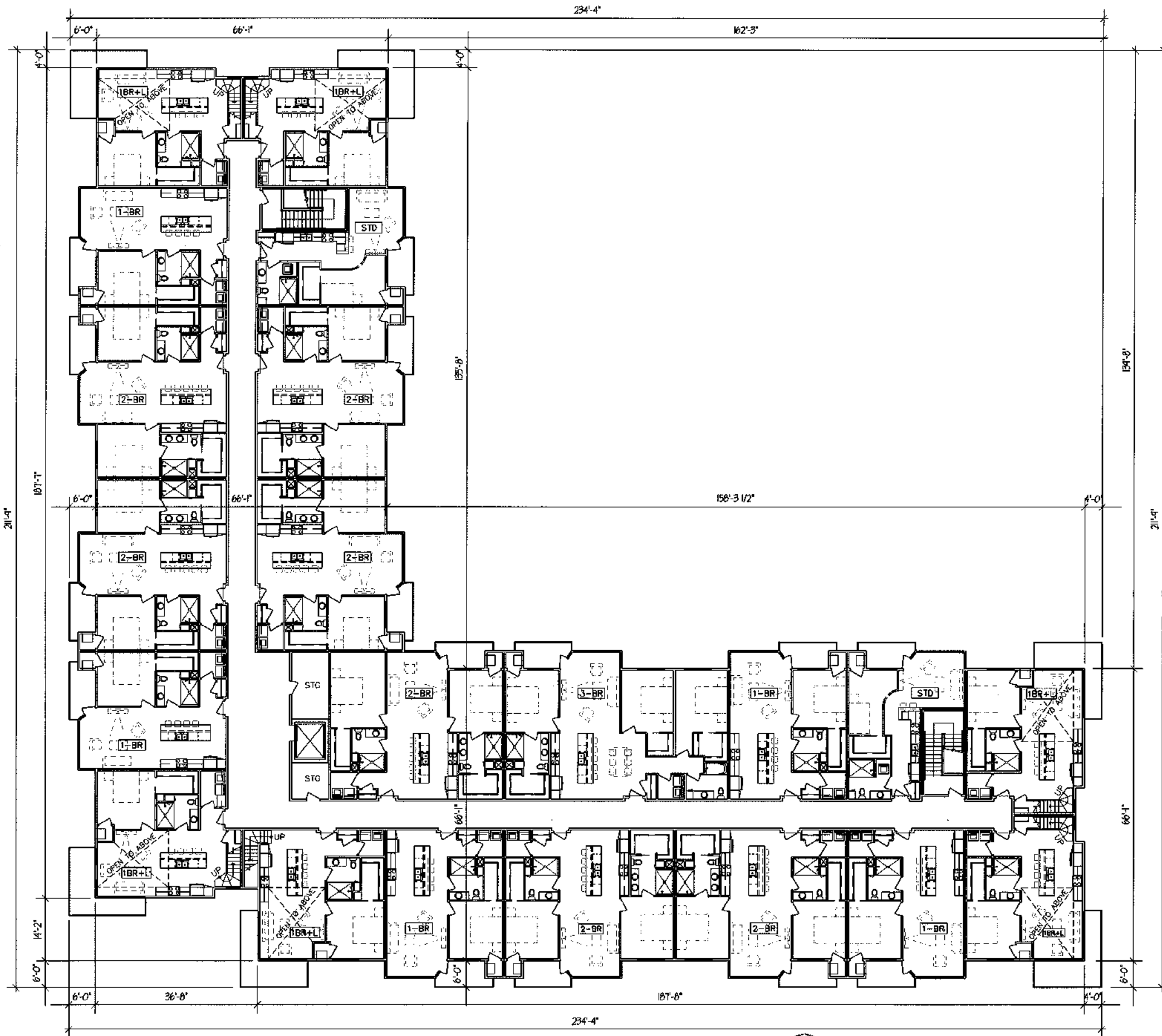
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**SECOND FLOOR PLAN - BLDG.C** 

3/32" = 1'-0" (24x36)  
 0 10' 20' 30' 40'



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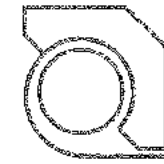
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**FOURTH FLOOR PLAN - BLDG.A**

3/32" = 1'-0" (24x36)





