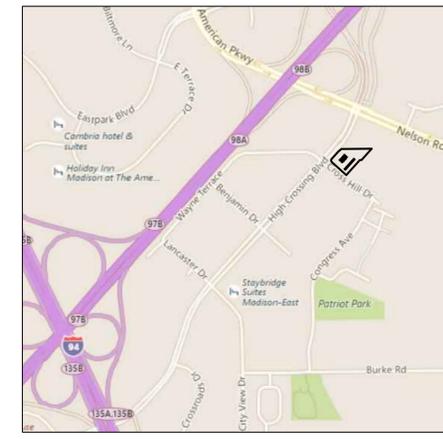


# CIVIL CONSTRUCTION PLANS FOR CASEY'S GENERAL STORE

3603 CROSS HILL DR  
MADISON, WI 53718  
DANE COUNTY



VICINITY MAP:  
SCALE = 1" = 1,000'

**DESIGN AND DEVELOPMENT CONTACTS:**  
OWNER: CASEY'S RETAIL COMPANY  
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ANKENY, IA. 50021  
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**GOVERNING AGENCIES CONTACTS:**  
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MADISON, WI 53703  
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**ALERT TO CONTRACTOR:**  
1. THE SITE WORK FOR THE PROPOSED DEVELOPMENT SHALL MEET OR EXCEED ALL CITY AND/OR COUNTY AND STATE STANDARDS FOR SITE WORK.  
2. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO PROJECT COMPLETION.

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**CASEY'S CONSTRUCTION DIVISION**  
One Convenience Blvd., P.O. Box 3001, Ankeny, Ia. 50021 515-965-6100

PROJECT: MADISON, WI 3603 CROSS HILL DR "OO" HIP-ROOF STYLE STORE	PUBLISHED: 04.16.18 REVISIONS:	DRAWING INFORMATION: <b>COVER SHEET</b>  <b>C1</b>
DRAWING INFORMATION: CONSTRUCTION DIVISION	DRAWN BY: MAB CHECKED BY: CDF	

Know what's below. Call before you dig.

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION, DEPTH, AND UTILITY INFORMATION SHOWN ON THIS DRAWING IS BASED ON THE INFORMATION PROVIDED BY THE UTILITY LOCATOR SERVICE. THE CONTRACTOR MUST CONDUCT THE APPROPRIATE UTILITY LOCATIONS AND DEPTHS PRIOR TO ANY CONSTRUCTION TO AVOID EXACT FIELD LOCATIONS OF UTILITIES.

**GENERAL DEMOLITION NOTES:**

1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) ALL STRUCTURES, PADS, WALLS, FLUTES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE, STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS.
2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
3. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
4. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ONSITE LOCATIONS OF EXISTING UTILITIES.
5. ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUTED.
6. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION. CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN THE ANY ROAD RIGHT-OF-WAY DURING CONSTRUCTION.
7. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC., (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY OWNER.
8. CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.
9. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
10. SHOULD REMOVAL AND/OR RELOCATION ACTIVITIES DAMAGE FENCING, LIGHTING AND/OR ANY OTHER APPURTENANCES, THE CONTRACTOR SHALL PROVIDE NEW MATERIALS/ STRUCTURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. EXCEPT FOR MATERIALS DESIGNED TO BE RELOCATED ON THIS PLAN, ALL OTHER CONSTRUCTION MATERIALS SHALL BE NEW.
11. CONTRACTOR SHALL LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
12. THE CONTRACTOR SHALL COORDINATE WATER MAIN WORK WITH THE FIRE DEPT. AND THE CITY/COUNTY UTILITY DEPARTMENT TO PLAN PROPOSED IMPROVEMENTS AND TO ENSURE ADEQUATE FIRE PROTECTION IS CONSTANTLY AVAILABLE TO SITE THROUGHOUT THIS SPECIFIC WORK AND THROUGH ALL PHASES OF CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR ARRANGING/PROVIDING ANY REQUIRED WATER MAIN SHUT OFFS WITH THE CITY/COUNTY DURING CONSTRUCTION. ANY COSTS ASSOCIATED WITH WATER MAIN SHUT OFFS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA COMPENSATION WILL BE PROVIDED.
13. DAMAGE TO ALL EXISTING CONDITIONS SHOWN TO REMAIN IN THESE PLANS WILL BE REPLACED AT CONTRACTOR'S EXPENSE.

**GENERAL SITE NOTES:**

1. ALL CONSTRUCTION MATERIALS AND TECHNIQUES OF INSTALLATION SHALL MEET PERFORMANCE VALUES OF THE MATERIALS SPECIFIED AND COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
2. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THIS PROJECT IS CONSTRUCTED IN ACCORDANCE WITH THESE DOCUMENTS AND IN COMPLIANCE WITH CODES INDICATED HEREIN. THE QUALITY OF WORKMANSHIP AND INSTALLATION OF MATERIALS SPECIFIED BY THE ARCHITECT/ENGINEER ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE ARCHITECT/ENGINEER WILL NOT BE HELD RESPONSIBLE FOR ANY SUBSTANDARD OR INSUFFICIENT WORKMANSHIP, MATERIALS, OR SERVICES PROVIDED IN THE EXECUTION OF ANY PHASE OF CONSTRUCTION OF THIS PROJECT.
3. ALL MATERIALS ARE TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS. THE GENERAL CONTRACTOR SHALL ENSURE THAT ALL MANUFACTURER'S WARRANTIES WILL BE HONORED.
4. ALL CONDITIONS SHOWN TO BE "EXISTING" SHALL BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE NOTED AND SUBMITTED TO THE OWNER AND THE ARCHITECT/ENGINEER FOR REVIEW. CHANGES TO THE ORIGINAL DESIGN OF THE PROJECT DUE TO EXISTING SITE CONDITIONS MUST BE APPROVED BY BOTH THE OWNER AND THE ARCHITECT/ENGINEER PRIOR TO MAKING ANY CHANGES.
5. CONTRACTOR TO REVIEW AND FOLLOW CONSTRUCTION TECHNIQUES/SPECIFICATIONS OUTLINED IN THE SITE GEOTECHNICAL REPORT. ANY CONFLICTS WHICH MAY ARISE SHALL BE NOTED AND SUBMITTED TO THE OWNER AND THE ARCHITECT/ENGINEER FOR REVIEW PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
6. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING A THOROUGH KNOWLEDGE OF EXISTING FIELD CONDITIONS AND OF ALL DRAWINGS AND SPECIFICATIONS RELATED TO THEIR FIELD. THE FAILURE TO ACQUAINT HIMSELF WITH THIS PROJECT AND HIS FIELD OF SERVICE SHALL NOT RELIEVE HIM OF ANY RESPONSIBILITY FOR WORK PROPERLY. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED DUE TO THE GENERAL CONTRACTOR'S FAILURE TO CONVEY THE NECESSARY KNOWLEDGE TO FAMILIARIZE WORKERS AND SUBCONTRACTORS WITH THIS PROJECT.
7. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THE SAFETY OF ALL PERSONS ON THE JOB SITE AT ALL TIMES INCLUDING (BUT NOT LIMITED TO) SUBCONTRACTORS, FACILITY EMPLOYEES, VENDORS, DESIGN STAFF PROFESSIONALS AND INSPECTION PERSONNEL.
8. THE GENERAL CONTRACTOR SHALL PROVIDE DUMPSTERS, PORTABLE TOILETS AND TEMPORARY POWER FOR UNRESTRICTED PROJECT RELATED USE BY OTHERS FOR THE DURATION OF THE PROJECT.
9. THE GENERAL CONTRACTOR SHALL COORDINATE PROJECT PHASING AND STORAGE OF MATERIALS WITH THE OWNER.
10. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR RECEIVING, UNLOADING, STORING AND PROTECTING OF MATERIALS AND EQUIPMENT SUPPLIED BY THE OWNER UNTIL IT HAS BEEN INSTALLED AND ACCEPTED BY THE OWNER.
11. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE AREA CLEAN AND FREE OF DEBRIS AT ALL TIMES DURING CONSTRUCTION. THE GENERAL CONTRACTOR SHALL POWER WASH THE ENTIRE CONSTRUCTION AREA PRIOR TO TURNOVER TO THE OWNER.
12. EXISTING PAVING THAT WILL REMAIN AFTER CONSTRUCTION SHALL BE PROTECTED FROM DAMAGE. AREAS OF EXISTING PAVING THAT ARE DAMAGED DURING CONSTRUCTION SHALL BE SAWCUT, THEN REMOVED AND REPLACED.
13. THE GENERAL CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION OF ALL PUBLIC AND PRIVATE UTILITIES, INCLUDING IRRIGATION, SPECIFIC TO THIS PROJECT PRIOR TO THE START OF ANY DEMOLITION OR CONSTRUCTION. SHOULD ANY UTILITY REQUIRE RELOCATION, CONTRACTOR SHALL COORDINATE WITH THE OWNER AND THE ARCHITECT/ENGINEER.
14. SAWCUT AND REMOVE PORTIONS OF EXISTING PAVING ONLY AS REQUIRED TO INSTALL NEW UTILITIES OR TO CONSTRUCT PROPOSED FACILITIES PER THIS PLAN. REPLACE PORTIONS REMOVED TO MATCH EXISTING FLUSH AND SMOOTH.
15. IF REQUESTED BY THE OWNER, PROVIDE TEMPORARY CONSTRUCTION FENCING, MINIMUM 6'-0" HIGH, AROUND ENTIRE AREA OF CONSTRUCTION OR PER THE CLIENT'S STANDARDS. FIELD VERIFY EXACT LOCATION AND SPECIFICATIONS OF FENCE WITH THE OWNER PRIOR TO START OF CONSTRUCTION. REMOVE FENCING AT COMPLETION OF PROJECT AND PATCH PAVING AS REQUIRED AT FENCE POST HOLES.
16. ALL DIMENSIONS ARE TO GROUND LEVEL IMPROVEMENTS (FACE OF CURB, CONCRETE SLAB, ETC UNLESS NOTED OTHERWISE).
17. CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS.
18. CONTRACTOR SHALL MATCH PROPOSED CURB AND GUTTER, CONCRETE, AND PAVEMENT TO EXISTING IN GRADE AND ALIGNMENT.
19. CONSTRUCTION SHALL COMPLY WITH ALL GOVERNING CODES AND BE CONSTRUCTED TO SAME.
20. CONTRACTOR IS RESPONSIBLE FOR REPAIRING THE DAMAGE DONE TO ANY EXISTING ITEM TO REMAIN DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. REPAIRS SHALL BE EQUAL TO, OR BETTER THAN, EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND NOTIFY OWNER PRIOR TO CONSTRUCTION START.

21. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF BUILDING APPURTENANCES, STAIRS, RAMPS, SLOPE PAVING, SIDEWALKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
22. ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED OR SOD, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
23. EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
24. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC., AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
25. THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE SPECIFICATIONS IN THE CONTRACT DOCUMENTS.
26. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER OF RECORD BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM THE DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL.
27. IN THE EVENT THE CONSTRUCTION IS ABANDONED PRIOR TO THE COMPLETION OF THE PROJECT, ALL CONSTRUCTION AND STOCKPILED VEGETATIVE DEBRIS AND FILL SHALL BE REMOVED FROM THE SITE AND THE SITE SHALL BE STABILIZED PER THE PERMIT FOR STORM WATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES (NPDES).
28. THESE PLANS ARE INTENDED TO AND SHALL COMPLY WITH AMERICANS WITH DISABILITIES ACT.
29. ALL VEGETATION FROM CLEARING AND GRUBBING SHALL BE DISPOSED OF OFF-SITE.
30. CONTRACTOR IS RESPONSIBLE FOR PERMITTING, INSTALLATION AND MAINTENANCE OF ALL MAINTENANCE OF TRAFFIC OPERATIONS DURING CONSTRUCTION. MAINTENANCE OF TRAFFIC SHALL CONFORM TO GOVERNING AGENCY STANDARDS.
31. ALL DESIGN AND CONSTRUCTION MUST CONFORM TO THE MINIMUM STANDARDS SET DOWN IN THE CITY/COUNTY DEVELOPMENT CODE, ZONING, AND/OR RELATED ORDINANCES, AND MINIMUM TESTING FREQUENCY REQUIREMENTS.

**GENERAL PAVING AND GRADING NOTES:**

1. ALL PAVING AND GRADING CONSTRUCTION MATERIALS AND METHODS SHALL MEET THE STANDARD SPECIFICATIONS AND REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION.
2. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY, UNLESS OTHERWISE NOTED.
3. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
4. ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
5. PRECAST STRUCTURES MAY BE USED AT CONTRACTOR'S OPTION AND SHALL MEET ALL AUTHORITY HAVING JURISDICTION REQUIREMENTS/SPECIFICATIONS AT A MINIMUM.
6. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
7. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE EPA OR APPLICABLE STATE GENERAL NPDES PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
8. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
9. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
10. TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY A LICENSED PROFESSIONAL SURVEYOR AND MAPPER. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.
11. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH GOVERNING SPECIFICATIONS UNTIL A HEALTHY STAND OF VEGETATION IS OBTAINED.
12. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
13. ALL PAVING, CONSTRUCTION MATERIALS, AND WORKMANSHIP WITHIN RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE AUTHORITY HAVING JURISDICTION SPECIFICATIONS AND STANDARDS (LATEST EDITION) RESPECTIVELY.
14. ALL REINFORCED CONCRETE PIPE SHALL BE CLASS III UNLESS OTHERWISE NOTED AND INSTALLED IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES LATEST REQUIREMENTS AND SPECIFICATIONS OR AUTHORITY HAVING JURISDICTION SPECIFICATIONS, WHICHEVER IS MORE STRINGENT.
15. ALL CONCRETE USED ON THE SITE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,500 PSI IN 28 DAYS. ALL CONCRETE SIDEWALKS SHALL HAVE CONTROL JOINTS CUT ON 5-FOOT CENTERS AND EXPANSION JOINTS PLACED ON 60-FOOT CENTERS, CHANGES IN DIRECTION, AND ABUTTING SEPARATE POURS. CONTRACTION JOINT SPACING MATCHES WIDTH OF SIDEWALK AND EXPANSION JOINTS ARE REQUIRED AT A MAXIMUM OF 25 FEET. THIS WOULD MEAN 24 FEET FOR A 6 INCH CURB. PAVEMENT JOINTS SHALL BE SPACED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND/OR DETAILS.
16. ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AS INDICATED ON THE DRAWINGS AND GEOTECHNICAL REPORT.
17. THE CONTRACTOR SHALL ENSURE THAT ALL PLANTING AREAS (INTERIOR ISLANDS, FOUNDATION PLANTING AREAS, ETC.) ARE NOT COMPACTED AND DO NOT CONTAIN LIMEROCK OR OTHER MATERIAL (CLAY, SUBGRADE MATERIAL, MARL, ETC.) WHICH MAY ADVERSELY AFFECT DRAINAGE OF GREEN AREAS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND BACKFILL WITH CLEAN, FREE DRAINING TOPSOIL.
18. CONTRACTOR IS SPECIFICALLY CAUTIONED, DEPENDING ON THE TIME OF YEAR AND PROJECT LOCATION, DEWATERING MAY BE REQUIRED.
19. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER AND ARCHITECT/ENGINEER PRIOR TO EXCAVATION.
20. STRIP TOPSOIL AND ORGANIC MATTER AND PAVING MATERIAL FROM ALL AREAS TO BE IMPERVIOUS. TOPSOIL SHALL BE STOCKPILED ON SITE FOR REPLACEMENT ON SLOPES AND ALL OTHER GREEN AND LANDSCAPE AREAS.
21. FIELD DENSITY TESTS SHALL BE TAKEN AT FREQUENCY AS REQUIRED IN THE SPECIFICATIONS OR AS REQUIRED BY THE GOVERNING REGULATORY AGENCY, WHICH EVER IS MORE STRINGENT.
22. CONTRACTOR SHALL ENSURE POSITIVE FLOW TO ALL INLETS WITHIN DRAINAGE BASINS TO PRECLUDE PONDED WATER.
23. THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO CONTROL SEDIMENT, INCLUDING BUT NOT LIMITED TO THE INSTALLATION OF BARRIERS AT ALL LOCATIONS WHERE THE POSSIBILITY OF TRANSFERRING SUSPENDED SOLIDS INTO THE RECEIVING WATER BODY EXISTS DUE TO THE PROPOSED WORK. BARRIERS MUST BE MAINTAINED IN EFFECTIVE CONDITION AT ALL LOCATIONS UNTIL CONSTRUCTION IS COMPLETED.

**GENERAL UTILITY NOTES:**

1. CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
2. ALL ELECTRIC, TELEPHONE AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
3. CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED SAID ENGINEER BY ENGINEER.
4. PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM THE ENGINEER AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONNECTION. THE ENGINEER AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.
5. PRIOR TO CONSTRUCTION, THE GENERAL CONTRACTOR SHALL VERIFY THAT "STUB OUTS" FOR POWER, TELEPHONE, FIBER OPTICS, WATER AND SEWER (IF APPLICABLE) HAVE BEEN PROVIDED BY OTHERS AT THE AREA ADJACENT TO THE PROPOSED BUILDING. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL CONNECTIONS AT THE BUILDING.
6. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE SCHEDULE FOR INSTALLATION WITH THE UTILITY COMPANIES AND THE OWNER. ALL EXISTING CONDITIONS THAT ARE REMOVED OR DISRUPTED DURING THE PLACEMENT OF NEW UTILITIES SHALL BE REPLACED OR REPAIRED TO MATCH ORIGINAL CONDITIONS. ANY EXISTING UTILITIES DISRUPTED DURING PLACEMENT OF NEW UTILITIES SHALL BE REPAIRED AND OPERATING NORMALLY THE SAME DAY OF DISRUPTION. ITEMS THAT MAY NEED TO BE REPLACED OR REPAIRED INCLUDE BUT ARE NOT LIMITED TO: EXISTING ASPHALT PAVING, EXISTING CONCRETE PAVING, WATER LINES, IRRIGATION LINES, GRASS AREAS, LANDSCAPING, AND SITE LIGHTING. THE GENERAL CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION OF ALL EXISTING ITEMS THAT WILL BE DISRUPTED DURING THE PLACEMENT OF NEW UTILITIES AND PROVIDE THE OWNER A DETAILED PHASING SCHEDULE OUTLINING THE TIMELINE FOR INSTALLATION OF NEW UTILITIES INCLUDING THE PROPOSED TIMES THAT EXISTING ITEMS WILL BE DISRUPTED. THE NEW UTILITIES TRENCH WIDTH AND DEPTH SHALL MEET ALL LOCAL AND STATE REQUIREMENTS FOR THE DISPLACEMENT OF ALL UTILITIES. IF DIRECTIONAL BORING IS USED FOR INSTALLATION, THE ABOVE LISTED ITEMS ARE STILL REQUIRED TO BE SUBMITTED TO THE OWNER.
7. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
8. ALL SANITARY SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RINGS & COVERS. SANITARY MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE WITH WATER TIGHT LIDS.
9. ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
10. CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
11. UNDERGROUND UTILITY LINES SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
12. ALL CONCRETE FOR ENCASEMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH AT 4000 P.S.I.
13. REFER TO ARCHITECTURAL PLUMBING DRAWINGS FOR TIE-IN ALL UTILITIES.
14. CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE LOCAL AUTHORITIES WITH REGARDS TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.
15. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
16. DRAWINGS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES.
17. EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
18. THE CONTRACTOR SHALL CONSTRUCT GRAVITY SEWER LATERALS, MANHOLES, GRAVITY SEWER LINES AND DOMESTIC WATER AND FIRE PROTECTION SYSTEM AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS, EQUIPMENT, MACHINERY, TOOLS, MEANS OF TRANSPORTATION AND LABOR NECESSARY TO COMPLETE THE WORK IN FULL AND COMPLETE IN ACCORDANCE WITH THE SHOWN, DESCRIBED AND REASONABLY INTENDED REQUIREMENTS OF THE CONTRACT DOCUMENTS AND JURISDICTIONAL AGENCY REQUIREMENTS. IN THE EVENT THAT THE OWNER FOR REVIEW.

