



# URBAN DESIGN COMMISSION APPLICATION CITY OF MADISON

This form may also be completed online at:  
<http://www.cityofmadison.com/planning/documents/UDCApplication.pdf>

215 Martin Luther King Jr. Blvd; Room LL-100  
PO Box 2985; Madison, Wisconsin 53701-2985  
Phone: 608.266.4635 | Facsimile: 608.267.8739

Please complete all sections of the application, including the desired meeting date and the type of action requested.

Date Submitted: <u>September 08, 2015</u>	<input type="checkbox"/> Informational Presentation
UDC Meeting Date: <u>September 16, 2015</u>	<input checked="" type="checkbox"/> Initial Approval
Combined Schedule Plan Commission Date (if applicable): <u>10/05/15</u>	<input checked="" type="checkbox"/> Final Approval

1. Project Address: 718 Gilmore Street  
Project Title (if any): Wingra School Addition and Renovation

2. This is an application for (Check all that apply to this UDC application):

New Development  Alteration to an Existing or Previously-Approved Development

BOARD ITEM #	<u>11</u>
STAR #	<u>3770</u>
ST.	<u>13</u>

**A. Project Type:**

- Project in an Urban Design District\* (public hearing-\$300 fee)
- Project in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) (\$150 fee, Minor Exterior Alterations)
- Suburban Employment Center (SEC) or Campus Institutional District (CI) or Employment Campus District (EC)
- Planned Development (PD)
  - General Development Plan (GDP)
  - Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Planned Residential Complex

**B. Signage:**

- Comprehensive Design Review\* (public hearing-\$300 fee)  Street Graphics Variance\* (public hearing-\$300 fee)
- Signage Exception(s) in an Urban Design District (public hearing-\$300 fee)

**C. Other:**

Please specify: \_\_\_\_\_

**3. Applicant, Agent & Property Owner information:**

Applicant Name: Mary Campbell  
Street Address: 718 Gilmore St  
Telephone: (608) 238-2525 Fax: ( ) \_\_\_\_\_

Company: Wingra School  
City/State: Madison, WI Zip: 53711  
Email: mary@wingraschool.org

Project Contact Person: Jon Robella  
Street Address: 222 West Washington Avenue, Suite 650  
Telephone: (608) 442-3958 Fax: ( ) \_\_\_\_\_

Company: Eppstein Uhen Architects  
City/State: Madison, WI Zip: 53703  
Email: jonr@eua.com

Project Owner (if not applicant): \_\_\_\_\_  
Street Address: \_\_\_\_\_  
Telephone: ( ) \_\_\_\_\_ Fax: ( ) \_\_\_\_\_

City/State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Email: \_\_\_\_\_

**4. Applicant Declarations:**

A. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Al Martin on July 20, 2015.  
(name of staff person) (date of meeting)

B. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of Applicant Mary Campbell Relationship to Property Education Director

Authorized Signature Mary Campbell Date September 04, 2015

PLEASE NOTE: The fee and the application submittal copies were submitted on 8/5/15 as part of the combined submittal.



August 3, 2015

**Re: Letter of Intent  
Wingra School  
718 Gilmore St  
Madison, WI 53711**

## **Introduction**

This letter of intent is submitted with the Land Use Application and its required related materials for Urban Design Commission, Plan Commission, and Common Council consideration of approval.

Wingra School intends to build an addition adjacent to their existing facility in order to provide an elevator and reception area with central offices for school administration, fulfilling several of the conditions of their 2007 purchase of the building and parcel. The addition will also provide for a more secure school environment during normal school days and especially during polling days.

Given the unique ownership and easement system currently in place among the Wingra School parcel and the adjacent two City park parcels, all three parcels are currently zoned as a planned development. This application is intended to amend that PD and re-establish the zoning rules that were approved in 2007, but subsequently lapsed. The legal description given below is for all three parcels.

## **Existing Conditions**

Wingra School, and its tenant New Morning Nursery School, currently occupies the two-story building located at 718 Gilmore Street. The building is approximately 80 years old, is roughly 14,900 gsf per floor, and built of clay masonry, cast-in-place concrete, and steel spanning members. Along the northwest face of the school is a sunken mechanical space (roughly 1,400 gsf) and a sunken coal storage space (1,000 gsf).

The associated parcel is the middle third of the block bounded by Monroe St, Western Ave, Cross St, and Gilmore St. A fire lane connects Western Ave and Gilmore St along the north side of the existing school, passing by a small parking area for twelve cars. A bike rack is provided for eight bikes, as well as one off-street loading zone. Recently, an outdoor classroom structure (roughly 300 gsf) was erected west of the school along Western Ave.

The School's parcel is about 53,000 sq. ft., and the School building (including the sunken mechanical space, coal storage, and outdoor classroom) covers about 33% of it.

City parkland occupies the parcels to the north and south of Wingra School. The southern parcel, bordering Monroe St and known as Dudgeon School Park, is turf grass and assorted landscaping, with terraces due to its significant grade change from north to south. The northern parcel, along Cross St, has a significant amount of paving, play equipment, and a basketball-court in addition to assorted landscaped areas.

The entire block is in a known burial site, and Wingra School will be working with the Wisconsin Historical Society regarding the proper archeological monitoring during construction.

222 W. Washington Ave.  
Suite 650  
Madison, WI 53703  
608.442.5350 : main



Name

Date

Page 2 of 2

## Project Description

The proposed one-story addition would be approximately 3,200 gsf, but would extend to the existing second floor for the elevator shaft and second floor elevator lobby (approximately 200 gsf). It would house the consolidated administrative offices (900 gsf), a multipurpose space and its associated storage room (1,750 gsf), circulation space (350 gsf), a toilet room (50 gsf), and the elevator (350 gsf total). It would be built to the north of the existing school, in place of the fire lane and parking.

The on-site parking would be reduced to five cars, but would be separated from a through-block walkway by a curb for pedestrian safety. Additional bike racks would be provided for a total of approximately 32 bike parking spaces, and the existing off-street loading zone would remain.

With the addition, the School building would cover about 39% of the parcel.

## Hours of Operation

The hours of operation are currently 7am to 5pm, Monday through Friday, and would remain unaffected by the proposed addition.

## Legal Description

Lot 1, outlot 1, and outlot 2 of certified survey map no. 12127 as recorded in volume 74, page 378, document no. 4300682 being all of block 21, first addition to Wingra being located in part of the southeast 1/4 of the northeast 1/4 and part of the southeast 1/4 of the northwest 1/4 of section 28, town 7 north, range 9 east in the City of Madison, Dane County, Wisconsin.

## Project Team

Owner: Wingra School (718 Gilmore St, Madison, WI)

Architect: Eppstein Uhen Architects (222 W Washington Ave, Ste 650, Madison, WI)

Structural Engineer: Pierce Engineers (10 W Mifflin St, Ste 205, Madison, WI)

Civil Engineer: JSD Professional Services (161 Horizon Dr, Ste 101, Verona, WI)

General Contractor: CG Schmidt (406 Science Dr, Ste 408, Madison, WI)

## Project Schedule

August 5, 2015 – Land Use Submittal

September 16, 2015 – UDC initial/final approval

October 5, 2015 – Plan Commission approval of planned development

October 20, 2015 – Common Council approval of planned development

November, 2015 – tentative construction start

July, 2016 – tentative construction completion

## Social and Economic Impact

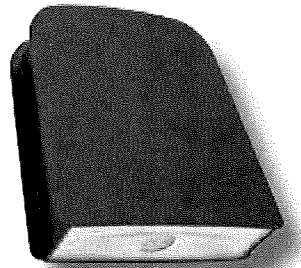
The estimated project cost is \$1,300,000, and 32 construction jobs are expected to be created. The addition would provide space for one additional full-time equivalent administrative position. No public subsidy is requested.

**LED SLIM WALL PACK/FLOOD**  
**40-WATT, 60-WATT, 80-WATT, 150-WATT LED**  
**(E-WF1, E-WF2 SERIES)**

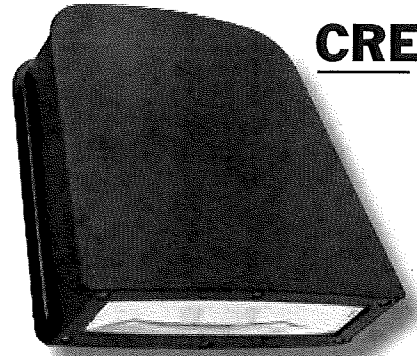
**Applications:** As a wall pack, use for security, pathway, and perimeter lighting - ideal for entryways, walkways, and other applications where control of spill light is important. With adjustable mounting accessories, use as a flood for building facades, displays, up-lighting, and signs. Also effective for storage areas and commercial sites.