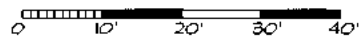
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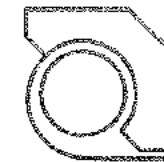
**THIRD FLOOR PLAN - BLDG.B**

3/32" = 1'-0" (24x36)

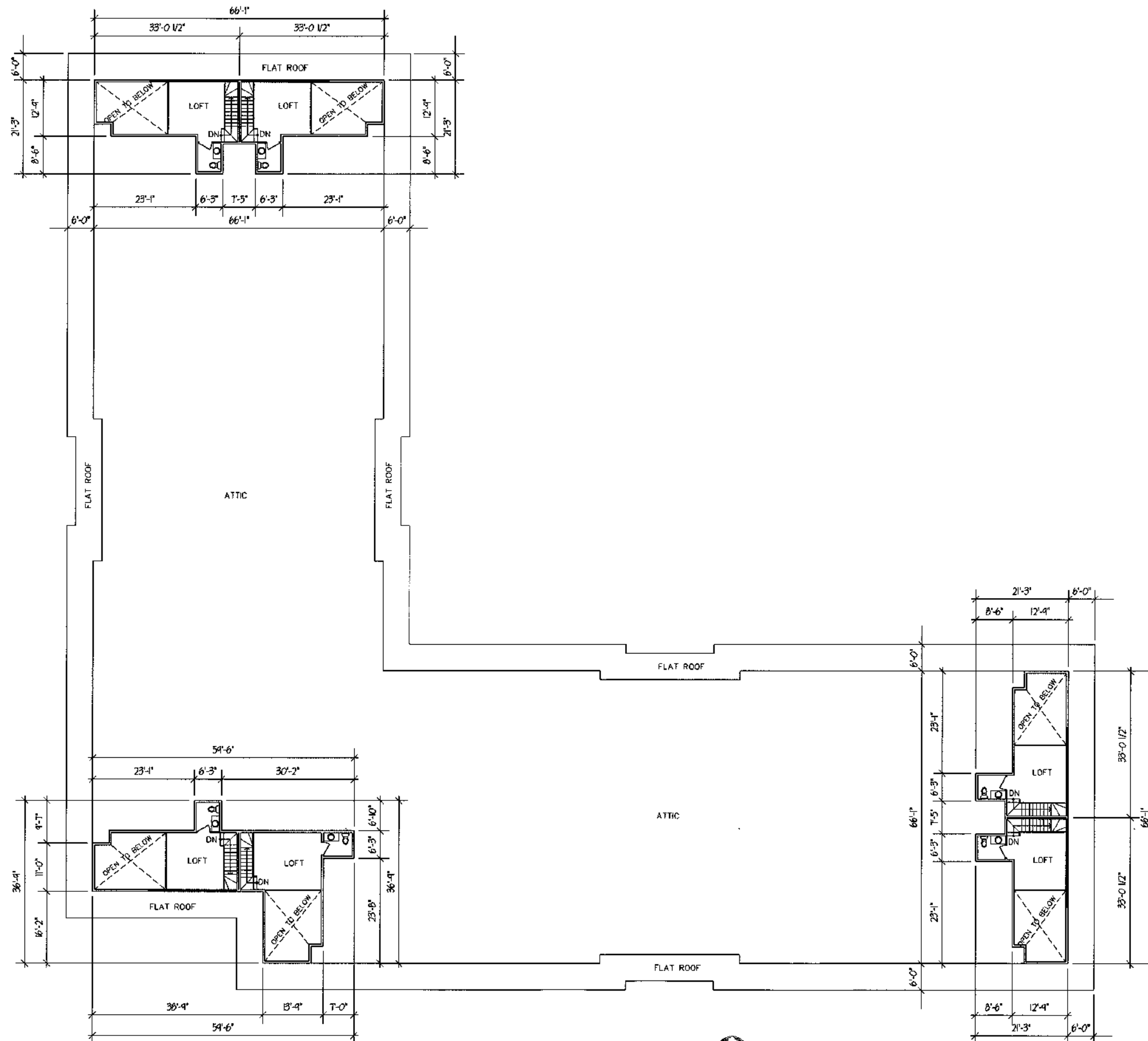


**A-3B**





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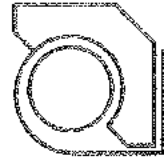
**LOFT FLOOR PLAN - BLDG.A**

