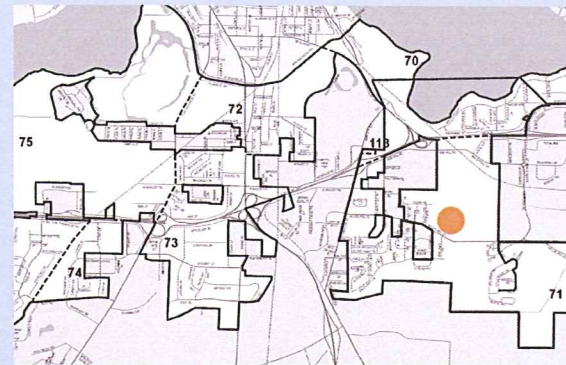


Nob Hill Apartments Neighborhood Context Exhibit

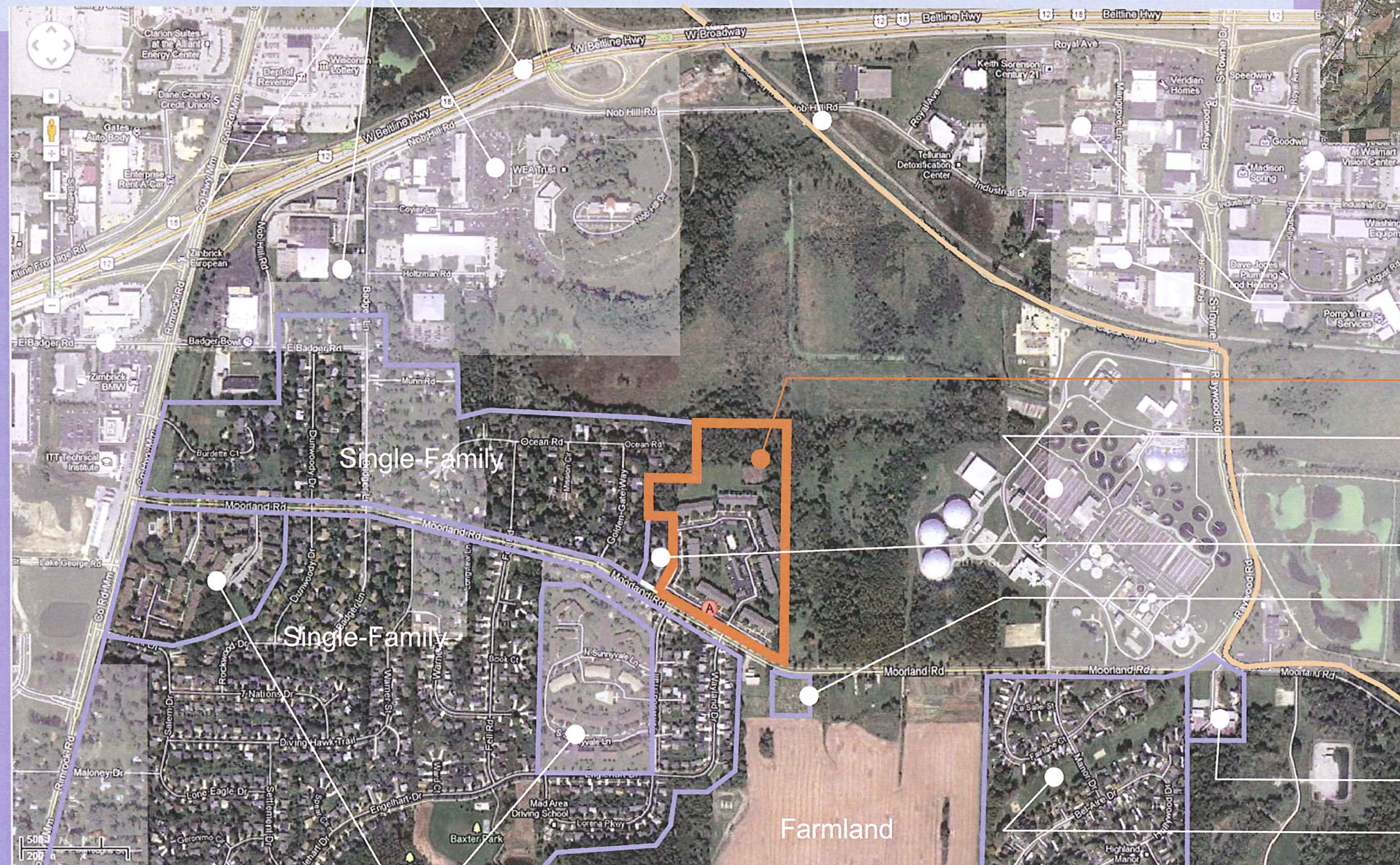
Capital City Trail
Beltline Highway
Commercial