19. THE CONTRACTOR SHALL RESTORE ALL DISTURBED VEGETATION IN KIND, UNLESS SHOWN OTHERWISE.
20. DEFLECTION OF PIPE JOINTS AND CURVATURE OF PIPE SHALL NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS. SECURELY CLOSE ALL OPEN ENDS OF PIPE AND FITTINGS WITH A WATERTIGHT PLUG WHEN WORK IS NOT IN PROGRESS. THE INTERIOR OF ALL PIPES SHALL BE CLEAN AND JOINT SURFACES WIPED CLEAN AND DRY AFTER THE PIPE HAS BEEN LOWERED INTO THE TRENCH. VALVES SHALL BE PLUMB AND LOCATED ACCORDING TO THE PLANS.
21. ALL UTILITY AND STORM DRAIN TRENCHES LOCATED UNDER AREAS TO RECEIVE PAVING SHALL BE COMPLETELY BACKFILLED AND COMPACTED IN ACCORDANCE WITH SPECIFICATIONS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
22. SHOP DRAWINGS FOR ALL MATERIALS AND APPURTENANCE SHALL BE SUBMITTED TO AND APPROVED BY THE GOVERNING UTILITY DEPARTMENT. CONTRACTOR TO COPY THE ENGINEER OF RECORD WITH APPROVED DRAWINGS AS REQUIRED. NO WORK IS TO BEGIN UNTIL SHOP DRAWINGS HAVE BEEN REVIEWED, APPROVED AND RETURNED TO THE CONTRACTOR.
23. AT LEAST THREE WEEKS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE CITY/COUNTY AND THE UTILITY COMPANY AND SUPPLY THEM WITH ALL REQUIRED SHOP DRAWINGS, THE CONTRACTOR'S NAME, STARTING DATE, PROJECTED SCHEDULE AND OTHER INFORMATION AS REQUIRED. THE CITY/COUNTY ENGINEERING INSPECTION OFFICE SHOULD ALSO BE CONTACTED FIVE DAYS PRIOR TO CONSTRUCTION TO ENSURE AVAILABILITY OF INSPECTION PERSONNEL. ANY WORK PERFORMED PRIOR TO NOTIFYING THE CITY/COUNTY ENGINEERING INSPECTION OFFICE OR WITHOUT A DEPARTMENT INSPECTOR PRESENT MAY BE SUBJECT TO REMOVAL AND REPLACEMENT AT THE SOLE EXPENSE OF THE CONTRACTOR.
24. THE CONTRACTOR SHALL PERFORM AN INFILTRATION/EXFILTRATION TEST ON ALL GRAVITY SEWERS AND A PRESSURE TEST ON ALL FORCE MAINS (AS APPLICABLE) IN ACCORDANCE WITH THE CITY/COUNTY UTILITY REGULATIONS. SAID TESTS ARE TO BE CERTIFIED BY THE ENGINEER OF RECORD AND SUBMITTED TO THE CITY/COUNTY FOR APPROVAL. THE SCHEDULING, COORDINATION AND NOTIFICATION TO ALL PARTIES IS THE CONTRACTOR'S RESPONSIBILITY.
25. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING WATER MAINS, FORCE MAINS, SANITARY SEWER AND STORM MAINS AND MAINTAIN A MINIMUM CLEARANCE BETWEEN WATER MAINS AND OTHER UTILITIES AT ALL POINTS ALONG THEIR LENGTH AS REQUIRED IN THE PLANS, DETAILS, AND SPECIFICATIONS.
26. SANITARY SEWER, FORCE MAINS, SEWER LATERALS, AND STORM SEWERS SHOULD CROSS UNDER WATER MAINS AND/OR WATER SERVICES WHENEVER POSSIBLE. SANITARY SEWERS, FORCE MAINS, SEWER LATERALS, AND STORM SEWERS CROSSING WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18 INCHES BETWEEN THE BOTTOM OF THE UPPER PIPE AND THE TOP OF THE LOWER PIPE.
27. A MINIMUM HORIZONTAL DISTANCE OF TEN FEET SHOULD BE MAINTAINED BETWEEN WATER LINES AND SEWER LINES OR OTHER SOURCES OF CONTAMINATION. WATER LINES AND SEWERS SHALL NOT BE LAID IN THE SAME TRENCH EXCEPT ON THE WRITTEN APPROVAL OF THE AUTHORITY HAVING JURISDICTION. WATER MAINS NEARLY IN CLOSE PROXIMITY TO SEWERS MUST BE PLACED SO THAT THE BOTTOM OF THE WATER LINE WILL BE AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER LINE AT ITS HIGHEST POINT. IF THIS DISTANCE MUST UNAVOIDABLY BE REDUCED, THE WATER LINE OR THE SEWER LINE MUST BE ENCASED IN WATERTIGHT PIPE WITH SEALED WATERTIGHT ENDS EXTENDING AT LEAST TEN FEET EITHER SIDE OF THE CROSSING. ANY JOINT IN THE ENCASEMENT PIPE IS TO BE MECHANICALLY RESTRAINED. THE ENCASEMENT PIPE MAY BE VENTED TO THE SURFACE IF CARRYING WATER OR SEWER UNDER PRESSURE. WHERE A WATER LINE MUST UNAVOIDABLY PASS BENEATH THE SEWER LINE, AT LEAST 18 INCHES OF SEPARATION MUST BE MAINTAINED BETWEEN THE OUTSIDE OF THE TWO PIPES IN ADDITION TO THE PRECEDING ENCASEMENT REQUIREMENT. EXCEPTIONS TO THIS MUST BE APPROVED IN WRITING BY THE AUTHORITY HAVING JURISDICTION.
28. A MINIMUM HORIZONTAL DISTANCE OF THREE FEET SHALL BE MAINTAINED BETWEEN WATER LINES AND OTHER UNDERGROUND OF A NONSANITARY NATURE (GAS, ELECTRIC, ETC.) EXCEPTIONS TO THIS MUST BE APPROVED IN WRITING BY THE AUTHORITY HAVING JURISDICTION.
29. A MINIMUM 10 FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN ANY TYPE OF SEWER AND WATER MAIN IN PARALLEL INSTALLATIONS WHENEVER POSSIBLE.
30. ALL DIP SHALL BE CLASS 50 OR HIGHER, DUCTILE IRON FITTINGS SHALL BE CLASS 350. ADEQUATE PROTECTIVE MEASURES AGAINST CORROSION SHALL BE USED.
31. TREES SHALL BE PLACED SO AS TO AVOID BURIED UTILITIES.
32. ALL UTILITY MAIN LENGTHS SHOWN ARE APPROXIMATE. ALL MANHOLE TOP ELEVATIONS ARE APPROXIMATE. CONTRACTOR SHALL SET MANHOLE TOP LEVEL WITH FINISH PAVEMENT GRADES.
33. PRESSURE PIPE TESTING SPECIFICATIONS SHALL REFERENCE THE CITY/COUNTY AND/OR FIRE DEPARTMENT.
34. CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES. THIS AND THE FINAL CONNECTIONS OF THE SERVICE SHALL BE COMPLETED 30 DAYS PRIOR TO POSSESSION.
35. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
36. REFER TO BUILDING PLANS FOR SITE ELECTRICAL PLAN.

STANDARD ABBREVIATIONS	
AC	ACRES
ADA	AMERICANS WITH DISABILITY ACT
ARCH	ARCHITECTURAL
BC	BOTTOM OF CURB
BF	BASEMENT FLOOR
BK	BLOCK
BL	BASELINE
BLD	BUILDING
BOL	BOLLARD
BM	BENCH MARK
BRL	BUILDING RESTRICTION LINE
CF	CUBIC FEET
CL	CENTERLINE
CMP	CORRUGATED METAL PIPE
CONN	CONNECTION
CONC	CONCRETE
CPP	CORRUGATED PLASTIC PIPE
CY	CUBIC YARDS
DEC	DECORATIVE
DEP	DEPRESSED
DIP	DUCTILE IRON PIPE
DOM	DOMESTIC
ELEC	ELECTRIC
ELEV	ELEVATION
EP	EDGE OF PAVEMENT
ES	EDGE OF SHOULDER
EW	END OF WALL
EX	EXISTING
FF	FLARED END SECTION
FF	FINISH FLOOR ELEVATION
FH	FIRE HYDRANT
FG	FINISHED GRADE
G	GRADE
GF	GARAGE FLOOR
GH	GRADE HIGH SIDE OF WALL
GL	GRADE LOW SIDE OF WALL
GR	GRATE
GV	GATE VALVE
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HP	HIGH POINT
HOR	HORIZONTAL
HW	HEADWALL
INT	INTERSECTION
INV	INVERT
LF	LINEAR FOOT
LOC	LIMITS OF CLEARING
LOD	LIMITS OF DISTURBANCE
LOS	LINE OF SIGHT
LP	LOW POINT
LS	LANDSCAPE
MAX	MAXIMUM
MIN	MINIMUM
MH	MANHOLE
MJ	MECHANICAL JOINT
OC	ON CENTER
PC	POINT OF CURVATURE
PCCR	POINT OF COMPOUND CURVATURE, CURB RETURN
PI	POINT OF INTERSECTION
POG	POINT OF GRADE
POI	POINT OF INTEREST
PROP	PROPOSED
PT	POINT OF TANGANCY

PTCR	POINT OF TANGENCY, CURB RETURN
PVC	POLYVINYL CHLORIDE PIPE
PVI	POINT OF VERTICAL INTERSECTION
PVT	POINT OF VERTICAL TANGENCY
R	RADIUS
RCP	REINFORCED CONCRETE PIPE
RCRP	REINFORCED CONCRETE WITH RUBBER GASKET
RET-WALL	RETAINING WALL
R/W	RIGHT OF WAY
S	SLOPE
SAN	SANITARY SEWER
SF	SQUARE FEET
STA	STATION
STM	STORM
TBR	TO BE REMOVED
TBRL	TO BE RELOCATED
TC	TOP OF CURB
TEL	TELEPHONE
TP	TOP OF PAVEMENT
TW	TOP OF WALL
TYP	TYPICAL
UG	UNDERGROUND
UP	UTILITY POLE
WL	WATER LINE
WM	WATER METER
±	PLUS OR MINUS
°	DEGREE
Ø	DIAMETER
#	NUMBER

## CORE STATES

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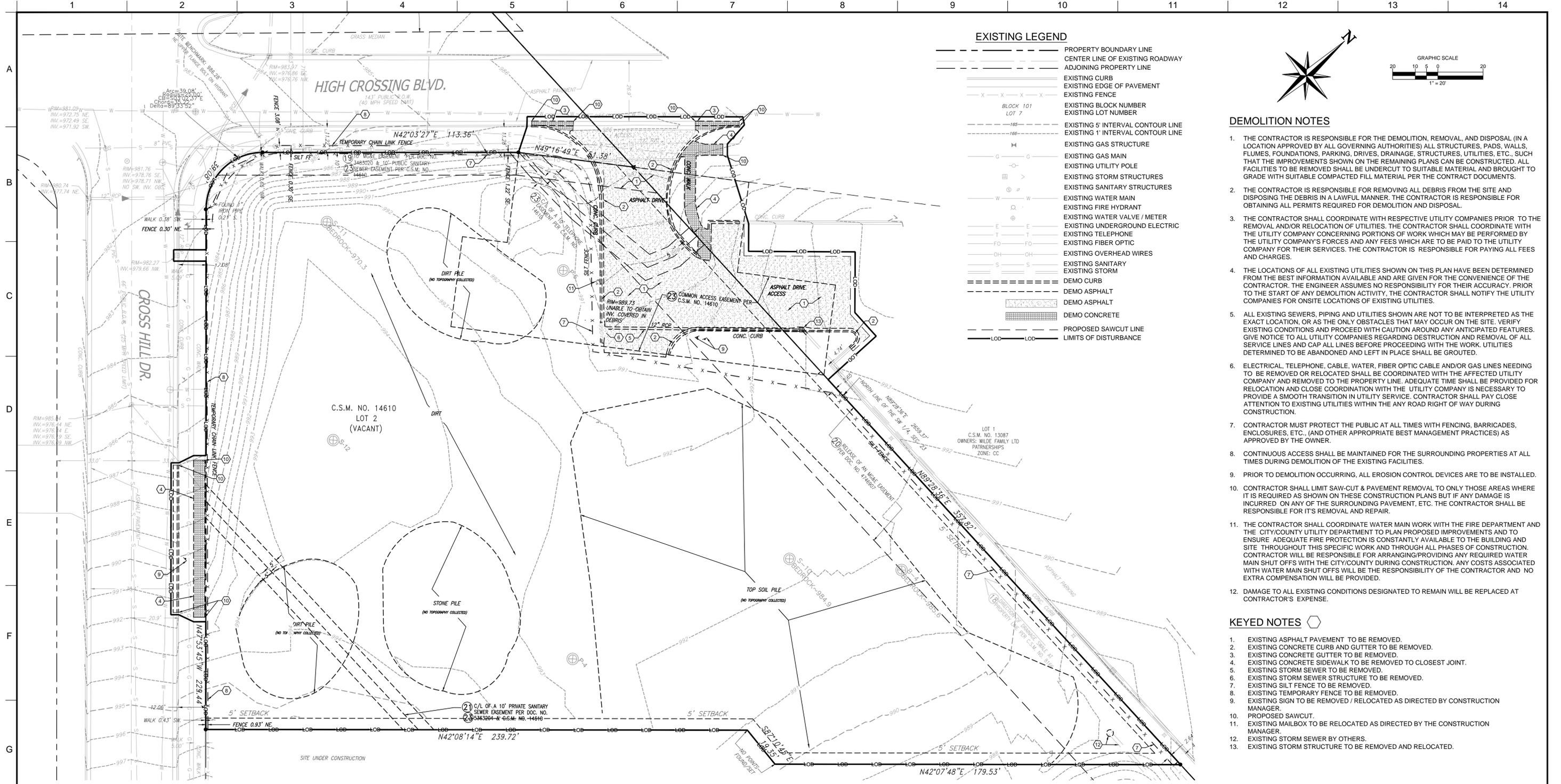
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**CASEY'S CONSTRUCTION DIVISION**

One Convenience Blvd., P.O. Box 3001, Ankeny, Ia. 50021 515-965-6100

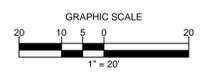
PROJECT: MADISON, WI 3603 CROSS HILL DR "OO" HIP-ROOF STYLE STORE	PUBLISHED: 04.16.18 REVISION:	DRAWING INFORMATION: <b>GENERAL NOTES</b>
DRAWING INFORMATION: CONSTRUCTION DIVISION DRAWN BY: MAB CHECKED BY: CDF		<b>C2</b>

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.



**EXISTING LEGEND**

- PROPERTY BOUNDARY LINE
- CENTER LINE OF EXISTING ROADWAY
- ADJOINING PROPERTY LINE
- EXISTING CURB
- EXISTING EDGE OF PAVEMENT
- X X X X X EXISTING FENCE
- BLOCK 101
- LOT 7
- EXISTING 5' INTERVAL CONTOUR LINE
- EXISTING 1' INTERVAL CONTOUR LINE
- EXISTING GAS STRUCTURE
- EXISTING GAS MAIN
- EXISTING UTILITY POLE
- EXISTING STORM STRUCTURES
- EXISTING SANITARY STRUCTURES
- EXISTING WATER MAIN
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE / METER
- EXISTING UNDERGROUND ELECTRIC
- EXISTING TELEPHONE
- EXISTING FIBER OPTIC
- EXISTING OVERHEAD WIRES
- EXISTING SANITARY
- EXISTING STORM
- DEMO CURB
- DEMO ASPHALT
- DEMO ASPHALT
- DEMO CONCRETE
- PROPOSED SAWCUT LINE
- LIMITS OF DISTURBANCE



**DEMOLITION NOTES**

1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE, STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE CONTRACT DOCUMENTS.
2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
3. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
4. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ONSITE LOCATIONS OF EXISTING UTILITIES.
5. ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUTED.
6. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY AND REMOVED TO THE PROPERTY LINE. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN THE ANY ROAD RIGHT OF WAY DURING CONSTRUCTION.
7. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC., (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY THE OWNER.
8. CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.
9. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
10. CONTRACTOR SHALL LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
11. THE CONTRACTOR SHALL COORDINATE WATER MAIN WORK WITH THE FIRE DEPARTMENT AND THE CITY/COUNTY UTILITY DEPARTMENT TO PLAN PROPOSED IMPROVEMENTS AND TO ENSURE ADEQUATE FIRE PROTECTION IS CONSTANTLY AVAILABLE TO THE BUILDING AND SITE THROUGHOUT THIS SPECIFIC WORK AND THROUGH ALL PHASES OF CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR ARRANGING/PROVIDING ANY REQUIRED WATER MAIN SHUT OFFS WITH THE CITY/COUNTY DURING CONSTRUCTION. ANY COSTS ASSOCIATED WITH WATER MAIN SHUT OFFS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA COMPENSATION WILL BE PROVIDED.
12. DAMAGE TO ALL EXISTING CONDITIONS DESIGNATED TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE.

**KEYED NOTES**

1. EXISTING ASPHALT PAVEMENT TO BE REMOVED.
2. EXISTING CONCRETE CURB AND GUTTER TO BE REMOVED.
3. EXISTING CONCRETE GUTTER TO BE REMOVED.
4. EXISTING CONCRETE SIDEWALK TO BE REMOVED TO CLOSEST JOINT.
5. EXISTING STORM SEWER TO BE REMOVED.
6. EXISTING STORM SEWER STRUCTURE TO BE REMOVED.
7. EXISTING SILT FENCE TO BE REMOVED.
8. EXISTING TEMPORARY FENCE TO BE REMOVED.
9. EXISTING SIGN TO BE REMOVED / RELOCATED AS DIRECTED BY CONSTRUCTION MANAGER.
10. PROPOSED SAWCUT.
11. EXISTING MAILBOX TO BE RELOCATED AS DIRECTED BY THE CONSTRUCTION MANAGER.
12. EXISTING STORM SEWER BY OTHERS.
13. EXISTING STORM STRUCTURE TO BE REMOVED AND RELOCATED.

ACREAGE SUMMARY (IN ACRES)	
TOTAL PROJECT AREA	1.96
ON-SITE DISTURBED AREA	1.81
OFF-SITE DISTURBED AREA	0.15
TOTAL DISTURBED AREA (MUST MATCH NOI)	1.96
IMPERVIOUS AREA AT COMPLETION	1.31
PERVIOUS/ SEEDED AREA AT COMPLETION	0.65

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**811**  
Know what's below. Call before you dig.

THE CONTRACTOR IS RESPONSIBLY CAUTIONED THAT THE LOCATION, DEPTH AND TYPE OF EXISTING UTILITIES AS SHOWN ON THIS PLAN ARE BASED ON THE INFORMATION PROVIDED BY THE UTILITY COMPANIES AND ARE NOT GUARANTEED. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO VERIFY EXISTING UTILITIES.