3/32" = 1'-0" (24x36)  
 0 10' 20' 30' 40'

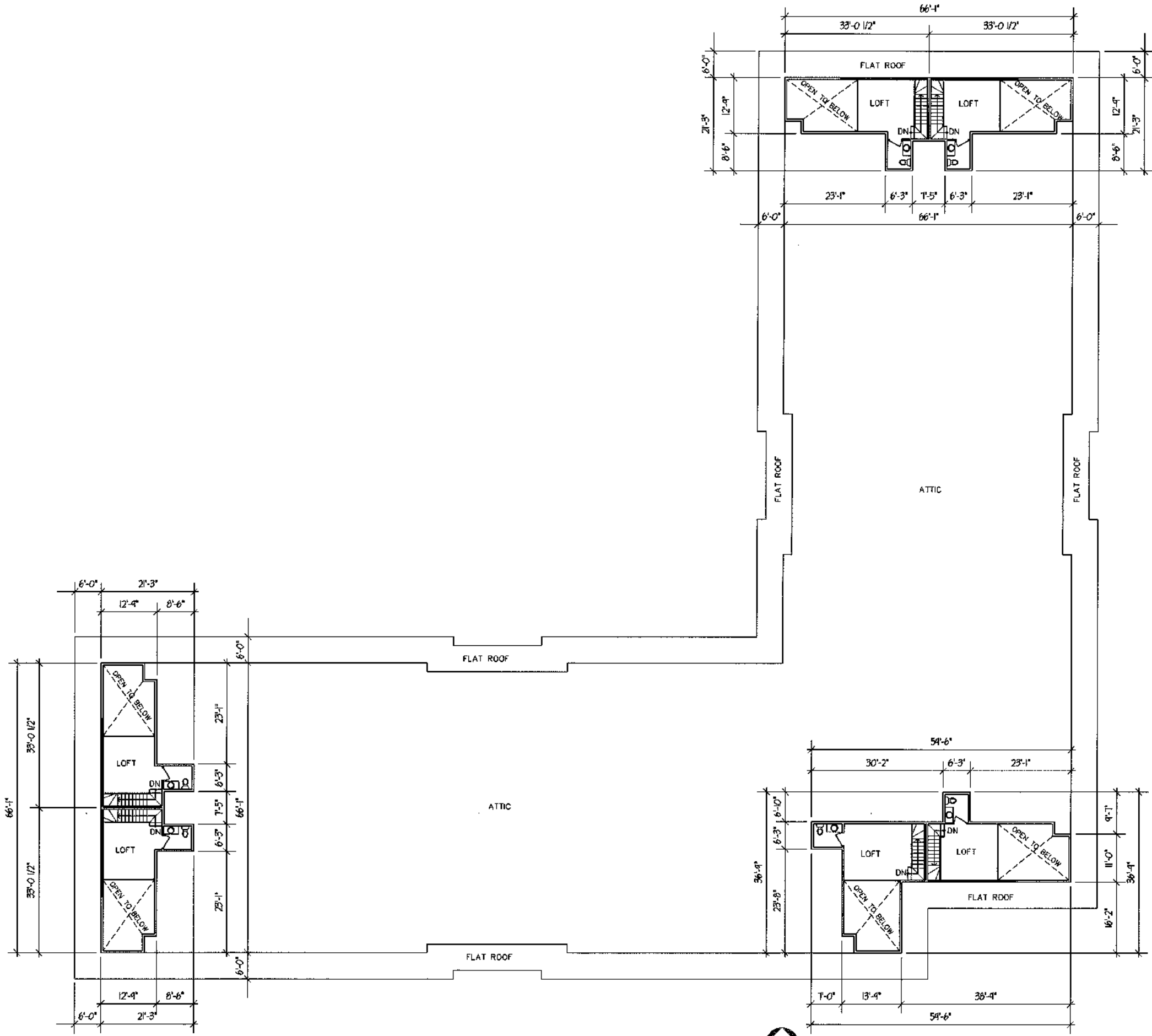


**PROJECT:**  
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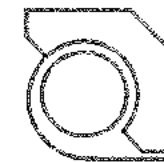


### LOFT FLOOR PLAN - BLDG.B

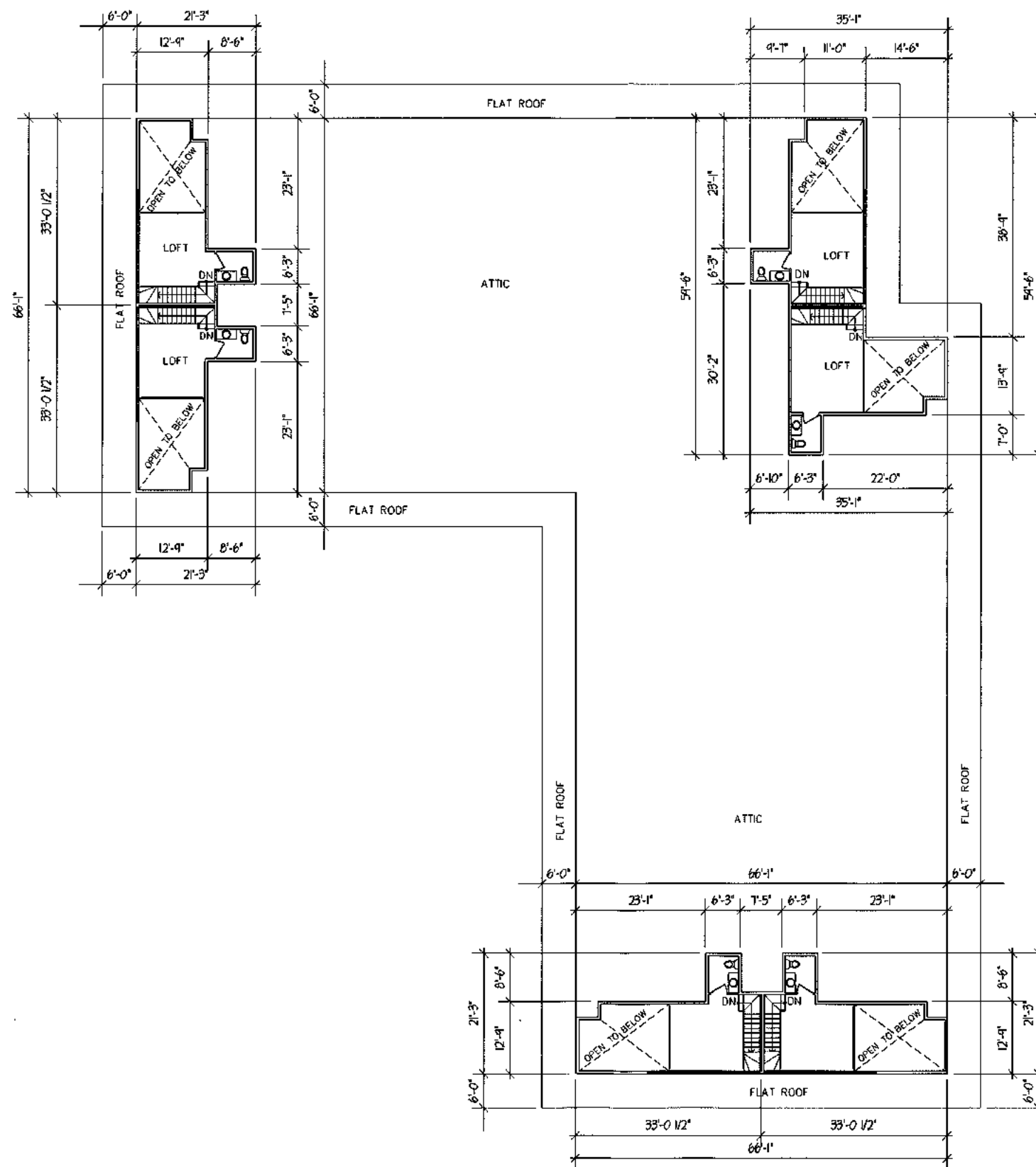
3/32" = 1'-0" (24x36)

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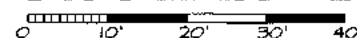


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PROJECT: 2018-03  
CAD FILE:  
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DATE: 06/26/19