City of Madison Wards - District 14



LOCATION



Commercial / Light Industrial

Nob Hill Apartments

Nine Springs Sewage Treatment
Madison Metropolitan Sewer District

Duplexes

Community Gardens

The Farm - Tavern

Highland Manor - Mobile Home Park

Multi-Family

Farmland

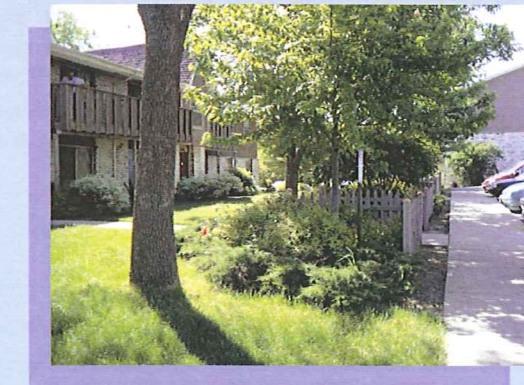
Single-Family

Single-Family

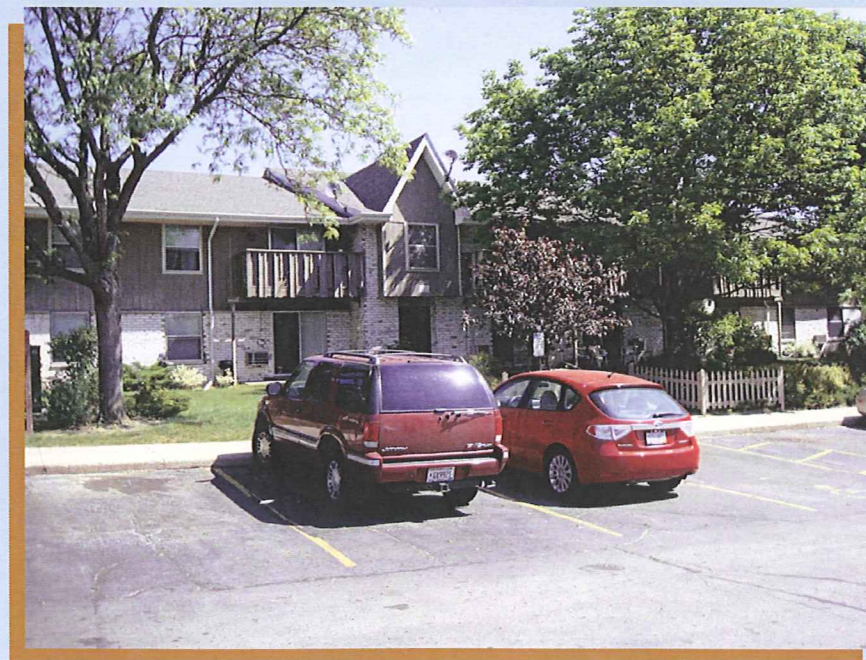
Nob Hill Apartments
Neighborhood Photos



Nob Hill Apartments
Existing Site Photos



Nob Hill Apartments
Existing Site Photos





KEY

	NEW CLUBHOUSE
	NEW GARAGES
	EXISTING APARTMENT BLDGS.
	EXISTING GARAGES
	PLAYGROUND
	BASKETBALL COURT
	GARDENS
	SOCCER FIELD
	COVERED COMMUNITY PATIO
	BIKE RACK
	GARDEN STORAGE SHED
	DUMPSTER ENCLOSURE



