



City of Madison

Conditional Use

Location
4645 Verona Road

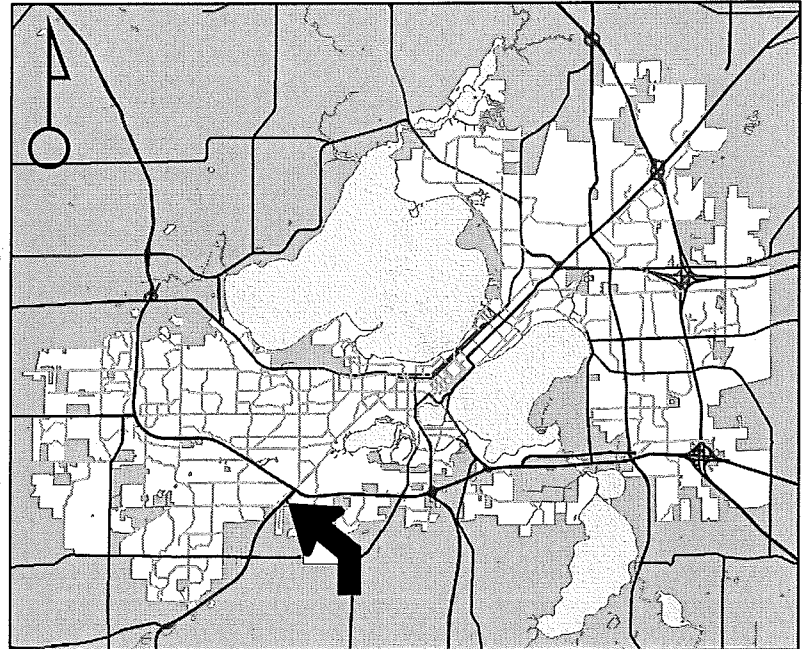
Project Name
Discount Tire – Verona Road

Applicant
Todd Mosher – R.A. Smith National, Inc.

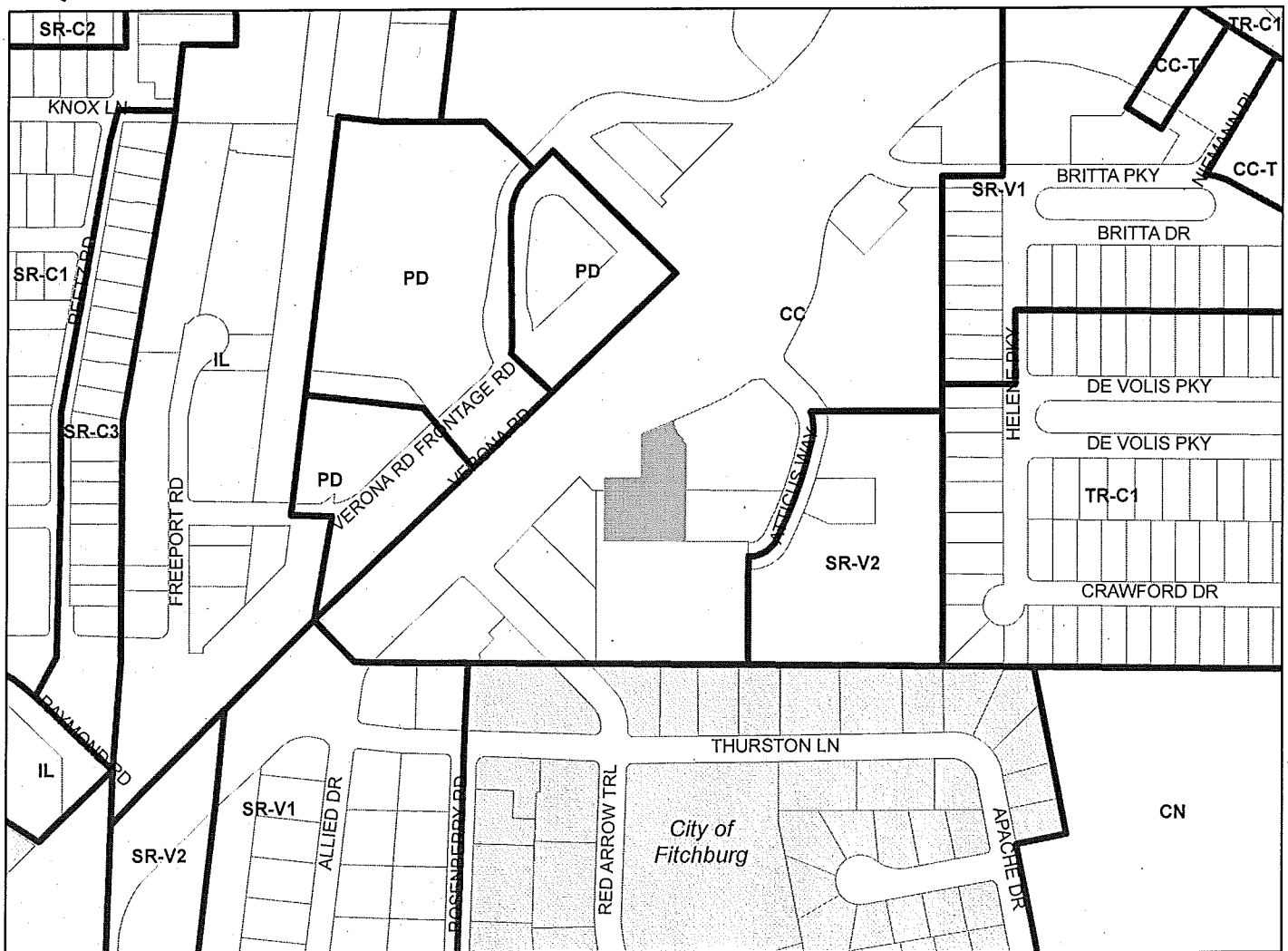
Existing Use
Vacant

Proposed Use
Construct auto repair station

Public Hearing Date
Plan Commission
06 March 2017

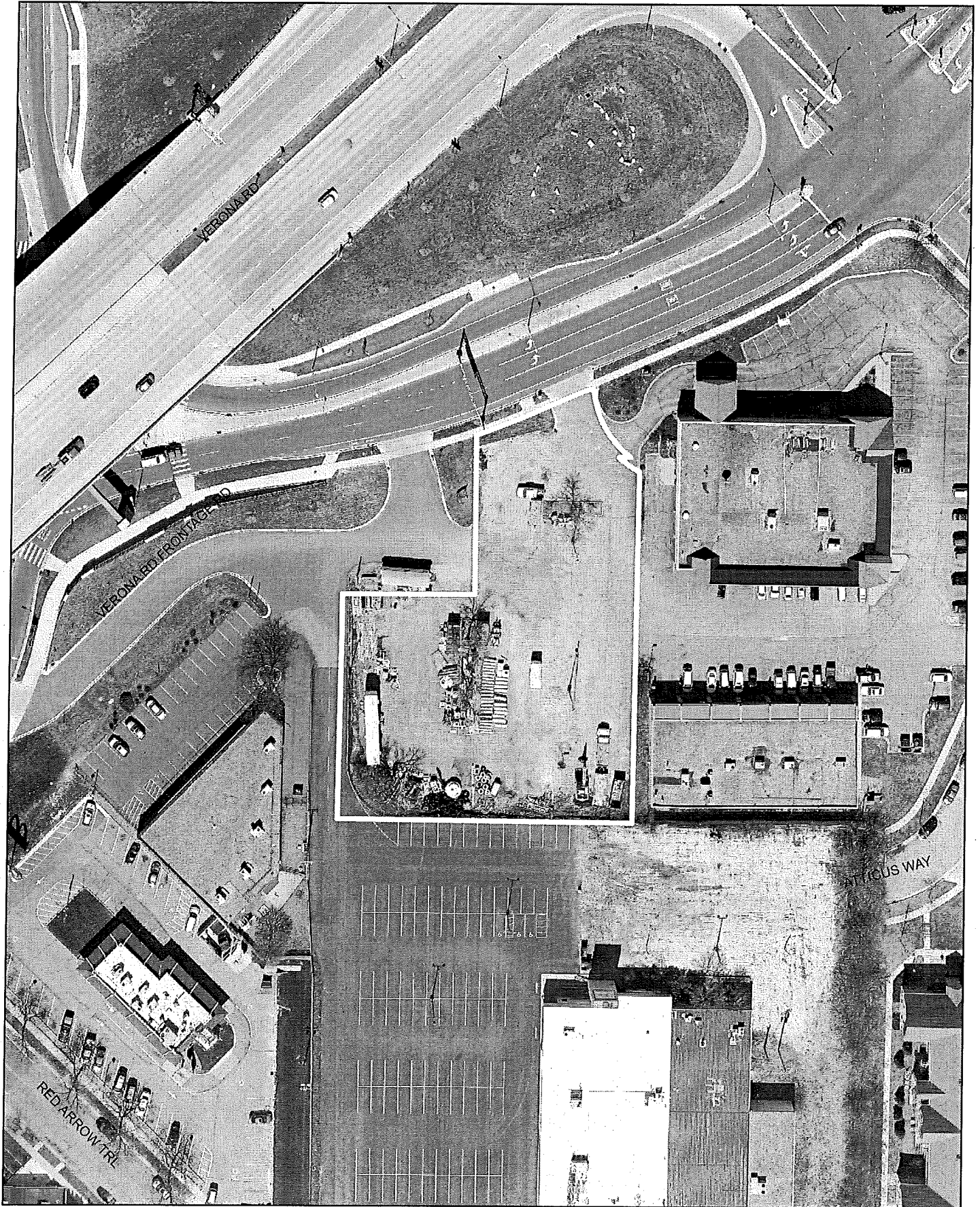


For Questions Contact: Tim Parks at: 261-9632 or tparks@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : PPE : Date : 27 February 2017





LAND USE APPLICATION

CITY OF MADISON

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- All Land Use Applications should be filed with the Zoning Administrator at the above address.
- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application.
- This form may also be completed online at:
www.cityofmadison.com/developmentcenter/landdevelopment

FOR OFFICE USE ONLY:

Amt. Paid \$600 Receipt No. 24822-0004
 Date Received: 11/16/17
 Received By: JLK
 Parcel No. 0709-323-0089-4
 Aldermanic District 10-Maurice Cheeks
 Zoning District CC
 Special Requirements OK
 Review Required By:
 Urban Design Commission Plan Commission
 Common Council Other: _____

Form Effective: February 21, 2013

LANDUSE-2017-00004

1. **Project Address:** 4645 Verona Road, Madison, WI 53711
Project Title (if any): Discount Tire- Verona Road

2. **This is an application for (Check all that apply to your Land Use Application):**

- Zoning Map Amendment from _____ to _____
- Major Amendment to Approved PD-GDP Zoning Major Amendment to Approved PD-SIP Zoning
- Review of Alteration to Planned Development (By Plan Commission)
- Conditional Use, or Major Alteration to an Approved Conditional Use
- Demolition Permit
- Other Requests: _____

3. Applicant, Agent & Property Owner Information:

Applicant Name: Todd Mosher **Company:** R.A. Smith National, Inc.
Street Address: 1245 E. Diehl Road **City/State:** Naperville/IL **Zip:** 60563
Telephone: (630) 405-5570 **Fax:** () **Email:** todd.mosher@rasmithnational.com

Project Contact Person: Todd Mosher **Company:** _____
Street Address: _____ **City/State:** _____ **Zip:** _____
Telephone: () **Fax:** () **Email:** _____

Property Owner (if not applicant): _____
Street Address: _____ **City/State:** _____ **Zip:** _____

4. Project Information:

Provide a brief description of the project and all proposed uses of the site: Discount Tire wishes to develop an approximate 7,680 sq. ft. tire retail store with parking and landscaping

Development Schedule: Commencement June 2017 Completion April 2018

5. Required Submittal Information

All Land Use applications are required to include the following:

Project Plans including:*

- Site Plans (fully dimensioned plans depicting project details including all lot lines and property setbacks to buildings; demolished/proposed/altered buildings; parking stalls, driveways, sidewalks, location of existing/proposed signage; HVAC/Utility location and screening details; useable open space; and other physical improvements on a property)
- Grading and Utility Plans (existing and proposed)
- Landscape Plan (including planting schedule depicting species name and planting size)
- Building Elevation Drawings (fully dimensioned drawings for all building sides, labeling primary exterior materials)
- Floor Plans (fully dimensioned plans including interior wall and room location)

Provide collated project plan sets as follows:

- **Seven (7) copies** of a full-sized plan set drawn to a scale of 1 inch = 20 feet (folded or rolled and stapled)
- **Twenty Five (25) copies** of the plan set reduced to fit onto 11 X 17-inch paper (folded and stapled)
- **One (1) copy** of the plan set reduced to fit onto 8 ½ X 11-inch paper

* For projects requiring review by the **Urban Design Commission**, provide **Fourteen (14) additional 11x17 copies** of the plan set. In addition to the above information, all plan sets should also include: 1) Colored elevation drawings with shadow lines and a list of exterior building materials/colors; 2) Existing/proposed lighting with photometric plan & fixture cutsheet; and 3) Contextual site plan information including photographs and layout of adjacent buildings and structures. The applicant shall bring samples of exterior building materials and color scheme to the Urban Design Commission meeting.