# LOFT FLOOR PLAN - BLDG.C

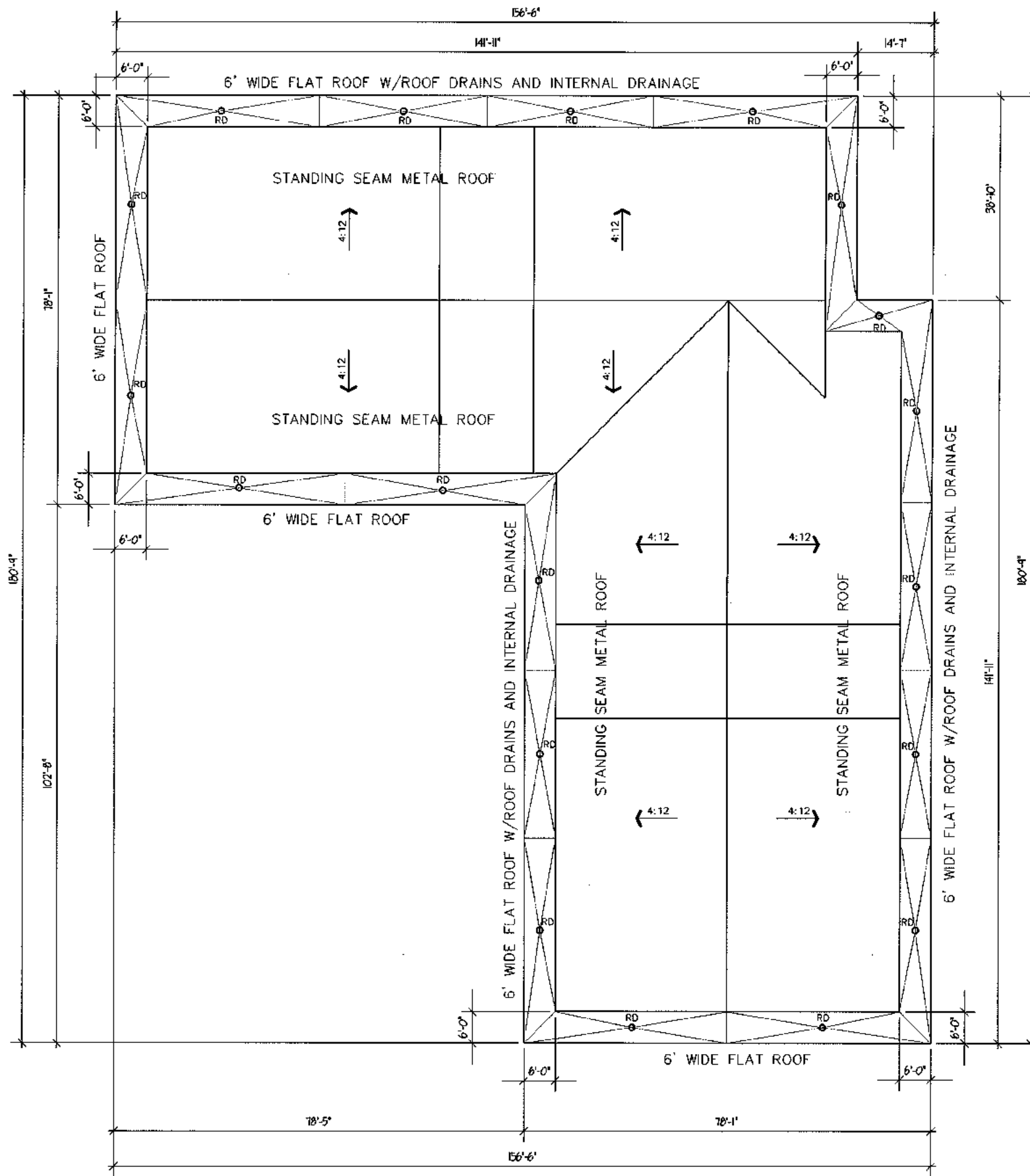
3/32" = 1'-0" (24x36)



## A-4C

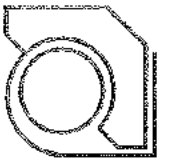
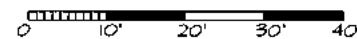






**ROOF PLAN - BLDG.C**

3/32" = 1'-0" (24x36)

