

**APPLICATION FOR  
URBAN DESIGN COMMISSION  
REVIEW AND APPROVAL**

**AGENDA ITEM # \_\_\_\_\_**  
**Project # \_\_\_\_\_**

DATE SUBMITTED: <u>Feb. 6, 2008</u>	<input checked="" type="checkbox"/> <b>Action Requested</b>
UDC MEETING DATE: <u>Feb. 13, 2008</u>	<input type="checkbox"/> Informational Presentation
	<input type="checkbox"/> Initial Approval and/or Recommendation
	<input type="checkbox"/> Final Approval and/or Recommendation

PROJECT ADDRESS: 4802 Tradewinds Parkway Madison  
ALDERMANIC DISTRICT: 16

OWNER/DEVELOPER (Partners and/or Principals) ARCHITECT/DESIGNER/OR AGENT:  
Kevin Wilson Dimension IV - Madison  
1602 W. Beltline Hwy 6515 Grand Teton Plaza  
Madison, WI 53713 Suite 120 Madison, WI 53719

CONTACT PERSON: Jim Gersich  
Address: 6515 Grand Teton Plaza #120  
Madison, WI 53719  
Phone: 608-829-4444  
Fax: 608-829-4445  
E-mail address: jgersich@dimensionivmadison.com

**TYPE OF PROJECT:**  
(See Section A for:)

- Planned Unit Development (PUD)
  - General Development Plan (GDP)
  - Specific Implementation Plan (SIP)
- Planned Community Development (PCD)
  - General Development Plan (GDP)
  - Specific Implementation Plan (SIP)
- Planned Residential Development (PRD)
- New Construction or Exterior Remodeling in an Urban Design District \* (A public hearing is required as well as a fee)
- School, Public Building or Space (Fee may be required)
- New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 40,000 Sq. Ft.
- Planned Commercial Site

(See Section B for:)

- New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)

- R.P.S.M. Parking Variance (Fee required)

(See Section D for:)

- Comprehensive Design Review\* (Fee required)
- Street Graphics Variance\* (Fee required)
- Other \_\_\_\_\_

\*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)

Where fees are required (as noted above) they apply with the first submittal for either initial or final approval of a project.

February 6, 2008  
Sleep Inn & Suites  
4802 Tradewinds Parkway  
Madison, Wisconsin 53718

This project involves the construction of a 3 story “Sleep Inn & Suites” hotel to be built on Tradewinds Parkway, east of the intersection of Stoughton Road and the Beltline in southeast Madison, Wisconsin. The building will contain 92 individual guest rooms, associated common spaces and an attached one-story swimming pool building to the rear. A covered drive-up will provide access for guests.

The site will include 3 bicycle spaces and 100 parking spaces including 5 handicap stalls. The preliminary exterior design calls for a brick base and cementitious siding with stucco for accent areas. The signage will consist of the corporate logo featured on a roof top cupola. The roof is planned to be a hip design with architectural shingles. Appropriate landscaping will be provided to meet the City of Madison ordinances.

Christopher H. Romney, AIA  
Project Architect

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**Developer: Bauer & Raether Builders Inc., Madison, WI**