identity 1

shakes



identity 2

board & battens



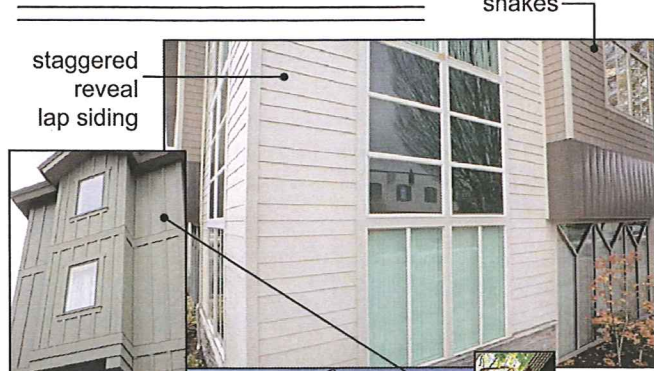
identity 3

shakes / lap siding

building elevations



inspiration photos



shakes

staggered reveal lap siding

board & batten

deep color palette

identity 1

shakes

identity 2

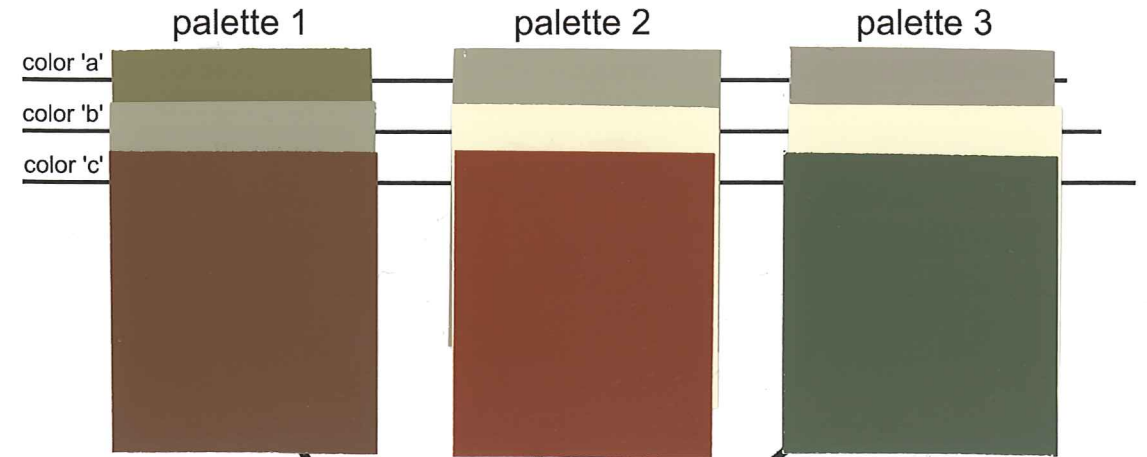
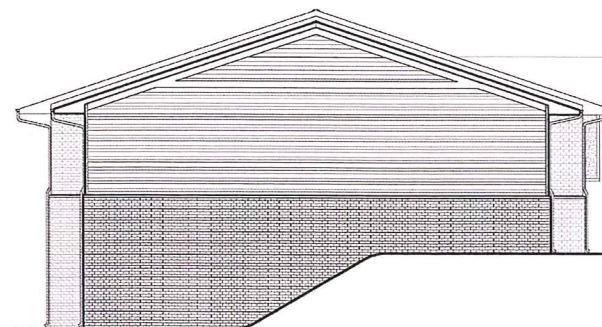
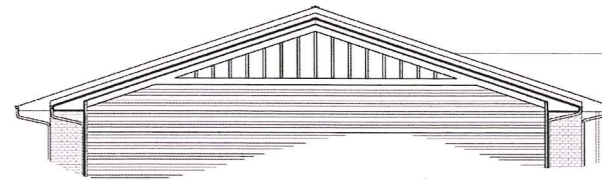
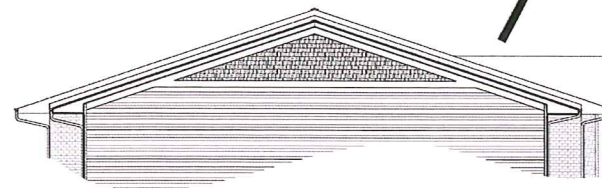
board & battens

identity 3

shakes / lap siding

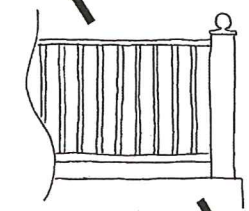
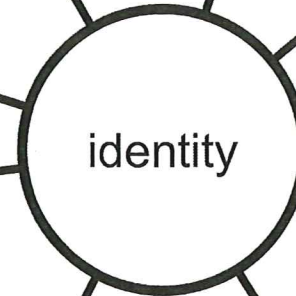
see full building elevations for further material information

building end gables



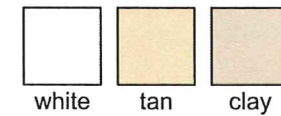
schemes

	identity	color palette	railing
Building A	1	1	round
Building B	2	2	square
Building C	3	3	round
Building D	1	1	square
Building E	2	2	round
Building F	3	3	square
Building G	2	2	round



round ornamental newel

railing colors:

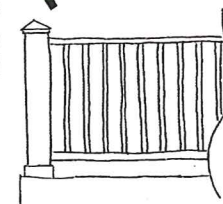


white

tan

clay

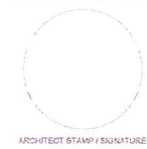
square built-up newel



DRAWING SET IDENTIFIER

PROJECT MASTER SET

- BUILDING 'A'
- BUILDING 'B'
- BUILDING 'C'
- BUILDING 'D'
- BUILDING 'E'
- BUILDING 'F'
- BUILDING 'G'
- BUILDING 'H'
- CLUBHOUSE
- GARAGE #1
- GARAGE #2
- GARAGE #3
- GARAGE #4
- GARAGE #5
- GARAGE #6
- GARAGE #7
- GARAGE #8
- GARAGE #9
- GARAGE #10
- GARAGE #11
- GARAGE #12
- GARAGE #13



HUD PROJECT #:
TBD

OWNER:
NOB HILL APARTMENTS LLC
710 NORTH PLANKINTON AVENUE
SUITE 1200
MILWAUKEE, WI 53203

PROJECT:
NOB HILL APARTMENTS
1108 MOORLAND ROAD
MADISON, WI 53713

SHEET ISSUE:
JUNE 26, 2012

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REVISIONS:
#01 JULY 16, 2012

JOB NUMBER:
1206230

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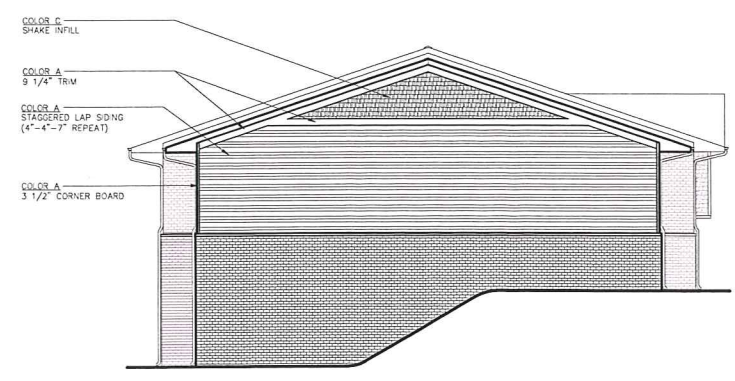
ID#1



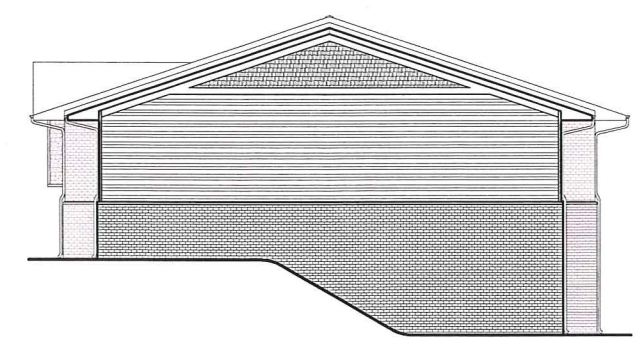
IDENTITY #1
FRONT ELEVATION
SCALE: 1/8" = 1'-0"



IDENTITY #1
REAR ELEVATION
SCALE: 1/8" = 1'-0"



IDENTITY #1
LEFT ELEVATION
SCALE: 1/8" = 1'-0"



IDENTITY #1
RIGHT ELEVATION
SCALE: 1/8" = 1'-0"

DRAWING SET IDENTIFIER

PROJECT MASTER SET

- BUILDING X
- BUILDING Y
- BUILDING Z
- BUILDING 1
- BUILDING 2
- BUILDING 3
- BUILDING 4
- BUILDING 5
- BUILDING 6
- BUILDING 7
- BUILDING 8
- BUILDING 9
- BUILDING 10
- BUILDING 11
- BUILDING 12
- BUILDING 13



ARCHITECT STAMP / SIGNATURE

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REVISIONS:

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JOB NUMBER:
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SHEET