04/17/18

**CORE STATES**  
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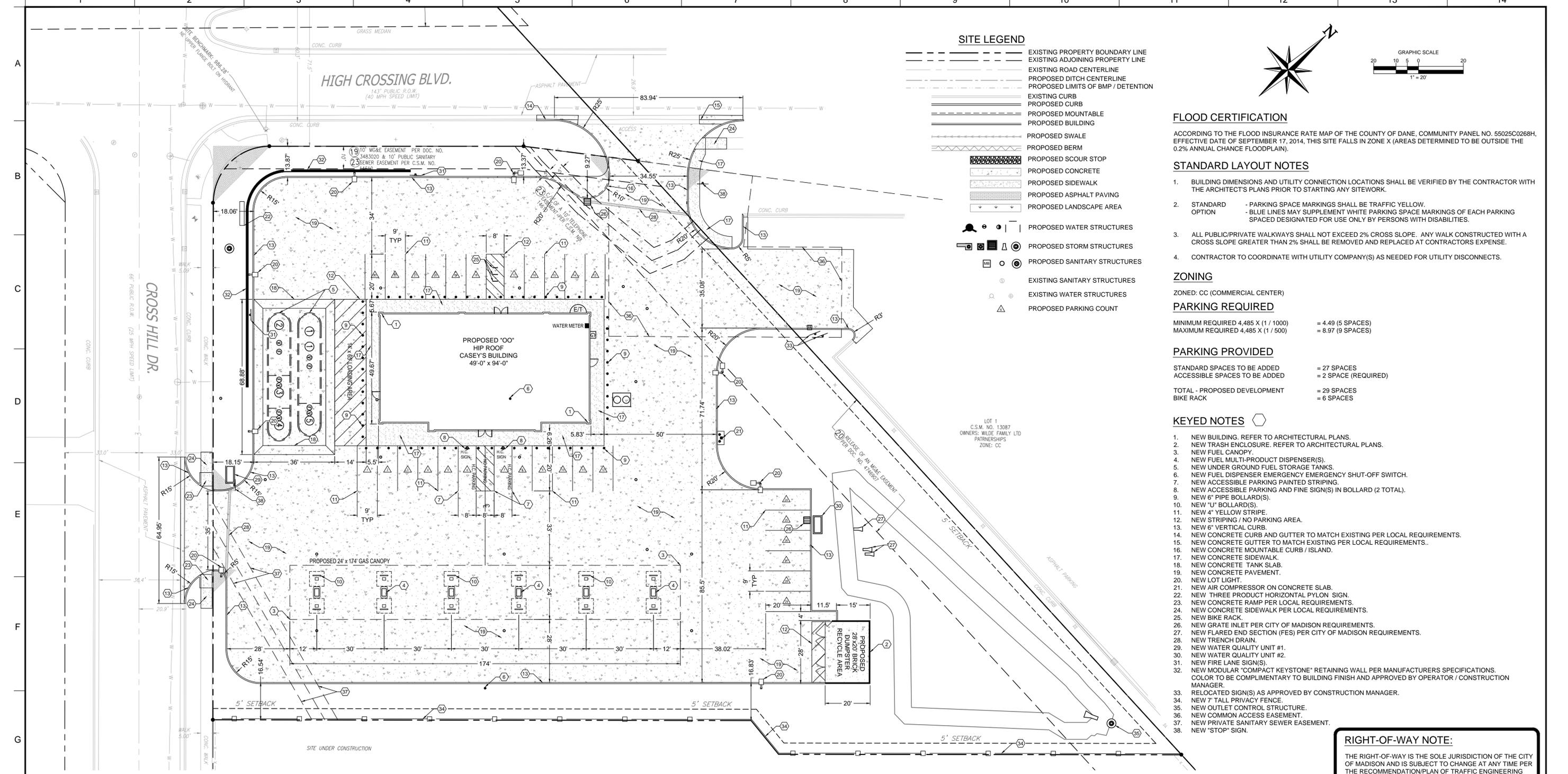
PROJECT: MADISON, WI  
3603 CROSS HILL DR

DRAWING INFORMATION:  
PUBLISHED: 04.16.18  
REVISED ON:

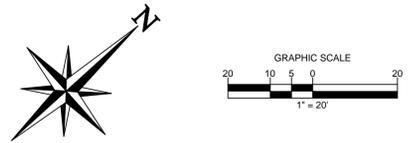
CONSTRUCTION DIVISION

DEMO PLAN

**C3**



- ### SITE LEGEND
- EXISTING PROPERTY BOUNDARY LINE
  - EXISTING ADJOINING PROPERTY LINE
  - EXISTING ROAD CENTERLINE
  - PROPOSED DITCH CENTERLINE
  - PROPOSED LIMITS OF BMP / DETENTION
  - EXISTING CURB
  - PROPOSED CURB
  - PROPOSED MOUNTABLE
  - PROPOSED BUILDING
  - PROPOSED SWALE
  - PROPOSED BERM
  - PROPOSED SCOUR STOP
  - PROPOSED CONCRETE
  - PROPOSED SIDEWALK
  - PROPOSED ASPHALT PAVING
  - PROPOSED LANDSCAPE AREA
  - PROPOSED WATER STRUCTURES
  - PROPOSED STORM STRUCTURES
  - PROPOSED SANITARY STRUCTURES
  - EXISTING SANITARY STRUCTURES
  - EXISTING WATER STRUCTURES
  - △ PROPOSED PARKING COUNT



### FLOOD CERTIFICATION

ACCORDING TO THE FLOOD INSURANCE RATE MAP OF THE COUNTY OF DANE, COMMUNITY PANEL NO. 55025C0268H, EFFECTIVE DATE OF SEPTEMBER 17, 2014, THIS SITE FALLS IN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN).

### STANDARD LAYOUT NOTES

- BUILDING DIMENSIONS AND UTILITY CONNECTION LOCATIONS SHALL BE VERIFIED BY THE CONTRACTOR WITH THE ARCHITECT'S PLANS PRIOR TO STARTING ANY SITEWORK.
- STANDARD OPTION - PARKING SPACE MARKINGS SHALL BE TRAFFIC YELLOW. BLUE LINES MAY SUPPLEMENT WHITE PARKING SPACE MARKINGS OF EACH PARKING SPACED DESIGNATED FOR USE ONLY BY PERSONS WITH DISABILITIES.
- ALL PUBLIC/PRIVATE WALKWAYS SHALL NOT EXCEED 2% CROSS SLOPE. ANY WALK CONSTRUCTED WITH A CROSS SLOPE GREATER THAN 2% SHALL BE REMOVED AND REPLACED AT CONTRACTORS EXPENSE.
- CONTRACTOR TO COORDINATE WITH UTILITY COMPANY(S) AS NEEDED FOR UTILITY DISCONNECTS.

### ZONING

ZONED: CC (COMMERCIAL CENTER)

### PARKING REQUIRED

MINIMUM REQUIRED 4,485 X (1 / 1000) = 4.49 (5 SPACES)  
 MAXIMUM REQUIRED 4,485 X (1 / 500) = 8.97 (9 SPACES)

### PARKING PROVIDED

STANDARD SPACES TO BE ADDED = 27 SPACES  
 ACCESSIBLE SPACES TO BE ADDED = 2 SPACE (REQUIRED)  
 TOTAL - PROPOSED DEVELOPMENT = 29 SPACES  
 BIKE RACK = 6 SPACES

### KEYED NOTES

- NEW BUILDING. REFER TO ARCHITECTURAL PLANS.
- NEW TRASH ENCLOSURE. REFER TO ARCHITECTURAL PLANS.
- NEW FUEL CANOPY.
- NEW FUEL MULTI-PRODUCT DISPENSER(S).
- NEW UNDER GROUND FUEL STORAGE TANKS.
- NEW FUEL DISPENSER EMERGENCY EMERGENCY SHUT-OFF SWITCH.
- NEW ACCESSIBLE PARKING PAINTED STRIPING.
- NEW ACCESSIBLE PARKING AND FINE SIGN(S) IN BOLLARD (2 TOTAL).
- NEW 6" PIPE BOLLARD(S).
- NEW "U" BOLLARD(S).
- NEW 4" YELLOW STRIPE.
- NEW STRIPING / NO PARKING AREA.
- NEW 6" VERTICAL CURB.
- NEW CONCRETE CURB AND GUTTER TO MATCH EXISTING PER LOCAL REQUIREMENTS.
- NEW CONCRETE GUTTER TO MATCH EXISTING PER LOCAL REQUIREMENTS.
- NEW CONCRETE MOUNTABLE CURB / ISLAND.
- NEW CONCRETE SIDEWALK.
- NEW CONCRETE TANK SLAB.
- NEW CONCRETE PAVEMENT.
- NEW LOT LIGHT.
- NEW AIR COMPRESSOR ON CONCRETE SLAB.
- NEW THREE PRODUCT HORIZONTAL PYLON SIGN.
- NEW CONCRETE RAMP PER LOCAL REQUIREMENTS.
- NEW CONCRETE SIDEWALK PER LOCAL REQUIREMENTS.
- NEW BIKE RACK.
- NEW GRATE INLET PER CITY OF MADISON REQUIREMENTS.
- NEW FLARED END SECTION (FES) PER CITY OF MADISON REQUIREMENTS.
- NEW TRENCH DRAIN.
- NEW WATER QUALITY UNIT #1.
- NEW WATER QUALITY UNIT #2.
- NEW FIRE LANE SIGN(S).
- NEW MODULAR "COMPACT KEYSTONE" RETAINING WALL PER MANUFACTURERS SPECIFICATIONS. COLOR TO BE COMPLIMENTARY TO BUILDING FINISH AND APPROVED BY OPERATOR / CONSTRUCTION MANAGER.
- RELOCATED SIGN(S) AS APPROVED BY CONSTRUCTION MANAGER.
- NEW 7' TALL PRIVACY FENCE.
- NEW OUTLET CONTROL STRUCTURE.
- NEW COMMON ACCESS EASEMENT.
- NEW PRIVATE SANITARY SEWER EASEMENT.
- NEW "STOP" SIGN.

**RIGHT-OF-WAY NOTE:**  
 THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPTS.

### PARKING LOT PLAN SITE INFORMATION BLOCK

SITE ADDRESS	3603 CROSS HILL DR, MADISON, WI
SITE ACREAGE (TOTAL)	78,888 S.F. / 1.811 AC.
NUMBER OF BUILDING STORIES (ABOVE GRADE)	1
BUILDING HEIGHT	26'-4"
DILHR TYPE OF CONSTRUCTION (NEW STRUCTURES OR ADDITIONS)	TYPE VB - NON RATED -(WOOD FRAME)
TOTAL SQUARE FOOTAGE OF ASSEMBLY	4,485 S.F.
USE OF PROPERTY	57 S.F.
GROSS SQUARE FEET OF OFFICE	2,678 S.F.
GROSS SQUARE FEET OF RETAIL AREA	NA
NUMBER OF EMPLOYEES IN WAREHOUSE	NA
NUMBER OF EMPLOYEES IN PRODUCTION AREA	NA
CAPACITY OF RESTAURANT/PLACE OF ASSEMBLY	52 PERSON TOTAL BUILDING
NUMBER OF BICYCLE STALLS SHOWN	6
NUMBER OF PARKING STALLS SHOWN	27 (9' X 20') (ALL STALLS 9' X 20') (ALL STALLS 9' X 20') 2 (8' X 20')
SMALL CAR	29
LARGE CAR	SEE LANDSCAPE PLAN
ACCESSIBLE	
TOTAL	
NUMBER OF TREES SHOWN	

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## CORE STATES

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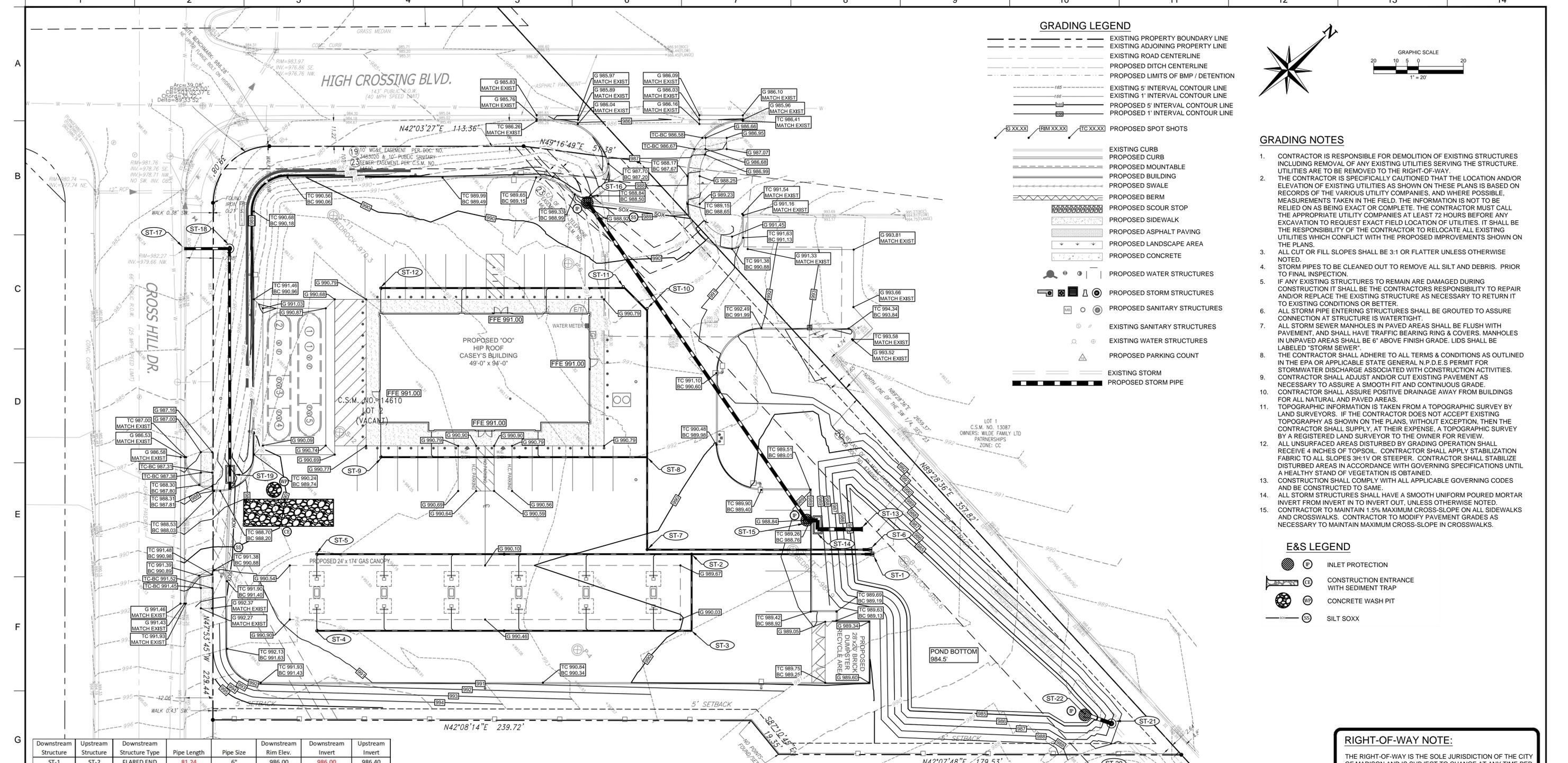
**CASEY'S CONSTRUCTION DIVISION**  
 One Convenience Blvd., P.O. Box 3001, Ankeny, Ia. 50021 515-965-6100

PROJECT: MADISON, WI  
 3603 CROSS HILL DR

DRAWING INFORMATION:  
 PUBLISHED: 04.16.18  
 REVISIONS:

SITE PLAN

C4



**GRADING LEGEND**

- EXISTING PROPERTY BOUNDARY LINE
- EXISTING ADJOINING PROPERTY LINE
- EXISTING ROAD CENTERLINE
- PROPOSED DITCH CENTERLINE
- PROPOSED LIMITS OF BMP / DETENTION
- EXISTING 5' INTERVAL CONTOUR LINE
- EXISTING 1' INTERVAL CONTOUR LINE
- PROPOSED 5' INTERVAL CONTOUR LINE
- PROPOSED 1' INTERVAL CONTOUR LINE
- PROPOSED SPOT SHOTS
- EXISTING CURB
- PROPOSED CURB
- PROPOSED MOUNTABLE
- PROPOSED BUILDING
- PROPOSED SIDEWALK
- PROPOSED SWALE
- PROPOSED BERM
- PROPOSED SCOUR STOP
- PROPOSED ASPHALT PAVING
- PROPOSED LANDSCAPE AREA
- PROPOSED CONCRETE
- PROPOSED WATER STRUCTURES
- PROPOSED STORM STRUCTURES
- PROPOSED SANITARY STRUCTURES
- EXISTING SANITARY STRUCTURES
- EXISTING WATER STRUCTURES
- EXISTING STORM
- PROPOSED STORM PIPE

**GRADING NOTES**

1. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
4. STORM PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS. PRIOR TO FINAL INSPECTION.
5. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
6. ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
7. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER".
8. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE EPA OR APPLICABLE STATE GENERAL N.P.D.E.S PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
9. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
10. TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY LAND SURVEYORS. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.
11. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH GOVERNING SPECIFICATIONS UNTIL A HEALTHY STAND OF VEGETATION IS OBTAINED.
12. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
13. ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT, UNLESS OTHERWISE NOTED.
14. CONTRACTOR TO MAINTAIN 1.5% MAXIMUM CROSS-SLOPE ON ALL SIDEWALKS AND CROSSWALKS. CONTRACTOR TO MODIFY PAVEMENT GRADES AS NECESSARY TO MAINTAIN MAXIMUM CROSS-SLOPE IN CROSSWALKS.

**E&S LEGEND**

- INLET PROTECTION
- CONSTRUCTION ENTRANCE WITH SEDIMENT TRAP
- CONCRETE WASH PIT
- SILT SOXX

**RIGHT-OF-WAY NOTE:**  
 THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPTS.

**STORM SEWER NOTES**

1. UNLESS NOTED OTHERWISE, ALL STORM SEWER & SERVICES SHALL BE IN CONFORMANCE WITH THE FOLLOWING:
  - 1.1. POLYVINYL CHLORIDE (PVC) PIPE
    - A. PIPE & FITTING MATERIAL - POLYVINYL CHLORIDE (PVC) PIPE: ASTM D3034 (SDR-PR) NSF 14. MINIMUM SDR RATING 26.
    - B. GASKETS - FLEXIBLE ELASTOMERIC, ASTM F477
    - C. FITTINGS - PVC SDR 18 EXTRA HEAVY BY HARCO. ASTM D3034
    - D. JOINTS - ASTM D3212
    - E. BEDDING - CLASS II, ASTM 2321
  - 1.2. HDPE PIPE (ADS N-12 OR APPROVED EQUAL)
    - A. JOINTS: AASHTO M-294, TYPE S WITH BELL AND SPIGOT PUSH-ON ELASTOMERIC RUBBER "O-RING" GASKET JOINTS MEETING ASTM F-477.
    - B. FITTINGS: SAME AS PIPE.
    - C. INSTALLATION OF ADS N-12 HDPE PIPE SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S (ADS) PRODUCT NOTE 3.115.
    - D. INITIAL BACKFILL SHALL EXTEND 12" ABOVE THE PIPE AND MAY CONSIST OF PREVIOUSLY EXCAVATED LOW PLASTICITY CLASS IV MATERIAL THAT MEETS THE GRADATION REQUIREMENTS OF CLASS I, II OR III.
    - E. GRANULAR TRENCH BACKFILL REQUIREMENTS ARE THE SAME AS FOR RCPP STORM SEWER.
    - F. ALL REACHES OF ADS N-12 HDPE STORM SEWER SHALL BE LAMPED AND A "FULL CIRCLE OF LIGHT" SHALL BE VISIBLE BETWEEN THE MANHOLES.
  - 1.3. RCPP
    - A. PIPE MATERIAL - REINFORCED CONCRETE PIPE
    - B. GASKETS - FLEXIBLE RUBBER OR BITUMINOUS MASTIC
    - C. BEDDING - CLASS C, ASTM C12.
2. ALL UTILITY MAIN AND SERVICE TRENCHES SHALL BE BACKFILLED WITH GRANULAR MATERIAL IN ACCORDANCE WITH THE CURRENT EDITION OF THE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS BOOK WHERE THE TRENCH IS UNDER OR WITHIN 2 FEET OF EXISTING OR PROPOSED, SIDEWALK OR AGGREGATE SURFACE COURSE.
3. SEWER MAINS SHALL CROSS BELOW WATER SERVICES WITH A MINIMUM VERTICAL SEPARATION OF 18 INCHES WHILE STILL MAINTAINING THE REQUIRED DEPTH OF COVER. IF PROPER SEPARATION IS NOT POSSIBLE, OR IF THE SEWER MAIN MUST BE ROUTED ABOVE THE WATER SERVICE, SEWER MAIN ENCASEMENT SHALL BE REQUIRED AND THE SEWER SHALL BE CONSTRUCTED OF WATER MAIN QUALITY PIPE IN ACCORDANCE WITH THE LOCAL PLUMBING CODE.
4. SEWER MAIN ENCASEMENT SHALL BE PVC SDR 26 (ASTM D-2241), MINIMUM SIZE OF 12". ENCASEMENT SHALL EXTEND TO 10 FEET EITHER SIDE OF THE WATER SERVICE BEING CROSSED AND THE ENDS SHALL BE PLUGGED SEALED WITH MORTAR.
5. ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE MAINTAINED IN SERVICE AND BE REPLACED WITH HDPE OR PVC PIPE STORM SEWER OF APPROPRIATE SIZE AND SLOPE.

