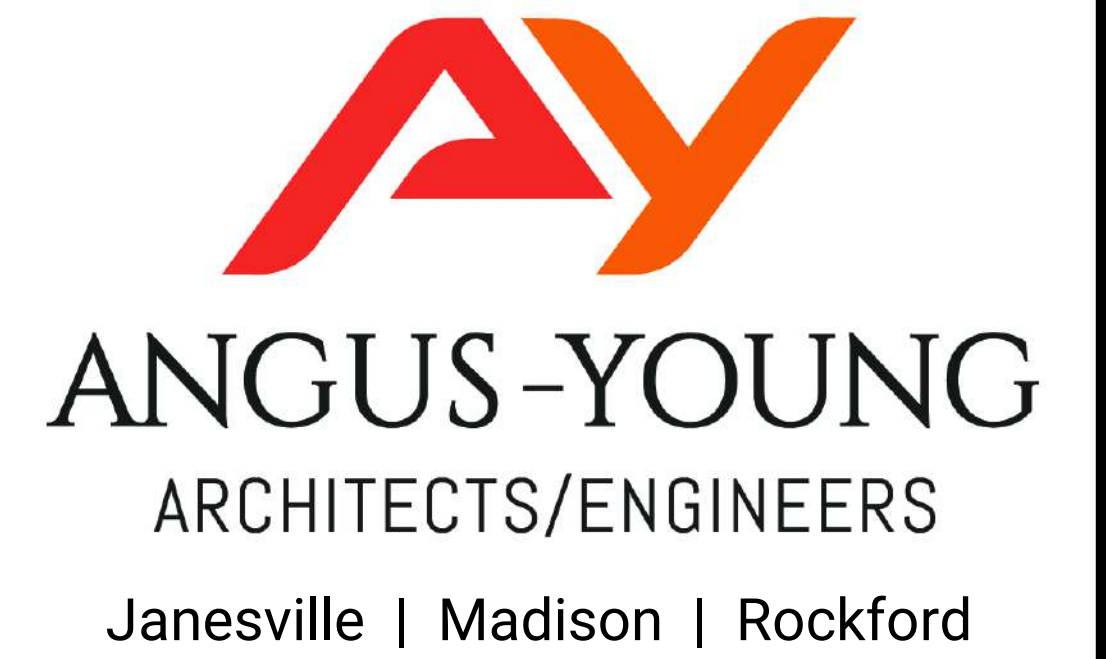


HELENA STREET REDEVELOPMENT

HOVDE PROPERTIES

2084 HELENA STREET
MADISON, WI 53704



HELENA STREET REDEVELOPMENT

AY PROJECT NUMBER: 78220

SHEET INDEX:

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G007	RENDERINGS
G008	RENDERINGS
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C100	EXISTING AND DEMOLITION SITE PLAN
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C400	SITE UTILITY PLAN
C500	FIRE ACCESS PLAN
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C800	SITE DETAILS
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A103	THIRD FLOOR PLAN
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A401	EXTERIOR ELEVATIONS
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A403	EXTERIOR ELEVATIONS - COLOR
A404	EXTERIOR ELEVATIONS - COLOR
A601	BUILDING SECTIONS



BUILDING PERSPECTIVE

RENDERINGS ARE FOR IMAGERY ONLY AND NOT FOR THE USE DURING CONSTRUCTION.

BUILDING PERSPECTIVE

RENDERINGS ARE FOR IMAGERY ONLY AND NOT FOR THE USE DURING CONSTRUCTION.

REGULATORY DATA:

BUILDING CODES:	2021 INTERNATIONAL BUILDING CODE
OVERALL BUILDING:	2021 INTERNATIONAL FIRE CODE
	2019 NFPA 13
	2021 INTERNATIONAL PLUMBING CODE
	2021 INTERNATIONAL MECHANICAL CODE
	2021 INTERNATIONAL ENERGY CONSERVATION CODE
ACCESSIBILITY:	2017 ANSI A117.1
USE AND OCCUPANCY CLASSIFICATION:	
LOWER LEVEL - S-2	
1ST-3RD LEVELS - R-2	
NON-SEPARATED USE	
TYPE OF CONSTRUCTION:	
LOWER LEVEL - 1A	
1ST-3RD LEVELS - VA	
SEPARATED USES	
FIRE PROTECTION SYSTEM:	
AUTOMATIC SPRINKLER SYSTEM - NFPA 13	
GENERAL BUILDING HEIGHT AND AREA:	
AREA:	
TOTAL MAXIMUM ALLOWABLE	36,000 SF PER FLOOR (PER 506.2 IBC 2021)
TOTAL ACTUAL	20,753 SF PER FLOOR
STORIES:	
MAXIMUM ALLOWABLE	4 STORIES
ACTUAL	3 STORIES
HEIGHT:	
MAXIMUM ALLOWABLE	70' - 0"
ACTUAL	42' - 3"