**Typical Mounting Height:** 8 to 20 feet (Small), 8 to 25 feet (Large)

**Typical Spacing:** 1 to 2 times the mounting height









**Small (40/60-Watt)**  
 2.8"L x 7.5"W x 8.0"H  
 Weight: 3.6 lbs.



**Large (80/150-Watt)**  
 4.9"L x 14.2"W x 12.8"H  
 Weight: 11.2 lbs. (80-Watt), 12.2 lbs. (150-Watt)



Catalog #	Description	Input Voltage	Initial Delivered Lumens	CCT	CRI	50K Hours Projected Lumen Maintenance Factor at 25°C <sup>1</sup>	Comparable To:
 E-WF104CZ	40W LED, Cool White	120V - 277V	3917	5000K	≥ 70	87%	100W PSMH
 E-WF104NZ	40W LED, Neutral White	120V - 277V	3917	4000K	≥ 70	87%	100W PSMH
 E-WF106CZ	60W LED, Cool White	120V - 277V	5135	5000K	≥ 70	87%	175W MH
 E-WF106NZ	60W LED, Neutral White	120V - 277V	5135	4000K	≥ 70	87%	175W MH
 E-WF2108CZ	80W LED, Cool White	120V - 277V	8110	5000K	≥ 70	70%	250W MH
 E-WF2108NZ	80W LED, Neutral White	120V - 277V	8110	4000K	≥ 70	70%	250W MH
E-WF2150CZ	150W LED, Cool White	120V - 277V	15,790	5000K	≥ 70	87%	400W MH
E-WF2150NZ	150W LED, Neutral White	120V - 277V	15,790	4000K	≥ 70	87%	400W MH

<sup>1</sup> Calculated L<sub>70</sub> based on 6,048 hours of LM-80 testing: >39,000 hours



Due to continuous product improvement, information in this document is subject to change. All published photometric testing performed to IESNA LM-79-08 standards by a NVLAP certified laboratory. Fixture photometry was completed on a single representative fixture. Actual production units may vary up to ±10% of initial delivered lumens. Lumen maintenance values at 25°C (77°F) are calculated per TM-21 based on LM-80 data and in-situ fixture testing.

1501 96<sup>th</sup> Street, Sturtevant, WI 53177 | Phone (888)243-9445 | Fax (262)504-5409 | www.e-conolight.com



## LED SLIM WALL PACK/FLOOD 40-WATT LED (E-WF1, E-WF2 SERIES)

### Performance

- Estimated 133,000 (40W,60W and 150W) hours, 50,000 (80W) hours to L<sub>70</sub> at 25°C (77°F)
- -40°C (-40°F) minimum starting temperature
- 5-year limited warranty

### Construction & Materials

- Solid construction, die-cast aluminum housing
- Dark bronze polyester powder-coat finish for extra corrosion protection and long-lasting color
- Tempered glass lens: thermal, shock and impact resistant
- Included mounting plate mounts over 4" square or 4" octagonal junction box
- Cree® LEDs inside

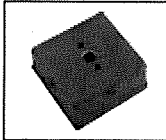
### Electrical

- Non-dimmable electronic driver, 120V through 277V
- Amperage Draw: 40W - 0.33A at 120V, 0.16A at 277V  
60W - 0.49A at 120V, 0.22A at 277V  
80W - 0.88A at 120V, 0.38A at 277V  
150W - 1.25A at 120V, 0.57A at 277V
- > 0.9 power factor
- < 20% total harmonic distortion

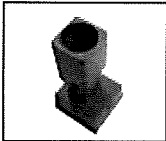
### Regulatory

- UL Listed for wet locations

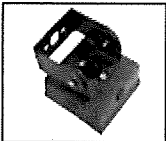
### Accessories



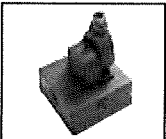
**CAT.# E-ACSBWFZ**  
Surface Mounting Box  
(Large & Small)  
For use with the fixture when there is no internal junction box in the wall or if doing a thru wire



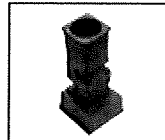
**CAT.# E-ACSWF1Z**  
2" Fitter (Small)  
Allows for sign illumination, landscape applications, architectural façade illumination



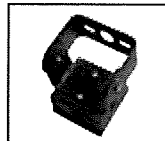
**CAT.# E-ACUWF1Z**  
U-Bracket (Small)  
Provides flexible wall mounting options



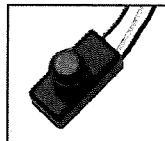
**CAT.# E-ACWF1/2Z**  
1/2" Fitter (Small)  
Connects to 1/2" conduit



**CAT.# E-ACSWF2Z**  
2" Fitter (Large)  
Allows for sign illumination, landscape applications, architectural façade illumination



**CAT.# E-ACUWF2Z**  
U-Bracket (Large)  
Provides flexible wall mounting options



**CAT.# E-ACP1** (120 volts)  
**CAT.# E-ACP2** (208/240/277 volts)  
Photocell is field installed.  
For use with adjustable slip fitter only.

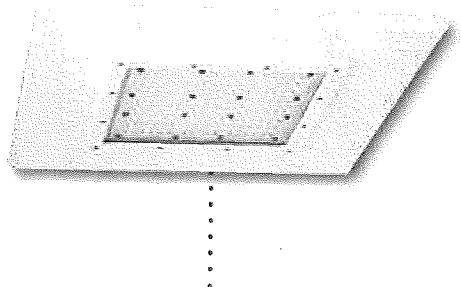


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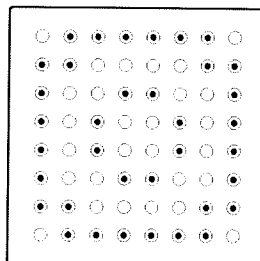
1501 96<sup>th</sup> Street, Sturtevant, WI 53177 | Phone (888)243-9445 | Fax (262)504-5409 | [www.e-conolight.com](http://www.e-conolight.com)

**RECESSED LED CANOPY LIGHT - WIDE DISTRIBUTION**  
**42-WATT LED**  
**(E-RC2L04CW)**

**Applications:** Security, entryway and perimeter lighting. Also recommended for walkways and exterior canopies  
**Typical Mounting Height:** 8 to 15 feet **Typical Spacing:** 1 to 2 times the mounting height



16"D x 16"W x 3.75"H  
 Weight: 6.2 lbs.



LED PATTERN



This fixture is listed on the DesignLights Consortium® Qualified Products List.

Catalog #	Description	Input Voltage	Initial Delivered Lumens	CCT	CRI	50K Hours Projected Lumen Maintenance Factor at 25°C <sup>1</sup>	Comparable To:
E-RC2L04CW	42W LED Cool White	120V-277V	4100	5000K	75	50,000 Hours	100W PSMH

<sup>1</sup> Calculated L<sub>70</sub> based on 6,048 hours of LM-80 testing; >36,000 hours

**Performance**

- 50,000 hours of maintenance-free operation to L<sub>70</sub>
- Minimum starting temperature: -22° F
- 5-year limited warranty

**Construction & Materials**

- Rugged and durable aluminum housing
- UV-stabilized acrylic lens with molded precision optics
- Two 1/2" conduit entries on top for through wiring
- Hanging cable supports fixture while wiring connections are made
- Secures to mounting surface with four screws (provided by others)
- Cree® LEDs inside

**Electrical**

- 0-10 Dimmer (See below for recommended dimmers)
- Universal voltage (120V through 277V)

**Regulatory**

- ETL Listed for wet locations
- Non-IC rated
- RoHS compliant

**Recommended Dimmers**

- Lutron CTCL-153PDH-WH
- Lutron TGCL-153PH-WH
- Lutron MA-600MR-WH
- Leviton R50-IPLO6-10M

**NOTE:** The presence of a dimmer on this chart is not a guarantee or warranty of the compatibility of the fixture in any particular installation. The absence of a dimmer from this chart does not necessarily imply incompatibility.



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# WINGRA SCHOOL

LOT 1, OUTLOT 1, AND OUTLOT 2 OF CERTIFIED SURVEY MAP NO. 12127 AS RECORDED IN VOLUME 74, PAGE 378, DOCUMENT NO. 4300682 BEING ALL OF BLOCK 21, FIRST ADDITION TO WINGRA BEING LOCATED IN PART OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 AND PART OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 28, TOWN 7 NORTH, RANGE 9 EAST IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

## SURVEYOR NOTES

STORM INLET INVERTS WERE NOT MEASURED DUE TO STRUCTURE BEING FULL OF SNOW AND ICE.

FIELD DATA ACQUISITION WAS PERFORMED ON FEBRUARY 20, 2015 AND UNDER SNOW COVERED CONDITIONS

## BENCHMARKS

ELEVATIONS ARE BASED ON NAVD88 (2012)

BM 1 - FIRE HYDRATE TOP NUT ELEVATION = 901.70

BM 2 - FIRE HYDRATE TOP NUT ELEVATION = 907.67

BM 3 - FIRE HYDRATE TOP NUT ELEVATION = 914.91

BM 4 - FIRE HYDRATE TOP NUT ELEVATION = 913.90

## LEGEND

- EXISTING WATER MAIN
- +— EXISTING GATE VALVE & HYDRANT
- WATER SERVICE & CURB STOP
- EXISTING SANITARY SEWER & MANHOLE
- EXISTING STORM SEWER & INLET
- BURIED ELECTRIC
- BURIED GAS & VALVE
- BURIED CABLE TELEVISION
- BURIED TELEPHONE
- BURIED FIBER OPTICS
- OVERHEAD UTILITY
- FENCE LINE
- RIGHT-OF-WAY
- PROPERTY LINE
- BENCHMARK
- IRON PIPE FOUND
- IRON ROD FOUND
- CHISLED CROSS FOUND
- 3/4" IRON REBAR SET (1.50 LBS/FT)
- UTILITY POLE & GUY
- LIGHT POLE
- PEDESTAL
- STREET SIGN
- MAILBOX
- FLAGPOLE
- TREE - DECIDUOUS
- TREE - CONIFEROUS
- SPOT ELEVATION (TYP.)