**Architecture & Engineering: Dimension IV - Madison, LLC, Madison, WI**

**Site & Landscape Design: EDGE Consulting Engineers, Inc., Prairie du Sac, WI**

## LIST OF DRAWINGS

### GENERAL

G0.1 COVER SHEET

### SITE / LANDSCAPE

C2.0 SITE PLAN

### ARCHITECTURAL

A1.1 FIRST FLOOR PLAN

A1.2 SECOND FLOOR PLAN

A1.3 THIRD FLOOR PLAN

A1.4 ROOF PLAN

A2.1 EXTERIOR BUILDING ELEVATIONS



STATE MAP



SITE LOCATION MAP



NORTH

GENERAL SITE NOTES: WHERE APPLICABLE

- CONTRACTORS SHALL OBTAIN NECESSARY PERMITS AND APPROVALS FOR GRADING ON R.O.W. CURB CUTS AND DRIVES
- ALL SITE INFORMATION IS BASED ON AVAILABLE DATA FROM LOCAL GOVERNMENTAL AGENCIES AND UTILITY COMPANIES. ALL SITE INFORMATION SHALL BE VERIFIED BY THE CONTRACTOR(S) PRIOR TO START OF CONSTRUCTION.
- VERIFY COMPLIANCE WITH COUNTY AND STATE ZONING AND BUILDING ORDINANCES.
- VERIFY LOCATION OF TELEPHONE SERVICE AND REQUIREMENTS OF PHONE COMPANY.
- PLUMBING CONTRACTOR SHALL VERIFY LOCATION, SIZE, AND DEPTH OF SANITARY SEWER, STORM SEWER, AND WATER MAINS AND COORDINATE ALL LATERAL CONNECTIONS TO MAINS WITH LOCAL MUNICIPALITY.
- HVAC CONTRACTOR SHALL VERIFY LOCATION AND DEPTH OF GAS MAINS AND COORDINATE GAS LATERAL CONNECTIONS, ROUTE TO BUILDING, AND PLACEMENT OF GAS METER WITH THE LOCAL GAS COMPANY.
- ELECTRICAL CONTRACTOR SHALL VERIFY LOCATION AND SIZE OF PRIMARY DISTRIBUTION SERVICE AND COORDINATE EXTENSION OF SERVICE TO THE BUILDING AND LOCATION OF TRANSFORMER WITH THE LOCAL ELECTRIC COMPANY.
- REMOVE ALL TOPSOIL AND UNSTABLE MATERIAL FROM WITHIN BUILDING LIMITS, AT PARKING, AT DRIVE, AND AT WALKS. FILL TO FINAL GRADES THESE AREAS WITH STRUCTURAL GRANULAR MATERIAL COMPACTED TO A MINIMUM OF 95% OF ASTM D-1557 THE MODIFIED PROCTOR.
- EXCAVATIONS FOR FOOTING SHALL BE APPROVED BY SOILS ENGINEER PRIOR TO PLACEMENT OF FOUNDATION CONSTRUCTION.
- SOILS ENGINEER SHALL BE PRESENT DURING FILL OPERATIONS AND REPRESENTATIVE NUMBER OF FIELD DENSITY TESTS SHALL BE TAKEN AS SITE IS FILLED IN.
- ALL CURB DIMENSIONS ARE TO FACE OF CURB, TYP.
- ALL CURB RADIUS ARE TO FACE OF CURB, TYP.

ZONING SUMMARY

ZONING CLASSIFICATION:	M-1 (LIMITED MANUFACTURING)
FRONT YARD SETBACK:	25 FT.
SIDE YARD SETBACK:	10 FT.
REAR YARD SETBACK:	10 FT.
FLOOR AREA RATIO:	2.0

