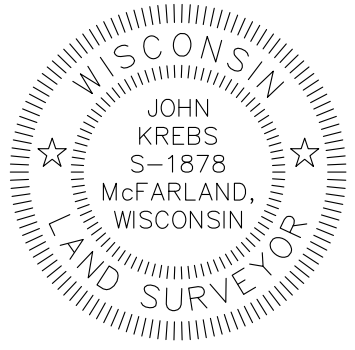
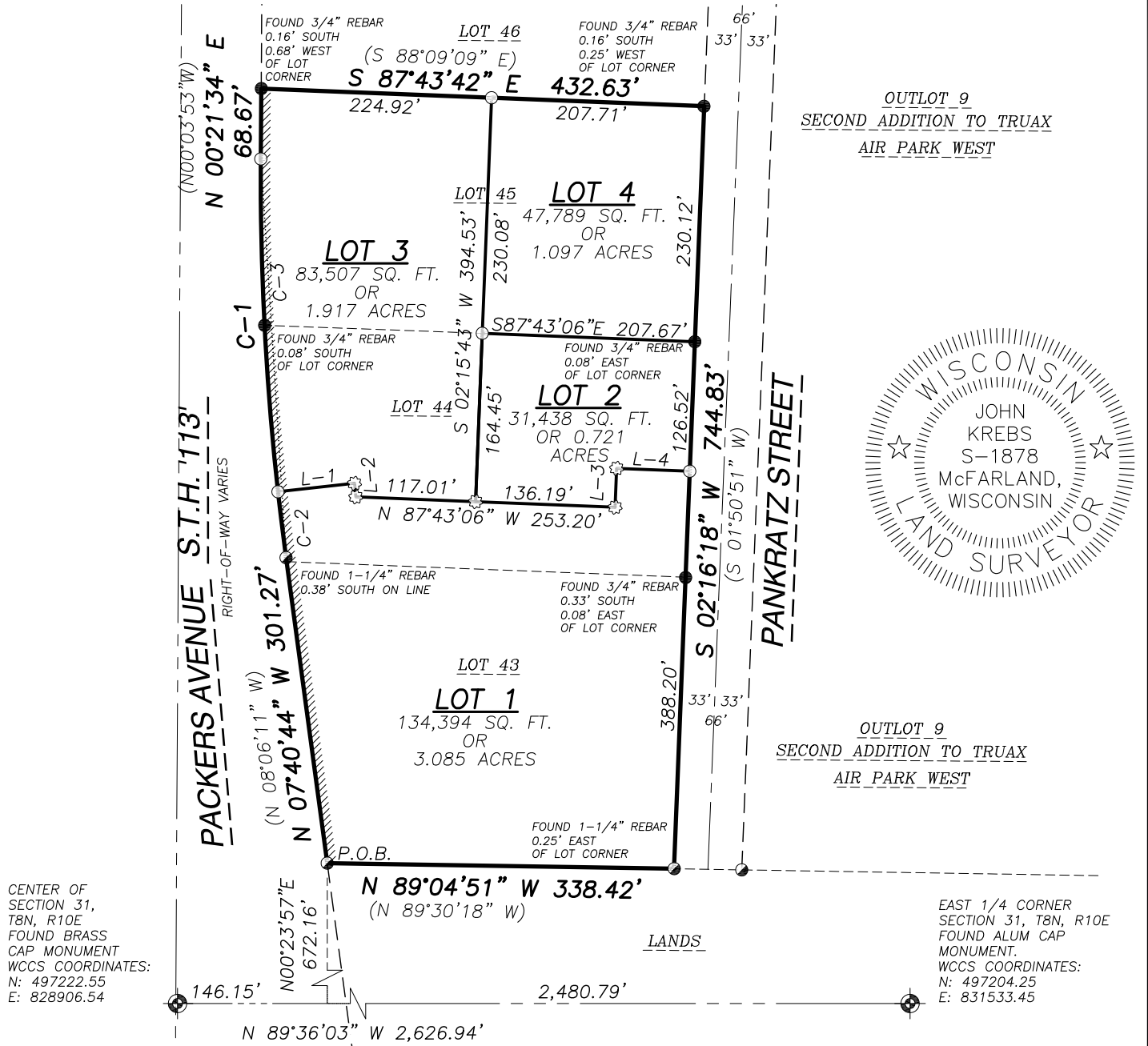