Letter of Intent: Provide one (1) Copy per Plan Set describing this application in detail including, but not limited to:

- | | | |
|---|---|--|
| • Project Team | • Building Square Footage | • Value of Land |
| • Existing Conditions | • Number of Dwelling Units | • Estimated Project Cost |
| • Project Schedule | • Auto and Bike Parking Stalls | • Number of Construction & Full-Time Equivalent Jobs Created |
| • Proposed Uses (and ft ² of each) | • Lot Coverage & Usable Open Space Calculations | • Public Subsidy Requested |
| • Hours of Operation | | |

Filing Fee: Refer to the Land Use Application Instructions & Fee Schedule. Make checks payable to: *City Treasurer*.

Electronic Submittal: All applicants are required to submit copies of all items submitted in hard copy with their application as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or by e-mail to pcapplications@cityofmadison.com.

Additional Information may be required, depending on application. Refer to the Supplemental Submittal Requirements.

6. Applicant Declarations

Pre-application Notification: The Zoning Code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than 30 days prior to FILING this request. List the alderperson, neighborhood association(s), and business association(s) AND the dates you sent the notices:

District 10 alderperson Maurice S. Cheeks, 12/28/2016

→ If a waiver has been granted to this requirement, please attach any correspondence to this effect to this form.

Pre-application Meeting with Staff: Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

Planning Staff: Tim Parks Date: 12/15/16 Zoning Staff: Jenny Kirchgatter Date: 12/15/16

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of Applicant Todd Mosher Relationship to Property: Civil Engineer

Authorizing Signature of Property Owner _____ Date _____



January 3, 2017

Via Email and Hand Delivery

Plan Commission and Urban Design Commission
City of Madison
215 Martin Luther King Jr. Blvd.
Room LL-100
Madison, WI 53703

**Re: Letter of Intent for Proposed Development
Development of a Conditional Use-Planned Site
Proposed Discount Tire – 4645 Verona Road**

Dear Commission Members:

On behalf of Halle Properties, LLC, we are pleased to submit the enclosed materials for a Conditional Use-Planned Site for the property located at 4645 Verona Road, Madison, WI. We are very excited about the project and its contributions to revitalizing the property and enhancing the area along the East Verona Frontage Road.

Project Summary

Halle Properties, LLC is proposing to develop the existing 43,687 sq. ft. lot and developing an approximate 7,680 sq. ft. Discount Tire store with new parking and landscaping. The store will be used to sell automobile tires to the public, and will not be used for automobile service.

Existing Site Conditions

The existing site is located at 4645 Verona Road in the City of Madison (PIN 251/0709-323-0089-4), constituting 1.0 acres (43,687 sq. ft.) on the southwest corner of East Verona Frontage Road and Atticus Way.

The site is part of the CC-Commercial Center Zoning District and is currently being used to stage construction equipment. Direct access to the site is provided to East Verona Frontage Road.

Project Team

Owner/Developer: Halle Properties, LLC
Architects: Plump Group Architecture & Engineering
Civil Engineering: R.A. Smith National Inc.
Landscape Design: R.A. Smith National Inc.

We look forward to presenting these materials to you and seeking your approval of this proposal to develop a new national retail store on East Verona Frontage Road.

Sincerely,



Todd Mosher
Senior Development Director
R.A. Smith National, Inc.

cc: (all via email)
Maurice S. Cheeks, District 10 Alderperson
Tim Parks, Planning Division
Matt Tucker, Zoning Administrator
Jenny Kirchgatter, Zoning Inspector

Deliver excellence, vision, and responsive service to our clients.

Known as 4645 Verona Road, in the City of Madison, Dane County, Wisconsin.

Legal description per Fidelity National Title Insurance Company title commitment no. F-325106:

A parcel of land being part of Lots One (1) and Two (2), of Certified Survey Map No. 1481, recorded in Volume 6 of Certified Surveys on page 178, Dane County Register of Deeds, also being a part of Certified Survey Map No. 3983, recorded in Volume 16 of Certified Surveys on Pages 276 and 277, Dane County Register of Deeds, located in the SE 1/4 of the SW 1/4 of Section 32, T7N, R9E, City of Madison, Dane County, Wisconsin, more fully described as follows:

Commencing at the S 1/4 corner of said Section 32, thence N 89° 46' 24" W, 262.84 feet; thence N 89° 51' 31" W, 216.00 feet; thence N 0° 05' 57" W, 300.09 feet; thence N 89° 43' 30" W, 155.61 feet to the point of beginning; thence continuing N 89° 43' 30" W, 199.04 feet; thence N 0° 08' 30" W, 246.97 feet to the southerly line of U.S. Highway 18 & 151; thence N 44° 12' 30" E along said line, 25.35 feet; thence along the arc of a curve to the right whose radius is 90.00 feet and whose long chord bears N 62° 14' 22" E, 55.72 feet; thence N 80° 16' 14" E, 100.78 feet; thence S 9° 43' 46" E, 20.00 feet; thence along the arc of a curve to the left whose radius is 65.00 feet and whose long chord bears S 31° 18' 53" E, 47.83 feet; thence N 89° 43' 30" W, 7.87 feet; thence along the arc of a curve to the left whose radius is 70.00 feet and whose long chord bears S 54° 45' 51" E, 17.13 feet; thence S 0° 16' 30" W, 238.79 feet to the point of beginning.

EXCEPT the part and interest conveyed to the State of Wisconsin Department of Transportation pursuant to Document No(s). 4957320, 4957321 as corrected by Document No. 4999503, further corrected by Correction Instrument Document No. 5045143.

BENCHMARKS:

Starling Benchmark: Southwest corner of Section 32, Township 7 North, Range 9 East, found concrete monument with brass cap, Elevation = 1042.54' (NAVD 88)

Site Benchmark #1: Southeast flange bolt on hydrant, Elevation = 1003.49'

Site Benchmark #2: North side of concrete light pole base, Elevation = 1009.23'



DEVELOPER/OWNER:

HALLE PROPERTIES, LLC
20225 N. SCOTTSDALE ROAD
SCOTTSDALE, ARIZONA 85255
PH.: (480) 606-6000
FAX: (480) 606-4370

CIVIL ENGINEER/LANDSCAPE ARCHITECT:

R.A. Smith National

*Beyond Surveying
and Engineering*

16745 W. Bluemound Road, Brookfield, WI 53005-5938
262-781-1000 Fax 262-781-8466, www.rasmithnational.com
Appleton, WI Orange County, CA Pittsburgh, PA

ARCHITECT

PLUMP GROUP
914 E. KATELLA AVE.
ANAHEIM, CA 92805
PH.: (714) 385-1835
FAX: (714) 385-1834



**DISCOUNT
TIRE**

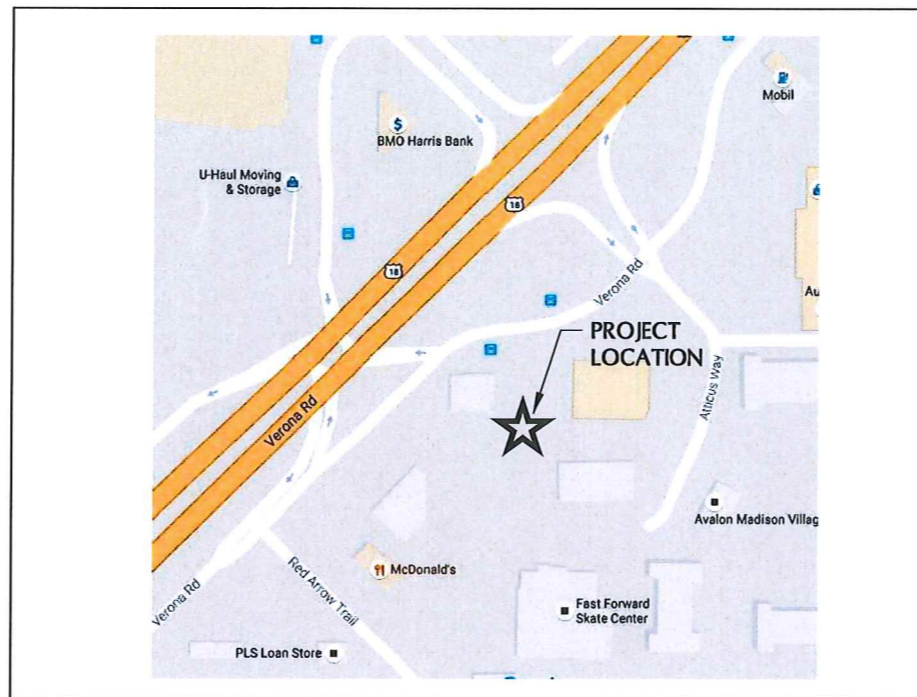
4645 VERONA ROAD

CITY OF MADISON

DANE COUNTY, WISCONSIN

PRELIMINARY DEVELOPMENT PLANS

VICINITY MAP



UTILITY CONTACTS / CITY OF MADISON DEPARTMENT CONTACTS:

STORM SEWER UTILITY:
CITY OF MADISON
ROBERT PHILLIPS, P.E.
CITY ENGINEER
CITY-COUNTY BUILDING
210 MARTIN LUTHER KING, JR. BLVD.
MADISON, WI 53703
PH: (608) 266-4751
EMAIL: RPHILLIPS@CITYOFMADISON.COM

SANITARY SEWER UTILITY:
CITY OF MADISON
ROBERT PHILLIPS, P.E.
CITY ENGINEER
CITY-COUNTY BUILDING
210 MARTIN LUTHER KING, JR. BLVD.
MADISON, WI 53703
PH: (608) 266-4751
EMAIL: RPHILLIPS@CITYOFMADISON.COM

WATER UTILITY:
MADISON WATER UTILITY
ALAN LARSON, P.E.
PRINCIPAL ENGINEER - WATER
119 EAST OLIN AVE.
MADISON, WI 53713
PH: (608) 266-4651
EMAIL: ALARSON@MADISONWATER.ORG

GAS & ELECTRIC UTILITY:
MADISON GAS & ELECTRIC
623 RAILROAD STREET
MADISON, WI 53703
PH: (608) 252-7373 (NEW SERVICE)
EMAIL:

MADISON FIRE DEPARTMENT:
BILL SULLIVAN
FIRE PROTECTION ENGINEER
CITY OF MADISON FIRE DEPARTMENT
314 WEST DAYTON STREET
MADISON, WI 53703
PH: (608) 261-9658
EMAIL: WSULLIVAN@CITYOFMADISON.COM

MADISON FORESTRY DEPARTMENT
DEAN KAHL
FORESTRY OPERATIONS SUPERVISOR
GOODMAN MAINTENANCE FACILITY
1402 WINGRA CREEK PARKWAY
MADISON, WI 53715
(608) 266-4891
DKAHL@CITYOFMADISON.COM

PLAN INDEX

SHEET NO.	DESCRIPTION
C000	TITLE SHEET & PROJECT INFORMATION
1 OF 1	ALTA/NSPS LAND TITLE SURVEY
C300	OVERALL MULTI-USE SITE PLAN
C400	DIMENSIONED SITE PLAN
C500	SITE GRADING AND DRAINAGE PLAN
C600	UTILITY PLAN
L100	PRELIMINARY LANDSCAPE PLAN
TK100	TRUCK ACCESS EXHIBIT
ARCHITECTURAL	
A.1	CONCEPTUAL FLOOR PLANS
A.2	CONCEPTUAL ELEVATIONS
LIGHTING	
ES1.0	SITE PHOTOMETRIC PLAN

**CIVIL ENGINEERING
PLANS PREPARED BY:**

MICHAEL A. BACH
R.A. SMITH NATIONAL, INC.
(262) 781-1000
Michael.Bach@rasmithnational.com