Downstream Structure	Upstream Structure	Downstream Structure Type	Pipe Length	Pipe Size	Downstream Rim Elev.	Downstream Invert	Upstream Invert
ST-1	ST-2	FLARED END	81.24	6"	986.00	986.00	986.40
ST-2	ST-3	WYE	34.00	6"	989.67	986.40	986.57
ST-3	ST-4	CLEANOUT	167.00	6"	989.87	986.57	987.39
ST-4	-	CLEANOUT	-	-	990.92	987.39	-
ST-2	ST-5	WYE	167.00	6"	989.87	986.40	987.39
ST-5	-	CLEANOUT	-	-	990.51	987.39	-
ST-6	ST-7	FLARED END	100.14	6"	986.00	986.00	986.47
ST-7	ST-8	CLEANOUT	41.00	6"	989.88	986.47	986.67
ST-8	ST-9	WYE	118.68	6"	990.41	986.67	987.23
ST-9	-	CLEANOUT	-	-	990.75	987.23	-
ST-8	ST-10	WYE	65.02	6"	990.41	986.67	987.03
ST-10	ST-11	CLEANOUT	14.14	6"	990.61	987.03	987.63
ST-11	ST-12	CLEANOUT	108.62	6"	990.97	987.63	987.71
ST-12	-	CLEANOUT	-	-	990.69	987.71	-
ST-13	ST-14	FLARED END	166.70	18"	988.80	984.75	984.82
ST-14	ST-15	WQU	7	18"	988.74	985.02	985.06
ST-15	ST-16	GRATED INLET	20	18"	989.00	985.06	985.65
ST-16	-	GRATED INLET	-	-	988.00	985.65	-
ST-17	ST-18	EXISTING STUB	15.00	12"	982.27	989.86	980.25
ST-18	ST-19	MH	106.00	12"	985.00	981.17	983.62
ST-19	-	WQU	-	-	988.62	983.62	-
ST-20	ST-21	EXISTING	400.00	18"	988.00	982.80	984.00
ST-21	ST-22	MH-CS	10.00	18"	984.40	984.50	984.50
ST-22	-	FLARED END	-	-	984.50	-	-

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**811**  
 Know what's below. Call before you dig.

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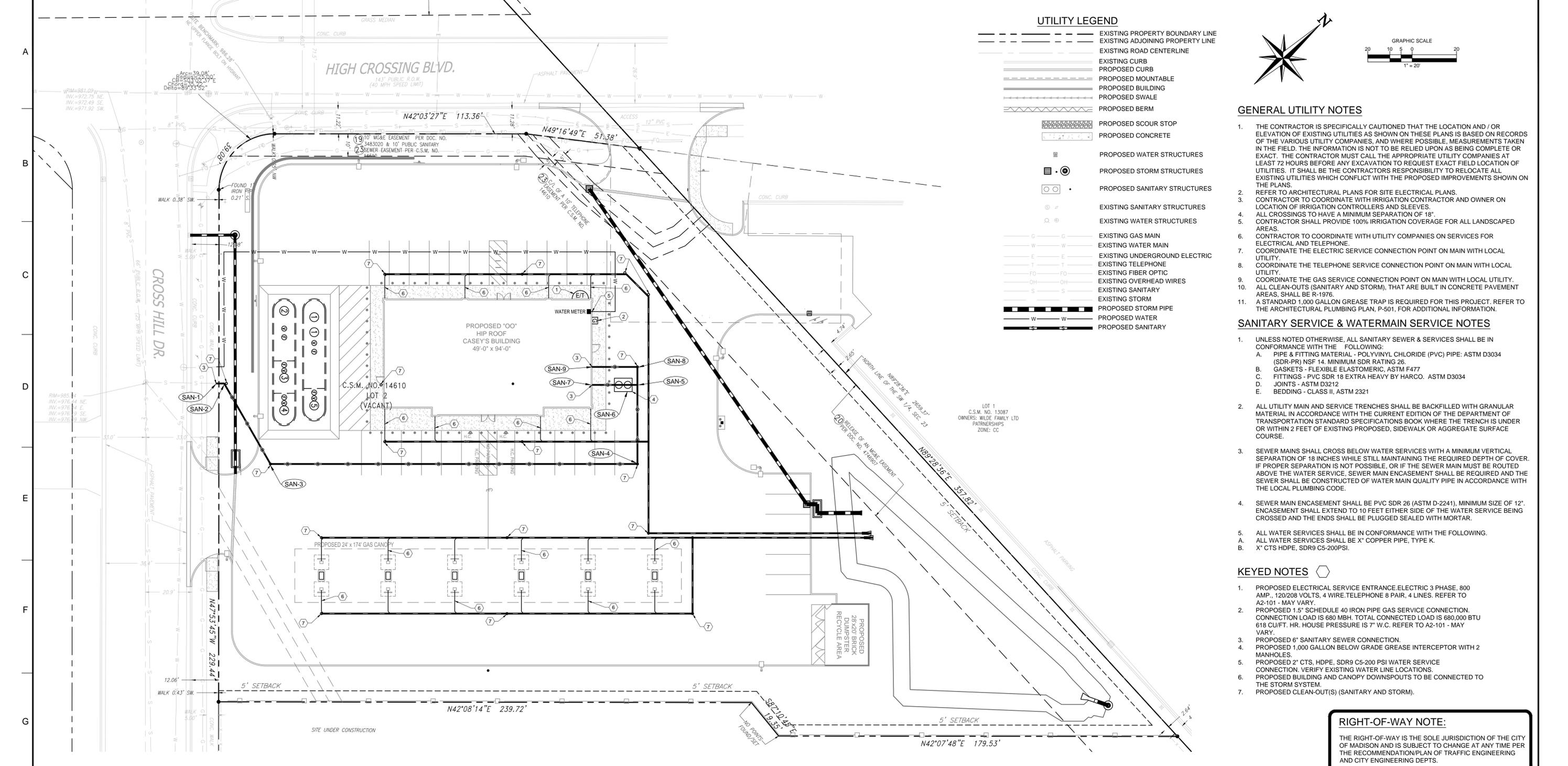
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**CASEY'S CONSTRUCTION DIVISION**  
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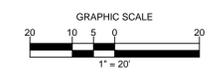
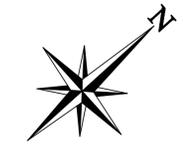
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PROJECT: MADISON, WI 3603 CROSS HILL DR "OO" HIP-ROOF STYLE STORE	PUBLISHED: 04.16.18 REVISION:	<b>GRADING &amp; EROSION CONTROL PLAN</b> <b>C5</b>
DRAWING INFORMATION: CONSTRUCTION DIVISION DRAWN BY: MAB CHECKED BY: CDF		



**UTILITY LEGEND**

- EXISTING PROPERTY BOUNDARY LINE
- EXISTING ADJOINING PROPERTY LINE
- EXISTING ROAD CENTERLINE
- EXISTING CURB
- PROPOSED CURB
- PROPOSED MOUNTABLE
- PROPOSED SWALE
- PROPOSED BERM
- PROPOSED SCOUR STOP
- PROPOSED CONCRETE
- PROPOSED WATER STRUCTURES
- PROPOSED STORM STRUCTURES
- PROPOSED SANITARY STRUCTURES
- EXISTING SANITARY STRUCTURES
- EXISTING WATER STRUCTURES
- EXISTING GAS MAIN
- EXISTING WATER MAIN
- EXISTING UNDERGROUND ELECTRIC
- EXISTING TELEPHONE
- EXISTING FIBER OPTIC
- EXISTING OVERHEAD WIRES
- EXISTING SANITARY
- EXISTING STORM
- PROPOSED STORM PIPE
- PROPOSED WATER
- PROPOSED SANITARY



**GENERAL UTILITY NOTES**

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND / OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING COMPLETE OR EXACT. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
2. REFER TO ARCHITECTURAL PLANS FOR SITE ELECTRICAL PLANS.
3. CONTRACTOR TO COORDINATE WITH IRRIGATION CONTRACTOR AND OWNER ON LOCATION OF IRRIGATION CONTROLLERS AND SLEEVES.
4. ALL CROSSINGS TO HAVE A MINIMUM SEPARATION OF 18".
5. CONTRACTOR SHALL PROVIDE 100% IRRIGATION COVERAGE FOR ALL LANDSCAPED AREAS.
6. CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES ON SERVICES FOR ELECTRICAL AND TELEPHONE.
7. COORDINATE THE ELECTRIC SERVICE CONNECTION POINT ON MAIN WITH LOCAL UTILITY.
8. COORDINATE THE TELEPHONE SERVICE CONNECTION POINT ON MAIN WITH LOCAL UTILITY.
9. COORDINATE THE GAS SERVICE CONNECTION POINT ON MAIN WITH LOCAL UTILITY.
10. ALL CLEAN-OUTS (SANITARY AND STORM), THAT ARE BUILT IN CONCRETE PAVEMENT AREAS, SHALL BE R-1976.
11. A STANDARD 1,000 GALLON GREASE TRAP IS REQUIRED FOR THIS PROJECT. REFER TO THE ARCHITECTURAL PLUMBING PLAN, P-501, FOR ADDITIONAL INFORMATION.

**SANITARY SERVICE & WATERMAIN SERVICE NOTES**

1. UNLESS NOTED OTHERWISE, ALL SANITARY SEWER & SERVICES SHALL BE IN CONFORMANCE WITH THE FOLLOWING:
  - A. PIPE & FITTING MATERIAL - POLYVINYL CHLORIDE (PVC) PIPE: ASTM D3034 (SDR-PR) NSF 14. MINIMUM SDR RATING 26.
  - B. GASKETS - FLEXIBLE ELASTOMERIC, ASTM F477
  - C. FITTINGS - PVC SDR 18 EXTRA HEAVY BY HARCO. ASTM D3034
  - D. JOINTS - ASTM D3212
  - E. BEDDING - CLASS II, ASTM 2321
2. ALL UTILITY MAIN AND SERVICE TRENCHES SHALL BE BACKFILLED WITH GRANULAR MATERIAL IN ACCORDANCE WITH THE CURRENT EDITION OF THE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS BOOK WHERE THE TRENCH IS UNDER OR WITHIN 2 FEET OF EXISTING PROPOSED, SIDEWALK OR AGGREGATE SURFACE COURSE.
3. SEWER MAINS SHALL CROSS BELOW WATER SERVICES WITH A MINIMUM VERTICAL SEPARATION OF 18 INCHES WHILE STILL MAINTAINING THE REQUIRED DEPTH OF COVER. IF PROPER SEPARATION IS NOT POSSIBLE, OR IF THE SEWER MAIN MUST BE ROUTED ABOVE THE WATER SERVICE, SEWER MAIN ENCASUREMENT SHALL BE REQUIRED AND THE SEWER SHALL BE CONSTRUCTED OF WATER MAIN QUALITY PIPE IN ACCORDANCE WITH THE LOCAL PLUMBING CODE.
4. SEWER MAIN ENCASUREMENT SHALL BE PVC SDR 26 (ASTM D-2241), MINIMUM SIZE OF 12". ENCASUREMENT SHALL EXTEND TO 10 FEET EITHER SIDE OF THE WATER SERVICE BEING CROSSED AND THE ENDS SHALL BE PLUGGED SEALED WITH MORTAR.
5. ALL WATER SERVICES SHALL BE IN CONFORMANCE WITH THE FOLLOWING.
  - A. ALL WATER SERVICES SHALL BE X" COPPER PIPE, TYPE K.
  - B. X" CTS HDPE, SDR9 C5-200PSI.

**KEYED NOTES**

1. PROPOSED ELECTRICAL SERVICE ENTRANCE. ELECTRIC 3 PHASE, 800 AMP., 120/208 VOLTS, 4 WIRE. TELEPHONE 8 PAIR, 4 LINES. REFER TO A2-101 - MAY VARY.
2. PROPOSED 1.5" SCHEDULE 40 IRON PIPE GAS SERVICE CONNECTION. CONNECTION LOAD IS 680 MBH. TOTAL CONNECTION LOAD IS 680,000 BTU 618 CU/FT. HR. HOUSE PRESSURE IS 7" W.C. REFER TO A2-101 - MAY VARY.
3. PROPOSED 6" SANITARY SEWER CONNECTION.
4. PROPOSED 1,000 GALLON BELOW GRADE GREASE INTERCEPTOR WITH 2 MANHOLES.
5. PROPOSED 2" CTS, HDPE, SDR9 C5-200 PSI WATER SERVICE CONNECTION. VERIFY EXISTING WATER LINE LOCATIONS.
6. PROPOSED BUILDING AND CANOPY DOWNSPOUTS TO BE CONNECTED TO THE STORM SYSTEM.
7. PROPOSED CLEAN-OUT(S) (SANITARY AND STORM).

**RIGHT-OF-WAY NOTE:**  
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Downstream Structure	Upstream Structure	Downstream Structure Type	Pipe Length	Pipe Size	Downstream Rim Elev.	Downstream Invert
SAN-1	SAN-2	PROP TAP	3.67	6"	985.73	978.60
SAN-2	SAN-3	CLEANOUT	41.83	6"	987.07	978.95
SAN-3	SAN-4	CLEANOUT	165.15	6"	989.58	982.92
SAN-4	SAN-5	CLEANOUT	35.43	6"	990.39	984.57
SAN-5	SAN-6	WYE	6.35	6"	990.62	984.93
SAN-6	SAN-7	GREASE TRAP	14.00	6"	990.71	985.07
SAN-7	-	BUILDING	-	-	991.00	985.37
SAN-5	SAN-8	WYE	8.05	6"	990.62	984.93
SAN-8	SAN-9	CLEANOUT	20.35	6"	990.72	985.06
SAN-9	-	BUILDING	-	-	991.00	985.37

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04/17/18

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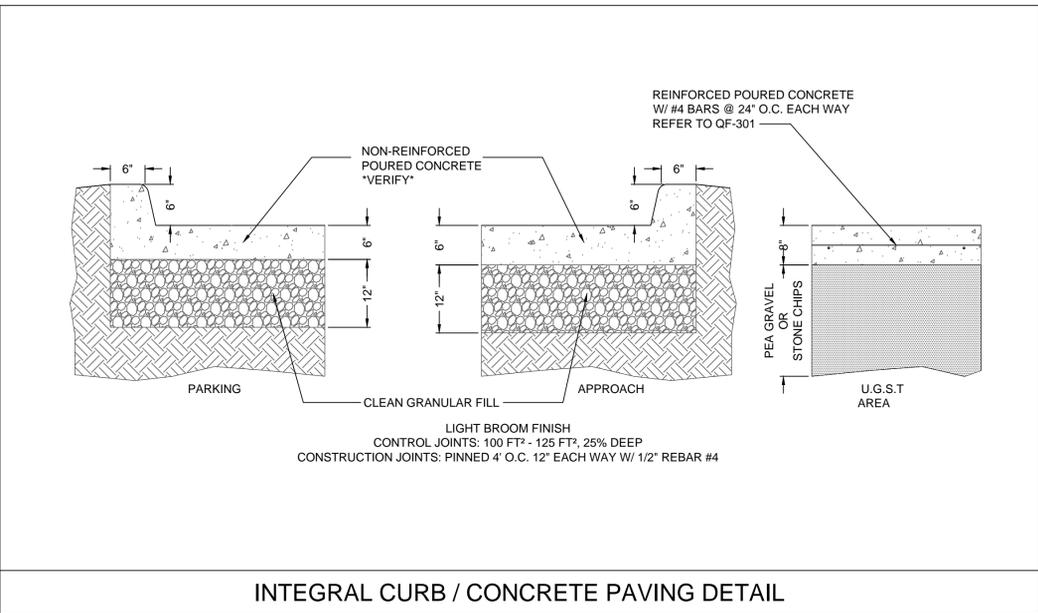
**CASEY'S CONSTRUCTION DIVISION**  
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PROJECT: MADISON, WI  
3603 CROSS HILL DR

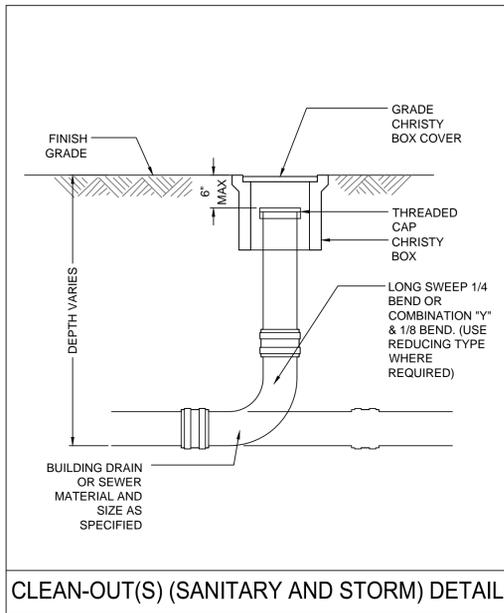
DRAWING INFORMATION:  
DATE: 04.16.18  
REVISIONS:

UTILITY PLAN

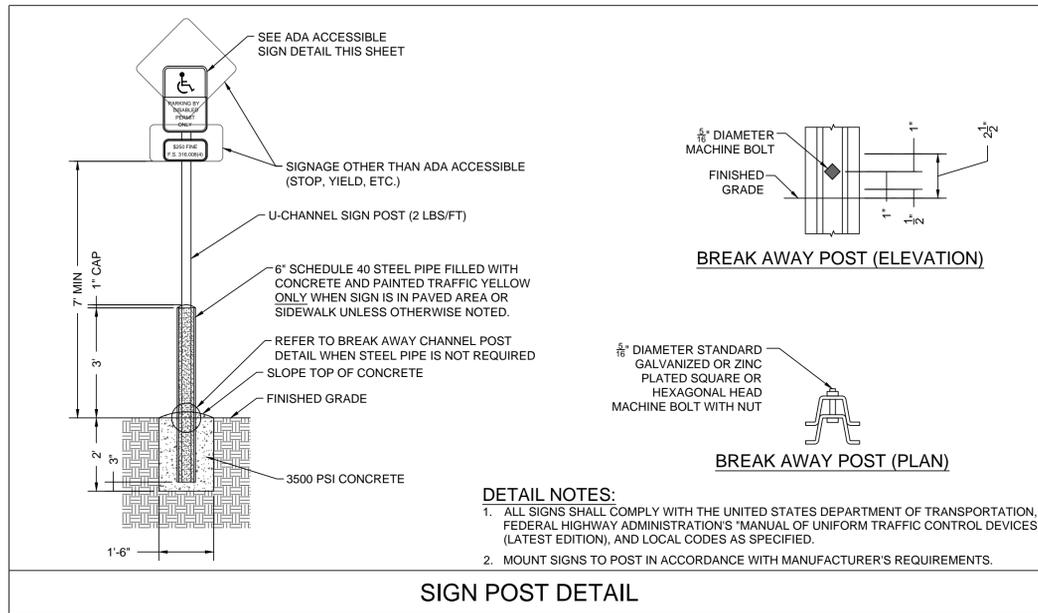
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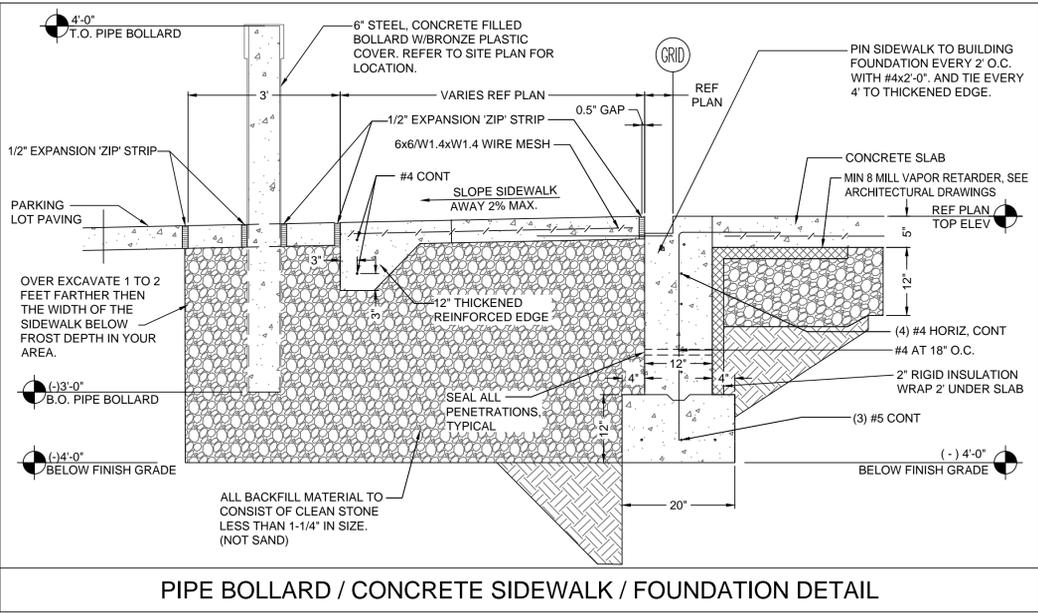
INTEGRAL CURB / CONCRETE PAVING DETAIL