CERTIFIED SURVEY MAP NO. _____

**LOTS 43, 44 AND 45, SECOND ADDITION TO TRUAX AIR PARK WEST,
LOCATED IN THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF
SECTION 31, TOWNSHIP 8 NORTH, RANGE 10 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.**



CENTER OF SECTION 31, T8N, R10E
FOUND BRASS CAP MONUMENT
WCCS COORDINATES:
N: 497222.55
E: 828906.54

EAST 1/4 CORNER SECTION 31, T8N, R10E
FOUND ALUM CAP MONUMENT.
WCCS COORDINATES:
N: 497204.25
E: 831533.45

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING	TAN. BEARING IN	TAN. BEARING OUT
C-1	389.82'	2,809.80'	07°56'56"	389.50'	N 03°36'57" W	N 07°35'25" W	N 00°21'31" E
()	389.82'	2,809.80'	07°56'56"	389.50'	N 04°02'21" W	N 08°00'49" W	N 00°03'53" W
C-2	64.41'	2,809.80'	01°18'48"	64.40'	N 06°56'01" W	N 07°35'25" W	N 06°16'37" W
C-3	325.41'	2,809.80'	06°38'08"	325.23'	N 02°57'33" W	N 06°16'37" W	N 00°21'31" E

LINE TABLE

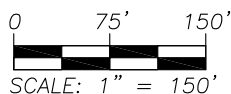
LINE	BEARING	DISTANCE
L-1	N 83°43'11" E	75.09'
L-2	S 05°25'48" E	13.29'
L-3	N 02°16'54" E	37.93'
L-4	S 87°43'06" E	71.44'

LEGEND

- GOVERNMENT CORNER
- 3/4" REBAR FOUND
- 1/4" REBAR FOUND
- COTTON SPINDLE SET
- 3/4" x 24" REBAR SET (1.50 LBS/LF)
- PARCEL BOUNDARY
- RIGHT-OF-WAY LINE
- CENTERLINE
- PLATTED LOT LINE
- SECTION LINE
- EASEMENT LINE
- NO ACCESS PER PLAT
- BUILDING
- RECORDED INFORMATION
- ELEVATION AT LOT CORNER

NOTES

1. BEARINGS FOR THIS SURVEY AND MAP ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, DANE COUNTY, THE SOUTH LINE OF THE NORTHEAST QUARTER OF SECTION 31, BEARS N 89°36'03" W.
2. FIELD WORK PERFORMED BY JSD PROFESSIONAL SERVICES, INC. ON OCTOBER 11, 2011.
3. ALL LOTS ARE SUBJECT TO A RECIPROCAL PARKING LOT EASEMENT AGREEMENT, DOCUMENT No. 3268486.
4. ALL LOTS ARE SUBJECT TO COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS, DOCUMENT No. 3357855.
5. ALL LOTS ARE SUBJECT TO A RECIPROCAL EASEMENT AGREEMENT, DOCUMENT No. 3615606.
6. ALL LOTS ARE SUBJECT TO DECLARATION OF CONDITIONS AND COVENANTS, DOCUMENT No. 1829663.
7. ALL LOTS ARE SUBJECT TO THE EASEMENT NOTES AND NOTES ON THE PLAT OF "SECOND ADDITION TO TRUAX AIR PARK WEST".



PREPARED BY:

JSD Professional Services, Inc.
Engineers • Surveyors • Planners
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
PHONE: (608)848-5060

PREPARED FOR:

THE RIFKEN GROUP LTD
14 W. MIFFLIN STREET
SUITE 300
P.O. BOX. 2077
MADISON, WI 53701-2077

PROJECT NO: 11-4871

FILE NO: B-203

FIELDBOOK/PG: 252/13

SHEET NO: 1 OF 5

SURVEYED BY: JDS

DRAWN BY: JK

CHECKED BY: PRK

APPROVED BY: HPJ

VOL. _____ PAGE _____

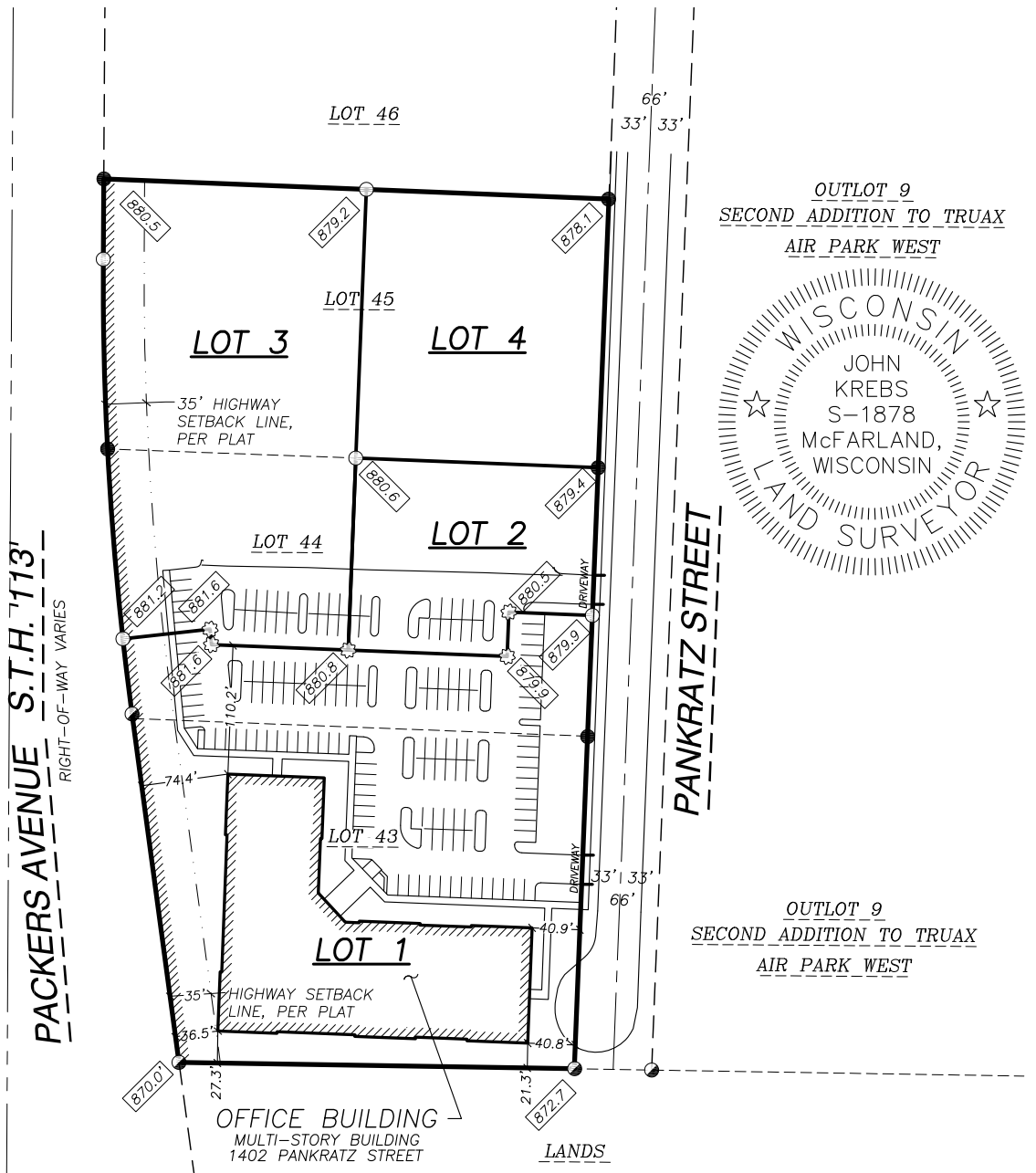
DOC. NO. _____

C.S.M. NO. _____

CERTIFIED SURVEY MAP NO. _____

LOTS 43, 44 AND 45, SECOND ADDITION TO TRUAX AIR PARK WEST,
 LOCATED IN THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF
 SECTION 31, TOWNSHIP 8 NORTH, RANGE 10 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.