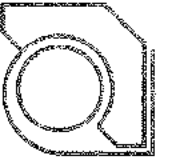


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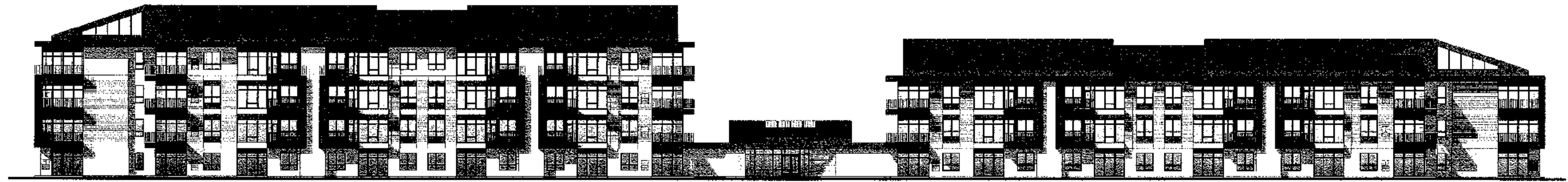
PROJECT:  
**THE EDISON**  
 9610 WATTS RD & 604 FEATHER SOUND DR, MADISON, WI  
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PROJECT: 2018-03  
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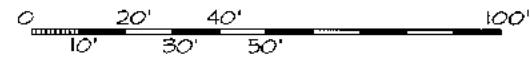




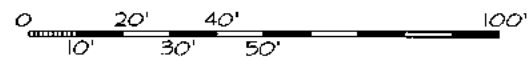
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ulian.kissiov@ulian.com



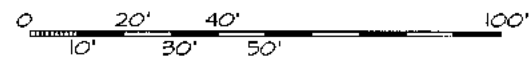
### WATTS ROAD ELEVATION



### FEATHER SOUND DRIVE ELEVATION

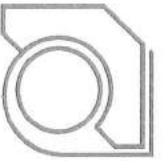


### SOUTH POINT ROAD ELEVATION



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DATE: 06/25/19



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**SOUTH FACADE - BLDG.A**

3/32" = 1'-0" (24x36) 0 10' 20' 30' 40'



**WEST FACADE - BLDG.A**

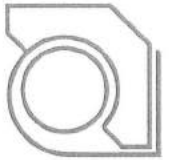
3/32" = 1'-0" (24x36) 0 10' 20' 30' 40'

**MATERIALS AND COLORS**

- ① STANDING SEAM METAL ROOF  
COLOR: MATCH SKT515
- ② METAL SIDING PANELS  
COLOR: MATCH SKT515
- ③ LP SMART SIDE PANELS  
COLOR: SN6369, TASSEL
- ④ LP SMART SIDE LAP SIDING  
COLOR: SN6369, TASSEL
- ⑤ JH FIBERCEMENT SMOOTH PANELS  
COLOR: SKT515, HOMESTEAD BROWN
- ⑥ CULTURED LIME STONE VENEER  
COLOR: LIGHT BEIGE
- ⑦ VINYL WINDOWS  
COLOR: MATCH SKT515
- ⑧ JH FIBERCEMENT SMOOTH PANELS  
COLOR: MATCH LIMESTONE
- ⑨ ALUMINUM RAILING  
COLOR: MATCH SKT515

**PROJECT:**  
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### NORTH FACADE - BLDG.A

3/32" = 1'-0" (24x36) 0 10' 20' 30' 40'



### EAST FACADE - BLDG.A

3/32" = 1'-0" (24x36) 0 10' 20' 30' 40'

#### MATERIALS AND COLORS

- ① STANDING SEAM METAL ROOF  
COLOR: MATCH SW7515
- ② METAL SIDING PANELS  
COLOR: MATCH SW7515
- ③ LP SMART SIDE PANELS  
COLOR: SW6369, TASSEL
- ④ LP SMART SIDE LAP SIDING  
COLOR: SW6369, TASSEL
- ⑤ JH FIBERCEMENT SMOOTH PANELS  
COLOR: SW7515, HOMESTEAD BROWN
- ⑥ CULTURED LIME STONE VENEER  
COLOR: LIGHT BEIGE
- ⑦ VINYL WINDOWS  
COLOR: MATCH SW7515
- ⑧ JH FIBERCEMENT SMOOTH PANELS  
COLOR: MATCH LIMESTONE
- ⑨ ALUMINUM RAILING  
COLOR: MATCH SW7515