MICHAEL A. BACH 43356-6 01/18/2017
REGISTERED ENGINEER NUMBER DATE

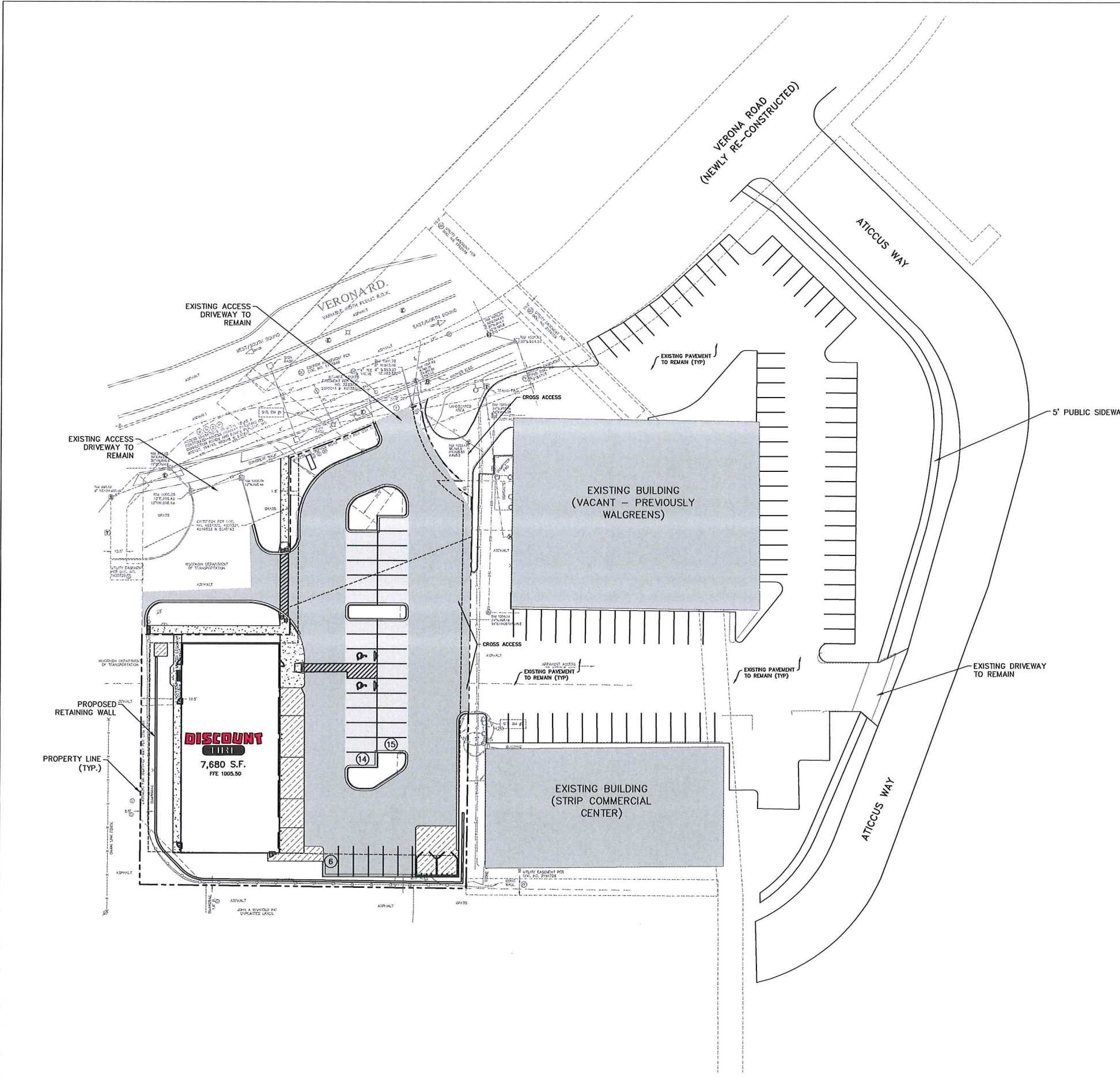
**MUNICIPAL REVIEW
DOCUMENTS**

**NOT FOR
CONSTRUCTION**

PLAN DATE: JANUARY 18, 2017

REVISION	ISSUE DATE	ISSUED SHEETS	ISSUED FOR

DESCRIPTION									
DATE									
R.A. Smith National <i>Beyond Surveying and Engineering</i> www.rasmithnational.com									
DISCOUNT TIRE - WIM 11040 MADISON, WI					TITLE SHEET & PROJECT INFORMATION				
<small>© COPYRIGHT 2017 R.A. Smith National, Inc.</small> DATE: 01/18/2017 SCALE: NOT TO SCALE JOB NO. 3160470 PROJECT MANAGER: TODD MOSHER DESIGNED BY: CBW CHECKED BY: MAB SHEET NUMBER C000									



GENERAL NOTES:

EXISTING TOPOGRAPHY OBTAINED BY R.A. SMITH NATIONAL, INC., DATED NOVEMBER 18, 2016.

ADDITIONAL INFORMATION NEEDED FOR THIS EXHIBIT WAS DIGITIZED FROM AERIAL PHOTOGRAPHY.

CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSION OF ENTRANCES, VESTIBULES, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.

CONTRACTOR SHALL PROVIDE EROSION CONTROL FACILITIES IN ACCORDANCE WITH THE CITY OF MADISON EROSION CONTROL ORDINANCE AND STATE OF WISCONSIN TECHNICAL STANDARDS.

ALL DIMENSIONS AND CORRESPONDING HORIZONTAL CONTROL RELATED TO PAVING REPRESENT FACE OF CURB, ELEVATIONS AND CONTOURS REPRESENT FINISHED GRADES UNLESS OTHERWISE INDICATED. BUILDINGS ARE DIMENSIONED TO FACE OF BUILDING.

BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE SIZE, LOCATION AND ELEVATION OF ALL UTILITIES.

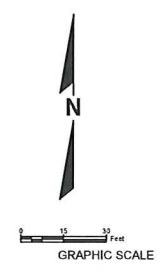
ALL SITE SIGNAGE MUST COMPLY WITH THE MOST RECENT EDITION OF THE FEDERAL HIGHWAY ADMINISTRATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

CONTRACTOR SHALL PROVIDE EROSION CONTROL FACILITIES IN ACCORDANCE WITH THE CITY OF MADISON EROSION CONTROL ORDINANCE, THE WISCONSIN DNR, STORMWATER CONSTRUCTION AND POST CONSTRUCTION TECHNICAL STANDARDS, THESE DOCUMENTS, THE MOST STRINGENT TO APPLY.

R.A. SMITH NATIONAL, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A. SMITH NATIONAL.

THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

RIM ELEVATIONS ARE GIVEN TO THE FACE OF CURB FOR INLET GRATES OR THE CENTER OF THE MANHOLE STRUCTURE FOR MANHOLES. PIPE LENGTHS ARE MEASURED TO THE CENTER OF STRUCTURE OR THE END OF PIPE WHERE THERE IS AN ENDWALL.



DATE	DESCRIPTION

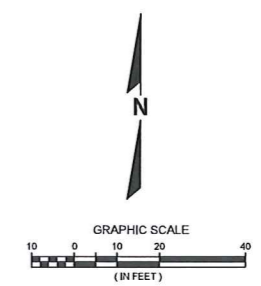
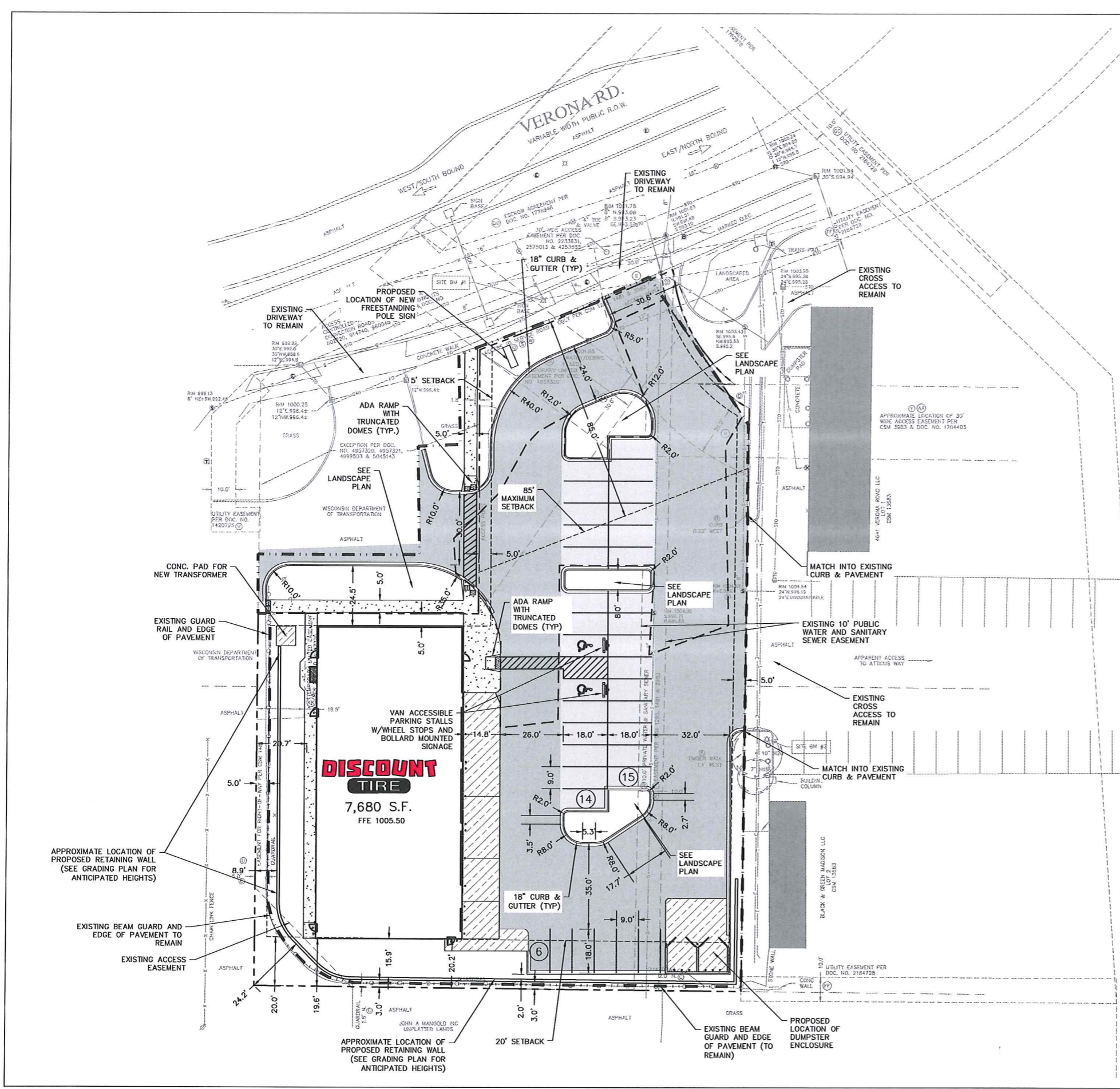
R.A. Smith National
*Beyond Surveying
 and Engineering*
 www.rasmithnational.com

**DISCOUNT TIRE - WIM 11040
 MADISON, WI**

**OVERALL MULTI-USE
 SITE PLAN**

© COPYRIGHT 2017 R.A. Smith National, Inc.
DATE: 01/18/2017
SCALE: 1" = 30'
JOB NO. 3160470
PROJECT MANAGER: TODD MOSHER
DESIGNED BY: CBW
CHECKED BY: MAB
SHEET NUMBER C300

DIGGERS HOTLINE
 Toll Free (800) 242-8611
 Milwaukee Area (414) 259-1151
 Hearing Impaired TDD (800) 542-2289
 www.DiggersHotline.com



- LEGEND**
- PROPOSED PROPERTY LINE
 - LIMITS OF WORK (45,509 SF / 1.05 AC)
OVERALL LIMITS OF DIST. = 1.05-0.22 = 0.83 AC
 - LIMITS OF PULVERIZE AND OVERLAY WITH BASE & HMA (EXEMPT FROM DISTURBANCE) (9,410 SF / 0.22 AC)
 - [Hatched Box] HEAVY-DUTY CONCRETE PAVEMENT
 - [Dotted Box] CONCRETE SIDEWALK
 - [Solid Grey Box] HEAVY-DUTY ASPHALT PAVEMENT
 - [White Box] STANDARD-DUTY ASPHALT PAVEMENT
 - [Wheelchair Symbol] PROPOSED ACCESSIBLE PAVEMENT MARKING VAN ACCESSIBLE STALL
 - [Circle with 15] STALL PARKING COUNT

PARKING CALCULATIONS

STANDARD SPACES	33
ACCESSIBLE SPACES	2
TOTAL PARKING SPACES	35

SITE STATISTICS

PARCEL AREA	SQFT	AC	COVERAGE
PARCEL AREA	43,687	1.00	
DISTURBED AREA	45,509	1.05	
EXISTING BUILDING AREA	0	0.00	00.0%
EXISTING PERVIOUS AREA	5139	0.12	11.8%
EXISTING IMPERVIOUS AREA	38,548	0.88	88.2%
PROPOSED BUILDING AREA	7,680	0.18	17.6%
PROPOSED PERVIOUS	6,873	0.16	15.7%
PROPOSED IMPERVIOUS	36,814	0.84	84.3%

GENERAL NOTES:

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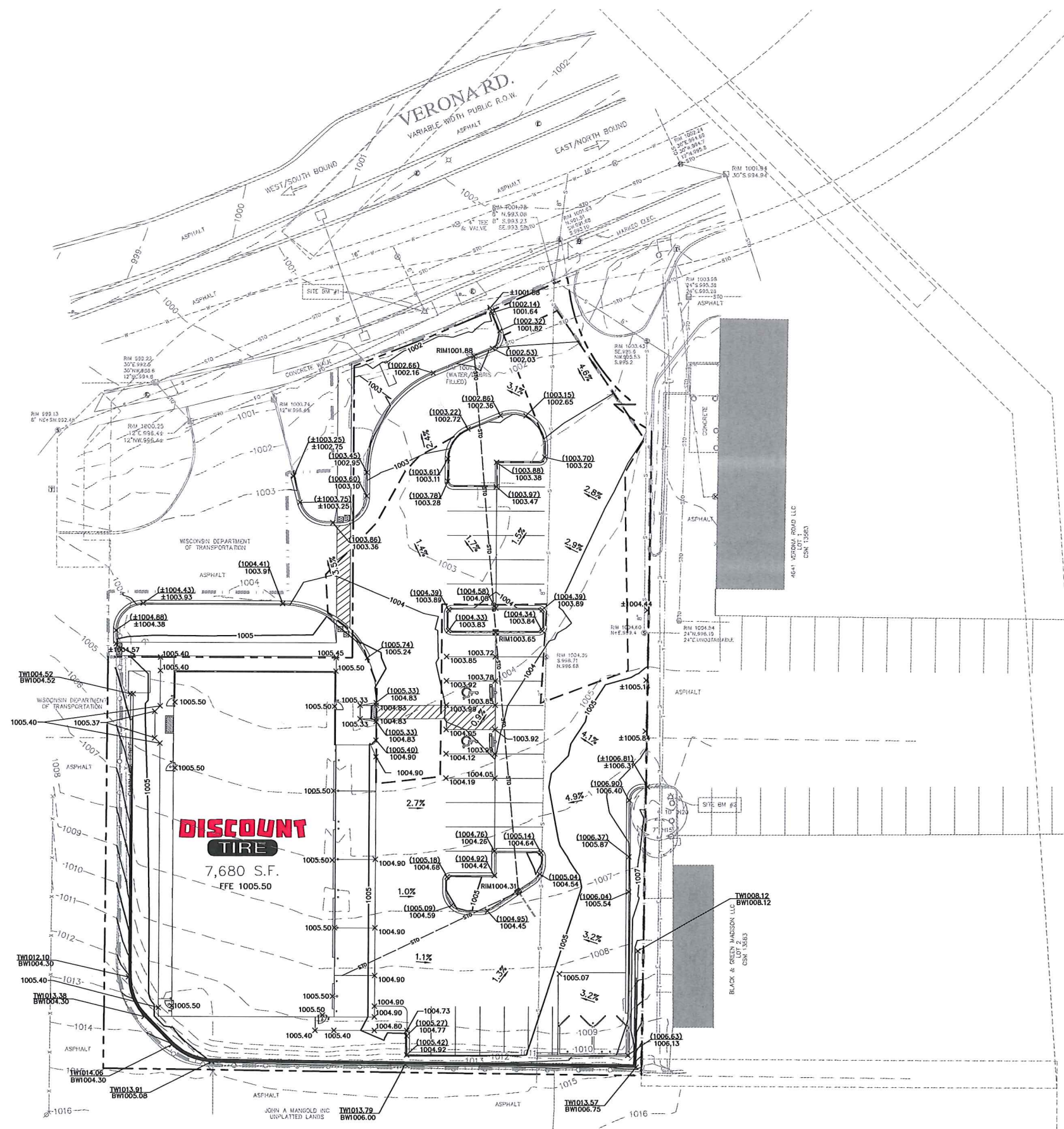
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DIGGERS & HOTLINE
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 www.DiggersandHotline.com

DATE		DESCRIPTION		<p>R.A. Smith National <i>Beyond Surveying and Engineering</i> www.rasmithnational.com</p>
DATE		DESCRIPTION		
<p>DISCOUNT TIRE - WIM 11040 MADISON, WI DIMENSIONED SITE PLAN</p>				<p>© COPYRIGHT 2017 R.A. Smith National, Inc. DATE: 01/18/2017 SCALE: 1" = 20' JOB NO. 3160470 PROJECT MANAGER: TODD MOSHER DESIGNED BY: CBW CHECKED BY: MAB</p>
<p>SHEET NUMBER C400</p>				



LEGEND

- 835 --- EXISTING 5-FT CONTOUR
- 834 --- EXISTING 1-FT CONTOUR
- 835 --- PROPOSED 5-FT CONTOUR
- 834 --- PROPOSED 1-FT CONTOUR
- 834.50 X PROPOSED SPOT GRADE AT GUTTER OR SPOT GRADE ON PAVEMENT
- (834.50) X PROPOSED SPOT GRADE AT TOP OF CURB
- 834.50± MATCHING GRADES INTO EXISTING
- 3.4% PROPOSED DIRECTIONAL SLOPE ARROW
- TW834.50 X GRADE AT TOP OF WALL
- BW834.50 X GRADE AT BOTTOM OF WALL
- LIMITS OF WORK (1.05 AC, 0.83 AC, DISTURBED)

GENERAL GRADING NOTES

1. THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE D.O.T. STANDARD SPECIFICATIONS, LOCAL ORDINANCES AND SPECIFICATIONS, AND RECOMMENDATIONS IN THE GEOTECHNICAL REPORT.
2. THE CONTRACTOR SHALL MAINTAIN SITE DRAINAGE THROUGHOUT CONSTRUCTION. THIS MAY INCLUDE THE EXCAVATION OF TEMPORARY DITCHES OR PUMPING TO ALLEVIATE WATER PONDING.
3. SILT FENCE AND OTHER EROSION CONTROL FACILITIES MUST BE INSTALLED PRIOR TO CONSTRUCTION OR ANY OTHER LAND DISTURBING ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL EROSION CONTROL FACILITIES ONCE THE THREAT OF EROSION HAS PASSED WITH THE APPROVAL OF THE GOVERNING AGENCY.
4. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATIONS OF ALL GRADING AND FOR ACTUAL LAND BALANCE, INCLUDING UTILITY TRENCH SPOIL. THE CONTRACTOR SHALL IMPORT OR EXPORT MATERIAL AS NECESSARY TO COMPLETE THE PROJECT.
5. GRADING SHALL CONSIST OF CLEARING AND GRUBBING EXISTING VEGETATION, STRIPPING TOPSOIL, REMOVAL OF EXISTING PAVEMENT OR FOUNDATIONS, IMPORTING OR EXPORTING MATERIAL TO ACHIEVE AND ON-SITE EARTHWORK BALANCE, GRADING THE PROPOSED BUILDING PADS AND PAVEMENT AREAS, SCARIFYING AND FINAL COMPACTION OF THE PAVEMENT SUBGRADE, AND PLACEMENT OF TOPSOIL.
6. NO FILL SHALL BE PLACED ON A WET OR SOFT SUBGRADE. THE SUBGRADE SHALL BE PROOF-ROLLED AND INSPECTED BY THE GEOTECHNICAL ENGINEER BEFORE ANY MATERIAL IS PLACED.
7. ALL FILL SHALL BE CONSIDERED STRUCTURAL FILL AND SHALL BE PLACED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
8. BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE SIZE, LOCATION AND ELEVATION OF ALL UTILITIES.
9. ALL SIDEWALKS SHALL HAVE A MAXIMUM 2.0% CROSS SLOPE.
10. FIRST FLOOR ELEVATION = 1005.0'
11. ALL STAIRS, RAILS & RETAINING WALLS SHOWN ON THESE PLANS ARE FOR LOCATION AND MATERIAL REFERENCE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR CONSULTING WITH A GEOTECHNICAL ENGINEER AND/OR STRUCTURAL ENGINEER FOR APPROPRIATE DESIGN CERTIFICATION PRIOR TO CONSTRUCTION, DEPENDING ON THE TYPE OF STAIR OR WALL. FOR ALL CONCRETE BLOCK MODULAR SYSTEMS, CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION PER MANUFACTURER'S SPECIFICATIONS. ALL NECESSARY GEOGRID, REINFORCEMENT, BACKFILL, COMPACTION AND DRAIN TILE ARE TO BE COORDINATED BETWEEN THE CONTRACTOR, GEOTECHNICAL ENGINEER, AND SUPPLIER. FOR ALL NATURAL STONE WALLS, CONTRACTOR IS RESPONSIBLE FOR INSTALLATION USING ALL NECESSARY MEANS TO INSURE PROPER SUB-BASE, BACKFILL, DRAIN TILE AND STABILITY. R.A.S. ASSUMES NO RESPONSIBILITY FOR THE INSTALLATION, GEOTECHNICAL INTEGRITY, OR STABILITY OF THE STAIRS, RAILINGS OR RETAINING WALLS.

CONTRACTOR SHALL PROVIDE EROSION CONTROL FACILITIES IN ACCORDANCE WITH THE CITY OF MADISON EROSION CONTROL ORDINANCE. THE MANSUET OVER STORMWATER CONSTRUCTION AND POST CONSTRUCTION TECHNICAL STANDARDS, THESE DOCUMENTS; THE MOST STRINGENT TO APPLY.

R.A.S. NATIONAL, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A.S. NATIONAL.

THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

RIM ELEVATIONS ARE GIVEN TO THE FACE OF CURB FOR INLET GRATES OR THE CENTER OF THE MANHOLE STRUCTURE FOR MANHOLES. PIPE LENGTHS ARE MEASURED TO THE CENTER OF STRUCTURE OR THE END OF PIPE WHERE THERE IS AN ENDWALL.



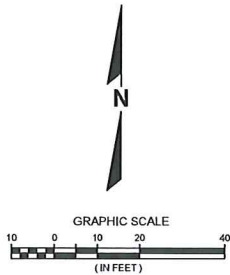
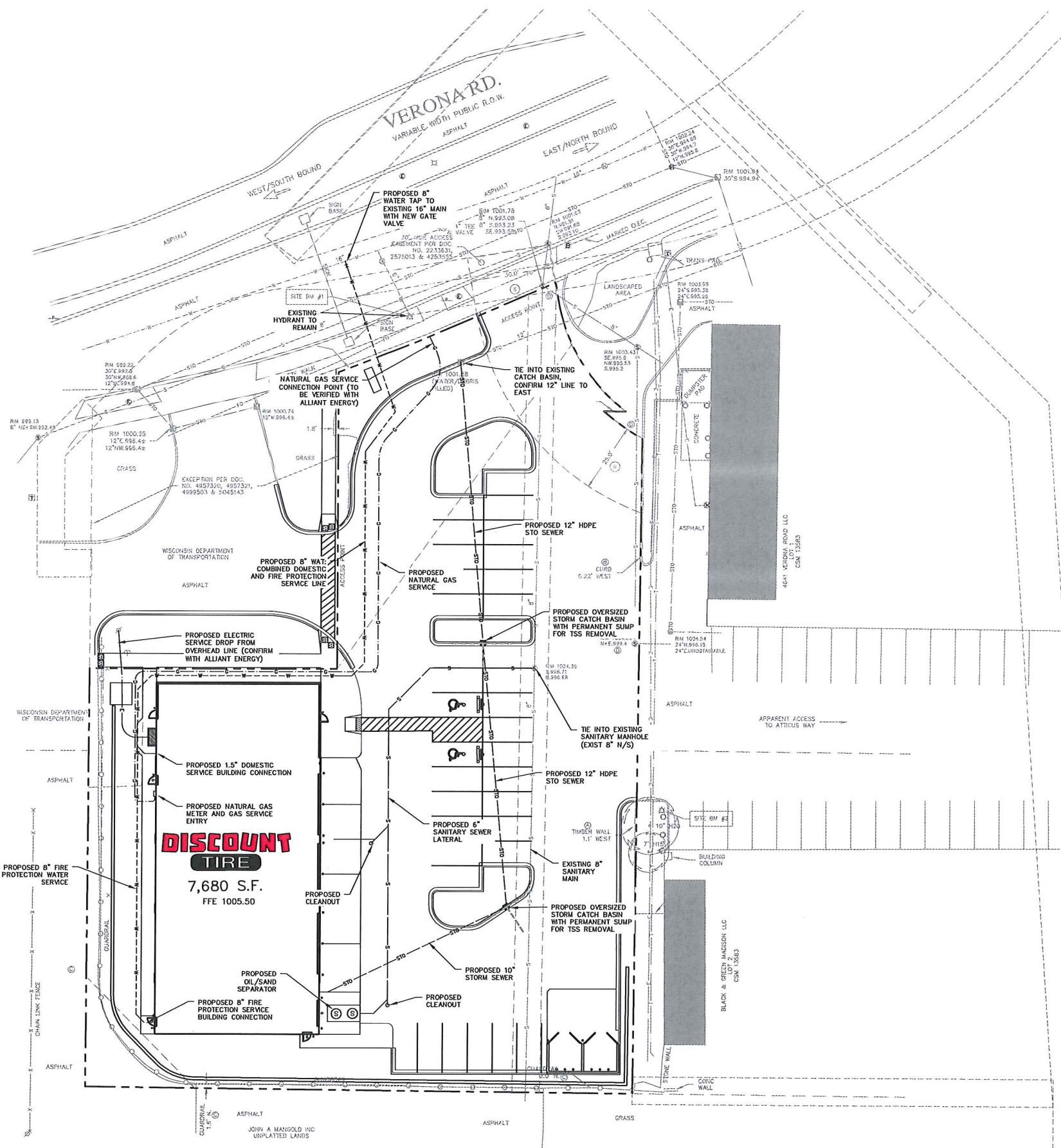
Toll Free (800) 248-8511
 Milwaukee Area (414) 250-1181
 Hearing Impaired TDD (800) 542-2289
 www.DiggerHotline.com

DATE	DESCRIPTION

R.A. Smith National
Beyond Surveying and Engineering
 www.rasmithnational.com

DISCOUNT TIRE - WIM 11040
MADISON, WI
SITE GRADING AND DRAINAGE PLAN

© COPYRIGHT 2017
 R.A. Smith National, Inc.
 DATE: 01/18/2017
 SCALE: 1" = 20'
 JOB NO. 3160470
 PROJECT MANAGER:
 TODD MOSHER
 DESIGNED BY: CBW
 CHECKED BY: MAB
SHEET NUMBER
C500



LEGEND

--- STO ---	PROPOSED STORM SERVICE
--- S ---	PROPOSED SANITARY SERVICE
--- W ---	PROPOSED WATER SERVICE
--- T ---	PROPOSED TELEPHONE SERVICE
--- E ---	PROPOSED ELECTRIC SERVICE
--- G ---	PROPOSED GAS SERVICE
--- FINGER DRAIN ---	PROPOSED FINGER DRAIN
--- STO ---	EXISTING STORM SERVICE
--- S ---	EXISTING SANITARY SERVICE
--- W ---	EXISTING WATER SERVICE
--- T ---	EXISTING TELEPHONE SERVICE
--- E ---	EXISTING ELECTRIC SERVICE
--- G ---	EXISTING GAS SERVICE
■	PROPOSED CATCH BASIN
■	EXISTING CATCH BASIN
○	PROPOSED SANITARY CLEANOUT
○	PROPOSED SANITARY MANHOLE

CONTRACTOR SHALL PROVIDE EROSION CONTROL FACILITIES IN ACCORDANCE WITH THE CITY OF MADISON EROSION CONTROL ORDINANCE. THE WISCONSIN DNR STORMWATER CONSTRUCTION AND POST CONSTRUCTION TECHNICAL STANDARDS, THESE DOCUMENTS, THE MOST STRINGENT TO APPLY.