ID#2

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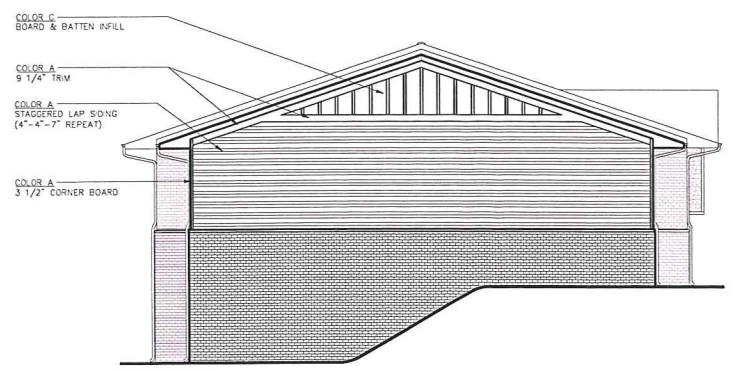
IDENTITY #2
FRONT ELEVATION

SCALE: 1/8" = 1'-0"
0 5 10



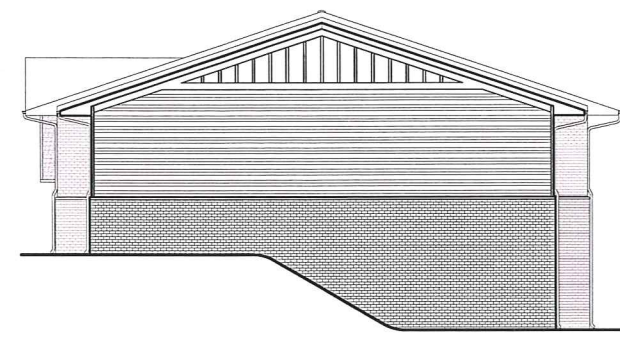
IDENTITY #2
REAR ELEVATION

SCALE: 1/8" = 1'-0"
0 5 10



IDENTITY #2
LEFT ELEVATION

SCALE: 1/8" = 1'-0"
0 5 10



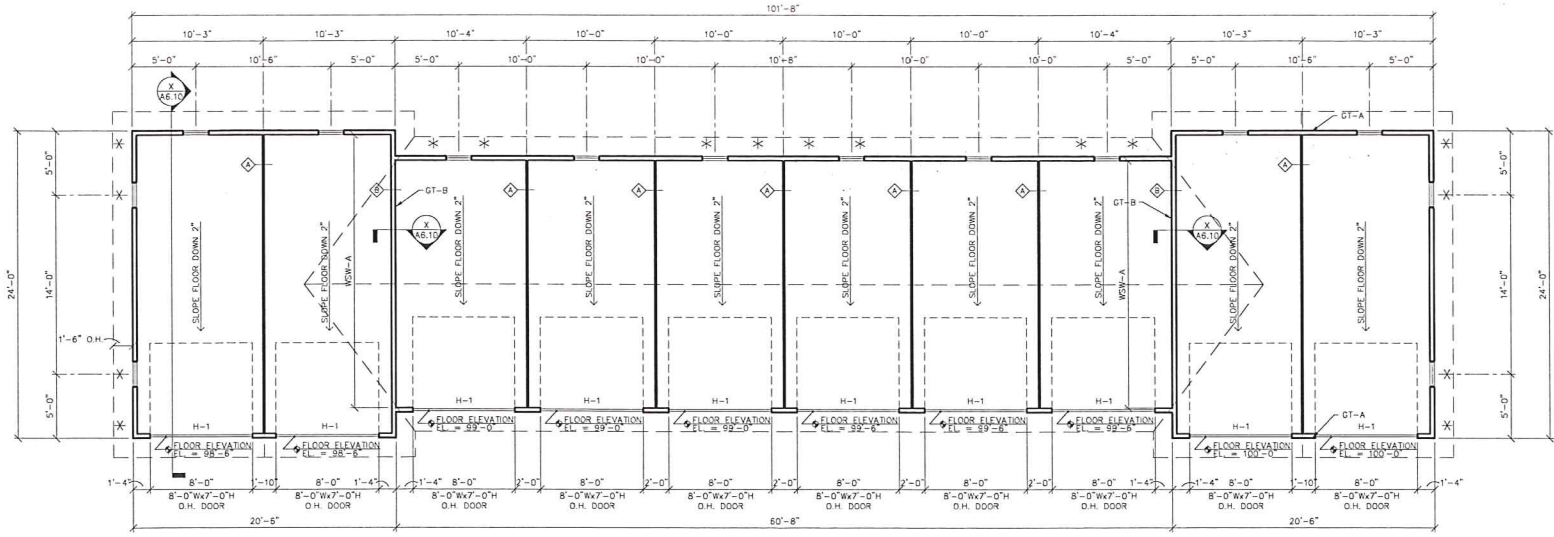
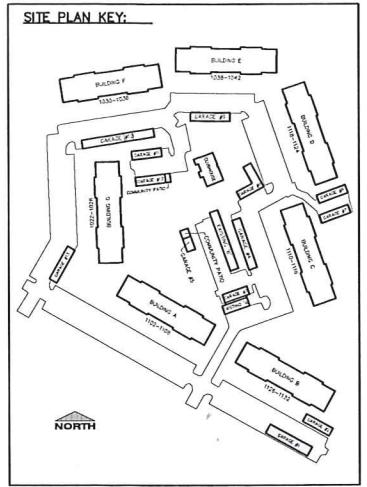
IDENTITY #2
RIGHT ELEVATION