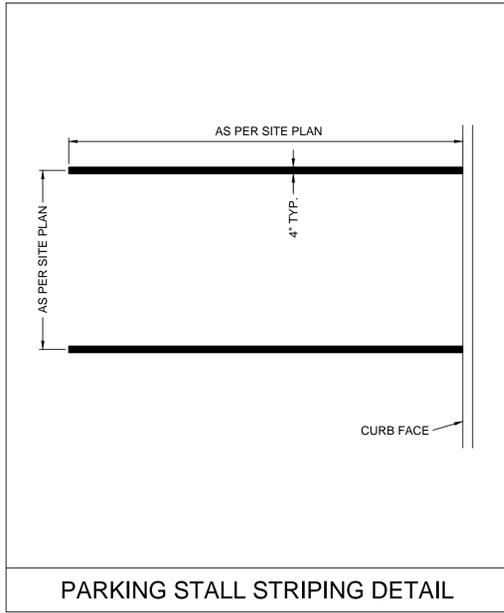
CLEAN-OUT(S) (SANITARY AND STORM) DETAIL



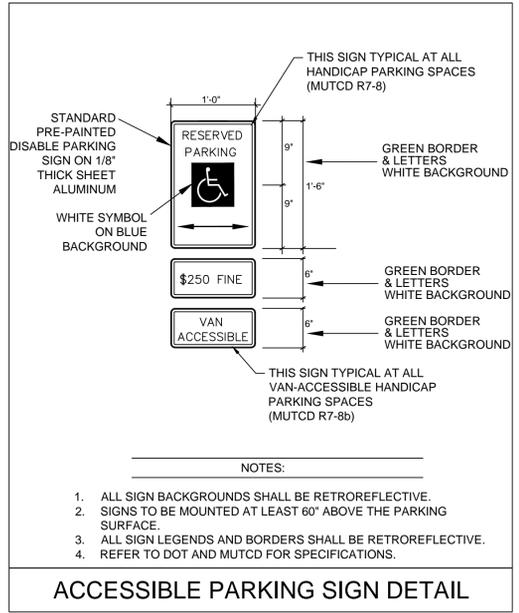
SIGN POST DETAIL



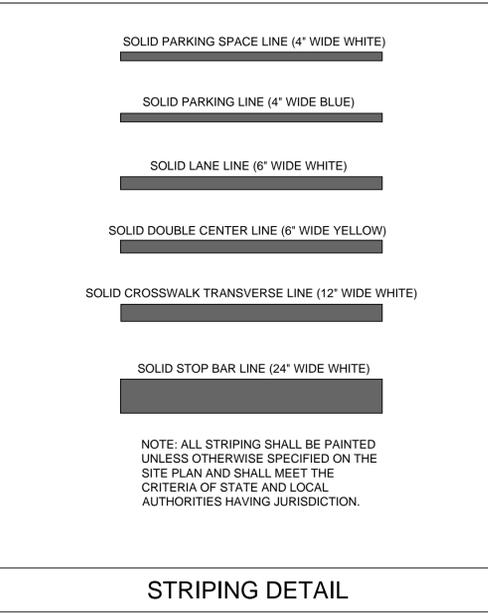
PIPE BOLLARD / CONCRETE SIDEWALK / FOUNDATION DETAIL



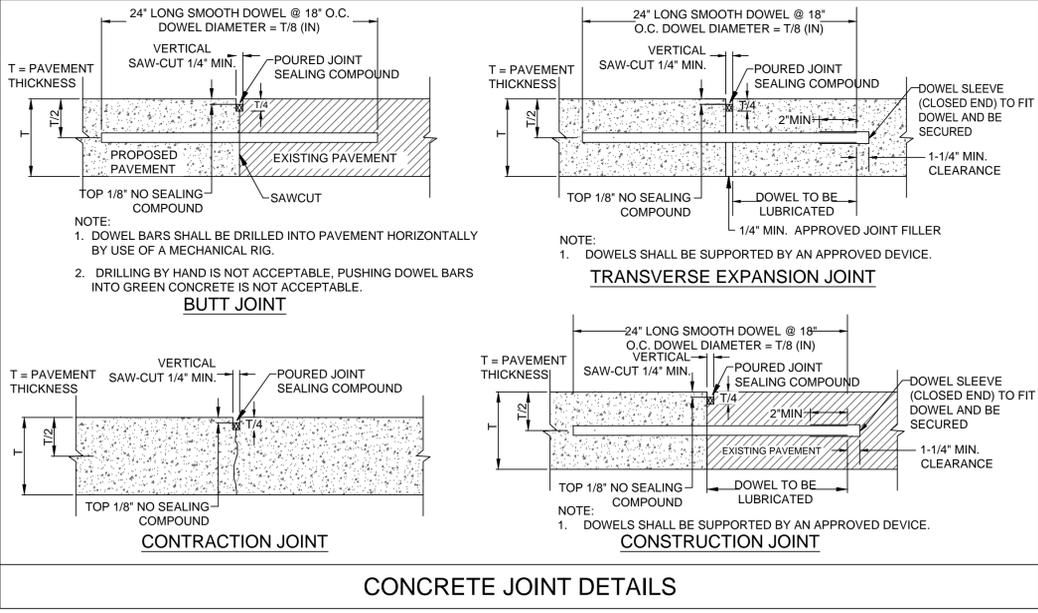
PARKING STALL STRIPING DETAIL



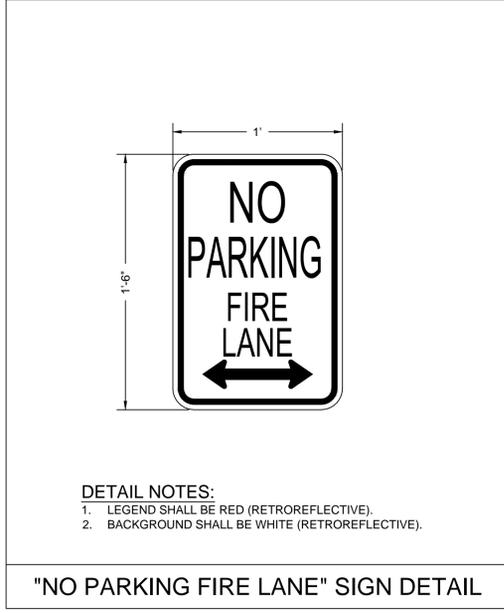
ACCESSIBLE PARKING SIGN DETAIL



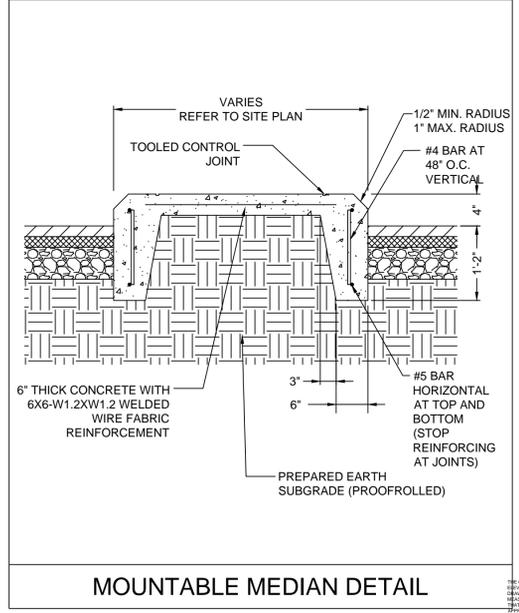
STRIPING DETAIL



CONCRETE JOINT DETAILS



"NO PARKING FIRE LANE" SIGN DETAIL



MOUNTABLE MEDIAN DETAIL

**WISCONSIN PROFESSIONAL ENGINEER**  
PATRICK BENNETT  
E-37470  
ST. LOUIS, MO  
04/17/18

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**CASEY'S Construction Division**  
One Convenience Blvd., P.O. Box 3001, Ankeny, Ia. 50021 515-965-6100

PROJECT: MADISON, WI  
3603 CROSS HILL DR  
"OO" HIP-ROOF STYLE STORE

PUBLISHED: 04.16.18  
REVISIONS:

DRAWING INFORMATION:  
CONSTRUCTION DIVISION

DESIGNED BY: MAB  
CHECKED BY: CDF

STANDARD SITE DETAILS  
C7



PLAN VIEW

ELEVATION A-A

ELEVATION B-B

**NOT FOR CONSTRUCTION, EXAMPLE ONLY,  
DRAWING WILL BE MODIFIED TO SUIT  
REQUIREMENTS OF SITE.**

OUTLET PIPE STUB SIZE INFORMATION  
Outside Diameter: 10.5", 12.5" or 15.3" OD  
Concrete Penetration: Pipe Boot (by Hydro)  
Hook-up: Fernco-type coupling (by others)

SEE ADDITIONAL DESIGN INFORMATION BELOW, NOTE 1

**Notes**

- MANHOLE WALL AND SLAB THICKNESSES ARE NOT TO SCALE.
- CONTACT HYDRO INTERNATIONAL FOR A BOTTOM OF STRUCTURE ELEVATION PRIOR TO SETTING DOWNSTREAM DEFENDER MANHOLE.

**REVISION HISTORY**

REV	BY	DATE	DESCRIPTION
B	JL	2/02/15	NOTES

Date: 6/13/13      Scale: NTS

Drawn: JLL3      Checked:      Approved:

**Title**  
4-FT x 10.5-FT VAULT  
UP-FLO FILTER  
18 MODULES (19 MAX)  
1-ROW VAULT  
EXTERNALLY BYPASSED

**DISTRIBUTED BY**  
ADVANCED DRAINAGE SYSTEMS, INC.  
 PLEASE CALL OR EMAIL JAKE BRUNOEHNER FOR PRICING  
Jake.Brunoehner@ads-pipe.com    262-794-2306

**Hydro International**

Stormwater Solutions  
94 Hutchins Drive  
Portland, Maine 04102  
Tel: (207) 756-6200  
Fax: (207) 756-6212  
stormwaterinquiry@hydro-int.com

**Parts List**

ITEM	QTY	DESCRIPTION	SIZE
1	1	PRECAST VAULT (BY HYDRO VIA PRECASTER)	48 in x 124 in
2	18	FILTER MODULE	
	18	FILTER BAG SET	
3	1	OUTLET MODULE w/ BRACKET, BYPASS HOOD & DRAINDOWN	
4	4,4	DUAL SUPPORT BRACKET W/ ANGLED SCREEN	RIGHT, LEFT
5	2	SINGLE SUPPORT BRACKET W/ ANGLED SCREEN	
6	2	BACKER PLATE FOR SINGLE SUPPORT	
7	2	TRIANGULAR MOUNTING BRACKET	
8	0	ADDITIONAL DRAINDOWN	
9	1	FRAME AND COVERS	30 in
10	1	INLET PIPE (BY OTHERS)	15 in
11	1	OUTLET PIPE (BY OTHERS)	15 in

**CAPACITIES:**

- Minimum performance: 80% removal of Sil-Co-Sil 106 (d50 = 22 microns) at the peak treatment flow.
- NJDEP peak treatment flow: 0.056 cfs/module \* OR 0.66 acres of imperviousness/module, whichever results in the greater number of modules.
- Maximum number of modules: 19 \*\*
- Exact vault and pipe sizes may vary. Inlet and Outlet locations may vary.

**ADDITIONAL DESIGN INFORMATION:**

- \* Normal operating W.S.E. is 2.46' above the outlet invert at the peak treatment flow of 0.056 cfs/module. For a given flow the head requirement can be reduced by adding additional filters.
- \*\* Treatment flows that require more modules will require a larger vault design or different arrangement.
- Media Type: CPZ

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**CAD Ref:** GA, 19MZ-UFF, External  
**Project No.**  
**Drawing No.** 19MZ, UFF Rev. B

**CORE STATES GROUP**

6500 Chippewa Street Suite 200  
St. Louis, MO 63109  
Phone (314) 843-4320  
P.Bennett@core-eng.com

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One Convenience Blvd., P.O. Box 3001, Ankeny, Ia. 50021 515-965-6100

PROJECT: MADISON, WI  
3603 CROSS HILL DR  
"OO" HIP-ROOF  
STYLE STORE

PUBLISHED: 04.16.18  
REVISIONS:

DRAWING INFORMATION:  
**STANDARD SITE DETAILS**

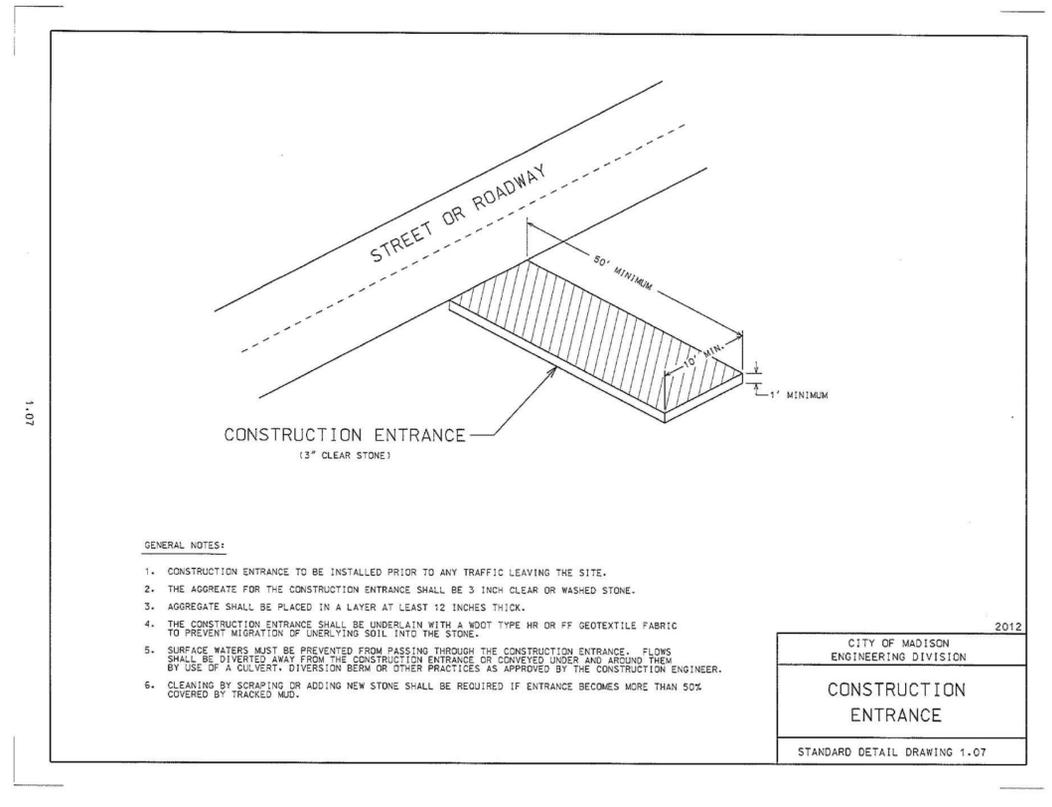
CONSTRUCTION DIVISION

DESIGNED BY: MAB      CHECKED BY: CDF

**811**  
Know what's below. Call before you dig.

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION, DEPTH, AND DIRECTION OF EXISTING UTILITIES AS SHOWN ON THIS PLAN IS BASED ON OPEN SOURCE INFORMATION AND IS NOT GUARANTEED. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH, AND DIRECTION OF ALL UTILITIES PRIOR TO ANY EXCAVATION. THE CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES.

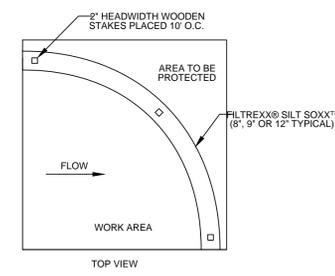
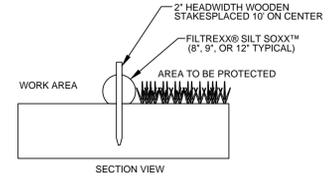
**C9**



- GENERAL NOTES:**
- CONSTRUCTION ENTRANCE TO BE INSTALLED PRIOR TO ANY TRAFFIC LEAVING THE SITE.
  - THE AGGREGATE FOR THE CONSTRUCTION ENTRANCE SHALL BE 3 INCH CLEAR OR WASHED STONE.
  - AGGREGATE SHALL BE PLACED IN A LAYER AT LEAST 12 INCHES THICK.
  - THE CONSTRUCTION ENTRANCE SHALL BE UNDERLAIN WITH A WOOD TYPE HR OR FF GEOTEXTILE FABRIC TO PREVENT MIGRATION OF UNDERLYING SOIL INTO THE STONE.
  - SURFACE WATERS MUST BE PREVENTED FROM PASSING THROUGH THE CONSTRUCTION ENTRANCE. FLOWS SHALL BE DIVERTED AWAY FROM THE CONSTRUCTION ENTRANCE OR CONVEYED UNDER AND AROUND THEM BY USE OF A CULVERT, DIVERSION BERM OR OTHER PRACTICES AS APPROVED BY THE CONSTRUCTION ENGINEER.
  - CLEANING BY SCRAPING OR ADDING NEW STONE SHALL BE REQUIRED IF ENTRANCE BECOMES MORE THAN 50% COVERED BY TRACKED MUD.

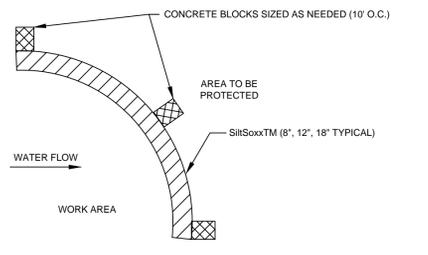
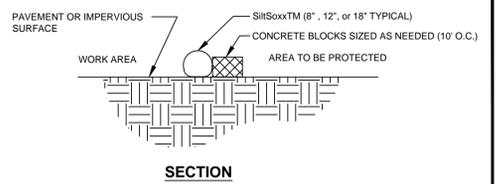
CITY OF MADISON  
ENGINEERING DIVISION  
**CONSTRUCTION ENTRANCE**  
STANDARD DETAIL DRAWING 1.07

CONSTRUCTION EXIT (CE)



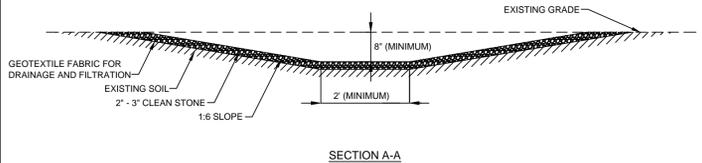
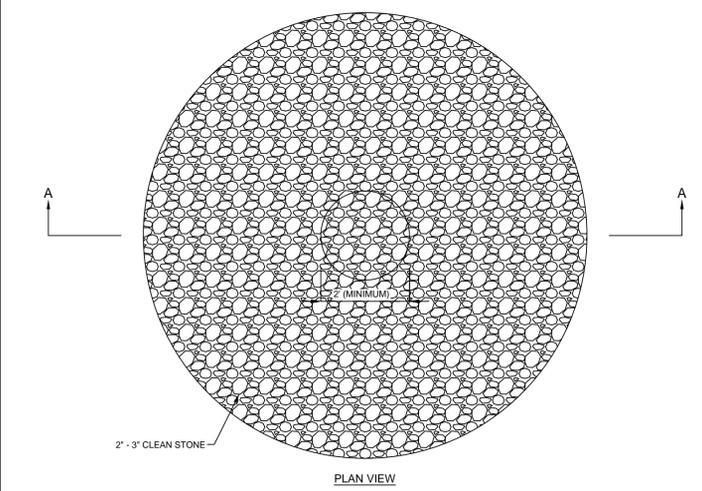
- NOTES**
- ALL MATERIAL TO MEET SPECIFICATIONS.
  - FILTER MEDIA TO MEET APPLICATION REQUIREMENTS.
  - FILTER MEDIA TO BE DISPENSED ON SITE, AS DETERMINED BY ENGINEER.