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DIGGERS HOTLINE
Toll Free (800) 242-8611
Milwaukee Area (414) 255-1181
Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com

DATE	DESCRIPTION

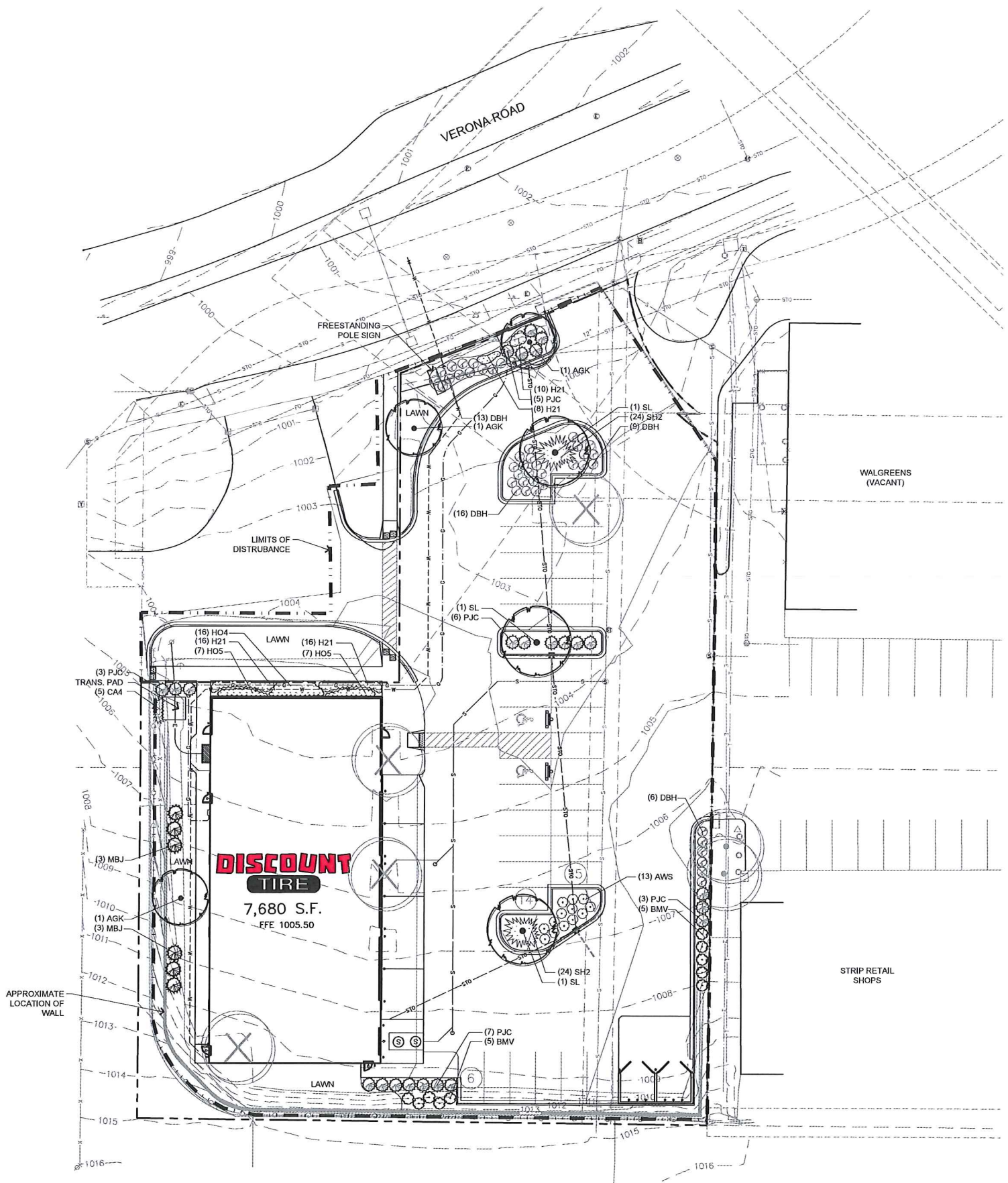
R.A. Smith National
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www.rasmithnational.com

**DISCOUNT TIRE - WIM 11040
MADISON, WI**

UTILITY PLAN

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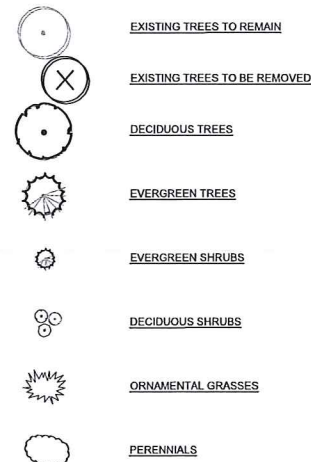
DATE: 01/18/2017
SCALE: 1" = 20'
JOB NO. 3160470
PROJECT MANAGER: TODD MOSHER
DESIGNED BY: CBW
CHECKED BY: MAB
SHEET NUMBER C600



PLANT SCHEDULE OVERALL

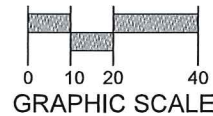
TREES	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
AGK	3	'Autumn Gold' Ginkgo	Ginkgo biloba 'Autumn Gold' TM	3" CAL	B&B	Full, matching heads
SL	3	Skylne Honey Locust	Gleditsia triacanthos 'Skylne'	3" CAL	B&B	Full, matching heads
MBJ	6	'Mountbatten' Juniper	Juniperus chinensis 'Mountbatten'	6" HT	B&B	Semi-sheared, fully branched to ground
SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
DBH	44	Dwarf Bush Honeysuckle	Diervilla lonicera	15" HT	CONT.	
PJC	24	Kalloy Compact Pfitzer Juniper	Juniperus chinensis 'Kallays Compact'	18" SPD	CONT.	
AWS	13	Anthony Waterer Spiraea	Spiraea x bumalda 'Anthony Waterer'	15" HT	CONT.	
BMV	10	Blue Muffin Arrowwood	Viburnum dentatum 'Blue Muffin'	3" HT	B&B	
PERENNIALS / GRASSES	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
CA4	5	Karl Foerster Feather Reed Grass	Calamagrostis x acutiflora 'Karl Foerster'	1 GAL.	POT	24" Spacing
H21	50	Stella de Oro Daylily	Hemerocallis x 'Stella de Oro'	4 1/2"	POT	18" Spacing
HO4	16	Frances Williams Hosta	Hosta sieboldiana 'Frances Williams'	4 1/2"	POT	24" Spacing
HO5	14	Blue Umbrellas Hosta	Hosta x 'Blue Umbrellas'	4 1/2"	POT	24" Spacing
SH2	48	Prairie Droopseed	Sporobolus heterotetris 'Tara'	1 GAL.	POT	18" Spacing

PLANT SYMBOL KEY



GENERAL LANDSCAPE NOTES

- ALL DETAILS AND SPECIFICATIONS TO BE DETERMINED ON FINAL LANDSCAPE PLANS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TREE REMOVALS, LISTED ON THE PLAN.
- FINAL STREET TREE SPECIES, LOCATION AND INSTALLATION SPECIFICATIONS TO BE COORDINATED WITH THE CITY OF MADISON FORESTRY DEPARTMENT.
- ALL PLANTINGS SHALL COMPLY WITH STANDARDS AS DESCRIBED IN AMERICAN STANDARD OF NURSERY STOCK - ANSI Z60.1 (LATEST VERSION)
- MULCH: ALL PLANTING BEDS TO RECEIVE 3" DEEP LAYER OF SHREDDED HARDWOOD BARK MULCH.
- TURF SEED: DURABLE, PREMIUM COMMERCIAL BLEND.
- THE OWNER OF THE PREMISES IS RESPONSIBLE FOR THE WATERING, MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING, FENCES, AND OTHER LANDSCAPE ARCHITECTURAL FEATURES ON THE SITE. ALL PLANTING BEDS SHALL BE KEPT WEED FREE. PLANT MATERIAL THAT HAS DIED SHALL BE REPLACED NO LATER THAN THE UPCOMING JUNE 1.



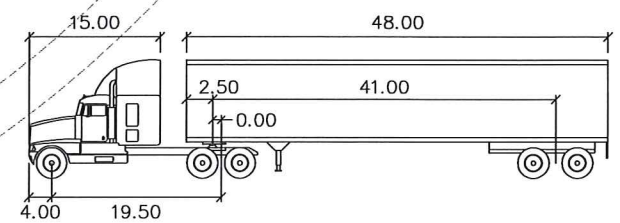
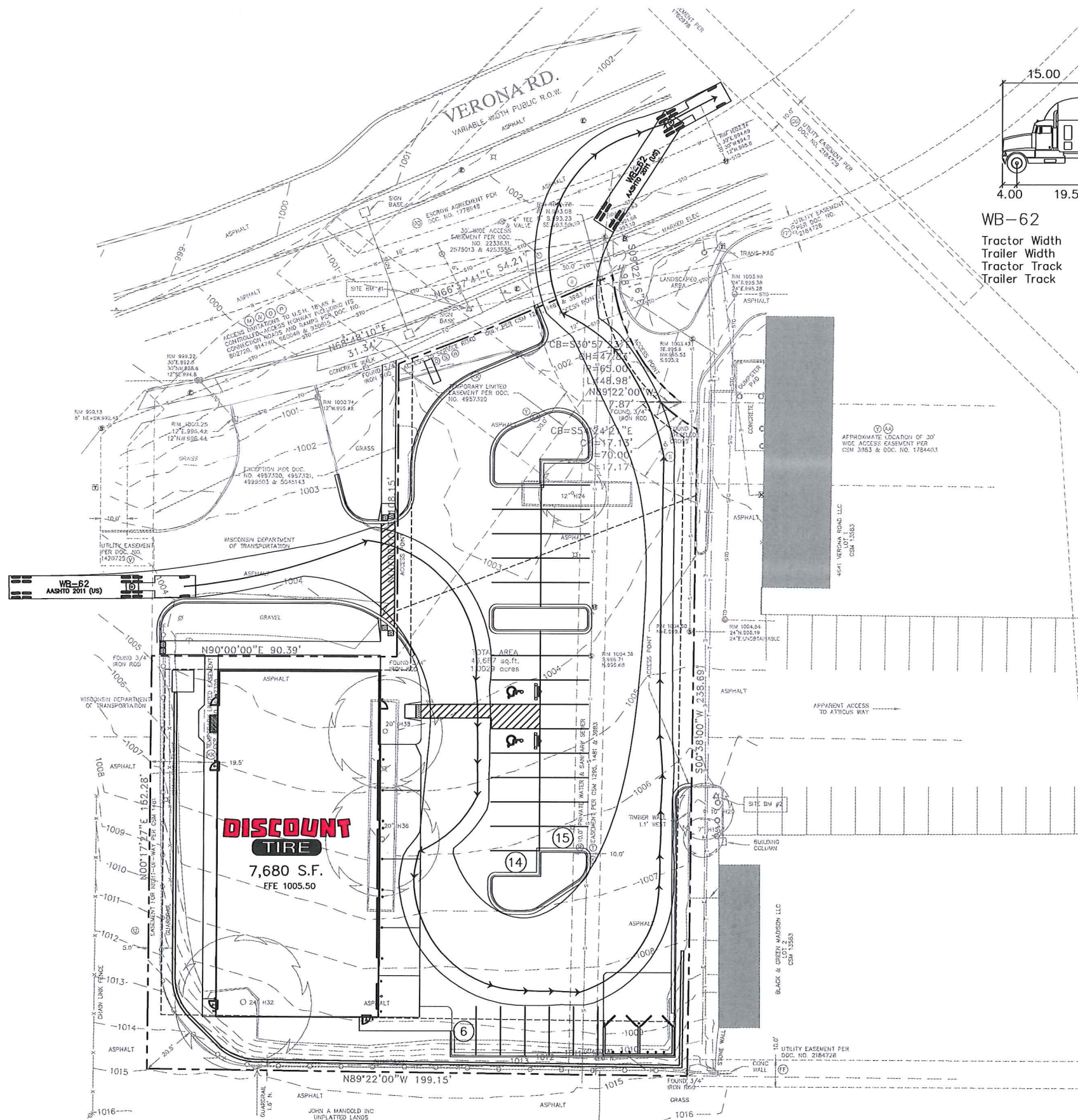
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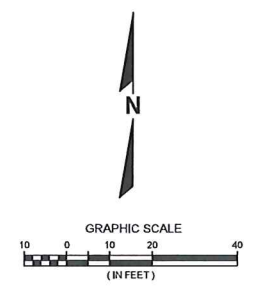
DISCOUNT TIRE - WIM 11040
 MADISON, WI
 PRELIMINARY LANDSCAPE PLAN