SCALE: 1/8" = 1'-0"
0 5 10

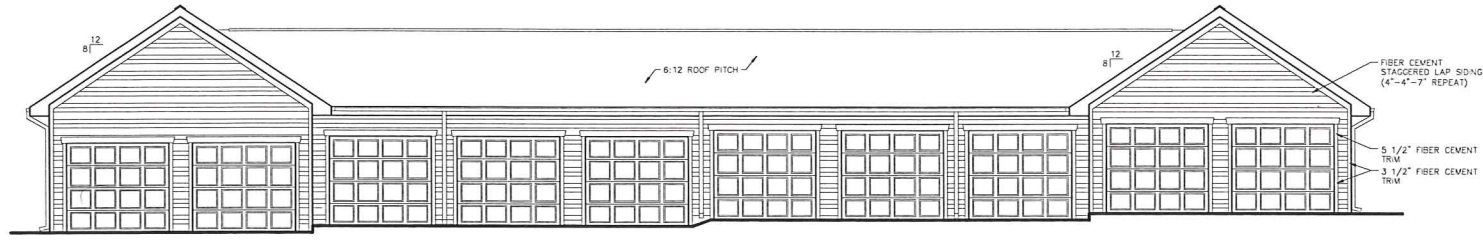


IDENTITY 1
COLOR PALLETTE 1

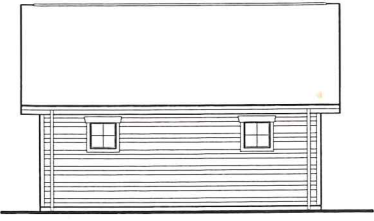
- GENERAL STRUCTURAL NOTES:**
- SEE DESIGN LOADS ON SHEET A6.10 FOR ALL DESIGN LOADS NOT SHOWN ON PLANS.
 - SEE CIVIL PLANS FOR FLOOR ELEVATIONS AT GARAGE OVERHEAD DOOR.
 - TRUSS MANUFACTURER TO PREPARE FINAL FRAMING PLANS FOR THE CONTRACTOR'S USE IN FIELD. NOTIFY ARCHITECT / ENGINEER OF ANY CHANGES.
 - SEE BUILDING CROSS SECTIONS AND DETAILS FOR TRUSS PROFILES.
 - SEE TRUSS MANUFACTURER'S DRAWING FOR WEB & LATERAL BRACING SIZE & LOCATION REQUIREMENTS - BRACING BY D.C.
 - ALL METAL TRUSS HANGERS BY TRUSS MANUFACTURER WHERE REQUIRED.
 - THE NUMBER AND SIZE OF NAILS CONNECTING WOOD MEMBERS SHALL NOT BE LESS THAN THAT SET FORTH IN I.B.C. TABLE 2304.9.1 "FASTENING SCHEDULE" - SEE STRUCTURAL DRAWINGS.
 - PROVIDE FULL DEPTH BLOCKING AT MID HEIGHT OF ALL INTERIOR BEARING WALLS.
 - EXCEPTION: AT INTERIOR BEARING WALLS THAT ARE PRE-SHEATHED BOTH SIDES WITH SHEATHING FASTENED AT 12" O.C., FULL DEPTH BLOCKING IS NOT REQUIRED.
 - USE (1) 'SIMPSON' #10.51 TRUSS ANCHOR @ EACH ROOF TRUSS BEARING LOCATION W/ (5) #4 NAILS INTO TRUSS & (5) #4 NAILS INTO V.N. DOUBLE PLATE.
 - UNLESS NOTED OTHERWISE, NAIL ROOF SHEATHING TO TOP OF ALL GABLE END TRUSSES W/ #4 NAILS @ 6" O.C.
 - UNLESS NOTED OTHERWISE, NAIL ROOF SHEATHING 8" O.C. @ PANEL EDGES W/ #4 NAILS, NAIL 12" O.C. (MAX.) @ INTERMEDIATE SUPPORTS.
 - UNLESS NOTED OTHERWISE, NAIL WALL SHEATHING 8" O.C. @ PANEL EDGES W/ #4 NAILS, NAIL 12" O.C. (MAX.) TO INTERMEDIATE SUPPORTS.
 - * INDICATES LOCATION OF TRUSS/RAFTER BLOCKING.
 - SEE DETAIL D/J FOR TYPICAL 2x BLOCKING AT ROOF TRUSSES WHEN REQUIRED.