SILT SOXX ON TURF (SS)



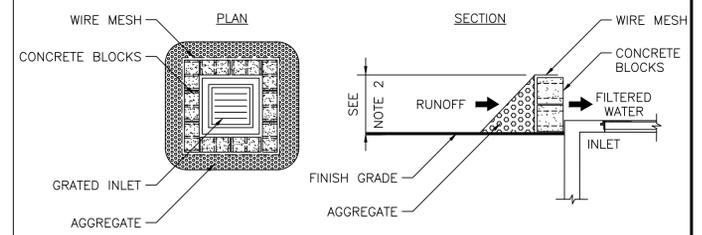
- NOTES**
- ALL MATERIAL TO MEET SPECIFICATIONS.
  - FILTER MEDIA TO MEET APPLICATION REQUIREMENTS.
  - FILTER MEDIA TO BE DISPENSED ON SITE, AS DETERMINED BY ENGINEER.

SILT SOXX ON PAVEMENT (SS)



- DETAIL NOTES:**
- FLUSH SURFACE STONE WITH HIGH VOLUME WATER FLOW AS NEEDED TO MAINTAIN CLEAN SURFACE STONE.
  - CONTRACTOR TO LOCATE TEMPORARY CONSTRUCTION FENCING, OR BOTH ALONG THE SIDES OF THE CONCRETE WASH PIT.

CONCRETE WASH PIT (WP)



- PLACE CONCRETE BLOCKS IN A SINGLE ROW AROUND PERIMETER OF INLET ON THEIR SIDES, WITH ENDS OF ADJACENT BLOCKS ABUTTING.
- HEIGHT OF BARRIER VARIES. USE STACKS OF 4", 8", OR 12" BLOCKS. MIN. HEIGHT OF BARRIER SHALL BE 12" AND MAX. HEIGHT SHALL BE 24".
- PLACE HARDWARE CLOTH/WIRE MESH W/ MAX. 1/2" OPENINGS OVER VERTICAL FACE OF CONCRETE BLOCKS.
- THE AGGREGATE SHALL BE 3/4"-2" ANGULAR CLEAN STONE, WHICH WILL SLOW THE FLOW OF THE WATER AND ALLOW IT TO FILTER THROUGH AND OVER THE MATERIAL BEFORE ENTERING THE INLET.

BLOCK & AGGREGATE INLET SEDIMENT DEVICE (IP1)

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One Convenience Blvd., P.O. Box 3001, Ankeny, Ia. 50021 515-965-6100

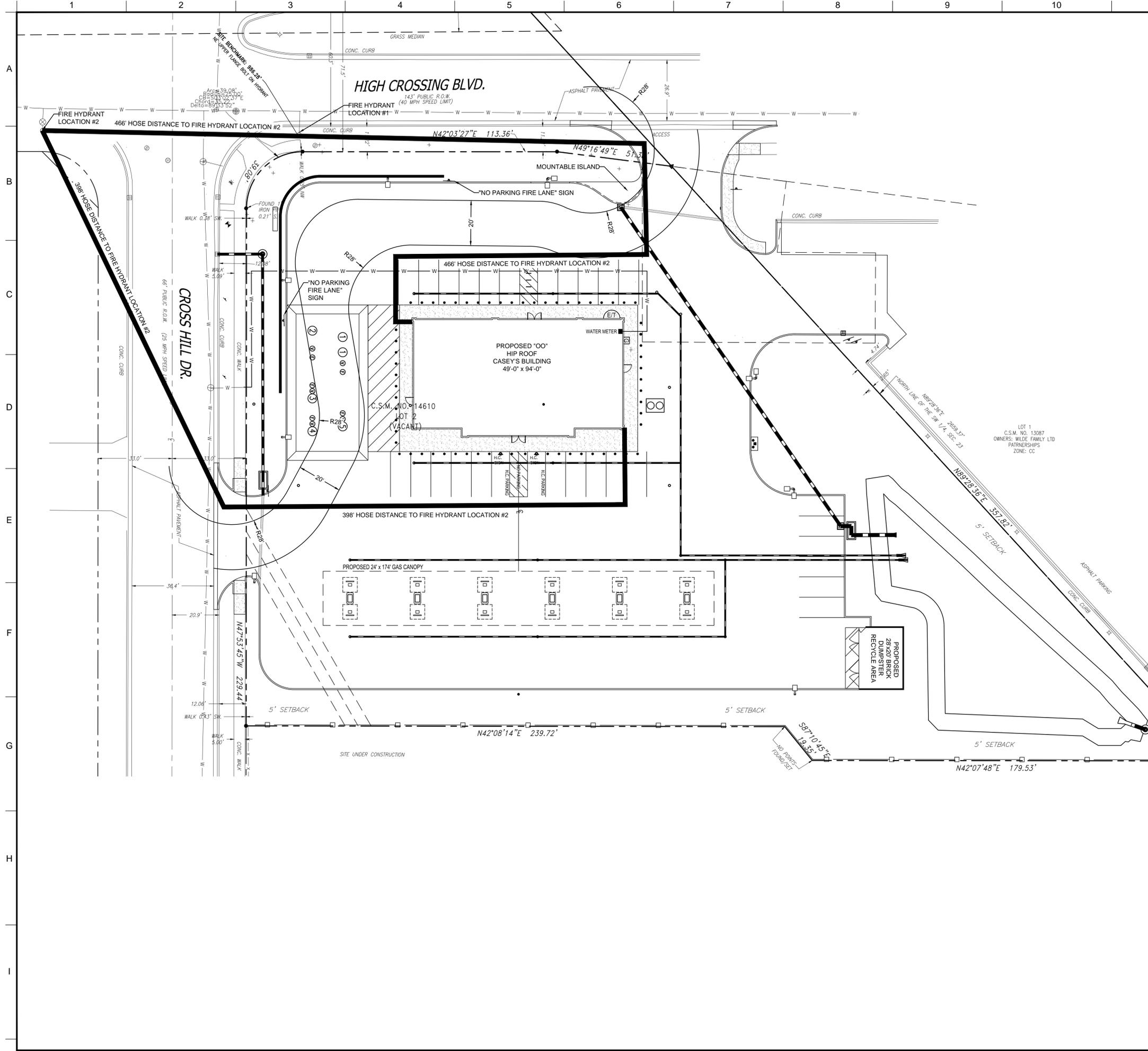
PROJECT: MADISON, WI  
3603 CROSS HILL DR  
"OO" HIP-ROOF  
STYLE STORE

DRAWING INFORMATION:  
DRAWN BY: MAB  
CHECKED BY: CDF

PUBLISHED: 04.16.18  
REVISIONS:

EROSION CONTROL  
DETAILS

**C10**



**CITY OF MADISON FIRE DEPARTMENT**  
 Fire Prevention Division, 325 W. Johnson St., Madison, WI 53703 • Phone: 608-266-4484 • FAX: 608-267-1153

**Project Address:** 3603 CROSS HILL DR  
**Contact Name & Phone #:** Chad Fairbanks, Core States Group, 314-270-5203

**FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET**

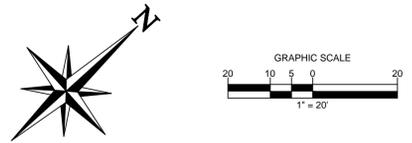
1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
<b>If non-sprinklered, fire lanes extend to within 150-feet of all portions of the exterior wall?</b>	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
<b>If sprinklered, fire lanes are within 250-feet of all portions of the exterior wall?</b>	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
a) Is the fire lane a minimum unobstructed width of at least 20-feet?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
c) Is the minimum inside turning radius of the fire lane at least 28-feet?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
d) Is the grade of the fire lane not more than a slope of 8%?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
e) Is the fire lane posted as fire lane?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
f) Is a detail of the signage included on the site plan?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
g) Is a roll-able curb used as part of the fire lane?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
a. Is a detail of the curb included on the site plan?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
b. Is the sidewalk constructed to withstand 85,000-lbs?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
3. Is the fire lane obstructed by security gates or barricades? If yes:	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
a) Is the gate a minimum of 20-foot clear opening?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
4. Is the fire lane dead-ended with a length greater than 150-feet?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
If yes, is the area for turning around fire apparatus provided by:	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
a) A cul-de-sac with a minimum inside diameter of 70-feet?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
b) A 45-degree wye with a minimum length of 60-feet per side?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
c) A 90-degree tee with a minimum length of 60-feet per side?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 23?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
If yes, see IFC 2306.6 for further requirements.			
6. Is any part of the building greater than 30-feet above the lowest level of fire apparatus access?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
If yes, answer the following questions:			
a) Is the aerial apparatus fire lane parallel to one entire side of the building?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
c) Are there any overhead power or utility lines located across the aerial apparatus fire lane?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
d) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus.			
a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
b) Is there at least 40' between a hydrant and the building?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1½-feet, within 5-feet of a fire hydrant?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A

Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.

Attach an additional sheet if further explanation is required for any answers.

This worksheet is based on MGO 34.20 and IFC 2006 Edition Chapter 5 and Appendix D; please see the codes for further information.

Revised 4/2011



**CORE STATES**  
GROUP

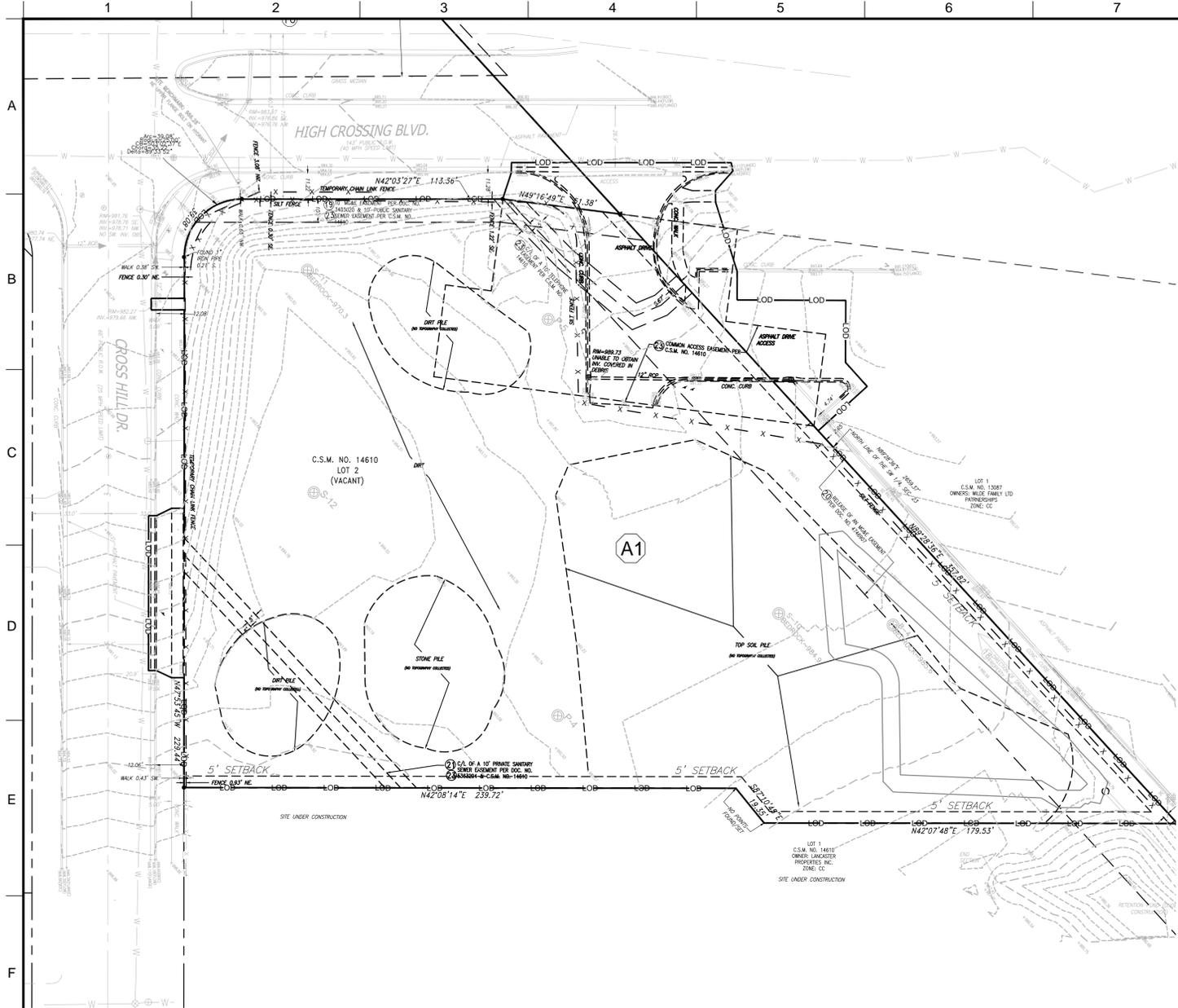
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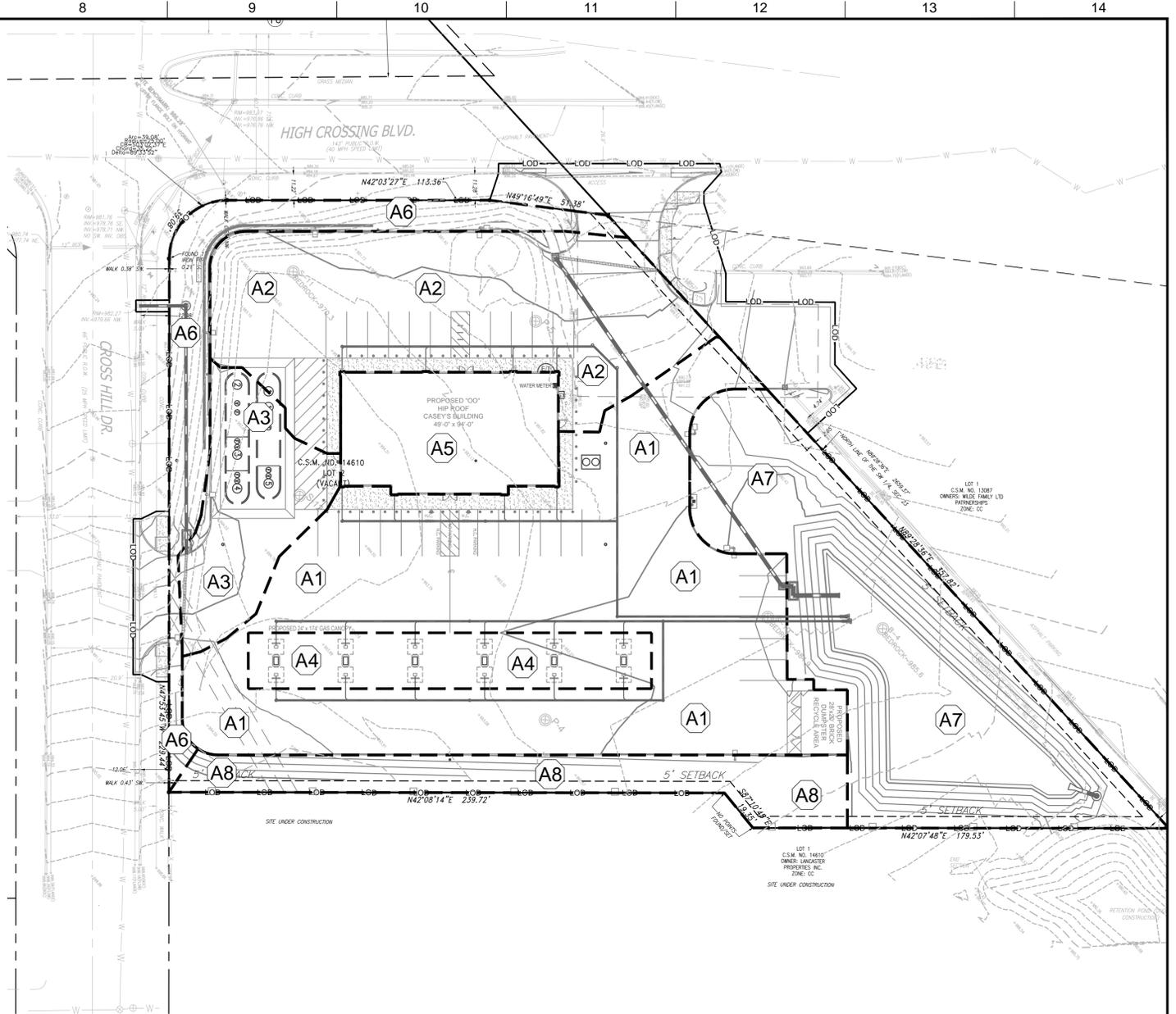
**CASEY'S CONSTRUCTION DIVISION**  
One Convenience Blvd., P.O. Box 3001, Ankeny, Ia. 50021 515-965-6100

PROJECT: MADISON, WI 3603 CROSS HILL DR "OO" HIP-ROOF STYLE STORE	PUBLISHED: 04.16.18 REVISED ON:	DRAWING INFORMATION: FIRE ACCESS PLAN
DRAWING INFORMATION: CONSTRUCTION DIVISION	DESIGNED BY: MAB	CHECKED BY: CDF

C11

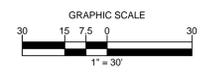
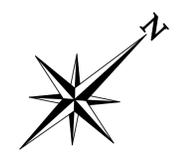


**PRE-CONSTRUCTION DRAINAGE AREA MAP**  
SCALE: 1" = 30'



**POST-CONSTRUCTION DRAINAGE AREA MAP**  
SCALE: 1" = 30'

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04/17/18

**CORE STATES GROUP**

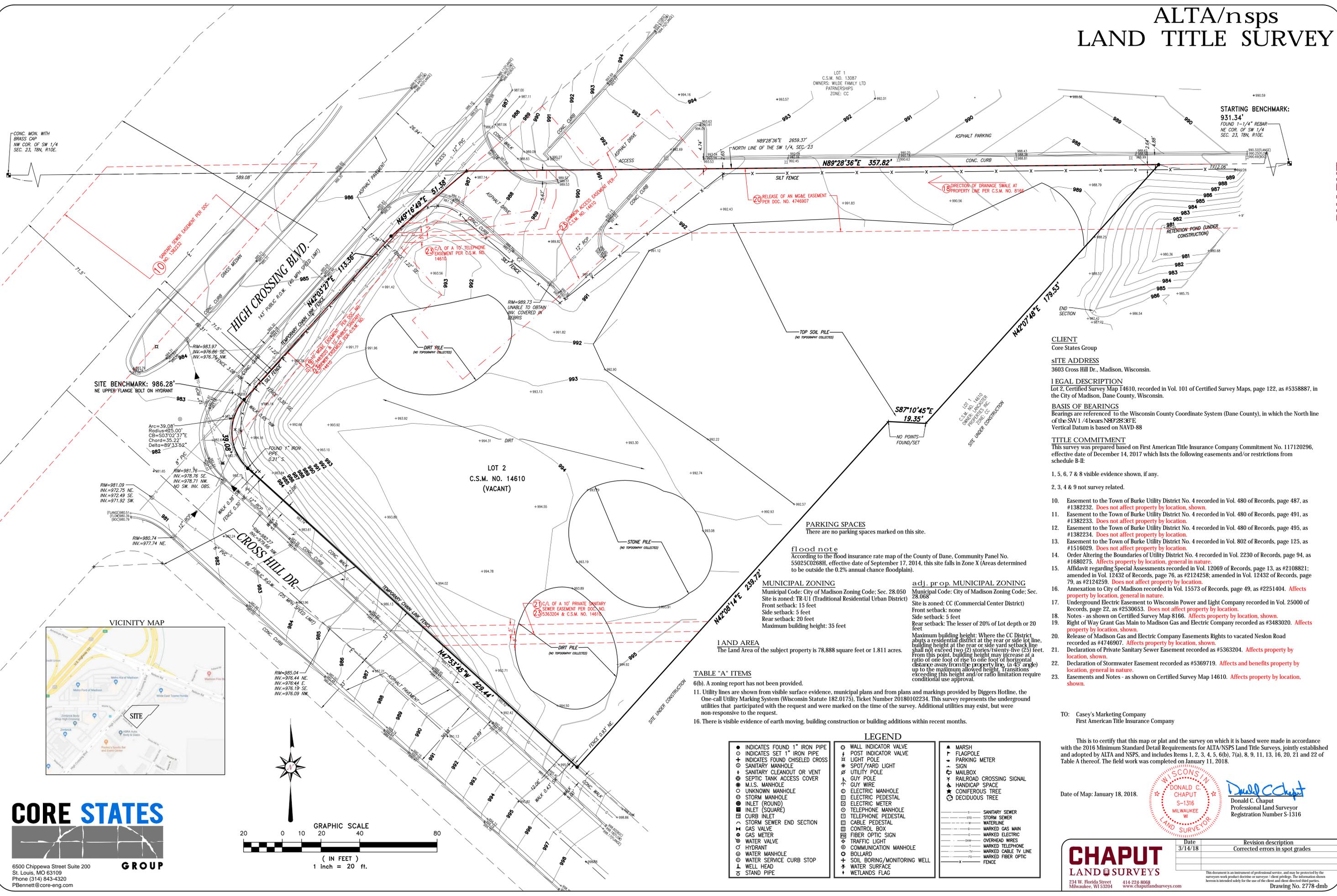
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<p>PROJECT: MADISON, WI 3603 CROSS HILL DR "OO" HIP-ROOF STYLE STORE</p>	<p>DRAWING INFORMATION: PUBLISHED: 04.16.18 REVISIONS: DRAINAGE AREA MAP</p>
<p>CONSTRUCTION DIVISION</p>	<p>C12</p>
<p>DESIGNED BY: MAB</p>	<p>CHECKED BY: CDF</p>

# ALTA/nspS LAND TITLE SURVEY

CHAPUT LAND SURVEYS



**STARTING BENCHMARK:**  
931.34'  
FOUND 1-1/4" REBAR  
NE COR. OF SW 1/4  
SEC. 23, T8N, R10E.

**CLIENT**  
Core States Group

**SITE ADDRESS**  
3603 Cross Hill Dr., Madison, Wisconsin.

**LEGAL DESCRIPTION**  
Lot 2, Certified Survey Map 14610, recorded in Vol. 101 of Certified Survey Maps, page 122, as #5358887, in the City of Madison, Dane County, Wisconsin.