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 R.A. Smith National, Inc.
 DATE: 01/18/2017
 SCALE: 1" = 20'
 JOB NO. 3160470
 PROJECT MANAGER:
 TODD MOSHER
 DESIGNED BY: NJW
 CHECKED BY: LJH
SHEET NUMBER
 L100

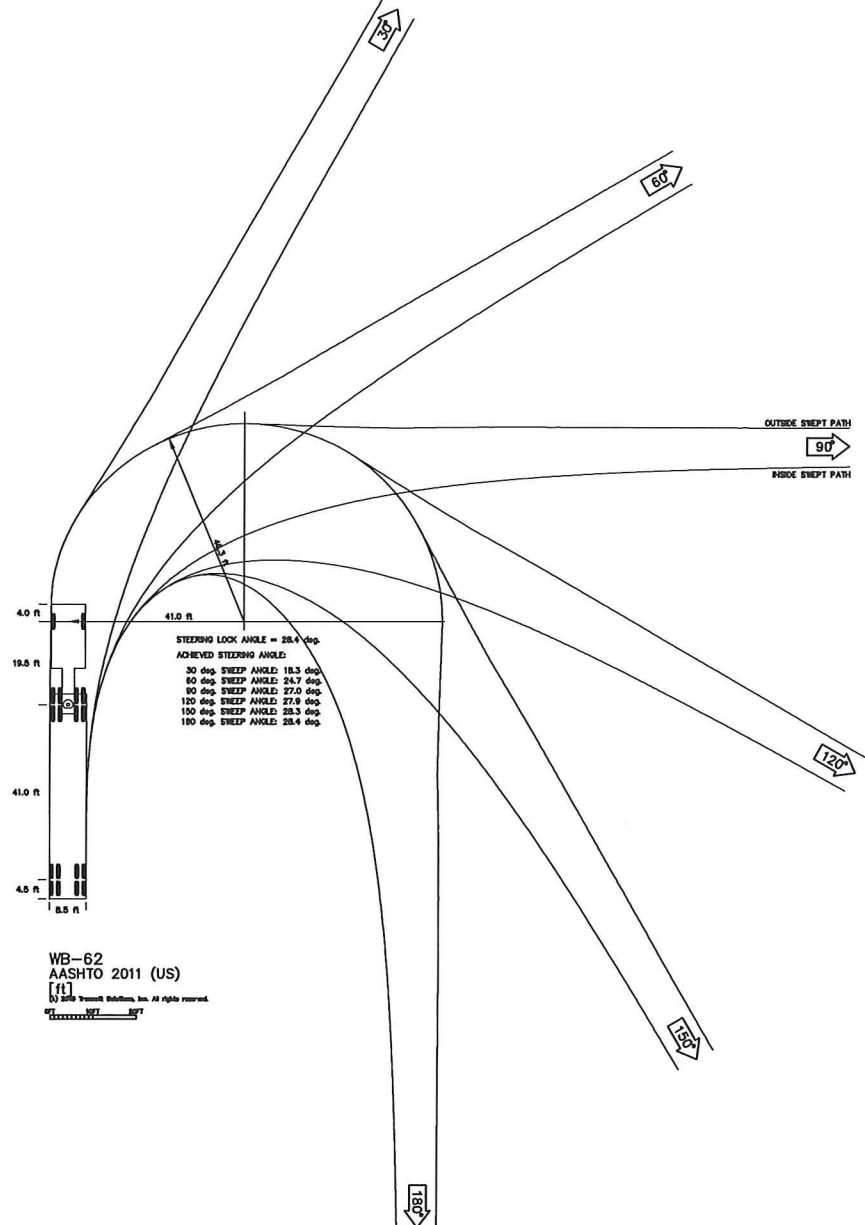


WB-62 feet

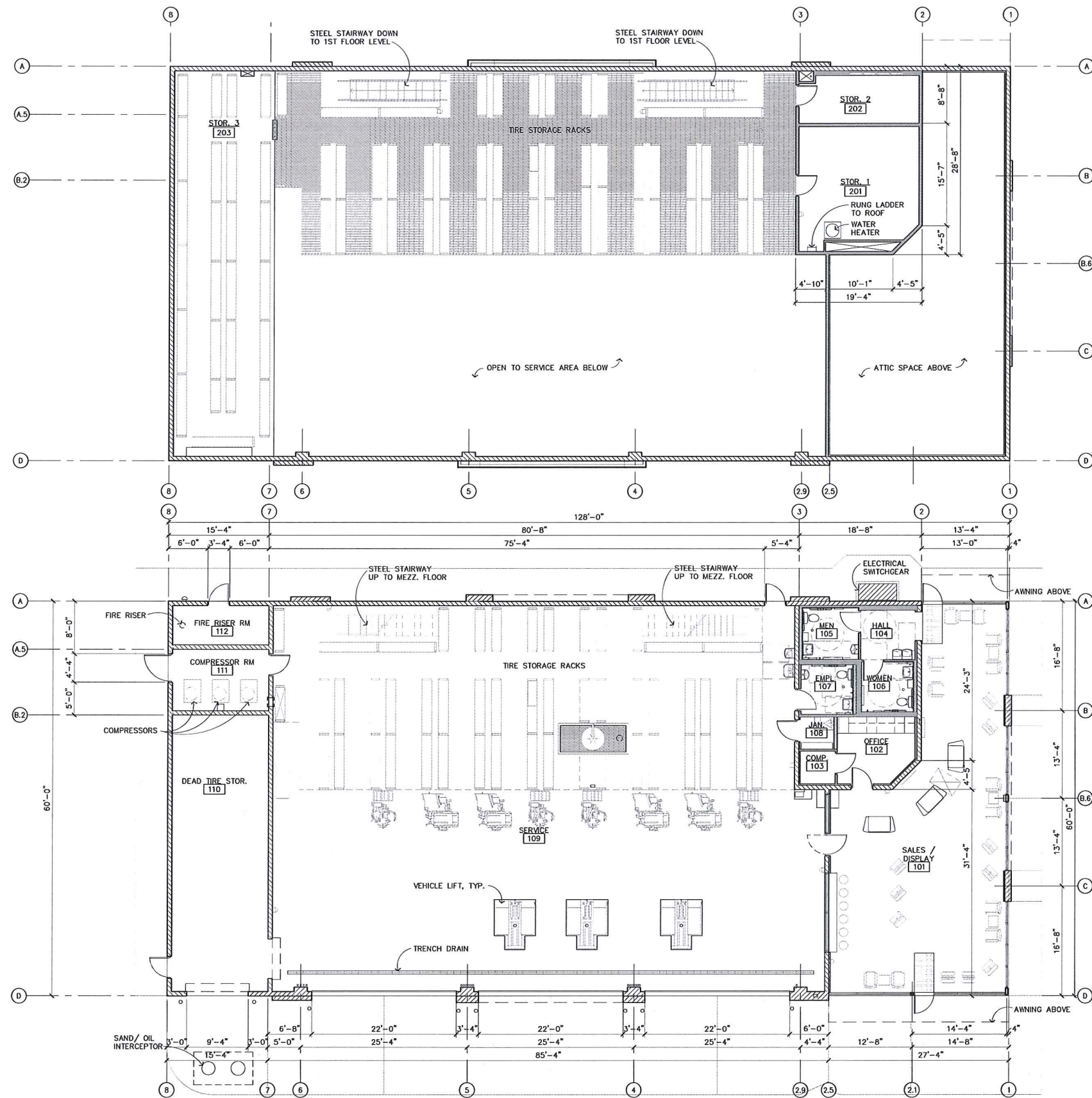
Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.50	Steering Angle	: 28.4
Tractor Track	: 8.00	Articulating Angle	: 70.0
Trailer Track	: 8.50		



- LEGEND**
- PROPOSED PROPERTY LINE
 - HEAVY-DUTY CONCRETE PAVEMENT
 - CONCRETE SIDEWALK
 - HEAVY-DUTY ASPHALT PAVEMENT
 - STANDARD-DUTY ASPHALT PAVEMENT
 - PROPOSED ACCESSIBLE PAVEMENT MARKING VAN ACCESSIBLE STALL
 - STALL PARKING COUNT



<p>DESCRIPTION</p>	
<p>DATE</p>	
<p>R.A. Smith National <i>Beyond Surveying and Engineering</i> www.ra-smithnational.com</p>	
<p>DISCOUNT TIRE - WIM 11040 MADISON, WI</p>	<p>TRUCK ACCESS EXHIBIT</p>
<p>© COPYRIGHT 2017 R.A. Smith National, Inc. DATE: 01/18/2017 SCALE: 1" = 20' JOB NO. 3160470 PROJECT MANAGER: TODD MOSHER DESIGNED BY: CBW CHECKED BY: MAB</p>	
<p>SHEET NUMBER TK100</p>	



Building Area Breakdown	
GROUND FLOOR AREA	
M OCCUPANCY:	
SALES / DISPLAY	1,173.14 S.F.
OFFICE	115.30 S.F.
COMPUTER	26.68 S.F.
HALL	62.68 S.F.
MEN	65.86 S.F.
WOMEN	59.12 S.F.
EMPLOYEE	59.12 S.F.
JANITOR ROOM:	25.40 S.F.
S-1 OCCUPANCY:	
SERVICE	4791.91 S.F.
RECYCLE TIRE	616.00 S.F.
COMPRESSOR ROOM	136.89 S.F.
FIRE RISER ROOM	85.00 S.F.
7,218.33 S.F. (NET AREA / USABLE)	
TOTAL GROUND FLOOR AREA: 7,680 S.F. (BLDG FOOTPRINT)	
MEZZANINE LEVEL AREA:	
S-1 OCCUPANCY:	
STORAGE # 1:	320.14 S.F.
STORAGE # 2:	131.32 S.F.
STORAGE # 3:	860.35 S.F.
WALKING GRATE:	1199.40 S.F.
2,511.21 S.F. (NET AREA / USABLE)	



CONCEPTUAL MEZZ. FLOOR PLAN

SCALE: 1/8" = 1'-0"



CONCEPTUAL 1ST FLOOR PLAN

SCALE: 1/8" = 1'-0"

ALT - 1R

REV:
DATE: 11.21.16
JOB # A.1608114



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CONCEPTUAL FLOOR PLANS

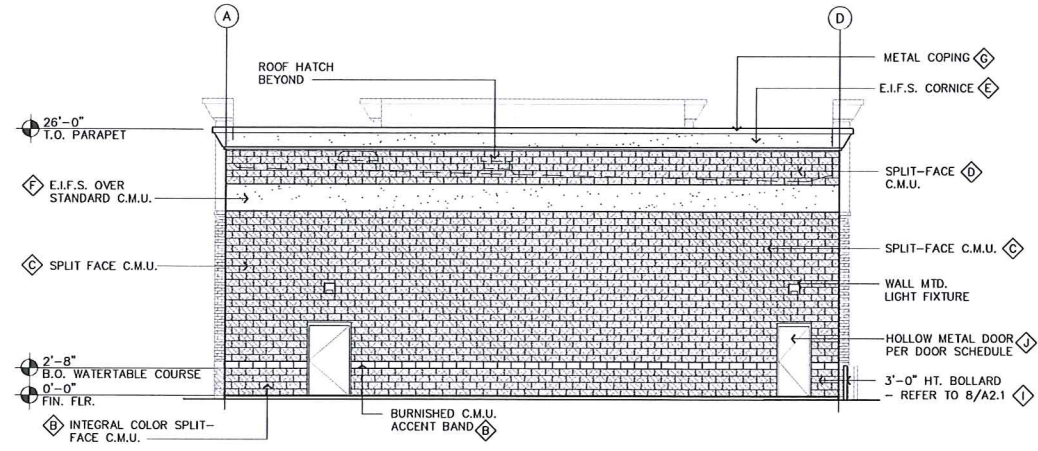
4641 Verona Rd.
MADISON, WI 53711



Sheet No.