BUILDINGS

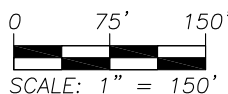


LEGEND

- GOVERNMENT CORNER
- 3/4" REBAR FOUND
- 1/4" REBAR FOUND
- COTTON SPINDLE SET
- 3/4" x 24" REBAR SET (1.50 LBS/LF)
- PARCEL BOUNDARY
- RIGHT-OF-WAY LINE
- CENTERLINE
- PLATTED LOT LINE
- SECTION LINE
- EASEMENT LINE
- NO ACCESS PER PLAT
- BUILDING
- RECORDED INFORMATION
- ELEVATION AT LOT CORNER

NOTES

1. BEARINGS FOR THIS SURVEY AND MAP ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, DANE COUNTY, THE SOUTH LINE OF THE NORTHEAST QUARTER OF SECTION 31, BEARS N 89°36'03" W.
2. FIELD WORK PERFORMED BY JSD PROFESSIONAL SERVICES, INC. ON OCTOBER 11, 2011.
3. ALL LOTS ARE SUBJECT TO A RECIPROCAL PARKING LOT EASEMENT AGREEMENT, DOCUMENT No. 3268486.
4. ALL LOTS ARE SUBJECT TO COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS, DOCUMENT No. 3357855.
5. ALL LOTS ARE SUBJECT TO A RECIPROCAL EASEMENT AGREEMENT, DOCUMENT No. 3615606.
6. ALL LOTS ARE SUBJECT TO DECLARATION OF CONDITIONS AND COVENANTS, DOCUMENT No. 1829663.
7. ALL LOTS ARE SUBJECT TO THE EASEMENT NOTES AND NOTES ON THE PLAT OF "SECOND ADDITION TO TRUAX AIR PARK WEST".



PREPARED BY:

JSD Professional Services, Inc.
 • Engineers • Surveyors • Planners

161 HORIZON DRIVE, SUITE 101
 VERONA, WISCONSIN 53593
 PHONE: (608)848-5060

PREPARED FOR:

THE RIFKEN GROUP LTD
 14 W. MIFFLIN STREET
 SUITE 300
 P.O. BOX. 2077
 MADISON, WI 53701-2077

PROJECT NO: 11-4871

FILE NO: B-203

FIELDBOOK/PG: 252/13

SHEET NO: 2 OF 5

SURVEYED BY: JDS

DRAWN BY: JK

CHECKED BY: PRK

APPROVED BY: HPJ

VOL. _____ PAGE _____

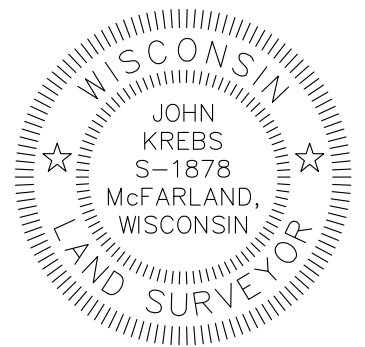
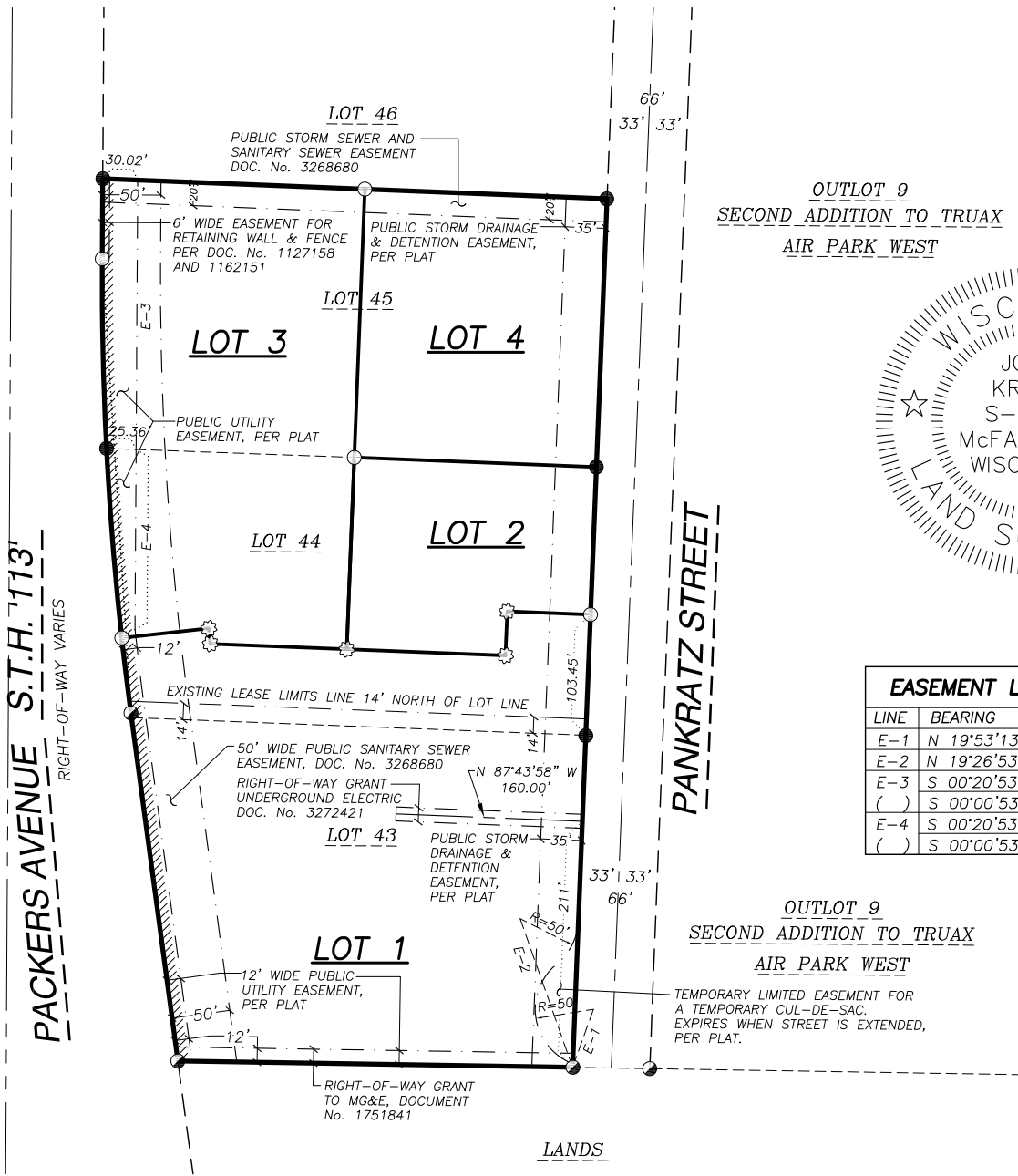
DOC. NO. _____

C.S.M. NO. _____

CERTIFIED SURVEY MAP NO. _____

LOTS 43, 44 AND 45, SECOND ADDITION TO TRUAX AIR PARK WEST,
 LOCATED IN THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF
 SECTION 31, TOWNSHIP 8 NORTH, RANGE 10 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.

EASEMENTS



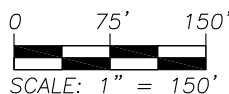
EASEMENT LINE TABLE		
LINE	BEARING	DISTANCE
E-1	N 19°53'13" E	52.87'
E-2	N 19°26'53" W	135.11'
E-3	S 00°20'53" W	230.79'
()	S 00°00'53" E	230.13'
E-4	S 00°20'53" W	154.39'
()	S 00°00'53" E	

LEGEND

- GOVERNMENT CORNER
- 3/4" REBAR FOUND
- 1/4" REBAR FOUND
- COTTON SPINDLE SET
- 3/4" x 24" REBAR SET (1.50 LBS/LF)
- PARCEL BOUNDARY
- RIGHT-OF-WAY LINE
- CENTERLINE
- PLATTED LOT LINE
- SECTION LINE
- LEASE LINE
- EASEMENT LINE
- NO ACCESS PER PLAT
- BUILDING
- RECORDED INFORMATION
- ELEVATION AT LOT CORNER