## STORM STRUCTURES

ST 1 - STORM MANHOLE  
RIM = 909.55  
PIPE INV = 903.55  
BOTTOM = 900.75

ST 2 - STORM MANHOLE  
RIM = 905.08  
INV N-S = 900.23 (18" RCP)  
INV W = 900.88 (12" RCP)

ST 3 - STORM MANHOLE  
RIM = 893.60  
INV = 888.90

ST 4 - STORM MANHOLE  
RIM = 876.61  
INV = 872.01 TO TOP OF ICE

## SANITARY STRUCTURES

SAN 1 - SANITARY MANHOLE  
RIM = 911.58  
INV = 903.83

SAN 2 - SANITARY MANHOLE  
RIM = 904.29  
INV N = 897.39  
INV S = 896.74  
INV W = 896.84

SAN 3 - SANITARY MANHOLE  
RIM = 884.58  
INV N = 875.48  
INV S = 875.33  
INV W = 875.58

SAN 4 - SANITARY MANHOLE  
RIM = 871.22  
INV E-W = 853.97  
INV N = 862.22

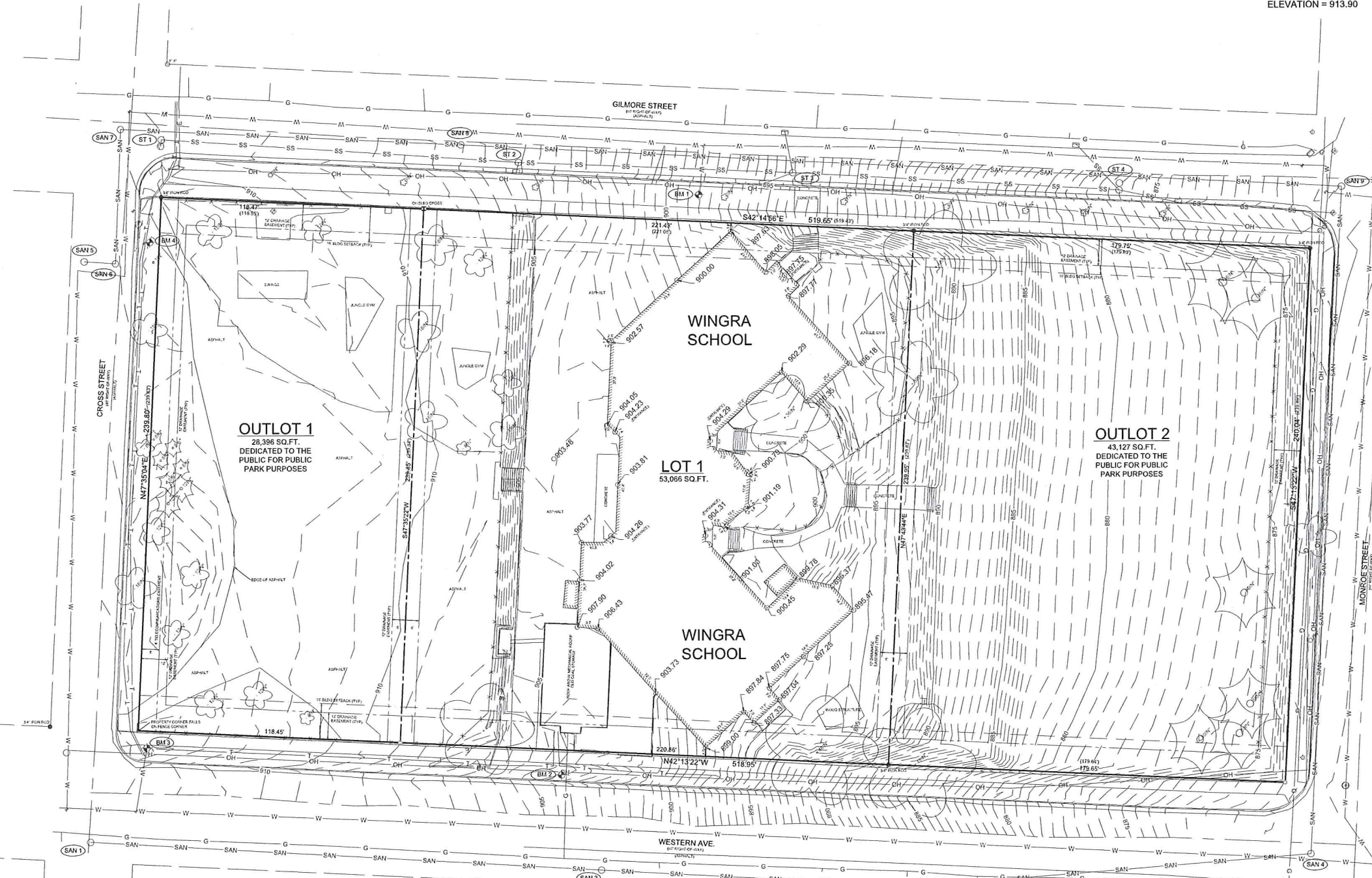
SAN 5 - SANITARY MANHOLE  
RIM = 910.92  
INV W = 904.42  
INV S = 902.72

SAN 6 - SANITARY MANHOLE  
RIM = 910.63  
INV N = 901.58  
INV E = 901.58

SAN 7 - SANITARY MANHOLE  
RIM = 909.87  
INV W = 901.37  
INV N = 901.37  
INV S = 901.22

SAN 8 - SANITARY MANHOLE  
RIM = 906.56  
INV N = 898.66  
INV S = 898.56

SAN 9 - SANITARY MANHOLE  
RIM = 869.53  
INV N = 860.88  
INV N = 858.73  
INV E-W = 853.31



**DIGGERS HOTLINE**  
Dial 811 or (800) 242-8511

www.DiggersHotline.com

NOTE:  
UTILITY LOCATIONS SHOWN ON PLANS ARE APPROXIMATE AND CONTRACTOR SHALL HAVE APPROPRIATE UTILITY MARK EXACT LOCATIONS PRIOR TO CONSTRUCTION.



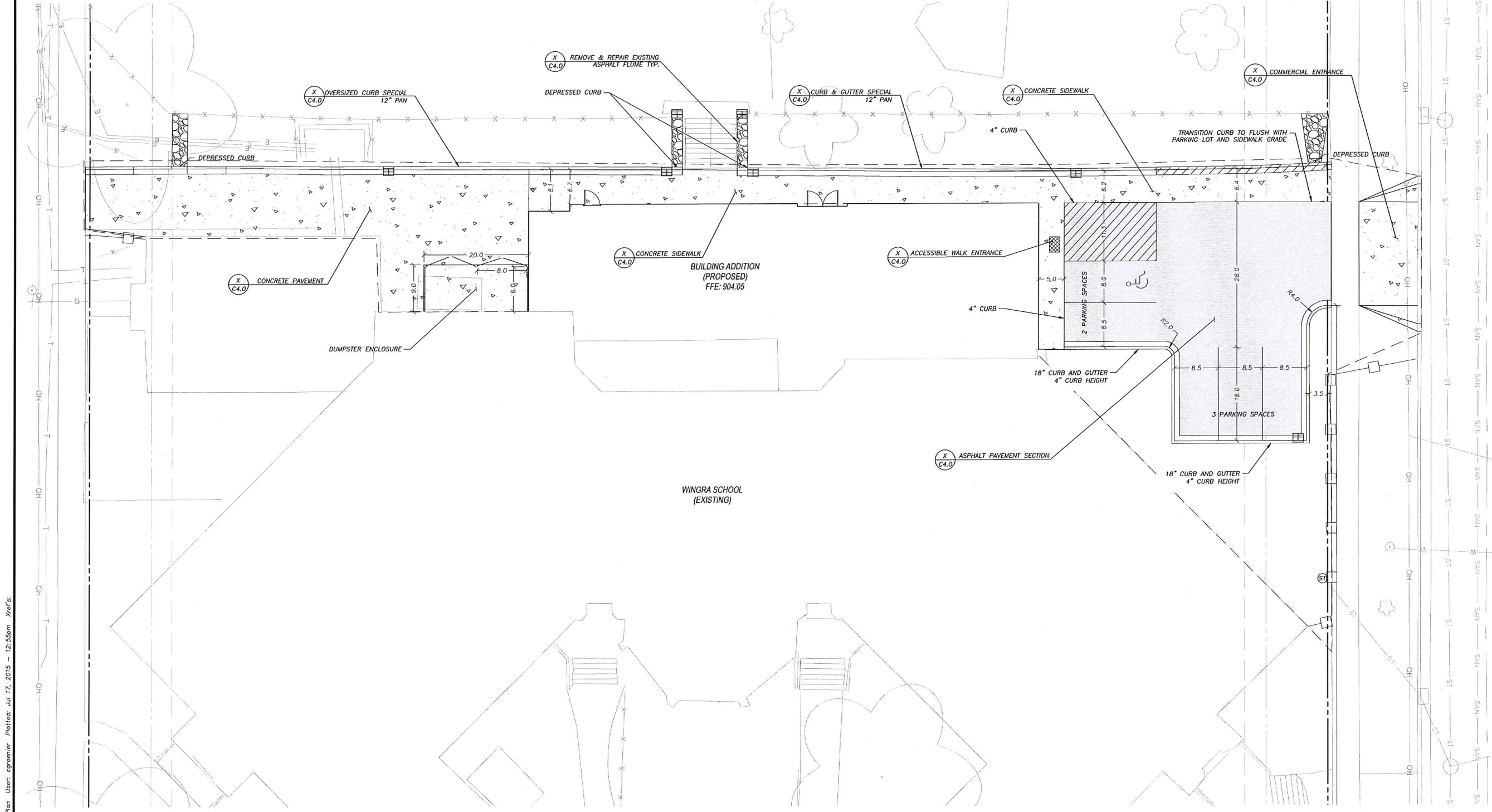
I, BRADLEY T. TISDALE, REGISTERED LAND SURVEYOR, HEREBY CERTIFY TO WINGRA SCHOOL THAT I HAVE SURVEYED AND MAPPED THE PROPERTY SHOWN UPON THIS PLAN AND THAT THE WITHIN PLAN IS A CORRECT REPRESENTATION OF THE BOUNDARIES OF THE LAND SURVEYED TO THE BEST OF MY INFORMATION, KNOWLEDGE, AND BELIEF.