A.1

FINISH LEGEND	
Ⓐ	ANODIZED ALUMINUM STOREFRONT SYSTEM MANUFACTURER'S STANDARD COLOR TO MATCH "BANNER RED"
Ⓑ	INTEGRAL COLOR C.M.U. (SPLIT-FACE OR BURNISHED AS NOTED) COLOR TO MATCH "OAK BARREL"
Ⓒ	GRAY SPLIT-FACE CMU - PAINTED SHERWIN WILLIAMS #7714 "OAK BARREL"
Ⓓ	GRAY SPLIT-FACE CMU - PAINT SHERWIN WILLIAMS "ANTIQUE WHITE"
Ⓔ	PAINT - SHERWIN WILLIAMS #6119 "ANTIQUE WHITE"
Ⓕ	E.I.F.S. BAND PAINT SHERWIN WILLIAMS SW7585 "SUNDRIED TOMATO"
Ⓖ	METAL COPING - FACTORY PAINTED / INTEGRAL COLOR TO MATCH BERRIDGE "SIERRA TAN" COLOR
Ⓗ	EXPOSED STEEL / EIFS - PAINTED TO MATCH "OAK BARREL"
Ⓙ	STEEL BOLLARDS - PAINTED TO MATCH "OAK BARREL"
Ⓚ	HOLLOW METAL DOORS - PAINTED TO MATCH "OAK BARREL"
Ⓛ	ELECTRICAL SWITCHGEAR CABINET - PAINTED TO MATCH "OAK BARREL"
Ⓜ	MASONRY BRICK UNIT (STRUCTURAL BRICK) - QUIK-BRIK 4" HIGH UNITS, COLOR: SANDALWOOD
Ⓝ	FABRIC AWNING IN STEEL FRAME - AWNING BY SUNBRELLA COLOR: "BURGUNDY"



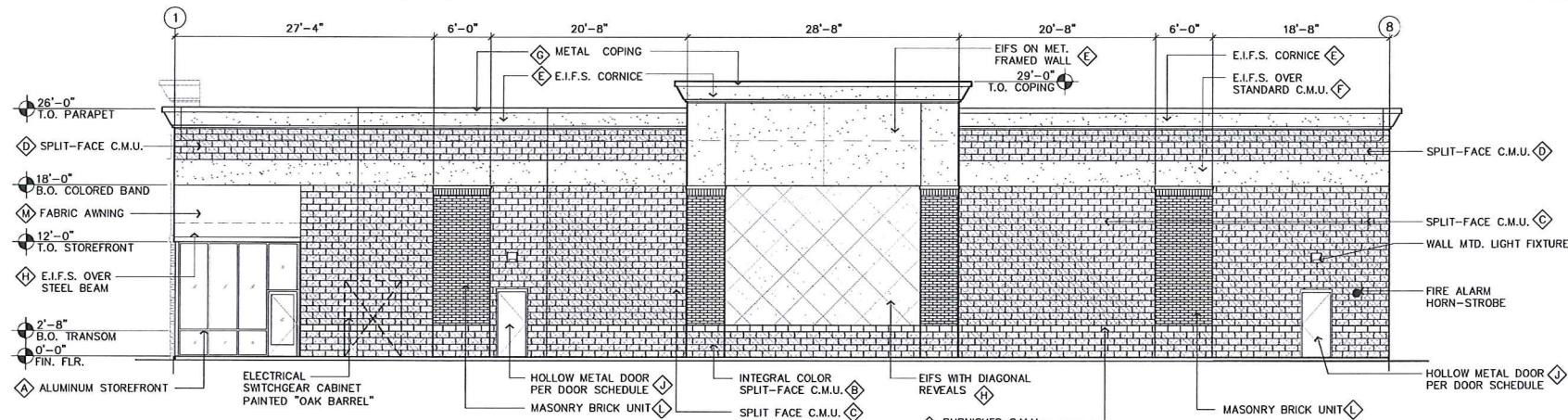
SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



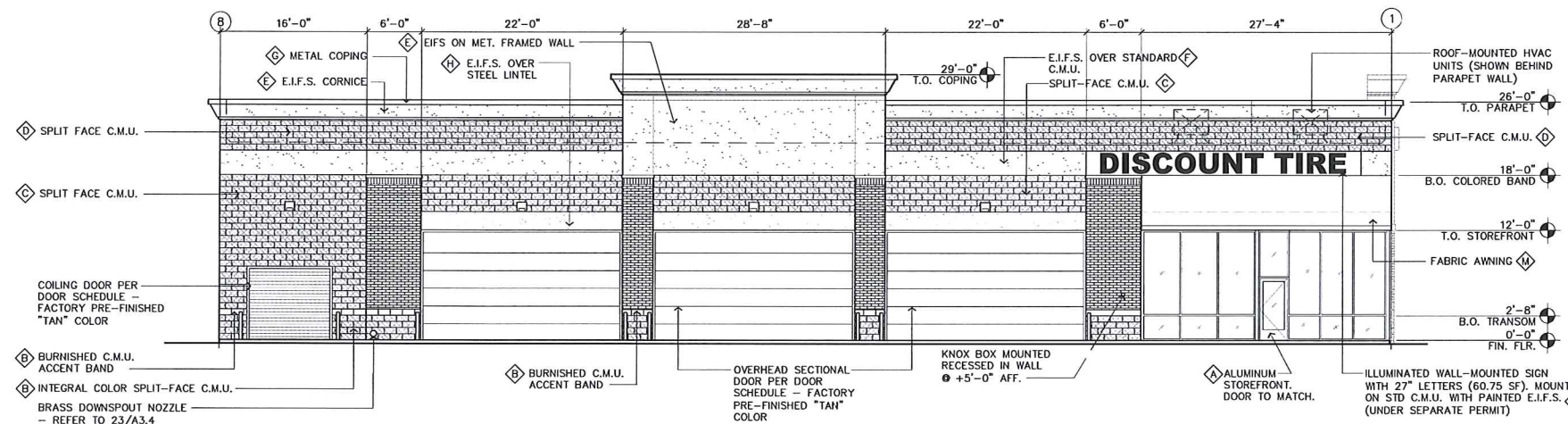
NORTH ELEVATION (E. Verona Rd)

SCALE: 1/8" = 1'-0"



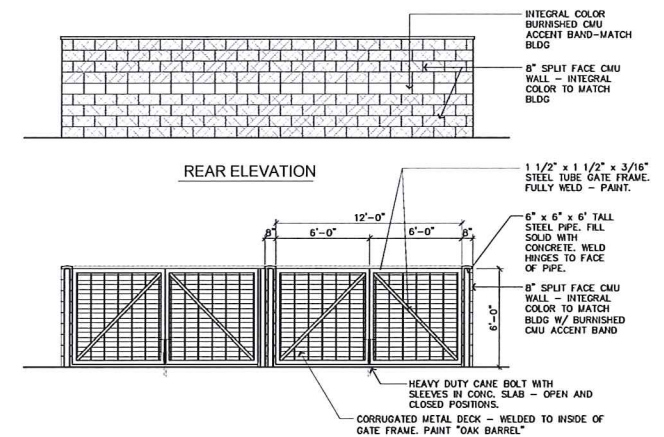
WEST ELEVATION

SCALE: 1/8" = 1'-0"

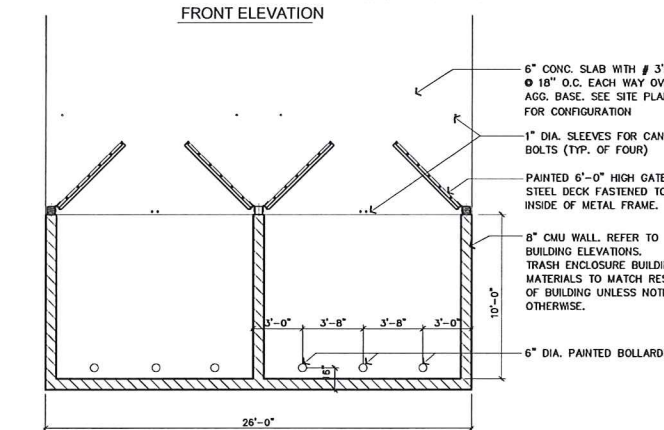


EAST ELEVATION

SCALE: 1/8" = 1'-0"



REAR ELEVATION



FRONT ELEVATION

TRASH ENCLOSURE PLAN / ELEVATIONS

1/8" = 1'-0"

REV:
DATE: 11.21.16
JOB # A.1608114

ALT - 1R



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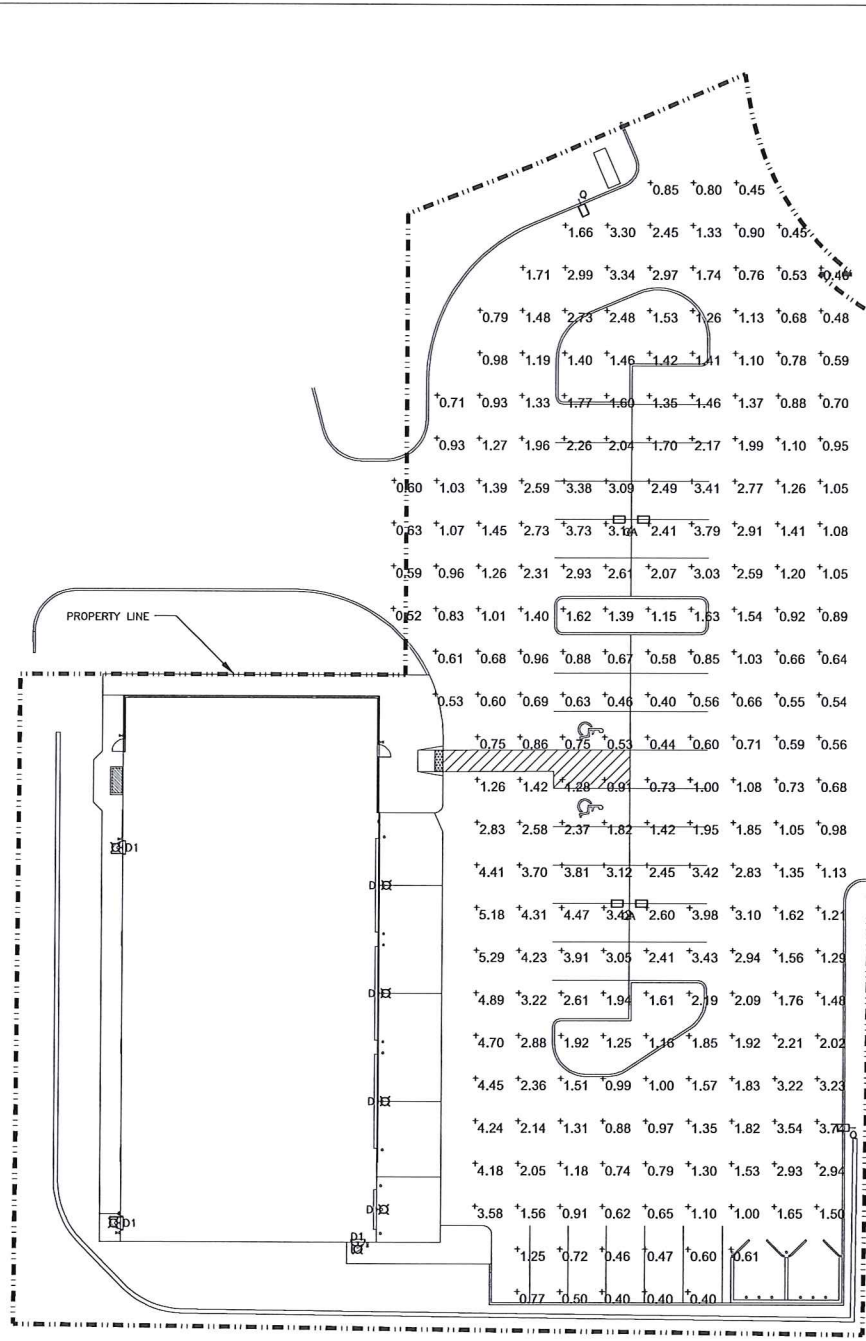
CONCEPTUAL ELEVATIONS

4641 Verona Rd.
MADISON, WI 53711

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a division of Plump Engineering, Inc.
914 E. KATELLA AVENUE, ANAHEIM, CA 92805
P (714) 385-1835 F (714) 385-1834
www.plumpgroup.com

Sheet No.

A.2



01 SITE PHOTOMETRIC PLAN
SCALE: 1:20
NORTH TRUE

AREA	SYMBOL	SPACING	AVE.	MAX.	MIN.	MAX./MIN.	AVE./MIN.
PARKING AREA	+	10'-0"	1.72	5.29	0.40	13.6:1	4.4:1
TOTAL SQUARE FOOTAGE:		TOTAL WATTAGE:		WATTS/SQFT:		0.0459	

SYMBOL	MANUFACTURER/MODEL NUMBER	DESCRIPTION	QTY	QTY/POLE	POLE HEIGHT	LAMP TYPE	WATTAGE	ANGLE ABOVE HORIZONTAL TILT
D	LUMARK/ XTORSA-N	WALL PACK	4	N/A	N/A	LIGHT EMITTING DIODE	85	0°
D1	LUMARK/ XTORIA-N	WALL PACK	3	N/A	N/A	LIGHT EMITTING DIODE	7	0°
Q	LITHONIA/ KAD-250M-R4-20B-SWCA-HS-LPI	POLE LIGHT	2	1	25'-0"	METAL HALIDE	288	0°
QA	LITHONIA/ KAD-250M-R4-20B-SWCA-HS-LPI	POLE LIGHT	2	2	25'-0"	METAL HALIDE	576	0°
HEAD 1	LITHONIA/ KAD-250M-R4-20B-SWCA-HS-LPI	HEAD	2	1	25'-0"	METAL HALIDE	288	0°
HEAD 2	LITHONIA/ KAD-250M-R4-20B-SWCA-HS-LPI	HEAD	2	2	25'-0"	METAL HALIDE	576	0°

LUMARK

XTORSA-N
AZT13

XTOR CROSSOUR MAXX LED

DESCRIPTION
The patented Lumar Contour™ MAXX LED Wall Pack Series of luminaires provides the perfect combination of a wide range of beam angles and high lumen output. The Contour MAXX wall pack is designed for use in a variety of applications including parking areas, walkways, and general outdoor lighting. The Contour MAXX wall pack is available in 100, 200, and 400 watt configurations.