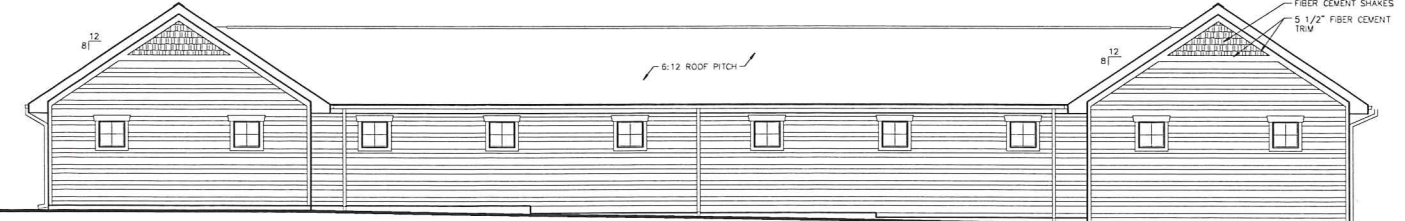
(10) GARAGES
GARAGE #1 FLOOR PLAN
SCALE: 3/16" = 1'-0"



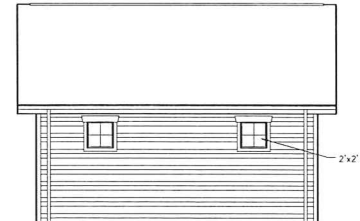
(7) GARAGES
GARAGE #1 FRONT ELEVATION
SCALE: 3/16" = 1'-0"



(7) GARAGES
GARAGE #1 SIDE ELEVATION
SCALE: 3/16" = 1'-0"



(7) GARAGES
GARAGE #1 REAR ELEVATION
SCALE: 3/16" = 1'-0"



(7) GARAGES
GARAGE #1 SIDE ELEVATION
SCALE: 3/16" = 1'-0"

DRAWING SET IDENTIFIER

PROJECT MASTER SET	
BUILDING A	
BUILDING B	
BUILDING C	
BUILDING D	
BUILDING E	
BUILDING F	
BUILDING G	
BUILDING H	
BUILDING I	
BUILDING J	
CLUBHOUSE	
GARAGE #1	
GARAGE #2	
GARAGE #3	
GARAGE #4	
GARAGE #5	
GARAGE #6	
GARAGE #7	
GARAGE #8	
GARAGE #9	
GARAGE #10	
GARAGE #11	
GARAGE #12	
GARAGE #13	