PROJECT:  
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**SOUTH FACADE - BLDG.B**

3/32" = 1'-0" (24x36) 0 10' 20' 30' 40'



**EAST FACADE - BLDG.B**

3/32" = 1'-0" (24x36) 0 10' 20' 30' 40'

**MATERIALS AND COLORS**

- ① STANDING SEAM METAL ROOF  
COLOR: MATCH SMT515
- ② METAL SIDING PANELS  
COLOR: MATCH SMT515
- ③ LP SMART SIDE PANELS  
COLOR: 5N6369, TASSEL
- ④ LP SMART SIDE LAP SIDING  
COLOR: 5N6369, TASSEL
- ⑤ JH FIBERCEMENT SMOOTH PANELS  
COLOR: SMT515, HOMESTEAD BROWN
- ⑥ CULTURED LIME STONE VENEER  
COLOR: LIGHT BEIGE
- ⑦ VINYL WINDOWS  
COLOR: MATCH SMT515
- ⑧ JH FIBERCEMENT SMOOTH PANELS  
COLOR: MATCH LIMESTONE
- ⑨ ALUMINUM RAILING  
COLOR: MATCH SMT515

**PROJECT:** THE EDISON  
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**NORTH FACADE - BLDG.B**

3/32" = 1'-0" (24x36) 0 10' 20' 30' 40'



**WEST FACADE - BLDG.B**

3/32" = 1'-0" (24x36) 0 10' 20' 30' 40'

**MATERIALS AND COLORS**

- ① STANDING SEAM METAL ROOF  
COLOR: MATCH SW7515
- ② METAL SIDING PANELS  
COLOR: MATCH SW7515
- ③ LP SMART SIDE PANELS  
COLOR: SW6369, TASSEL
- ④ LP SMART SIDE LAP SIDING  
COLOR: SW6369, TASSEL
- ⑤ JH FIBERCEMENT SMOOTH PANELS  
COLOR: SW7515, HOMESTEAD BROWN
- ⑥ CULTURED LIME STONE VENEER  
COLOR: LIGHT BEIGE
- ⑦ VINYL WINDOWS  
COLOR: MATCH SW7515
- ⑧ JH FIBERCEMENT SMOOTH PANELS  
COLOR: MATCH LIMESTONE
- ⑨ ALUMINUM RAILING  
COLOR: MATCH SW7515

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**EAST FACADE - BLDG.C**

3/32" = 1'-0" (24x36) 0 10' 20' 30' 40'



**SOUTH FACADE - BLDG.C**

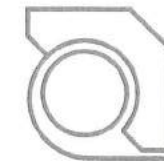
3/32" = 1'-0" (24x36) 0 10' 20' 30' 40'

**MATERIALS AND COLORS**

- ① STANDING SEAM METAL ROOF  
COLOR: MATCH SW7515
- ② METAL SIDING PANELS  
COLOR: MATCH SW7515
- ③ LP SMART SIDE PANELS  
COLOR: SW6369, TASSEL
- ④ LP SMART SIDE LAP SIDING  
COLOR: SW6369, TASSEL
- ⑤ JH FIBERGEMENT SMOOTH PANELS  
COLOR: SW7515, HOMESTEAD BROWN
- ⑥ CULTURED LIME STONE VENEER  
COLOR: LIGHT BEIGE
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COLOR: MATCH SW7515
- ⑧ JH FIBERGEMENT SMOOTH PANELS  
COLOR: MATCH LIMESTONE
- ⑨ ALUMINUM RAILING  
COLOR: MATCH SW7515

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**WEST FACADE - BLDG.C**

3/32" = 1'-0" (24x36) 0 10' 20' 30' 40'



**NORTH FACADE - BLDG.C**

3/32" = 1'-0" (24x36) 0 10' 20' 30' 40'

**MATERIALS AND COLORS**

- ① STANDING SEAM METAL ROOF  
COLOR: MATCH SMT515
- ② METAL SIDING PANELS  
COLOR: MATCH SMT515
- ③ LP SMART SIDE PANELS  
COLOR: S16369, TASSEL
- ④ LP SMART SIDE LAP SIDING  
COLOR: S16369, TASSEL
- ⑤ JH FIBERCEMENT SMOOTH PANELS  
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