FEATURES & SPECIFICATIONS
• 100, 200, and 400 watt configurations
• 100, 200, and 400 lumens per watt
• 100, 200, and 400 lumens per foot
• 100, 200, and 400 lumens per square foot

XTORIA-N
D1

XTOR CROSSOUR LED

DESCRIPTION
The patented Lumar Contour™ XTORIA-N LED Wall Pack Series of luminaires provides the perfect combination of a wide range of beam angles and high lumen output. The Contour XTORIA-N wall pack is designed for use in a variety of applications including parking areas, walkways, and general outdoor lighting. The Contour XTORIA-N wall pack is available in 100, 200, and 400 watt configurations.

FEATURES & SPECIFICATIONS
• 100, 200, and 400 watt configurations
• 100, 200, and 400 lumens per watt
• 100, 200, and 400 lumens per foot
• 100, 200, and 400 lumens per square foot

LITHONIA LIGHTING

KAD-250M-R4-HS

CONTOUR KAD

DESCRIPTION
The patented Lumar Contour™ KAD LED Wall Pack Series of luminaires provides the perfect combination of a wide range of beam angles and high lumen output. The Contour KAD wall pack is designed for use in a variety of applications including parking areas, walkways, and general outdoor lighting. The Contour KAD wall pack is available in 100, 200, and 400 watt configurations.

FEATURES & SPECIFICATIONS
• 100, 200, and 400 watt configurations
• 100, 200, and 400 lumens per watt
• 100, 200, and 400 lumens per foot
• 100, 200, and 400 lumens per square foot

LITHONIA LIGHTING

KAD-250M-R4-HS

CONTOUR KAD

DESCRIPTION
The patented Lumar Contour™ KAD LED Wall Pack Series of luminaires provides the perfect combination of a wide range of beam angles and high lumen output. The Contour KAD wall pack is designed for use in a variety of applications including parking areas, walkways, and general outdoor lighting. The Contour KAD wall pack is available in 100, 200, and 400 watt configurations.

FEATURES & SPECIFICATIONS
• 100, 200, and 400 watt configurations
• 100, 200, and 400 lumens per watt
• 100, 200, and 400 lumens per foot
• 100, 200, and 400 lumens per square foot

NO.	REVISION	DATE

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ARCHITECTURE & ENGINEERING
A Division of Engineering, Inc.
914 E. KATELLA AVENUE
ANAHEIM, CALIFORNIA 92805
P (714) 385-1835 F (714) 385-1834
www.plumpgroup.com

CONSULTANT

NOT FOR CONSTRUCTION

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**4641 VERONA ROAD
MADISON, WI**

STORE NUMBER:
WIM 11040

PROJECT MANAGER:
JOSEPH OUIJANO

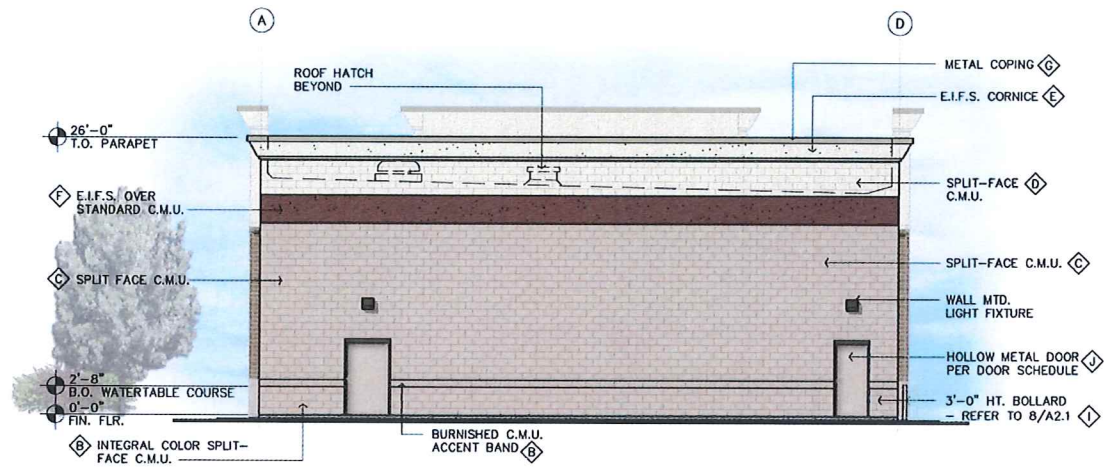
PREPARED BY:
DIALECTIC, INC
PH: (616) 997-9601
FAX: (616) 997-9602

DRAWN BY:
CAN

SHEET TITLE:
SITE PHOTOMETRIC PLAN

DATE: 01-05-17

SHEET NUMBER:
ES1.0



SOUTH ELEVATION

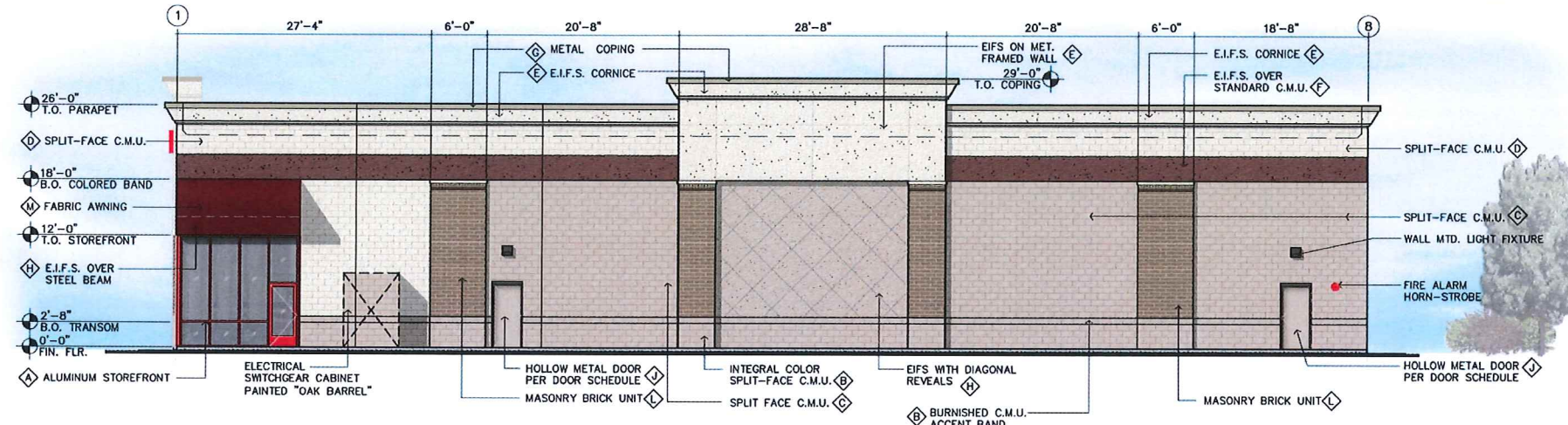
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NORTH ELEVATION (E. Verona Rd)

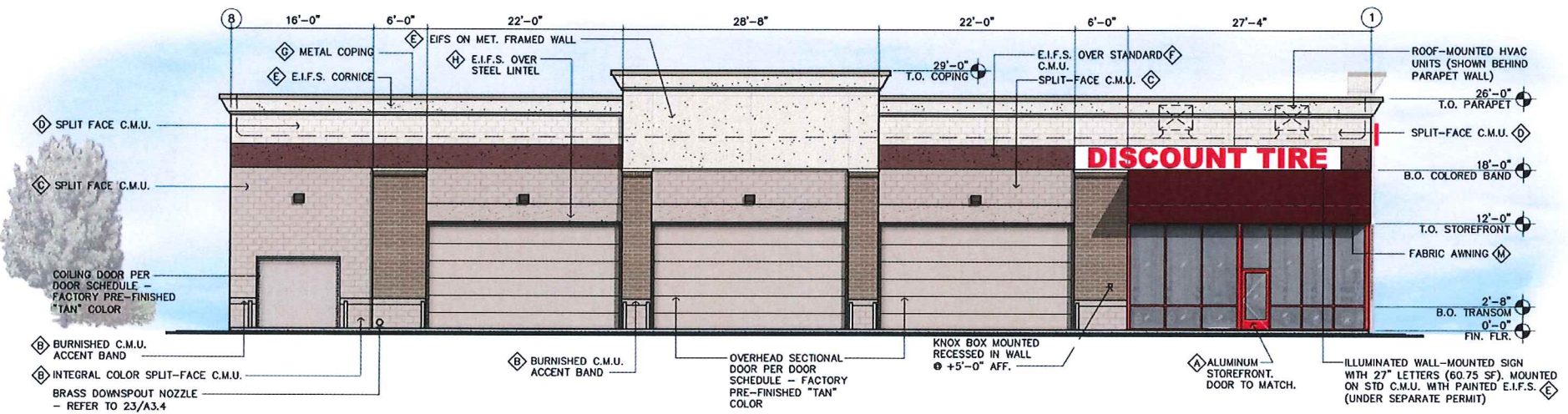
SCALE: 1/8" = 1'-0"

FINISH LEGEND	
Ⓐ	ANODIZED ALUMINUM STOREFRONT SYSTEM MANUFACTURER'S STANDARD COLOR TO MATCH "BANNER RED"
Ⓑ	INTEGRAL COLOR C.M.U. (SPLIT-FACE OR BURNISHED AS NOTED) COLOR TO MATCH "OAK BARREL"
Ⓒ	GRAY SPLIT-FACE CMU - PAINTED SHERWIN WILLIAMS #7714 "OAK BARREL"
Ⓓ	GRAY SPLIT-FACE CMU - PAINT SHERWIN WILLIAMS "ANTIQUE WHITE"
Ⓔ	PAINT - SHERWIN WILLIAMS #6119 "ANTIQUE WHITE"
Ⓕ	EIFS. BAND PAINT SHERWIN WILLIAMS SW#7585 "SUNDRIED TOMATO"
Ⓖ	METAL COPING - FACTORY PAINTED / INTEGRAL COLOR TO MATCH BERRIDGE "SIERRA TAN" COLOR
Ⓗ	EXPOSED STEEL / EIFS - PAINTED TO MATCH "OAK BARREL"
Ⓙ	STEEL BOLLARDS - PAINTED TO MATCH "OAK BARREL"
Ⓚ	HOLLOW METAL DOORS - PAINTED TO MATCH "OAK BARREL"
Ⓛ	ELECTRICAL SWITCHGEAR CABINET - PAINTED TO MATCH "OAK BARREL"
Ⓜ	MASONRY BRICK UNIT (STRUCTURAL BRICK) - QUIK-BRIK 4" HIGH UNITS, COLOR: SANDALWOOD
Ⓝ	FABRIC AWNING IN STEEL FRAME - AWNING BY SUNBRELLA COLOR: "BURGUNDY"



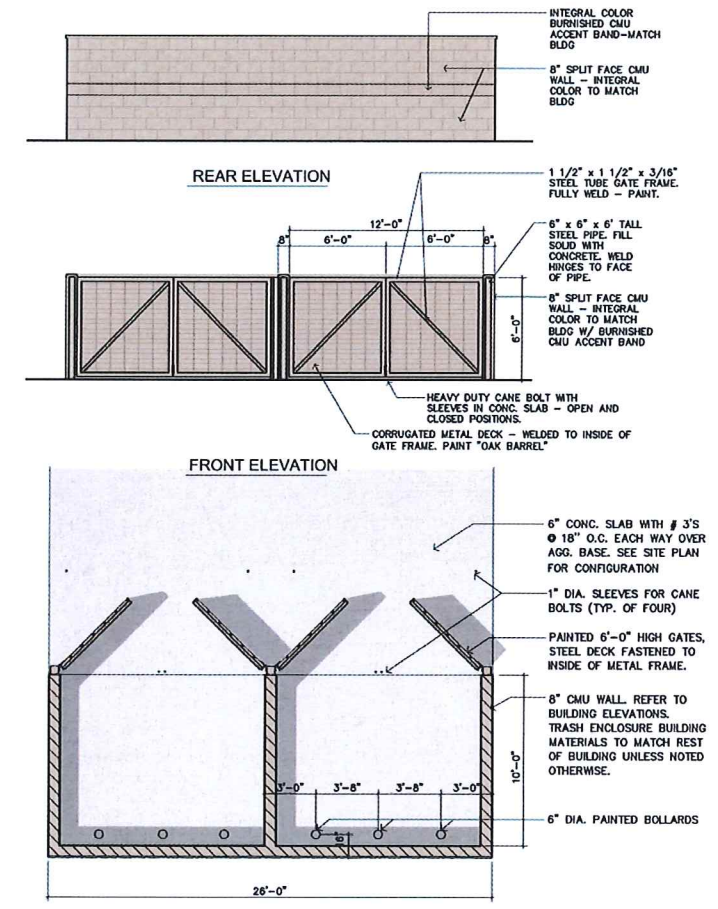
WEST ELEVATION

SCALE: 1/8" = 1'-0"



EAST ELEVATION

SCALE: 1/8" = 1'-0"



TRASH ENCLOSURE PLAN / ELEVATIONS

1/8" = 1'-0"

REV:
DATE: 11.21.16
JOB # A.1608114

ALT - 1R



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COLORED ELEVATIONS

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Sheet No.

A.3