NOTES

- BEARINGS FOR THIS SURVEY AND MAP ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, DANE COUNTY, THE SOUTH LINE OF THE NORTHEAST QUARTER OF SECTION 31, BEARS N 89°36'03" W.
- FIELD WORK PERFORMED BY JSD PROFESSIONAL SERVICES, INC. ON OCTOBER 11, 2011.
- ALL LOTS ARE SUBJECT TO A RECIPROCAL PARKING LOT EASEMENT AGREEMENT, DOCUMENT No. 3268486.
- ALL LOTS ARE SUBJECT TO COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS, DOCUMENT No. 3357855.
- ALL LOTS ARE SUBJECT TO A RECIPROCAL EASEMENT AGREEMENT, DOCUMENT No. 3615606.
- ALL LOTS ARE SUBJECT TO DECLARATION OF CONDITIONS AND COVENANTS, DOCUMENT No. 1829663.
- ALL LOTS ARE SUBJECT TO THE EASEMENT NOTES AND NOTES ON THE PLAT OF "SECOND ADDITION TO TRUAX AIR PARK WEST".



PREPARED BY: JSD Professional Services, Inc. Engineers • Surveyors • Planners 161 HORIZON DRIVE, SUITE 101 VERONA, WISCONSIN 53593 PHONE: (608)848-5060	PREPARED FOR: THE RIFKEN GROUP LTD 14 W. MIFFLIN STREET SUITE 300 P.O. BOX. 2077 MADISON, WI 53701-2077	PROJECT NO: 11-4871 FILE NO: B-203 FIELDBOOK/PG: 252/13 SHEET NO: 3 OF 5	SURVEYED BY: JDS DRAWN BY: JK CHECKED BY: PRK APPROVED BY: HPJ	VOL. _____ PAGE _____ DOC. NO. _____ C.S.M. NO. _____
---	--	---	---	---

CERTIFIED SURVEY MAP NO. _____

**LOTS 43, 44 AND 45, SECOND ADDITION TO TRUAX AIR PARK WEST,
LOCATED IN THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF
SECTION 31, TOWNSHIP 8 NORTH, RANGE 10 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.**

LEGAL DESCRIPTION

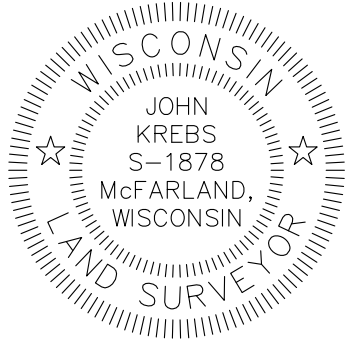
LOTS 43, 44 AND 45, SECOND ADDITION TO TRUAX AIR PARK WEST, LOCATED IN THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 31, TOWNSHIP 8 NORTH, RANGE 10 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN, DESCRIBED MORE PARTICULARLY AS FOLLOWS:

COMMENCING AT THE EAST QUARTER CORNER OF SAID SECTION 31; THENCE NORTH 89 DEGREES 36 MINUTES 03 SECONDS WEST ALONG THE SOUTH LINE OF SAID NORTHEAST QUARTER, 2,480.79 FEET; THENCE NORTH 00 DEGREES 23 MINUTES 57 SECONDS EAST, 672.16 FEET TO THE SOUTHWEST CORNER OF LOT 43, AFORESAID, ALSO BEING THE POINT OF BEGINNING; THENCE NORTH 07 DEGREES 40 MINUTES 44 SECONDS WEST ALONG THE EASTERLY RIGHT-OF-WAY LINE OF PACKERS AVENUE (S.T.H. 113) A DISTANCE OF 301.27 FEET TO A POINT OF CURVE; THENCE CONTINUING ALONG SAID RIGHT-OF-WAY LINE NORTHWESTERLY 389.82 FEET ALONG AN ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 2,809.80 FEET, THE CHORD BEARS NORTH 03 DEGREES 36 MINUTES 57 SECONDS WEST, 389.50 FEET; THENCE NORTH 00 DEGREES 21 MINUTES 34 SECONDS EAST ALONG SAID RIGHT-OF-WAY LINE, 68.67 FEET TO THE NORTHWESTERLY CORNER OF LOT 45; THENCE SOUTH 87 DEGREES 43 MINUTES 42 SECONDS EAST ALONG THE NORTH LINE OF SAID LOT 45 A DISTANCE OF 432.63 FEET TO THE WESTERLY RIGHT-OF-WAY LINE OF PANKRATZ STREET; THENCE SOUTH 02 DEGREES 16 MINUTES 18 SECONDS WEST ALONG SAID RIGHT-OF-WAY LINE, 744.83 FEET TO THE SOUTHEAST CORNER OF LOT 43, AFORESAID; THENCE NORTH 89 DEGREES 04 MINUTES 51 SECONDS WEST ALONG THE SOUTH LINE OF SAID LOT A DISTANCE OF 338.42 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 297,128 SQUARE FEET OR 6.821 ACRES.