PROPERTY SUMMARY

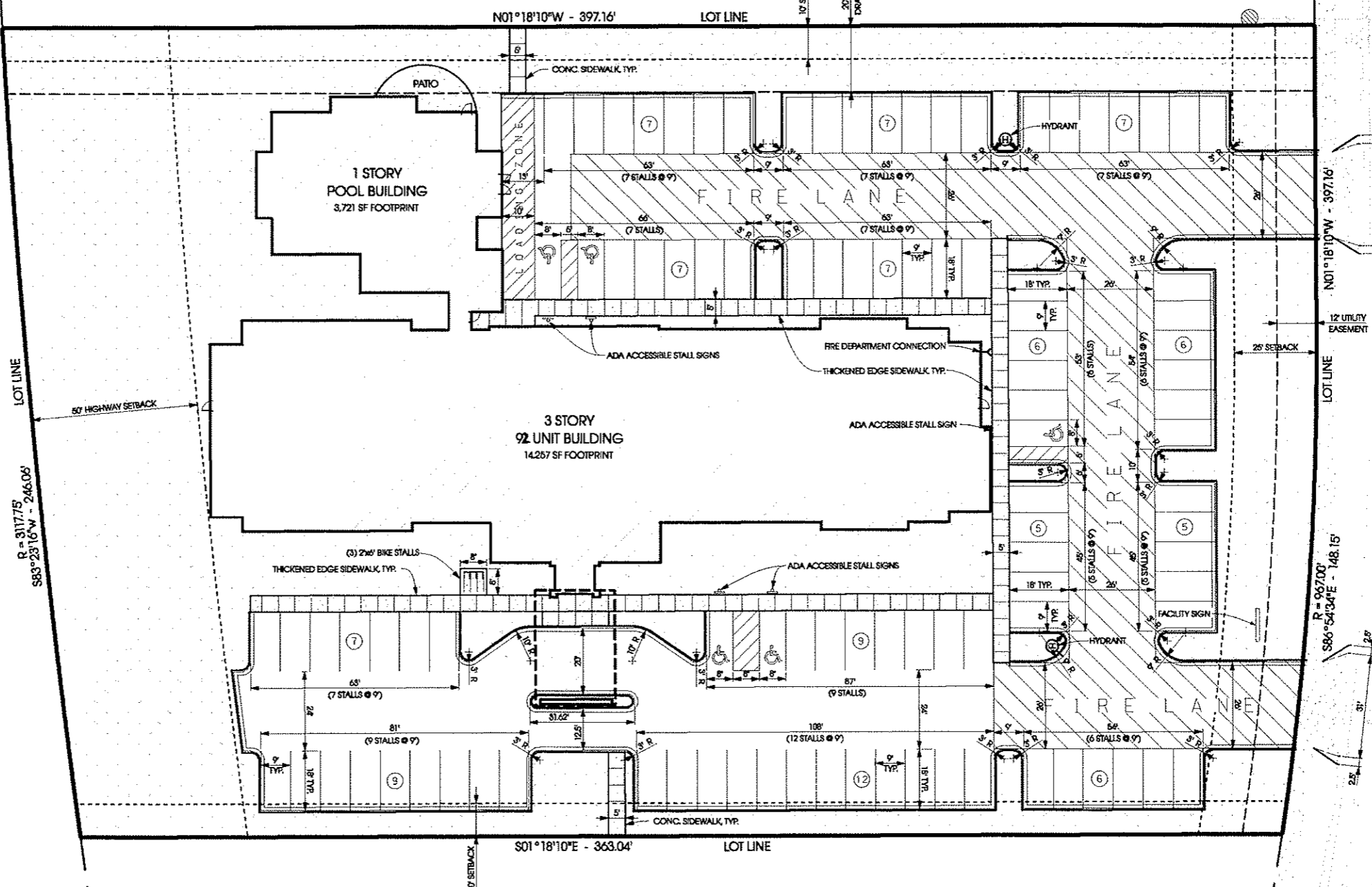
LOT AREA:	
SQUARE FEET:	94,356 SQ. FT.
ACRES:	2.166 ACRES
IMPERVIOUS:	
PAVEMENT SURFACES:	38,759 SQ. FT. - (41%)
BUILDING ROOFS:	17,978 SQ. FT. - (19%)
TOTAL:	56,737 SQ. FT. - (60%)
PERVIOUS:	
GREEN SPACE:	37,619 SQ. FT. - (40%)

PARKING LOT SITE PLAN INFORMATION

SITE ADDRESS:	4802 TRADEWINDS PARKWAY
SITE ACRES:	2.166 ACRES (94,356 SQ. FT.)
NUMBER OF BUILDING STORIES (ABOVE GRADE):	3
BUILDING HEIGHT:	35'
DILHR TYPE OF CONSTRUCTION (NEW STRUCTURES OR ADDITIONS):	
TOTAL SQUARE FOOTAGE OF BUILDING:	17,978 SQ. FT.
USE OF PROPERTY:	M-1 (HOTEL)
TOTAL GUEST ROOMS:	91
TOTAL EMPLOYEES:	10
NUMBER OF BICYCLE STALLS:	3

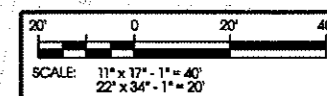
NUMBER OF PARKING STALLS:  
 REQUIREMENT: 1 STALL PER GUEST ROOM  
 4 ADA ACCESSIBLE  
 1 ADA VAN ACCESSIBLE