**BASIS OF BEARINGS**  
Bearings are referenced to the Wisconsin County Coordinate System (Dane County), in which the North line of the SW 1/4 bears N89°28'36"E. Vertical Datum is based on NAVD-88

**TITLE COMMITMENT**  
This survey was prepared based on First American Title Insurance Company Commitment No. 117120296, effective date of December 14, 2017 which lists the following easements and/or restrictions from schedule B-I:

- 1, 5, 6, 7 & 8 visible evidence shown, if any.
- 2, 3, 4 & 9 not survey related.
10. Easement to the Town of Burke Utility District No. 4 recorded in Vol. 480 of Records, page 487, as #1382232. **Does not affect property by location, shown.**
11. Easement to the Town of Burke Utility District No. 4 recorded in Vol. 480 of Records, page 491, as #1382233. **Does not affect property by location, shown.**
12. Easement to the Town of Burke Utility District No. 4 recorded in Vol. 480 of Records, page 495, as #1382234. **Does not affect property by location, shown.**
13. Easement to the Town of Burke Utility District No. 4 recorded in Vol. 802 of Records, page 125, as #1516029. **Does not affect property by location, shown.**
14. Order Altering the Boundaries of Utility District No. 4 recorded in Vol. 2230 of Records, page 94, as #1680275. **Affects property by location, general in nature.**
15. Affidavit regarding Special Assessments recorded in Vol. 12069 of Records, page 13, as #2108821; amended in Vol. 12432 of Records, page 76, as #2124258; amended in Vol. 12432 of Records, page 79, as #2124259. **Does not affect property by location, shown.**
16. Annexation to City of Madison recorded in Vol. 15573 of Records, page 49, as #2251404. **Affects property by location, general in nature.**
17. Underground Electric Easement to Wisconsin Power and Light Company recorded in Vol. 25000 of Records, page 22, as #2530653. **Does not affect property by location, shown.**
18. Notes - as shown on Certified Survey Map #1168. **Affects property by location, shown.**
19. Right of Way Grant Gas Main to Madison Gas and Electric Company recorded as #3483020. **Affects property by location, shown.**
20. Release of Madison Gas and Electric Company Easements Rights to vacated Neslon Road recorded as #4746907. **Affects property by location, shown.**
21. Declaration of Private Sanitary Sewer Easement recorded as #5363204. **Affects property by location, shown.**
22. Declaration of Stormwater Easement recorded as #5369719. **Affects and benefits property by location, general in nature.**
23. Easements and Notes - as shown on Certified Survey Map 14610. **Affects property by location, shown.**

TO: Casey's Marketing Company  
First American Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6(b), 7(a), 8, 9, 11, 13, 16, 20, 21 and 22 of Table A thereof. The field work was completed on January 11, 2018.

Date of Map: January 18, 2018.

WISCONSIN  
DONALD C. CHAPUT  
S-1316  
MILWAUKEE  
WI  
LAND SURVEYOR

Donald C. Chaput  
Professional Land Surveyor  
Registration Number S-1316

**TABLE "A" ITEMS**

11. Utility lines are shown from visible surface evidence, municipal plans and from plans and markings provided by Diggers Hotline, the One-call Utility Marking System (Wisconsin Statute 182.0175), Ticket Number 20180102234. This survey represents the underground utilities that participated with the request and were marked on the time of the survey. Additional utilities may exist, but were non-responsive to the request.
16. There is visible evidence of earth moving, building construction or building additions within recent months.

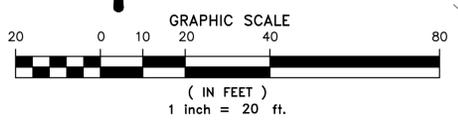
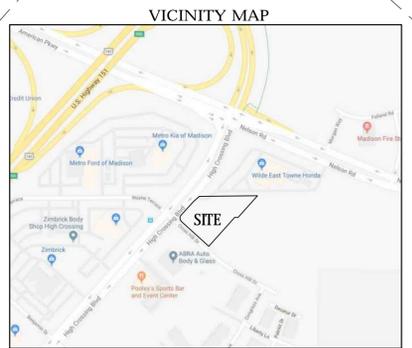
**flood note**  
According to the flood insurance rate map of the County of Dane, Community Panel No. 55025C0268H, effective date of September 17, 2014, this site falls in Zone X (Areas determined to be outside the 0.2% annual chance floodplain).

**MUNICIPAL ZONING**  
Municipal Code: City of Madison Zoning Code; Sec. 28.050  
Site is zoned: TR-U1 (Traditional Residential Urban District)  
Front setback: 15 feet  
Side setback: 5 feet  
Rear setback: 20 feet  
Maximum building height: 35 feet

**adj. prop. MUNICIPAL ZONING**  
Municipal Code: City of Madison Zoning Code; Sec. 28.068  
Site is zoned: CC (Commercial Center District)  
Front setback: none  
Rear setback: 5 feet  
Rear setback: The lesser of 20% of Lot depth or 20 feet  
Maximum building height: Where the CC District abuts a residential district at the rear or side lot line, building height at the rear or side yard setback line shall not exceed two (2) stories/twenty-five (25) feet. From this point, building height may increase at a ratio of one foot of rise to one foot of horizontal distance away from the property line, (a 45° angle) up to the maximum allowed height. Transitions exceeding this height and/or ratio limitation require conditional use approval.

**LAND AREA**  
The Land Area of the subject property is 78,888 square feet or 1.811 acres.

LEGEND	
● INDICATES FOUND 1" IRON PIPE	○ WALL INDICATOR VALVE
⊕ INDICATES SET 1" IRON PIPE	⊕ POST INDICATOR VALVE
⊕ INDICATES FOUND CHISELED CROSS	⊕ LIGHT POLE
⊕ SANITARY MANHOLE	⊕ SPOT/YARD LIGHT
⊕ SANITARY CLEANOUT OR VENT	⊕ UTILITY POLE
⊕ SEPTIC TANK ACCESS COVER	⊕ GUY POLE
⊕ M.I.S. MANHOLE	⊕ FIBER OPTIC SIGN
⊕ UNKNOWN MANHOLE	⊕ ELECTRIC MANHOLE
⊕ STORM MANHOLE	⊕ ELECTRIC PEDESTAL
⊕ INLET (ROUND)	⊕ ELECTRIC METER
⊕ INLET (SQUARE)	⊕ TELEPHONE MANHOLE
⊕ CURB INLET	⊕ TELEPHONE PEDESTAL
⊕ STORM SEWER END SECTION	⊕ CABLE PEDESTAL
⊕ GAS VALVE	⊕ CONTROL BOX
⊕ GAS METER	⊕ FIBER OPTIC SIGN
⊕ WATER VALVE	⊕ WATER VALVE
⊕ HYDRANT	⊕ COMMUNICATION MANHOLE
⊕ WATER MANHOLE	⊕ BOLLARD
⊕ WATER SERVICE CURB STOP	⊕ SOIL BORING/MONITORING WELL
⊕ WELL HEAD	⊕ WATER SURFACE
⊕ STAND PIPE	⊕ WETLANDS FLAG
⊕ MARSH	⊕ FLAGPOLE
⊕ PARKING METER	⊕ SIGN
⊕ MAILBOX	⊕ RAILROAD CROSSING SIGNAL
⊕ HANDICAP SPACE	⊕ CONIFEROUS TREE
⊕ DECIDUOUS TREE	
⊕ SANITARY SEWER	
⊕ STORM SEWER	
⊕ WATERLINE	
⊕ MARKED GAS MAIN	
⊕ MARKED ELECTRIC	
⊕ OVERHEAD WIRES	
⊕ MARKED TELEPHONE	
⊕ MARKED CABLE TV LINE	
⊕ MARKED FIBER OPTIC	
⊕ FENCE	



**CORE STATES GROUP**

6500 Chippewa Street Suite 200  
St. Louis, MO 63109  
Phone (314) 643-4320  
PBennett@core-eng.com

**CHAPUT LAND SURVEYS**

234 W. Florida Street  
Milwaukee, WI 53204

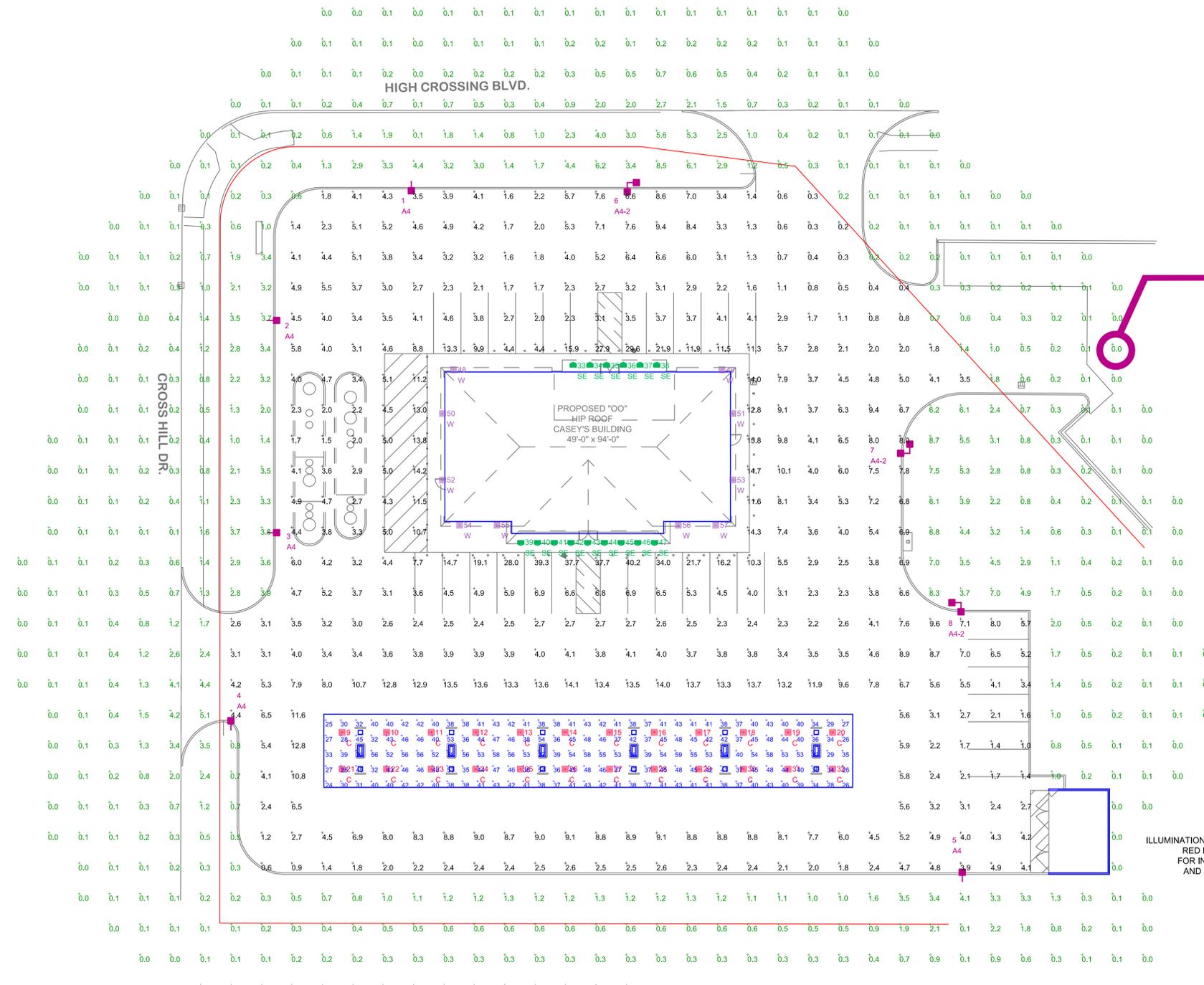
414-224-8068  
www.chaputlandsurveys.com

Revision description  
3/14/18  
Corrected errors in spot grades

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Drawing No. 2778-dmb





ILLUMINATION LEVELS ARE THE RESULT OF REQUESTS BY OTHERS  
 RED LEONARD ASSOCIATES IS NOT RESPONSIBLE  
 FOR INCIDENTS CAUSED BY INSUFFICIENT LIGHTING  
 AND DOES NOT RECOMMEND THESE LEVELS FOR  
 SECURITY AND SAFETY REASONS

LUMINAIRE LOCATION SUMMARY		
LUM. NO.	LABEL	MTG. HT.
1	A4	17
2	A4	17
3	A4	17
4	A4	17
5	A4	17
6	A4-2	17
7	A4-2	17
8	A4-2	17
9	C	16.5
10	C	16.5
11	C	16.5
12	C	16.5
13	C	16.5
14	C	16.5
15	C	16.5
16	C	16.5
17	C	16.5
18	C	16.5
19	C	16.5
20	C	16.5
21	C	16.5
22	C	16.5
23	C	16.5
24	C	16.5
25	C	16.5
26	C	16.5
27	C	16.5
28	C	16.5
29	C	16.5
30	C	16.5
31	C	16.5
32	C	16.5
33	SE	10
34	SE	10
35	SE	10
36	SE	10
37	SE	10
38	SE	10
39	SE	10
40	SE	10
41	SE	10
42	SE	10
43	SE	10
44	SE	10
45	SE	10
46	SE	10
47	SE	10
48	W	10
49	W	10
50	W	10
51	W	10
52	W	10
53	W	10
54	W	10
55	W	10
56	W	10
57	W	10

FOOTCANDLE LEVELS CALCULATED AT GRADE USING INITIAL LUMEN VALUES					
LABEL	AVG	MAX	MIN	AVG/MIN	MAX/MIN
PAVED AREA	5.82	40.2	0.2	29.10	201.00
UNDEFINED AREA	0.82	8.7	0.0	N.A.	N.A.
UNDER CANOPY	41.43	59	24	1.73	2.46

NOTE: ALL AREA LIGHTS ON NEW 15 FT. POLES MOUNTED ON 2 FT. CONCRETE BASES

LUMINAIRE SCHEDULE										
SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	LLF	BUG RATING	WATTS/LUMINAIRE	TOTAL WATTS	MANUFACTURER	DESCRIPTION
—	5	A4	SINGLE	11259	1.050	B2-U0-G2	134	670	Cree Inc.	ARE-EDG-4M-DA-06-E-UL-BZ-700
+	3	A4-2	2 @ 90 DEGREES	11259	1.050	B2-U0-G2	134	804	Cree Inc.	ARE-EDG-4M-DA-06-E-UL-BZ-700
□	24	C	SINGLE	13251	1.050	B3-U0-G1	134	3216	CREE, INC.	CAN-304-SL-RS-06-E-UL-WH-700
■	15	SE	SINGLE	3902	1.050	B2-U0-G0	34	510	CREE, INC.	SFT-228-PS-RM-03-E-UL-BZ-350-IC
■	10	W	SINGLE	8739	1.050	B2-U0-G2	100	1000	CREE, INC.	SEC-EDG-3M-WM-06-E-UL-BZ-525

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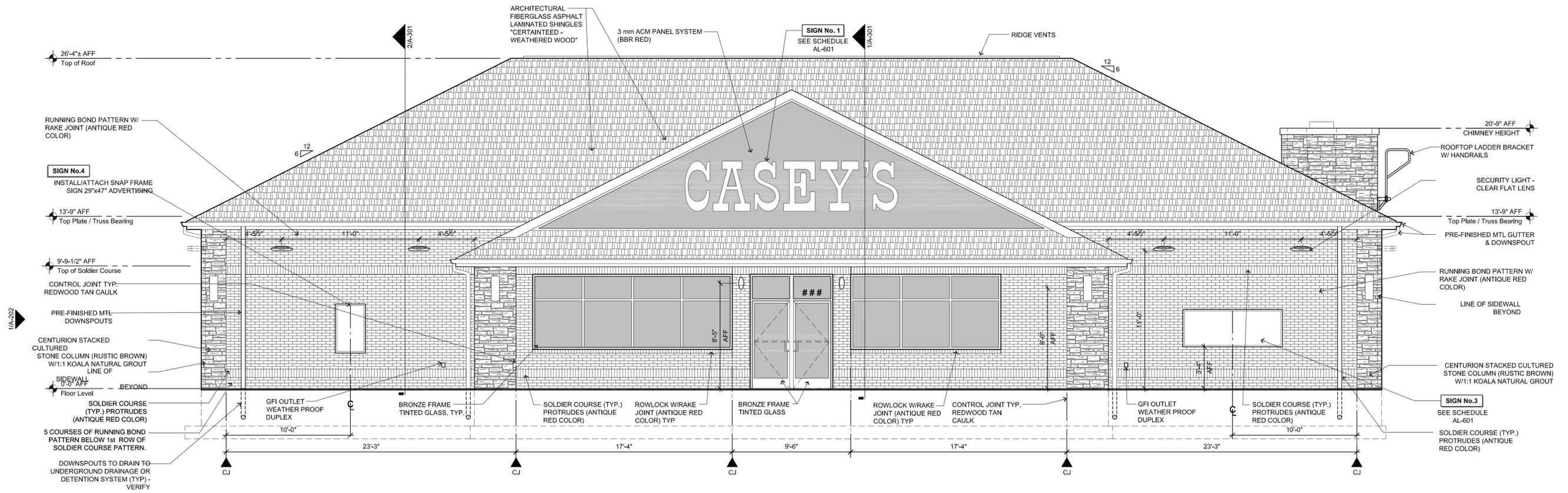
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ILLUMINATION RESULTS SHOWN ON THIS LIGHTING APPLICATION ARE BASED ON PROJECT PARAMETERS PROVIDED BY THE MANUFACTURER LISTED. USED IN CONJUNCTION WITH LUMINAIRE TEST PROCEDURES CONDUCTED UNDER LABORATORY CONDITIONS. ACTUAL PRODUCT CONDITIONS DIFFERING FROM THESE PARAMETERS MAY AFFECT FIELD RESULTS. THE CUSTOMER IS RESPONSIBLE FOR VERIFYING COMPLIANCE WITH ANY APPLICABLE ELECTRICAL, LIGHTING, OR ENERGY CODE.