SURVEYOR'S CERTIFICATE

I, JOHN KREBS, WISCONSIN PROFESSIONAL LAND SURVEYOR S-1878, DO HEREBY CERTIFY THAT BY DIRECTION OF DANE COUNTY, A MUNICIPAL CORPORATION, THAT I HAVE SURVEYED, DIVIDED, AND MAPPED THE LANDS DESCRIBED HEREON AND THAT THE MAP IS A CORRECT REPRESENTATION IN ACCORDANCE WITH THE INFORMATION PROVIDED. I FURTHER CERTIFY THAT THIS CERTIFIED SURVEY MAP IS IN FULL COMPLIANCE WITH CHAPTER 236.34 OF THE WISCONSIN STATUTES AND THE SUBDIVISION REGULATIONS OF THE CITY OF MADISON, DANE COUNTY, WISCONSIN.



JOHN KREBS, S-1878
WISCONSIN PROFESSIONAL LAND SURVEYOR

DATE

OWNER'S CERTIFICATE

AS AUTHORIZED AGENT FOR DANE COUNTY, AS OWNER OF THE LANDS SHOWN HEREON, I HEREBY CERTIFY THAT DANE COUNTY CAUSED THE LAND DESCRIBED ON THIS CERTIFIED SURVEY MAP TO BE SURVEYED, DIVIDED AND MAPPED AS REPRESENTED HEREON. I ALSO CERTIFY THAT THIS CERTIFIED SURVEY MAP IS REQUIRED TO BE SUBMITTED TO THE CITY OF MADISON FOR APPROVAL OR OBJECTION.

WITNESS THE HAND AND SEAL OF SAID OWNERS THIS _____ DAY OF _____, 2012.

IN PRESENCE OF

BY _____
RODNEY KNIGHT,
ATTORNEY FOR DANE COUNTY AND DANE COUNTY REGIONAL AIRPORT

STATE OF WISCONSIN }
COUNTY OF DANE } ss

PERSONALLY CAME BEFORE ME THIS _____ DAY OF _____, 2012,
THE ABOVE NAMED RODNEY KNIGHT, TO ME KNOWN TO BE THE PERSON WHO
EXECUTED THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED THE SAME.

NOTARY PUBLIC, DANE COUNTY, WISCONSIN MY COMMISSION EXPIRES _____

J:\2011\114871.dwg\114871_CSM.dwg

PREPARED BY: 161 HORIZON DRIVE, SUITE 101 VERONA, WISCONSIN 53593 PHONE: (608)848-5060	PREPARED FOR: THE RIFKEN GROUP LTD 14 W. MIFFLIN STREET SUITE 300 P.O. BOX. 2077 MADISON, WI 53701-2077	PROJECT NO: <u>11-4871</u> FILE NO: <u>B-203</u> FIELDBOOK/PG: <u>252/13</u> SHEET NO: <u>4 OF 5</u>	SURVEYED BY: <u>JDS</u> DRAWN BY: <u>JK</u> CHECKED BY: <u>PRK</u> APPROVED BY: <u>HPJ</u>	VOL. _____ PAGE _____ DOC. NO. _____ C.S.M. NO. _____
---	--	---	---	---

CERTIFIED SURVEY MAP NO. _____

LOTS 43, 44 AND 45, SECOND ADDITION TO TRUAX AIR PARK WEST,
LOCATED IN THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF
SECTION 31, TOWNSHIP 8 NORTH, RANGE 10 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.