	SHOWN
SMALL CAR	0
LARGE CAR	95
ADA ACCESSIBLE	6
TOTAL	100



LEGEND

	ASPHALT
	CONCRETE
	GRASS



PARKWAY

TRADEWINDS



**PROPOSED SITE PLAN**  
**SLEEP INN & SUITES**  
**MADISON, WISCONSIN**

SHEET TITLE:	
ISSUE DATE:	02/04/08 - CD#
REVISIONS:	
PRELIMINARY	
NOT FOR CONSTRUCTION!	
DRAWN BY:	AMF
CHECKED BY:	AJO
PLOT DATE:	2/04/08
PROJECT NUMBER:	S245
FILE NAME:	C2.0.dgn
SHEET NUMBER:	<b>C2.0</b>



1 WEST ELEVATION - PRELIMINARY DESIGN  
1/8" = 1'-0"

0 4' 8' 16'  
SCALE: 1/8" = 1'-0"



1 SOUTH ELEVATION - PRELIMINARY DESIGN  
1/8" = 1'-0"

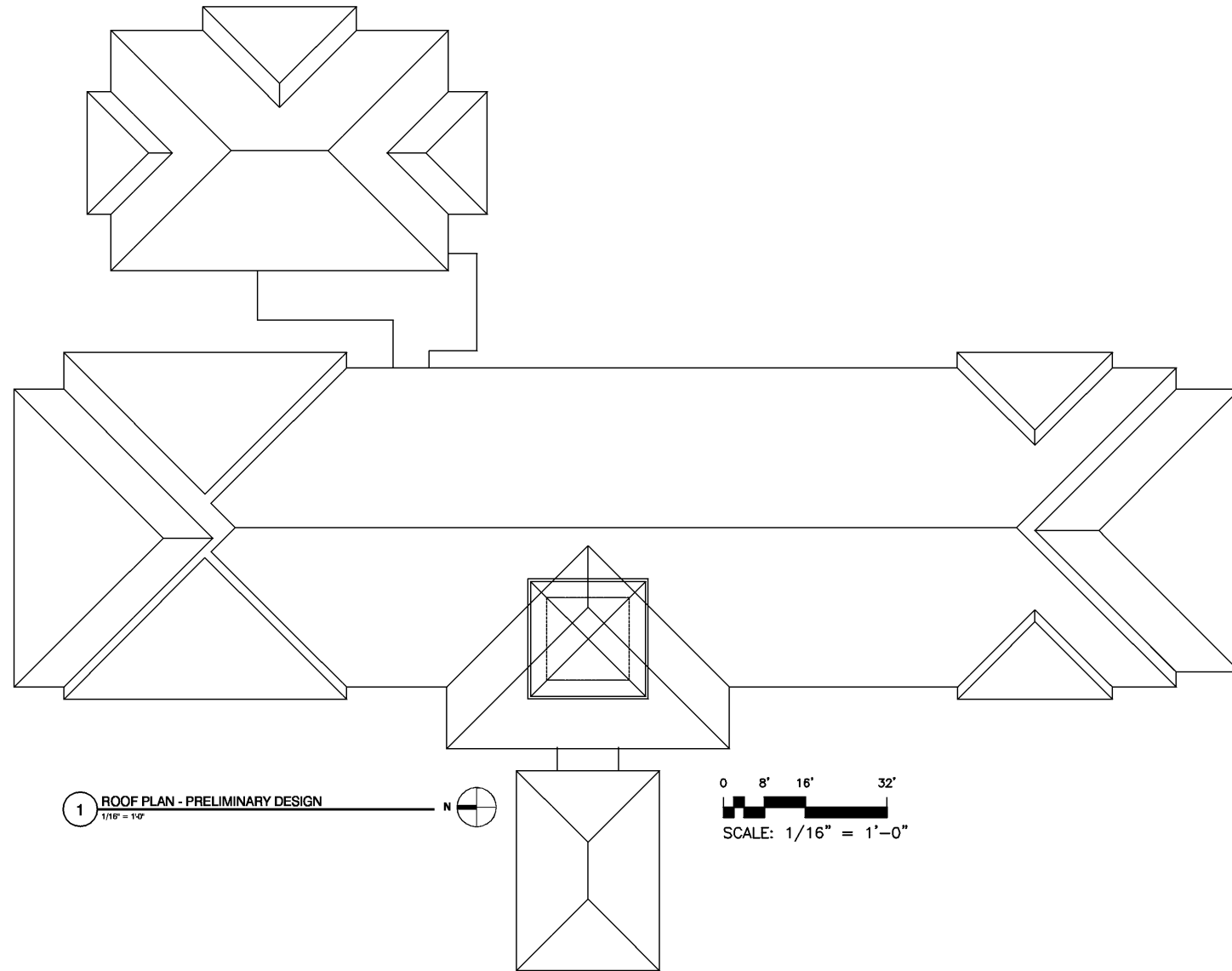
0 4' 8' 16'  
SCALE: 1/8" = 1'-0"