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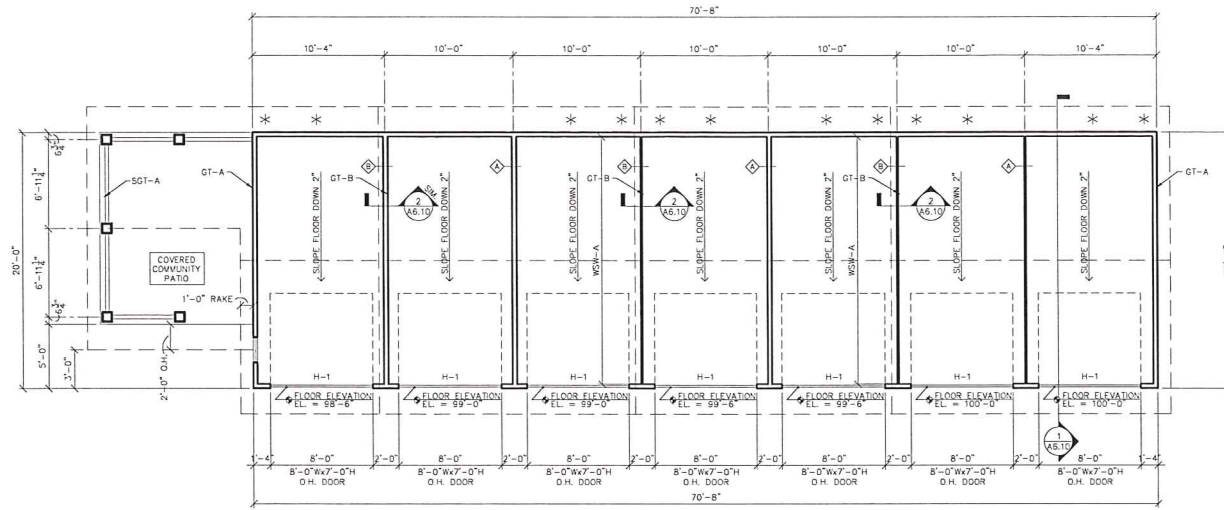
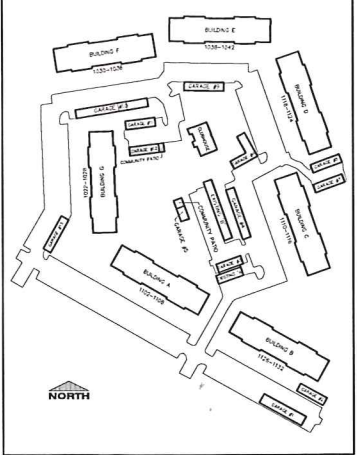
JOB NUMBER:
1206230
SHEET

A6.0

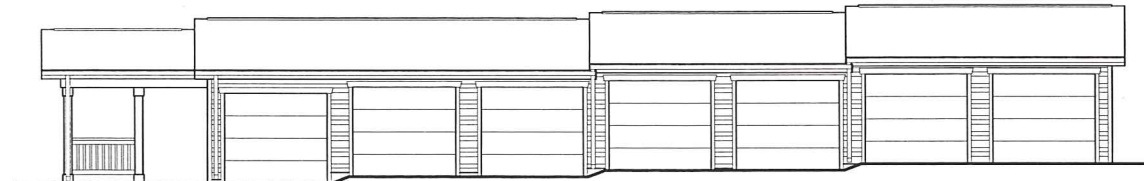
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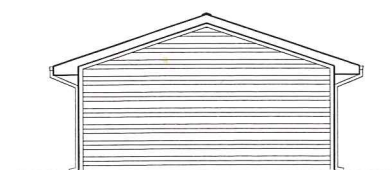
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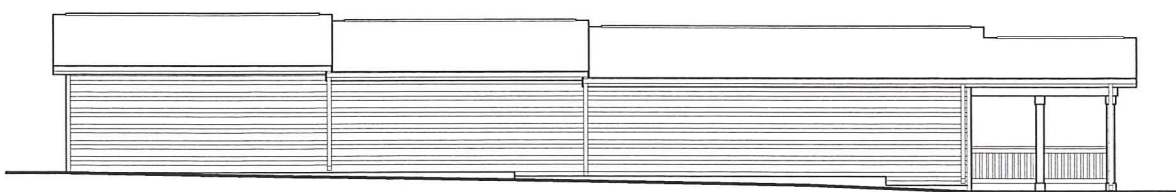
**(7) GARAGES
GARAGE #12 FLOOR PLAN**
SCALE: 3/16" = 1'-0"
NORTH



**(7) GARAGES
GARAGE #12 FRONT ELEVATION**
SCALE: 3/16" = 1'-0"



**(7) GARAGES
GARAGE #12 SIDE ELEVATION**
SCALE: 3/16" = 1'-0"



**(7) GARAGES
GARAGE #12 REAR ELEVATION**
SCALE: 3/16" = 1'-0"



**(7) GARAGES
GARAGE #12 SIDE ELEVATION**
SCALE: 3/16" = 1'-0"

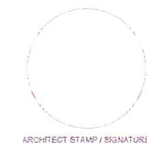


100 CAMLOT DRIVE
FOND DU LAC, WI 54935
PHONE: (920) 926-9600
FAX: (920) 926-9601

Always a Better Plan

DRAWING SET IDENTIFIER

PROJECT MASTER SET
BUILDING A
BUILDING B
BUILDING C
BUILDING D
BUILDING E
BUILDING F
BUILDING G
CLUBHOUSE
GARAGE #1
GARAGE #2
GARAGE #3
GARAGE #4
GARAGE #5
GARAGE #6
GARAGE #7
GARAGE #8
GARAGE #9
GARAGE #10
GARAGE #11
GARAGE #12
GARAGE #13



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