CORPORATE OWNER'S CERTIFICATE

CORBEN LAND DEVELOPMENT, LLC, DULY ORGANIZED AND EXISTING UNDER AND BY VIRTUE OF THE LAWS OF THE STATE OF WISCONSIN, AS OWNER, DOES HEREBY CERTIFY THAT CORBEN LAND DEVELOPMENT, LLC CAUSED THE LAND DESCRIBED ON THIS CERTIFIED SURVEY MAP TO BE SURVEYED, DIVIDED AND MAPPED AS REPRESENTED ON THIS CERTIFIED SURVEY MAP.

CORBEN LAND DEVELOPMENT, LLC, DOES FURTHER CERTIFY THAT THIS CERTIFIED SURVEY MAP IS REQUIRED BY S. 236.34 WIS. STATS. TO BE SUBMITTED TO THE CITY OF MADISON FOR APPROVAL OR OBJECTION.

IN WITNESS WHEREOF, SAID CORBEN LAND DEVELOPMENT, LLC HAS CAUSED THESE PRESENTS TO BE SIGNED BY MARTIN F. RIFKEN, AT MADISON, WISCONSIN AND IT'S SEAL TO BE HEREUNTO AFFIXED ON THIS _____ DAY OF _____, 2012.

CORBEN LAND DEVELOPMENT, LLC

BY _____
MARTIN F. RIFKEN
REPRESENTATIVE

STATE OF WISCONSIN }
COUNTY OF DANE } ss

PERSONALLY CAME BEFORE ME THIS _____ DAY OF _____, 2012,
THE ABOVE NAMED MARTIN F. RIFKEN, TO ME KNOWN TO BE THE PERSON WHO
EXECUTED THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED THE SAME.

NOTARY PUBLIC, DANE COUNTY, WISCONSIN MY COMMISSION EXPIRES _____

CITY OF MADISON PLAN COMMISSION CERTIFICATE

APPROVED FOR RECORDING PER SECRETARY OF THE CITY OF MADISON PLAN COMMISSION.

STEVE COVER
SECRETARY, CITY OF MADISON PLAN COMMISSION

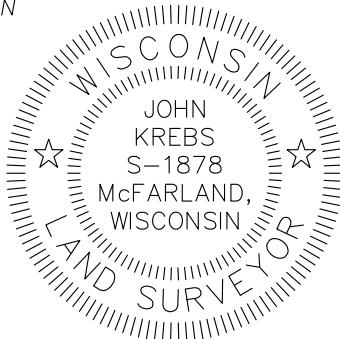
DATE

MADISON COMMON COUNCIL CERTIFICATE

RESOLVED THAT THIS CERTIFIED SURVEY MAP LOCATED IN THE CITY OF MADISON WAS HEREBY APPROVED BY ENACTMENT NUMBER _____, FILE ID NUMBER _____, ADOPTED ON THE _____ DAY OF _____, 2012, AND THAT SAID ENACTMENT FURTHER PROVIDED FOR THE ACCEPTANCE OF THOSE LANDS DEDICATED AND RIGHTS CONVEYED BY SAID CERTIFIED SURVEY MAP TO THE CITY OF MADISON FOR PUBLIC USE.

DATED THIS _____ DAY OF _____, 2012.

MARIBETH L. WITZEL-BEHL, CITY CLERK
CITY OF MADISON, DANE COUNTY WISCONSIN



OFFICE OF THE REGISTER OF DEEDS

_____ COUNTY, WISCONSIN
RECEIVED FOR RECORD _____,
20 ___ AT _____ O'CLOCK ___ M AS
DOCUMENT # _____
IN VOL. _____ OF CERTIFIED SURVEY
MAPS ON PAGE(S) _____.

REGISTER OF DEEDS

PREPARED BY:

JSD Professional Services, Inc.
• Engineers • Surveyors • Planners

161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
PHONE: (608)848-5060

PREPARED FOR:

THE RIFKEN GROUP LTD
14 W. MIFFLIN STREET,
SUITE 300
P.O. BOX 2077
MADISON, WI
53701-2077

PROJECT NO: 11-4871

FILE NO: B-203

FB/PG: 252/13

SHEET NO: 5 OF 5

SURVEYED BY: JDS

DRAWN BY: JK

CHECKED BY: PRK

APPROVED BY: HPJ