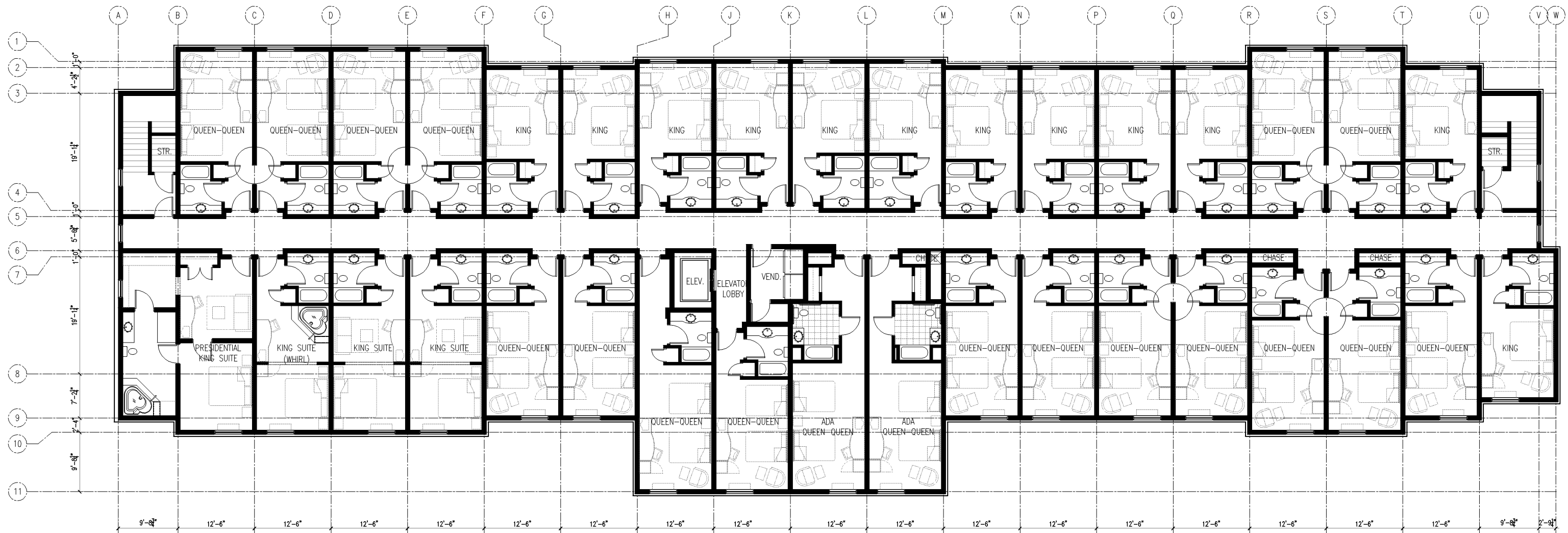
**DIMENSIONIM**  
Madison Design Group  
architecture · engineering · interior design

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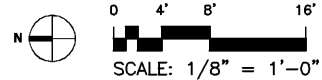
**Sleep Inn & Suites - Madison**  
Madison, WI