I FURTHER CERTIFY THAT I HAVE COMPLIED WITH CHAPTER A.7 OF THE ADMINISTRATIVE CODE OF THE STATE OF WISCONSIN FOR MINIMUM STANDARDS FOR PROPERTY SURVEYS TO THE BEST OF MY KNOWLEDGE AND BELIEF.

*Bradley Tisdale* 2-27-15  
BRADLEY T. TISDALE, REGISTERED LAND SURVEYOR #5-2324  
MSA PROFESSIONAL SERVICES, P.C.







File: I:\2015\156655E\DWG\15-6655E Civil Design.dwg Layout: C1.0 - Site Plan User: cgroner Plotted: Jul 17, 2015 - 12:55pm Xref: s:

**LEGEND (PROPOSED)**

- PROPERTY LINE
- PROPOSED BUILDING OUTLINE
- EDGE OF PAVEMENT
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- CURB AND GUTTER
- REJECT CURB & GUTTER

**GENERAL NOTES**

1. REFER TO THE EXISTING CONDITIONS SURVEY, CONDUCTED ON FEBRUARY 20TH 2015, BY JSD PROFESSIONAL SERVICES FOR EXISTING CONDITIONS NOTES AND LEGEND.
2. ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION AND CITY OF MADISON REQUIREMENTS.
3. NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES UNLESS OTHERWISE SHOWN.
4. THIS PROJECT HAS BEEN DESIGNED AND WILL BE CONSTRUCTED IN COMPLIANCE WITH ALL OF THE WDR WRAPP PERMIT APPLICATION STANDARDS.

**SITE PLAN NOTES**

1. ALL DIMENSIONS TO FACE OF CURB UNLESS OTHERWISE NOTED.
2. ALL RADI TO FACE OF CURB UNLESS OTHERWISE NOTED.
3. ALL PRIVATE CURB AND GUTTER SHALL BE 18" STANDARD CURB AND GUTTER. ANY REQUIRED REPLACEMENT OF PUBLIC CURB AND GUTTER SHALL MATCH EXISTING AND MEET THE REQUIREMENTS OF THE CITY OF VERONA.
4. CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER.
5. CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 24' ON CENTER.
6. EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED.
7. ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK-26UV CONCRETE SEALANT.
8. USE 4" WIDE, HIGH VISIBILITY YELLOW LATEX PAINT FOR STALL LINES.
9. MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY.
10. 2' x 4' TRUNCATED DOME SECTIONS SHALL BE PLACED AT ALL ADA RAMP.
11. BIKE RACKS SHALL BE LOCATED ON A 4" THICK CONCRETE PAD OVER 4" OF AGGREGATE BASE. EACH BIKE PARKING STALL SHALL BE AT LEAST 2'x6'. BIKE RACK SHALL BE APPROVED BY OWNER AND INSTALLED INTEGRAL TO THE CONCRETE PAD.
12. DETAILS OF WALK LAYOUT WILL BE PROVIDED IN ELECTRONIC FORMAT FOR LAYOUT.
13. SEE LANDSCAPE PLANS FOR HARDSCAPE AND LANDSCAPE OF SPECIAL GARDEN AREAS AS NOTED.

**JSD Professional Services, Inc.**  
 • Engineers • Surveyors • Planners

"BUILDING RELATIONSHIPS WITH A COMMITMENT TO CLIENT SATISFACTION THROUGH TRUST, QUALITY AND EXPERIENCE"

- CIVIL ENGINEERING
- SURVEYING & MAPPING
- CONSTRUCTION SERVICES
- WATER RESOURCES
- PLANNING & DEVELOPMENT
- TRANSPORTATION ENGINEERING
- STRUCTURAL ENGINEERING
- LANDSCAPE ARCHITECTURE

MADISON REGIONAL OFFICE  
 161 HORIZON DRIVE, SUITE 101  
 VERONA, WISCONSIN 53593  
 608.848.5060 PHONE | 608.848.2255 FAX  
 MADISON | MILWAUKEE  
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SERVICES PROVIDED TO:  
**EPPSTEIN UHEN ARCHITECTS**

222 WEST WASHINGTON AVE.  
 MADISON, WI 53703-2775

PROJECT:  
**WINGRA SCHOOL BUILDING ADDITION**

PROJECT LOCATION:  
 718 GILMORE STREET  
 MADISON, WI 53711  
 JSD PROJECT NO.: 15-6655E

SEAL/SIGNATURE:  
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DESIGN:	PGB	7/13/2015
DRAWN:	PGB	7/13/2015
APPROVED:	BHD	7/14/2015

PLAN MODIFICATIONS:	DATE:
UDC SUBMITTAL	7/22/2015

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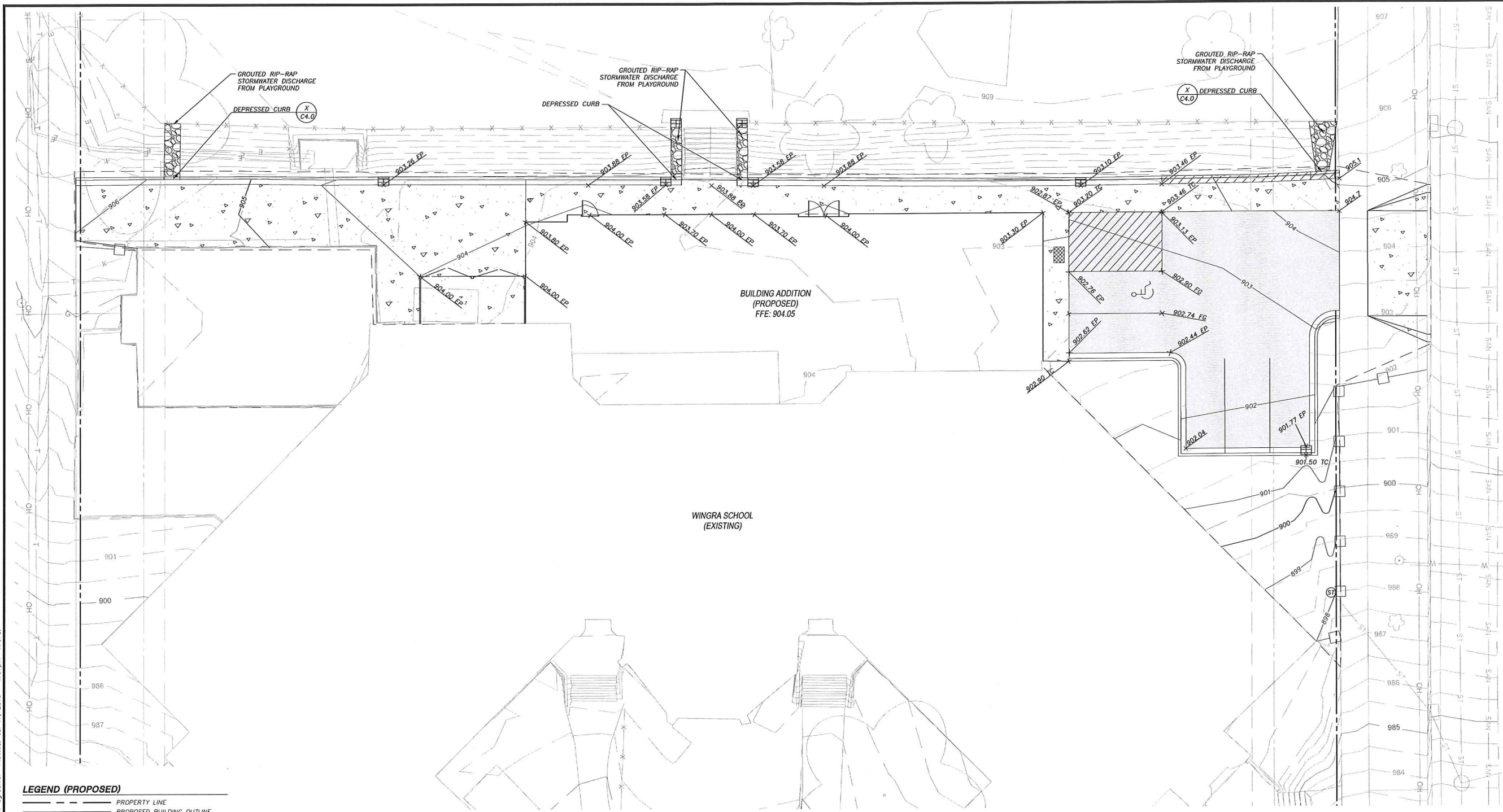
SHEET TITLE:  
**SITE PLAN**

SHEET NUMBER:  
**C1.0**

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**LEGEND (PROPOSED)**

- PROPERTY LINE
- PROPOSED BUILDING OUTLINE
- LIMITS OF DISTURBANCE
- 904 PROPOSED 1 FOOT CONTOUR
- 905 PROPOSED 5 FOOT CONTOUR
- 904 EXISTING 1 FOOT CONTOUR
- 904.5 EXISTING .5 FOOT CONTOUR
- 905 EXISTING 5 FOOT CONTOUR
- EDGE OF PAVEMENT
- SILT FENCE
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- CURB AND GUTTER
- REJECT CURB & GUTTER
- SPOT ELEVATION
- EP - EDGE OF PAVEMENT
- TC - TOP OF CURB
- FG - FINAL GRADE

**GENERAL NOTES**

1. REFER TO THE EXISTING CONDITIONS SURVEY, CONDUCTED ON FEBRUARY 20TH 2015, BY MSA PROFESSIONAL SERVICES FOR EXISTING CONDITIONS NOTES AND LEGEND.
2. ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION AND CITY OF MADISON REQUIREMENTS.
3. NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES UNLESS OTHERWISE SHOWN.
4. THIS PROJECT HAS BEEN DESIGNED AND WILL BE CONSTRUCTED IN COMPLIANCE WITH ALL OF THE WDNR WRAPP PERMIT APPLICATION STANDARDS.

**CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS**

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE DESIGNED AND IMPLEMENTED IN ACCORDANCE WITH THE CURRENT DEPARTMENT OF NATURAL RESOURCES EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS WHICH ARE AVAILABLE AT: <http://www.dnr.state.wi.us/funoff/stormwater/techstds.htm>
2. INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WDNR TECHNICAL STANDARDS.
3. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
4. INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
5. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.
6. INSTALL A TRACKING PAD, 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE. TRACKING PADS ARE TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED BY THE MUNICIPALITY.
7. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES AND PROVIDE TEMPORARY SEEDING ON STOCKPILES WHICH ARE TO REMAIN IN PLACE FOR MORE THAN 7 DAYS.
8. INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES AND IN FRONT OF SILT FENCING IN ANY LOW AREA ALL IN ACCORDANCE WITH WDNR TECHNICAL STANDARDS.

**CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS, CONT.**

9. EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
  - A. PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
  - B. BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
  - C. DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD NO. 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
10. INSTALL TYPE D INLET PROTECTION AROUND ALL STORM SEWER INLETS AND CATCH BASINS THAT MAY RECEIVE RUNOFF FROM AREAS UNDER CONSTRUCTION.
11. APPLY ANIONIC POLYMER TO DISTURBED AREAS IF EROSION BECOMES PROBLEMATIC.
12. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, AND/OR ENGINEER SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
13. ALL SLOPES EXCEEDING 5:1 (20%) AND DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING OR APPLICATION OF A WDOT APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED. CONTRACTOR SHALL PROVIDE PRODUCT SPECIFICATIONS TO PROJECT ENGINEER FOR APPROVAL. SLOPES 3:1 (33%) SHALL BE STABILIZED AS SOON AS PRACTICABLE FOLLOWING GRADING ACTIVITIES ARE COMPLETE.
14. CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON VEGETATIVE STABILIZATION AND/OR PROPERTY SALE IN ACCORDANCE WITH WISCONSIN SAFETY AND PROFESSIONAL SERVICES REQUIREMENTS.
15. CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO WDNR TECHNICAL STANDARD 106B.
16. CONTRACTOR TO PROVIDE SOLID LID OR METAL PLATE ON ALL OPEN MANHOLES DURING CONSTRUCTION TO MINIMIZE SEDIMENT FROM ENTERING THE STORM SEWER SYSTEM.
17. ALL APRON ENDWALLS SHALL BE PROVIDED WITH RIP RAP PER DETAILS.

**GRADING AND SEEDING NOTES**

1. ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
2. ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
3. CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES WITH SILT FENCING FOR EROSION CONTROL UNTIL CONSTRUCTION IS COMPLETED AND NOTICE OF TERMINATION FILED.
4. CONTRACTOR SHALL CHISEL-PLOW OR DEEP TILL WITH DOUBLE TINES ALL STORMWATER MANAGEMENT FACILITIES JUST PRIOR TO SEEDING AND MULCHING TO PROMOTE INFILTRATION.
5. CONTRACTOR SHALL WATER ALL NEWLY SEEDING AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
6. CONTRACTOR TO DEEP TILL ALL COMPACTED PERVIOUS SURFACES PRIOR TO SEEDING AND MULCHING.
7. THE CONTRACTOR SHALL NOTIFY THE CITY OF MADISON TWO (2) WORKING DAYS IN ADVANCE OF ANY SOIL DISTURBING ACTIVITY.
8. IF GRADING ACTIVITIES STOP ON ANY PORTION OF LAND FOR 14 OR MORE CALENDAR DAYS, THE AREA IN QUESTION MUST BE TEMPORARILY STABILIZED.
9. ALL SLOPES 20% OR GREATER SHALL BE TEMPORARILY SEEDING, MULCHED, OR OTHER MEANS OF COVER PLACED ON THEM WITHIN 2 WEEKS OF DISTURBANCE. ALL SLOPES 33% OR GREATER SHALL BE TEMPORARILY SEEDING, MULCHED, OR OTHER MEANS OF COVER PLACED ON THEM AS SOON AS PRACTICABLE.
10. WATER FLOWING DIRECTLY INTO BIORETENTION BASINS OR RAIN GARDENS SHALL BE TEMPORARILY DIVERTED FOR 60 DAYS TO ALLOW FOR PLANTING GROWTH.

**JSD Professional Services, Inc.**  
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"BUILDING RELATIONSHIPS WITH A COMMITMENT TO CLIENT SATISFACTION THROUGH TRUST, QUALITY AND EXPERIENCE"

- CIVIL ENGINEERING
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- CONSTRUCTION SERVICES
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- PLANNING & DEVELOPMENT
- TRANSPORTATION ENGINEERING
- STRUCTURAL ENGINEERING
- LANDSCAPE ARCHITECTURE

MADISON REGIONAL OFFICE  
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SERVICES PROVIDED TO:  
**EPPSTEIN UHEN ARCHITECTS**

222 WEST WASHINGTON AVE.  
 MADISON, WI 53703-2775

PROJECT:  
**WINGRA SCHOOL BUILDING ADDITION**

PROJECT LOCATION:  
 718 GILMORE STREET  
 MADISON, WI 53711

JSD PROJECT NO.: 15-6655E

SEAL/SIGNATURE:

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DESIGN: PGB 7/13/2015  
 DRAWN: PGB 7/13/2015  
 APPROVED: BHD 7/14/2015

PLAN MODIFICATIONS:	DATE:
UDC	7/22/15

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SHEET TITLE:  
**GRADING AND EROSION CONTROL PLAN**

SHEET NUMBER:  
**C2.0**

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Existing West Shady Zone

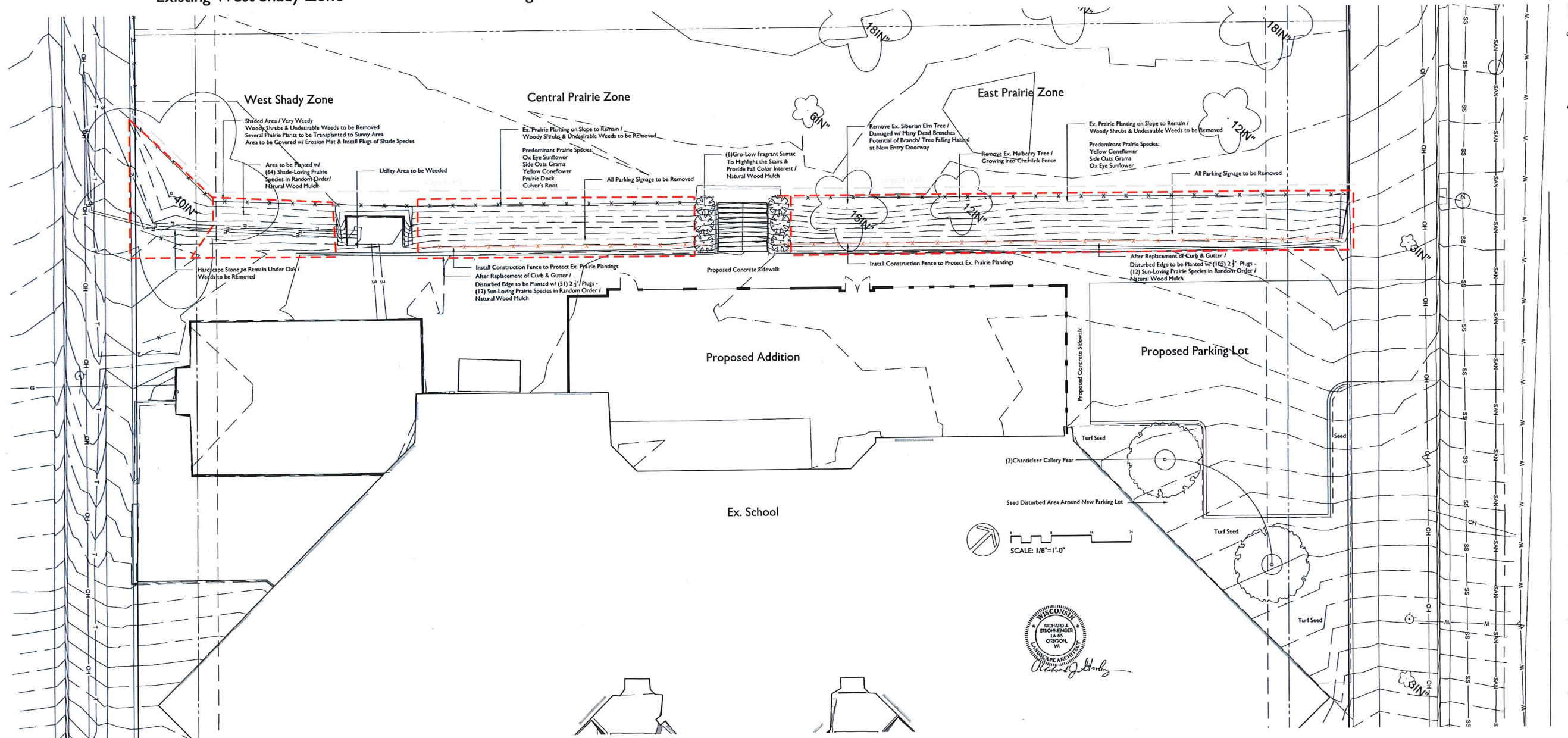


Existing Central Prairie Zone



Existing East Prairie Zone

Images of Existing Prairie Plantings



**GENERAL NOTES**

A) Areas labeled 'Natural Wood Mulch' spread to a 3" depth over pre-emergent herbicide.