SCALE: 1" = 20'  
 LAYOUT BY: BJM  
 DWG SIZE: D  
 DATE: 3/09/18

PROJECT NAME:  
**CASEY'S  
 MADISON, WI**  
 DRAWING NUMBER:  
**RL-5286-S1**

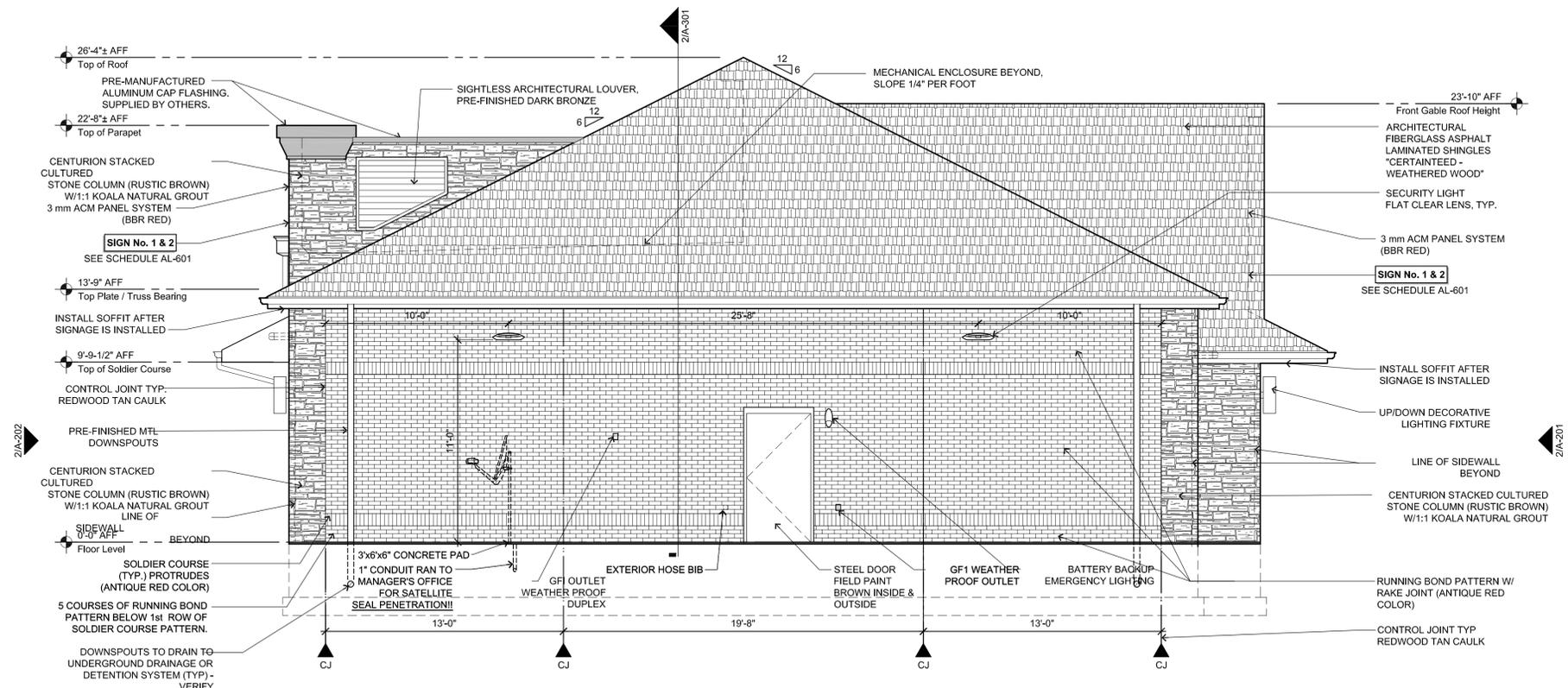
**rla**  
 PAGE 3 OF 8



Front Building Elevation (Plan South)

2

1/4" = 1' - 0"



Left Side Building Elevation (Plan West)

1

1/4" = 1' - 0"

**General Notes**

1. GENERAL CONTRACTOR TO INSTALL BOTH PIPING CHASE FOR REFG. LINES
2. REFER TO AL-601 FOR SIGNAGE SCHEDULE INCLUDING SIZE AND AREA OF SIGNS SHOWN ON ELEVATIONS.
3. **HARDIE SIDING PAINT FORMULA:** SHERWIN WILLIAMS / SATIN FINISH

COLOR: CUSTOM ARNING C/N ETT TAN

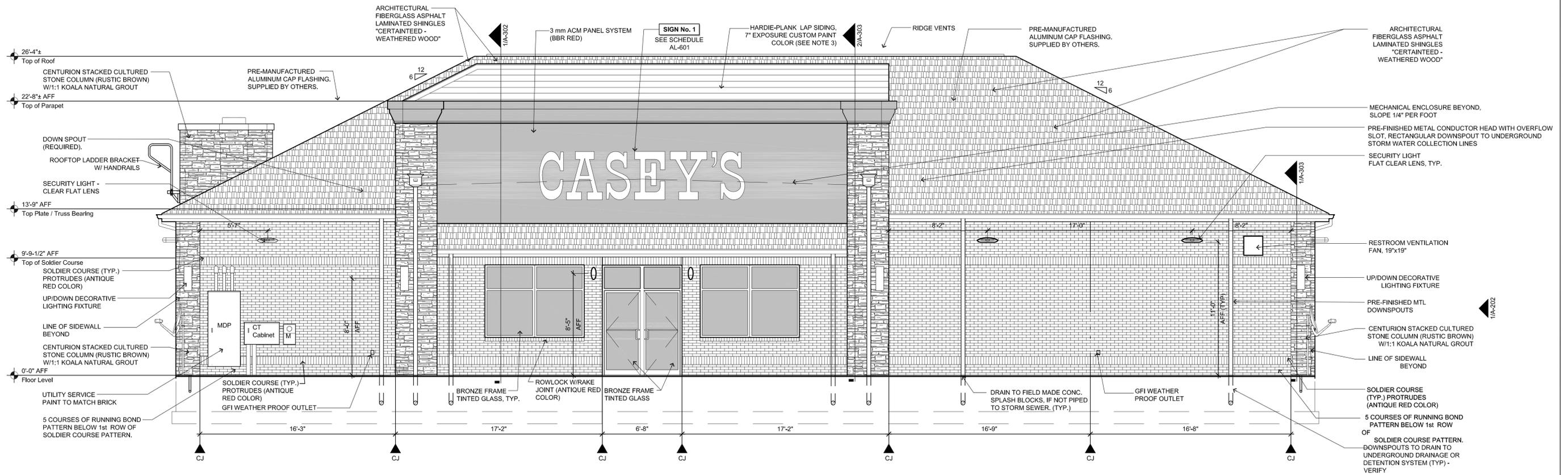
BAC Blend-a-Color	OZ	32	64	128
B1 Black	-	-	1	-
N1 Raw Umber	-	23	1	1
Y3 Deep Gold	-	5	1	-

WHITE & PASTEL TINT BASE (1 GALLON USE)  
(CUSTOM SHER-COLOR FORMULA MATCH)



PROJECT #C1807

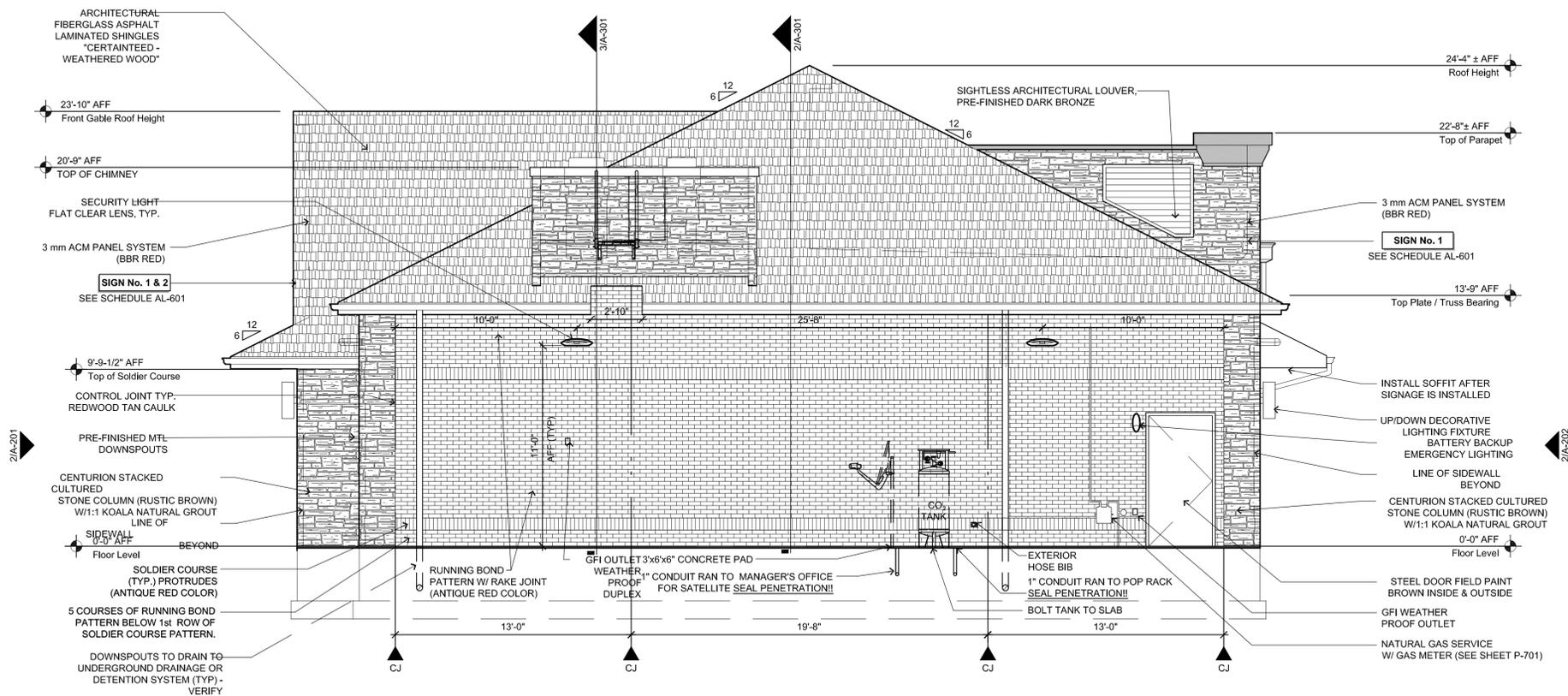
<p><b>CASEY'S CONSTRUCTION DIVISION</b> One Convenience Blvd., P.O. Box 3001, Ankeny, Ia. 50021 515-965-6100</p>	
<p>PROJECT: MADISON, WI</p>	<p>PUBLISHED: 4/6/18</p>
<p>"OO" STYLE STORE HIP ROOF</p>	<p>REVISIONS:</p>
<p>CONSTRUCTION DIVISION</p>	<p>EXTERIOR ELEVATIONS</p>
<p>DRAWN BY: DLT</p>	<p>CHECKED BY: PDR</p>
<p><b>A-201</b></p>	



Rear Building Elevation (Plan North)

2

1/4" = 1' - 0"



Right Side Building Elevation (Plan East)

1

1/4" = 1' - 0"

**General Notes**

1. GENERAL CONTRACTOR TO INSTALL BOTH PIPING CHASE FOR REFG. LINES
2. REFER TO AL-601 FOR SIGNAGE SCHEDULE INCLUDING SIZE AND AREA OF SIGNS SHOWN ON ELEVATIONS.
3. **HARDIE SIDING PAINT FORMULA: SHERWIN WILLIAMS / SATIN FINISH**

COLOR: CUSTOM PAINTING C/N ETT TAN

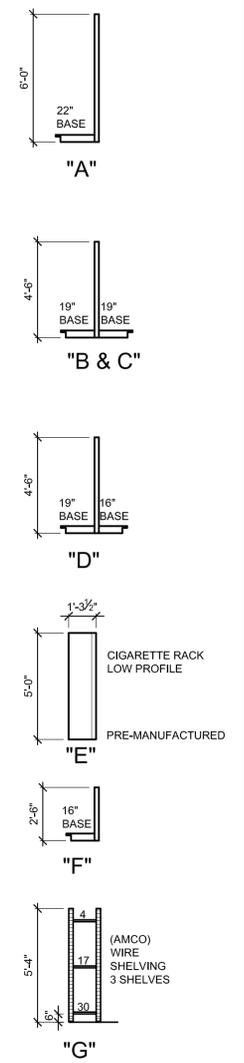
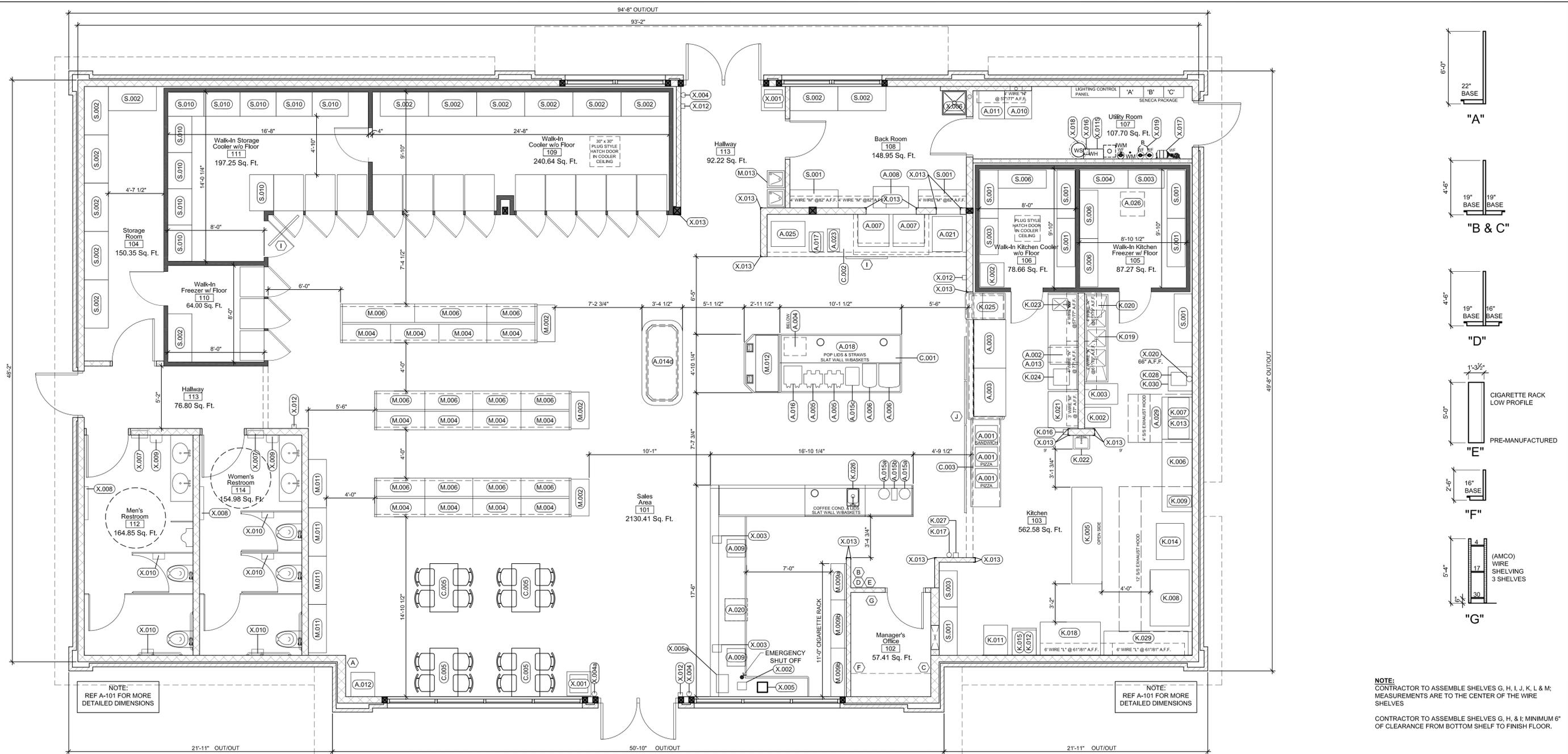
BAC Blend-a-Color	OZ	32	64	128
B1 Black	-	-	1	-
N1 Raw Umber	-	23	1	1
Y3 Deep Gold	-	5	1	-

WHITE & PASTEL TINT BASE (1 GALLON USE)  
(CUSTOM SHER-COLOR FORMULA MATCH)



PROJECT #C1807

<b>CASEY'S CONSTRUCTION DIVISION</b> One Convenience Blvd., P.O. Box 3001, Ankeny, Ia. 50021 515-965-6100			
PROJECT:	MADISON, WI	PUBLISHED:	4/6/18
CONSTRUCTION DIVISION		DESIGNED BY:	PDR
DRAWN BY:	DLT	DATE:	
			<b>EXTERIOR ELEVATIONS</b>  <b>A-202</b>



**NOTE:**  
CONTRACTOR TO ASSEMBLE SHELVES G, H, I, J, K, L & M;  
MEASUREMENTS ARE TO THE CENTER OF THE WIRE SHELVES

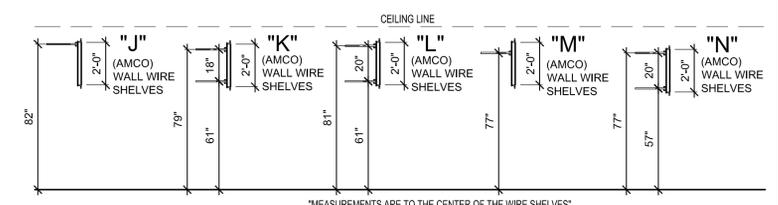
CONTRACTOR TO ASSEMBLE SHELVES G, H, & I; MINIMUM 6\"/>

**Equipment Schedule**

A - APPLIANCE		C - CASEWORK		K - OTHER		K - KITCHEN		BULLETIN BOARD	
NOTE	DESCRIPTION	DETAILS	NOTE	DESCRIPTION	DETAILS	NOTE	DESCRIPTION	DETAILS	LOCATION
A.001	SELF-SERVE SANDWICH/PIZZA WARMER		C.001	CONDIMENT/COFFEE CASEWORK	5'-2\"/>				

**Equipment and Furnishings Floor Plan**

1/4" = 1' - 0"

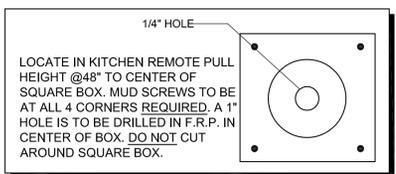


MEASUREMENTS ARE TO THE CENTER OF THE WIRE SHELVES

**Shelving Components**

1/4" = 1' - 0"

**Remote Pull Detail**



PROJECT #C1807

**CASEY'S** Construction Division  
One Convenience Blvd., P.O. Box 3001, Ankeny, Ia. 50021 515-965-6100

MADISON, WI  
4/6/18  
EQUIPMENT PLAN  
AQ-101



# CITY OF MADISON FIRE DEPARTMENT

Fire Prevention Division, 325 W. Johnson St., Madison, WI 53703 ♦ Phone: 608-266-4484 ♦ FAX: 608-267-1153

**Project Address:** 3603 CROSS HILL DR

**Contact Name & Phone #:** Chad Fairbanks, Core States Group, 314-270-5203

## FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system? <b>If non-sprinklered</b> , fire lanes extend to within 150-feet of all portions of the exterior wall? <b>If sprinklered</b> , fire lanes are within 250-feet of all portions of the exterior wall?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs? a) Is the fire lane a minimum unobstructed width of at least 20-feet? b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet? c) Is the minimum inside turning radius of the fire lane at least 28-feet? d) Is the grade of the fire lane not more than a slope of 8%? e) Is the fire lane posted as fire lane? a. Is a detail of the signage included on the site plan? f) Is a roll-able curb used as part of the fire lane? a. Is a detail of the curb included on the site plan? g) Is part of a sidewalk used as part of the required fire lane? a. Is the sidewalk constructed to withstand 85,000-lbs?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
3. Is the fire lane obstructed by security gates or barricades? If yes: a) Is the gate a minimum of 20-feet clear opening? b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
4. Is the Fire lane dead-ended with a length greater than 150-feet? If yes, is the area for turning around fire apparatus provided by: a) A cul-de-sac with a minimum inside diameter of 70-feet? b) A 45-degree wye with a minimum length of 60-feet per side? c) A 90-degree tee with a minimum length of 60-feet per side?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 23? If yes, see IFC 2306.6 for further requirements.	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
6. Is any part of the building <u>greater than 30-feet</u> above the lowest level of fire apparatus access? If yes, answer the following questions: a) Is the aerial apparatus fire lane parallel to one entire side of the building? b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building? c) Are there any overhead power or utility lines located across the aerial apparatus fire lane? d) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants? <i>Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus.</i> a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants? b) Is there at least 40' between a hydrant and the building? c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane? d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb? e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1½-feet, within 5-feet of a fire hydrant?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A

*Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.*

Attach an additional sheet if further explanation is required for any answers.

This worksheet is based on MGO 34.20 and IFC 2006 Edition Chapter 5 and Appendix D; please see the codes for further information.