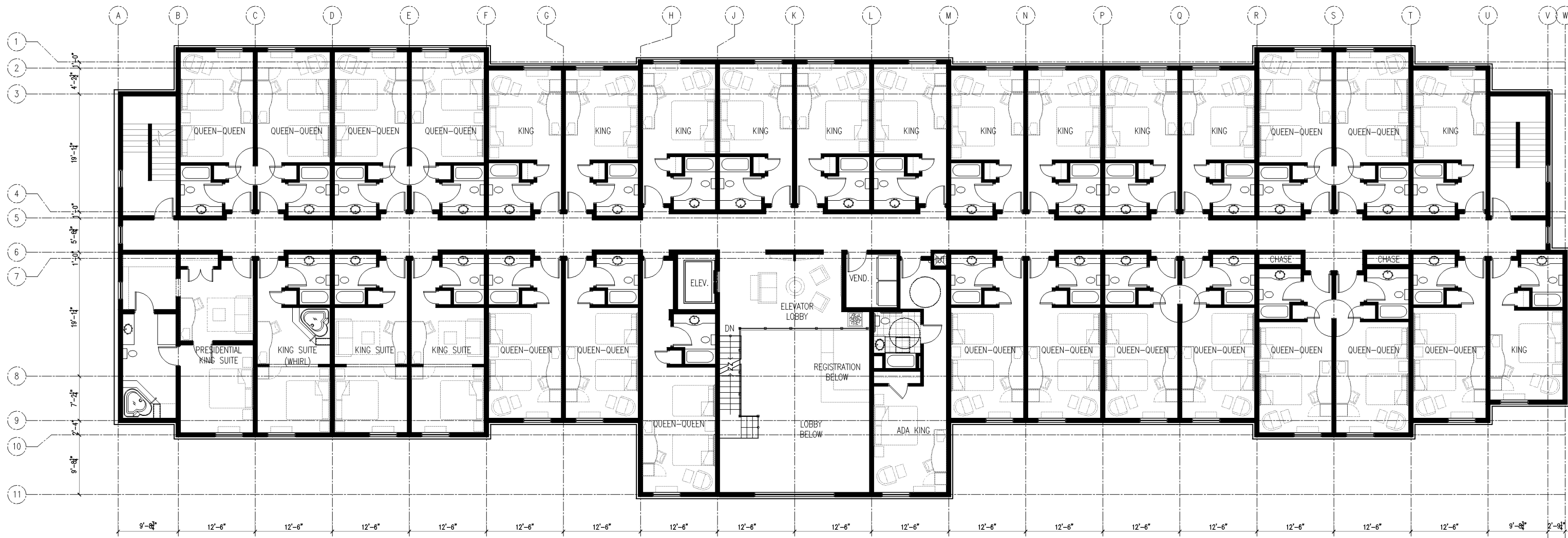
06 February '08  
Project No. 07081



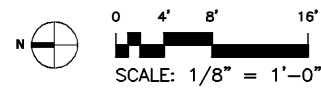


1 THIRD FLOOR PLAN - PRELIMINARY DESIGN  
1/8" = 1'-0"

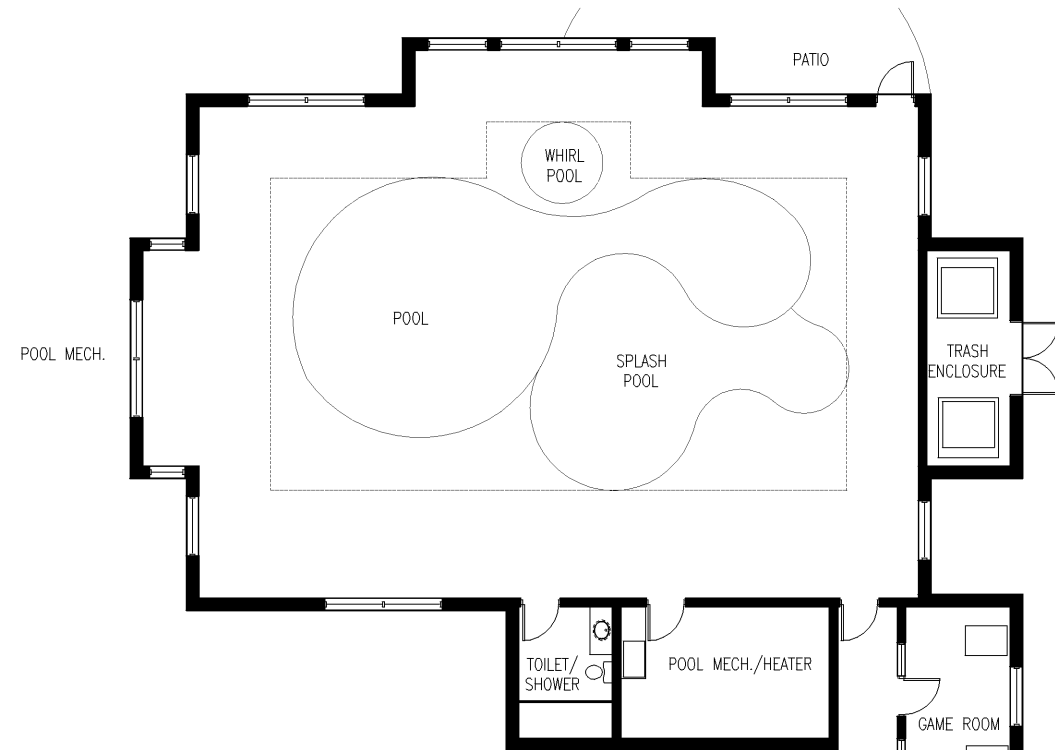




1 SECOND FLOOR PLAN - PRELIMINARY DESIGN  
1/8" = 1'-0"

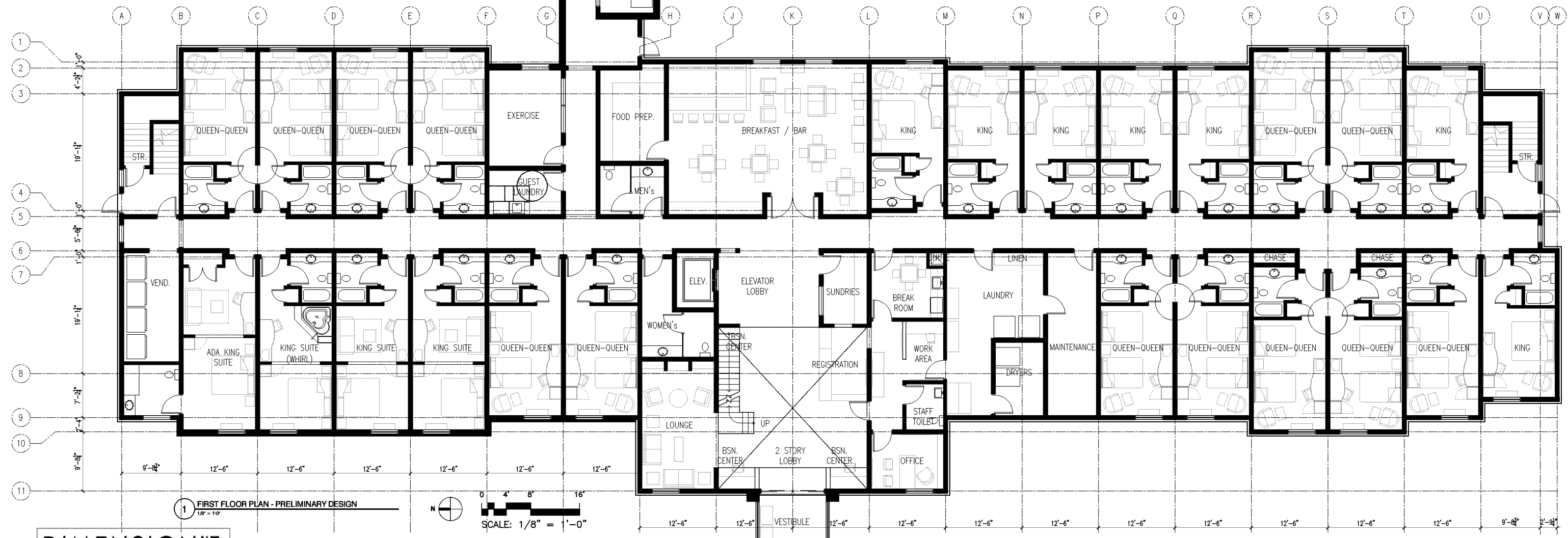




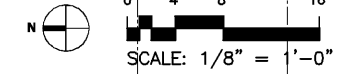


**ROOM MIX**

	LOBBY LEVEL	SECOND LEVEL	THIRD LEVEL	TOTAL
KING ROOMS	7	12	12	31
H.C. KING ROOMS	0	1	0	2
KING SUITES	3	3	3	10
H.C. KING SUITE	1	1	1	2
O/D ROOMS STANDARD	13	16	17	46
H.C. O/D ROOMS	0	0	2	1
<b>TOTAL</b>	<b>24</b>	<b>33</b>	<b>35</b>	<b>92</b>