B) Individual trees (and shrub groupings) found along perimeter of property as well as those found within lawn areas to receive wood mulch (not fine wood mulch) spread to a minimum 3" depth (3" wide beds for shrub groupings).

C) "Seed" areas shall be finish-graded and seeded at a rate of 4 lbs. per 1,000 sq. ft.

D) Seed shall consist of the following mixture:  
10% Parnassia  
20% Dracaena  
20% Dianthus  
20% Eryngium  
15% Sedum  
15% Thymus

E) Areas labeled "Seed with Straw Erosion Matting" shall be seeded with the above-noted premium lawn seed mixture and covered with 2275 straw erosion control matting that is then pressed into the soil with metal staples.

F) Existing street trees shall be protected. Contractor shall install tree protection fencing in the area between the curb and sidewalk and extend it at least 5 feet from both sides of the tree along the length of the terrace. An excavation is permitted within 5 feet of the outside edge of the tree trunk if excavation within 5 feet of any tree is necessary, contractor shall contact City Forestry (608)266-4816 prior to excavation to assess the impact to the tree and root system. Tree pruning shall be coordinated with City Forestry. Tree protection specifications can be found in section 107.13 of City of Madison Standard Specifications for Public Works Construction.  
<http://www.cityofmadison.com/business/pw/documents/StdSpec/2013/>

G) Contractor shall contact City Forestry (608)266-4816 at least one week prior to installing street trees to schedule inspecting the nursery stock and reviewing landscaping specifications with the landscape.

**Broadleaf Deciduous**

Quantity	Common Name	Scientific Name	Planting Size
2	Chanticleer Callery Pear	Pyrus Calleryana 'chanticleer'	2 1/2" B&B

**Shrub**

Quantity	Common Name	Scientific Name	Planting Size
6	Gro-Low Fragrant Sumac	Rhus Aromatica 'gro-Low'	#5 CONT.

**Plant Material List**

Quantity	Common Name	Scientific Name	Planting Size
13	BIG BLUESTEM	ANDROPOGON GERARDII	2.5" POT
13	LITTLE BLUESTEM	SCHIZACHYRIUM SCOPARIUM	2.5" POT
13	INDIAN GRASS	SORBASTRUM NUTANS	2.5" POT

**FORBS**

Quantity	Common Name	Scientific Name	Planting Size
13	SMOOTH ASTER	ASTER LAEVIS	2.5" POT
13	COLUMBINE	AQUILEGIA CANADENSIS	2.5" POT
13	PURPLE CONEFLOWER	ECHINACEA PURPUREA	2.5" POT
13	PRairie BLAZING STAR	LITHRIS Pycnostachya	2.5" POT
13	BERGAMOT	MONARDA fistulosa	2.5" POT
13	YELLOW CORNFLOWER	RATIBIDA pinnata	2.5" POT
13	SWEET BLACK-EYED SUSAN	RUDBECKIA subtomentosa	2.5" POT
13	STIFF GOLDENROD	SOLIDAGO rigidula	2.5" POT
13	CULVERS ROOT	VERONICASTRUM virginicum	2.5" POT
13	GOLDEN ALEXANDER	Zizia aurea	2.5" POT

**SUN-LOVING PRAIRIE PLANT LIST**

Quantity Common Name Scientific Name Planting Size Plant Spacing  
(Planting schedule based on 12" on center spacing)

**GRASSES**

Quantity	Common Name	Scientific Name	Planting Size	Plant Spacing
8	SILKY WILD RYE	ELYMUS VILLOsus	2.5" POT	12" O.C. Rect. Spacing
8	BOTTLEBRUSH GRASS	HYSTRIX PATULA	2.5" POT	12" O.C. Rect. Spacing
8	LITTLE BLUESTEM	SCHIZACHYRIUM SCOPARIUM	2.5" POT	12" O.C. Rect. Spacing

**FORBS**

Quantity	Common Name	Scientific Name	Planting Size	Plant Spacing
8	LAVENDER HYSSOP	AGASTACHE FOENICULUM	2.5" POT	12" O.C. Rect. Spacing
8	COLUMBINE	AQUILEGIA CANADENSIS	2.5" POT	12" O.C. Rect. Spacing
8	DOWNY WOOD MINT	BLEPHILIA ciliata	2.5" POT	12" O.C. Rect. Spacing
8	STIFF COREOPSIS	COREOPSIS palmata	2.5" POT	12" O.C. Rect. Spacing
8	WILD GERANIUM	WILD GERANIUM	2.5" POT	12" O.C. Rect. Spacing

**SHADE-LOVING PRAIRIE PLANT LIST**

Quantity Common Name Scientific Name Planting Size Plant Spacing  
(Planting schedule based on 12" on center spacing)

**GRASSES**

Quantity	Common Name	Scientific Name	Planting Size	Plant Spacing
8	SILKY WILD RYE	ELYMUS VILLOsus	2.5" POT	12" O.C. Rect. Spacing
8	BOTTLEBRUSH GRASS	HYSTRIX PATULA	2.5" POT	12" O.C. Rect. Spacing
8	LITTLE BLUESTEM	SCHIZACHYRIUM SCOPARIUM	2.5" POT	12" O.C. Rect. Spacing

**FORBS**

Quantity	Common Name	Scientific Name	Planting Size	Plant Spacing
8	LAVENDER HYSSOP	AGASTACHE FOENICULUM	2.5" POT	12" O.C. Rect. Spacing
8	COLUMBINE	AQUILEGIA CANADENSIS	2.5" POT	12" O.C. Rect. Spacing
8	DOWNY WOOD MINT	BLEPHILIA ciliata	2.5" POT	12" O.C. Rect. Spacing
8	STIFF COREOPSIS	COREOPSIS palmata	2.5" POT	12" O.C. Rect. Spacing
8	WILD GERANIUM	WILD GERANIUM	2.5" POT	12" O.C. Rect. Spacing

WINGRA SCHOOL BLDG. ADDITION - LANDSCAPE PLAN

718 Gilmore Street  
Madison, Wisconsin  
53711

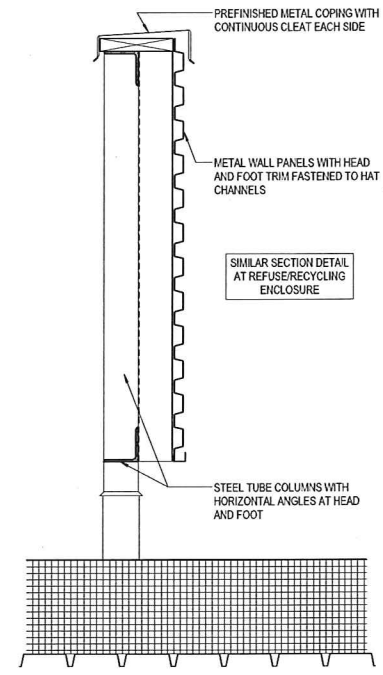
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Drawn By: 7/20/15 SR

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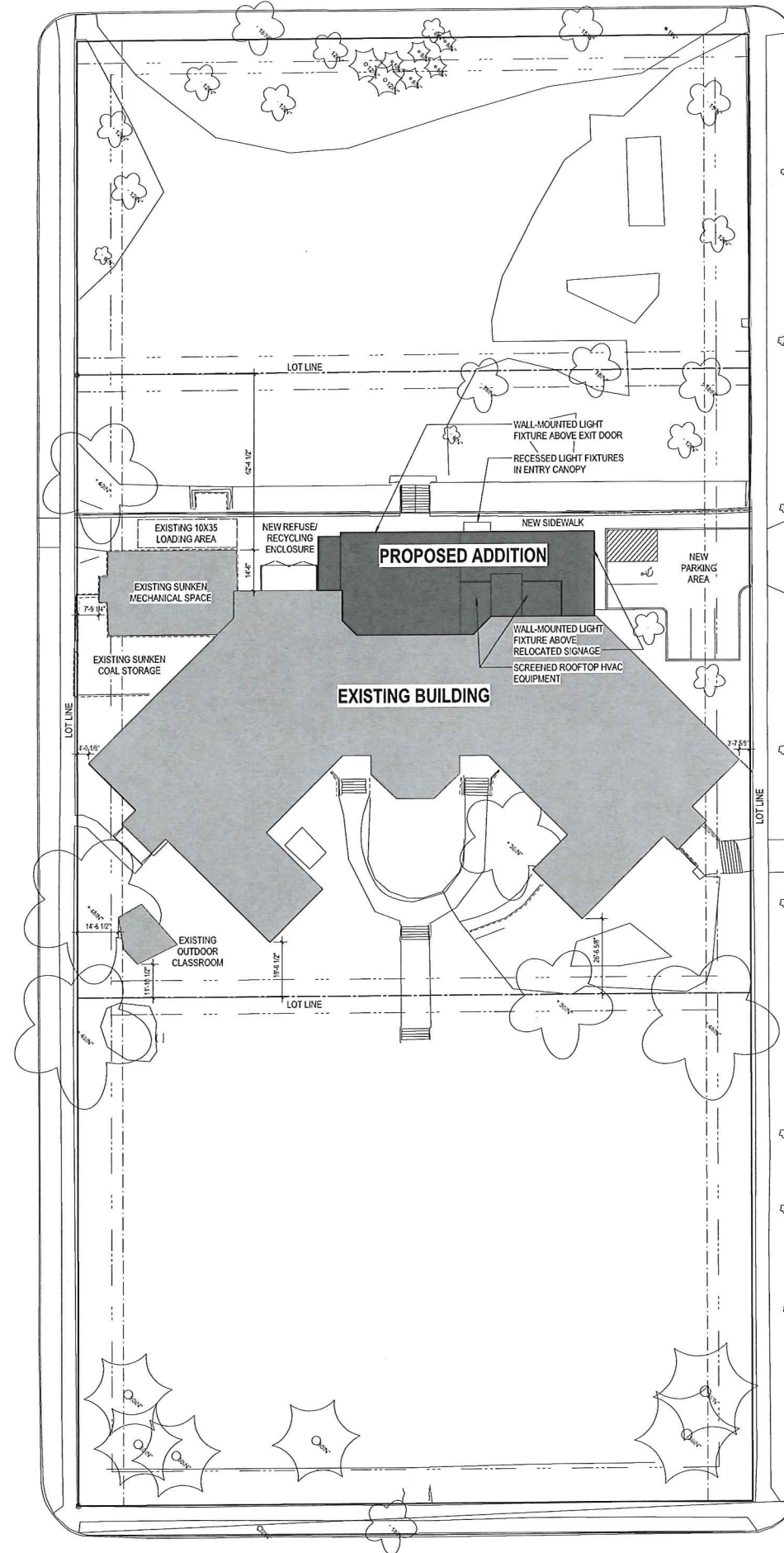




**D1** EXISTING SIGNAGE TO BE RELOCATED  
NTS



**B2** ROOFTOP SCREEN WALL  
1/12" = 1'-0"



**A4** ARCHITECTURAL SITE PLAN  
1" = 20'-0"



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madison 222 West Washington Ave. Suite 650  
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PROJECT INFORMATION

WINGRA SCHOOL  
ADDITION AND  
RENOVATION

MADISON, WI

ISSUANCE AND REVISIONS

LAND USE  
SUBMITTAL

#	DATE	DESCRIPTION

KEY PLAN

SHEET INFORMATION

PROGRESS DOCUMENTS

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PROJECT MANAGER JR

PROJECT NUMBER 714377-01

DATE 08/03/2015

ARCHITECTURAL  
SITE PLAN

**AS100**





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madison 222 West Washington Ave, Suite 650  
Madison, Wisconsin 53703  
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**PROJECT INFORMATION**

**WINGRA SCHOOL  
ADDITION AND  
RENOVATION**

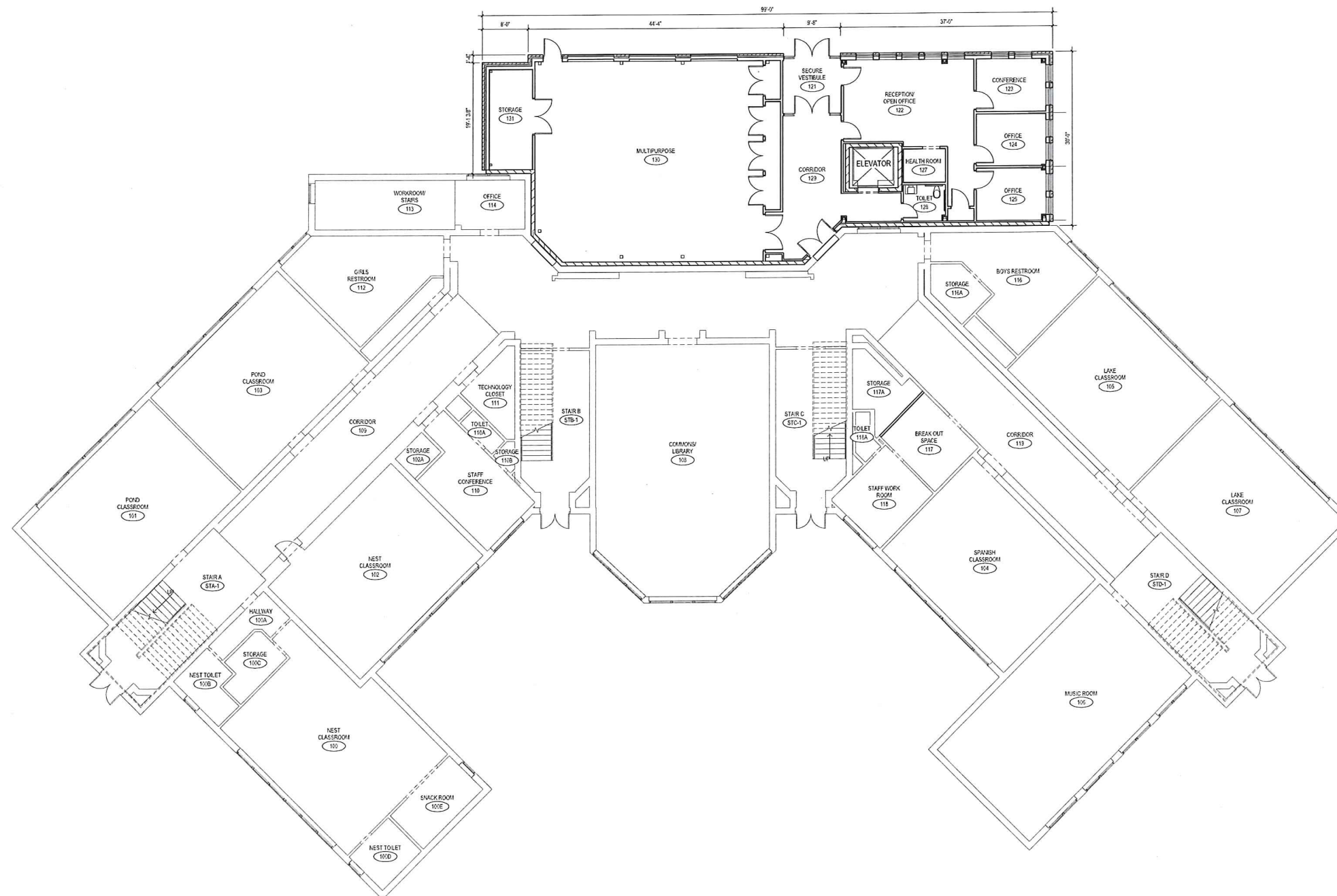
**MADISON, WI**

**ISSUANCE AND REVISIONS**

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SUBMITTAL**

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PROJECT NUMBER 714377-01

DATE 08/03/2015

**FIRST FLOOR PLAN**

**A101**

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**A1** FIRST FLOOR PLAN  
1/8" = 1'-0"