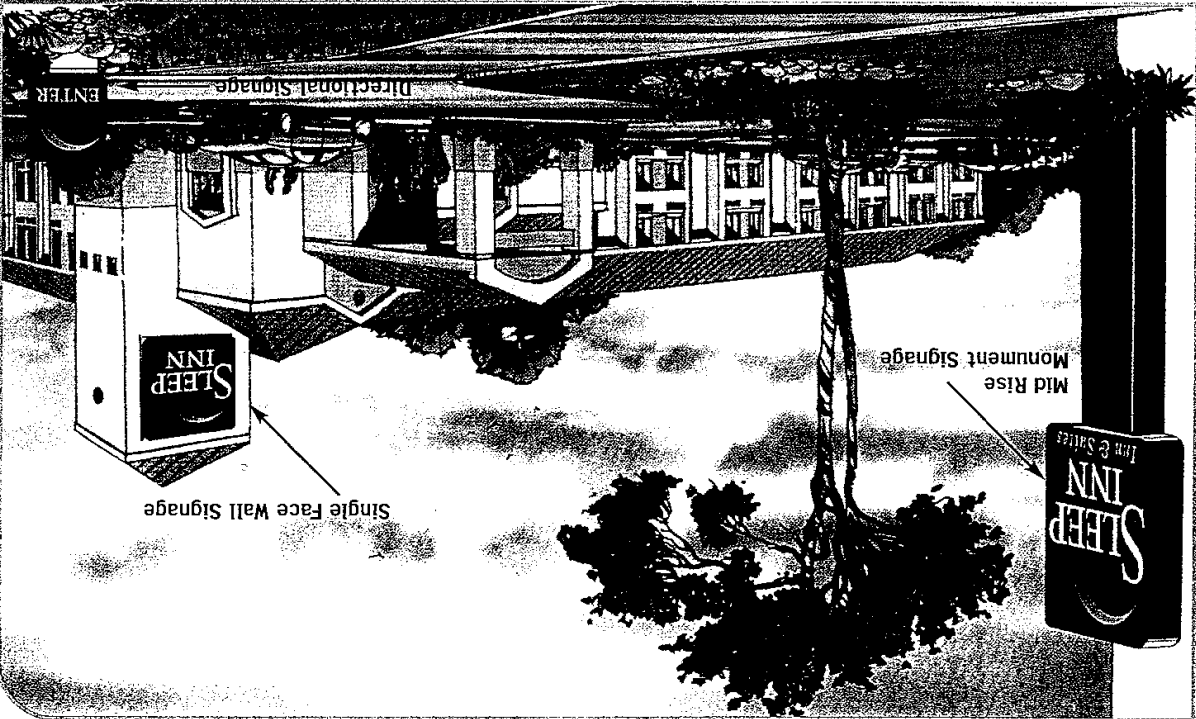
1 FIRST FLOOR PLAN - PRELIMINARY DESIGN  
1/8" = 1'-0"



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At north side of building  
 ↳ Mid Rise Monument Signage

Facility sign at parking entry  
 ↳ Directional Signage

Mid rise signage is an important sales tool by means of bringing the potential guest off the road and into your property. The ZI-144 Regent sign is the primary identification for a Sleep Inn. this sign is installed at a height of approximately 25 to 30 feet.

As a convenience to arriving guests, directional signage is available. These signs will clearly identify property entrances, exits as well as direct traffic flow. Directional signs can be installed at heights of 4 to 6 feet.

Double-face cabinet, monument base.

Single Face Signage ← on cupola on east & west facades

The ZI-98 wall mounted Regent signs are an excellent means of using your building as primary or supplementary identification. The height of your building can work much in the same way pole-signage is used.

All styles and sizes shown above are available in the Comfort, Quality, Clarion and Sleep segments. Model #'s are equivalent to the approximate square footage of the sign faces. All signs listed above refer to double face cabinets. Single face signs are also available in the sizes shown.

Model#	ZI-98
Size	10x9

Model#	ZI-144
Size	12x11

Model#	ZI-7
Size	2x3

2 pensize  
 size to 8x9