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**PROJECT INFORMATION**

**WINGRA SCHOOL  
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RENOVATION**

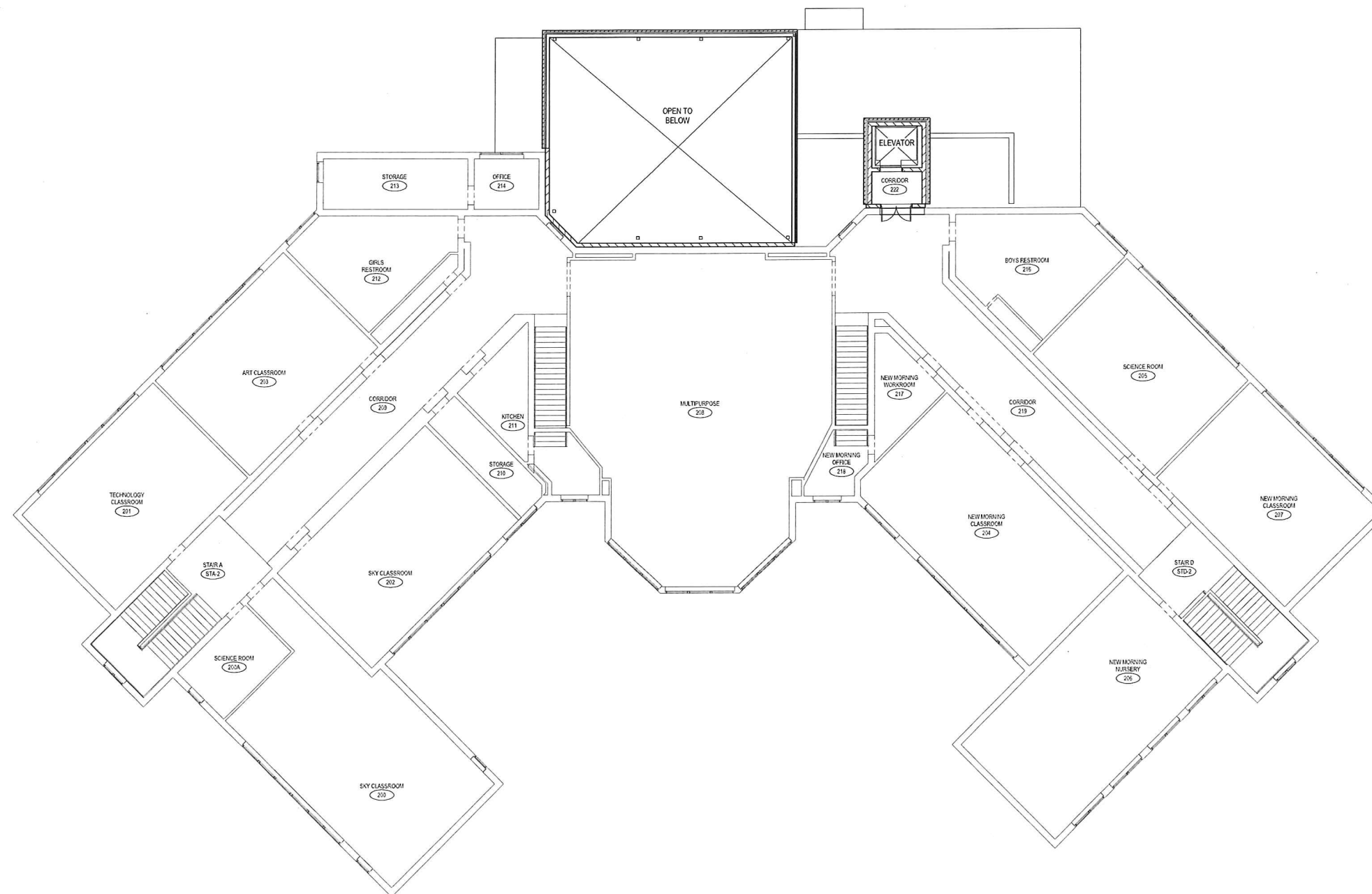
**MADISON, WI**

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SUBMITTAL**

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PROJECT MANAGER JR

PROJECT NUMBER 714377-01

DATE 08/03/2015

**SECOND FLOOR  
PLAN**

**A102**

**A1** SECOND FLOOR PLAN  
1/8"=1'-0"

PROJECT INFORMATION

WINGRA SCHOOL  
ADDITION AND  
RENOVATION

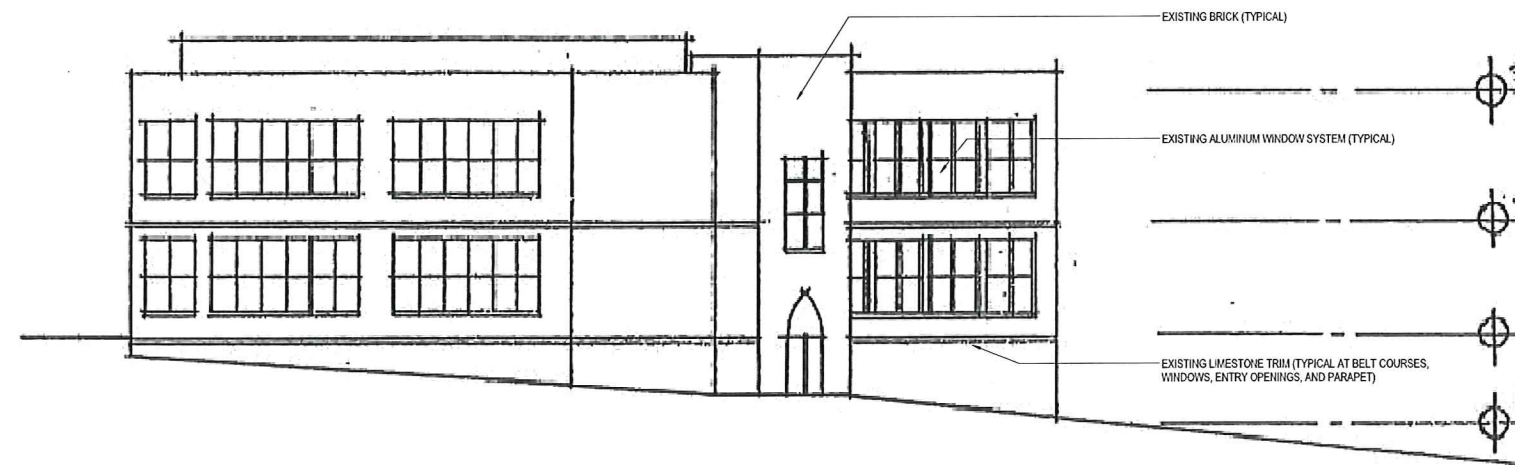
MADISON, WI

ISSUANCE AND REVISIONS

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KEY PLAN



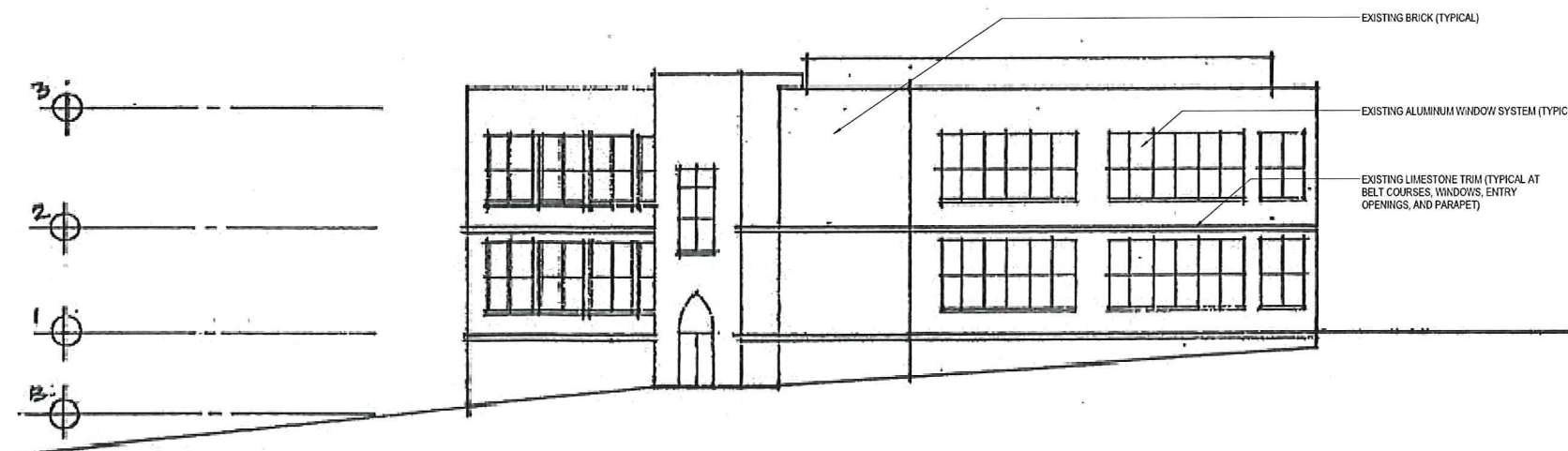
**D3** WEST EXTERIOR ELEVATION  
1/8" = 1'-0"

ELEVATION PROVIDED BY MARK ENGMAN OF BWZ ARCHITECTS AS PART OF 2007 LAND USE SUBMITTAL. IMAGE REPRINTED COURTESY OF BWZ ARCHITECTS.



**B1** SOUTH EXTERIOR ELEVATION  
1/8" = 1'-0"

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**A2** EAST EXTERIOR ELEVATION  
1/8" = 1'-0"

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SHEET INFORMATION

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PROJECT MANAGER JR

PROJECT NUMBER 714377-01

DATE 08/03/2015

EXTERIOR  
ELEVATIONS

**A200**





**D1** VIEW FROM GILMORE ST  
1/8" = 1'-0"



**D3** PROPOSED EAST ELEVATION  
1/8" = 1'-0"



**B1** PARTIAL PROPOSED NORTH ELEVATION  
1/8" = 1'-0"



**A1** VIEW FROM WESTERN AVE  
1/8" = 1'-0"



**A3** PROPOSED WEST ELEVATION  
1/8" = 1'-0"



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**PROJECT INFORMATION**

**WINGRA SCHOOL  
ADDITION AND  
RENOVATION**  
  
MADISON, WI

**ISSUANCE AND REVISIONS**

**LAND USE  
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#	DATE	DESCRIPTION

**KEY PLAN**

**SHEET INFORMATION**

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PROJECT NUMBER 714377-01  
DATE 08/03/2015

**EXTERIOR  
ELEVATIONS**

**A201**

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PROJECT INFORMATION

WINGRA SCHOOL  
ADDITION AND  
RENOVATION  
MADISON, WI

ISSUANCE AND REVISIONS

LAND USE  
SUBMITTAL

#	DATE	DESCRIPTION



C2 AERIAL PERSPECTIVE  
RTS

KEY PLAN



B1 PROPOSED NORTH ELEVATION  
1/8" = 1'-0"

EXTERIOR FINISHES OF PROPOSED ADDITION  
 MODULAR BRICK AS PREVIOUSLY REVIEWED (AUTUMN BLEND, VERTICAL MATT)  
 ROOF EDGE METAL TO MATCH COLOR OF EXISTING LIMESTONE TRIM  
 METAL PANEL WITH TIGHT PATTERN (TYPICAL AT INSETS, SCREEN WALLS, BRICK  
 SEPARATIONS, AND UNDER WINDOWS)  
 METAL PANEL WITH LOOSE PATTERN (TYPICAL UNDER WINDOWS; ALSO BETWEEN  
 MULTIPURPOSE WINDOWS)  
 PRECAST LINTELS AND BELT COURSE TO MATCH COLOR OF EXISTING LIMESTONE  
 METAL FASCIA AT ENTRY CANOPY AND BETWEEN PAIRED WINDOWS (TYPICAL)  
 ALUMINUM FRAMING AT WINDOWS AND MAIN ENTRY TO MATCH EXISTING WINDOWS  
 FLUSH HOLLOW METAL EXIT DOOR TO MATCH COLOR OF METAL PANEL

SHEET INFORMATION

PROGRESS DOCUMENTS

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 PROJECT NUMBER 714377-01  
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EXTERIOR  
ELEVATIONS

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