LOCATION MAP:



ISSUANCES / REVISIONS

NO:	DESCRIPTION:	DATE:
01	SD PRICING SET	02/21/2025
02	CU SUBMITTAL	02/02/2026

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SCHEMATIC DESIGN SIGN-OFF

THESE DRAWINGS HAVE BEEN REVIEWED BY THE OWNER AND ARE ACCEPTED WITH THE CORRECTIONS INDICATED. THE DESIGN CONCEPTS, SITE IMPROVEMENTS, LAYOUT OF WALLS, DOORS AND WINDOWS ON THE FLOOR PLANS; BUILDING SCALE, APPEARANCE AND EXTERIOR MATERIALS WERE REVIEWED. THE CONSTRUCTION BUDGET HAS BEEN REVIEWED AND IS ACCEPTABLE. WITH THIS APPROVAL, THE OWNER ACKNOWLEDGES THE COMPLETION OF THE SCHEMATIC DESIGN PHASE OF THE PROJECT AND DIRECTS THE ARCHITECT TO PROCEED WITH THE DESIGN DEVELOPMENT PHASE.

Date

PROJECT TEAM

OWNER:	ARCHITECT:	LANDSCAPE ARCHITECT / CIVIL ENGINEER:	STRUCTURAL ENGINEER:
HOVDE PROPERTIES 122 WEST WASHINGTON AVE #350 MADISON, WI 53703	ANGUS-YOUNG 316 WEST WASHINGTON AVE #800 MADISON, WI 53703	ANGUS-YOUNG 555 SOUTH RIVER STREET JANESVILLE, WI 53548	ANGUS-YOUNG 555 SOUTH RIVER STREET JANESVILLE, WI 53548
CONTACT: ETHAN SCHWENKER EMAIL: ESCHWENKER@HOVDEPROPERTIES.COM PHONE: 608-310-1985	CONTACT: BRANDON ADLER EMAIL: B.ADLER@ANGUSYOUNG.COM PHONE: 608-756-2326	CONTACT: KATIE UDELL EMAIL: K.UDELL@ANGUSYOUNG.COM PHONE: 608-756-2326	CONTACT: DREW ADEL EMAIL: D.ADEL@ANGUSYOUNG.COM PHONE: 608-756-2326

24	20	16	12	08	04
23	19	15	11	07	03
22	18	14	10	06	02
21	17	13	09	05	01

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608.756.2326
www.angusyong.com

COVER SHEET

G001

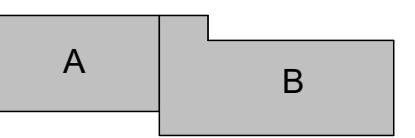
HOVDE PROPERTIES

**HELENA STREET
 REDEVELOPMENT**

2084 HELENA STREET
 MADISON, WI 53704



KEYPLAN



TRUE NORTH



ISSUANCES / REVISIONS

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PROJECT NUMBER
 78220

APPROVED BY
 JAD

REVIEWED BY
 BMA

DRAWN BY
 FM

RENDERINGS

G006



C:\Users\NSmith\Documents\78220\A-V2025_ay_nsmith.rvt
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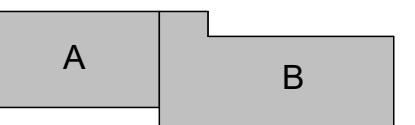
HOVDE PROPERTIES

HELENA STREET
 REDEVELOPMENT

2084 HELENA STREET
 MADISON, WI 53704



KEYPLAN



TRUE NORTH



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DRAWN BY
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RENDERINGS

G007



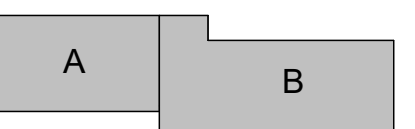
HOVDE PROPERTIES

**HELENA STREET
 REDEVELOPMENT**

2084 HELENA STREET
 MADISON, WI 53704



KEYPLAN



TRUE NORTH



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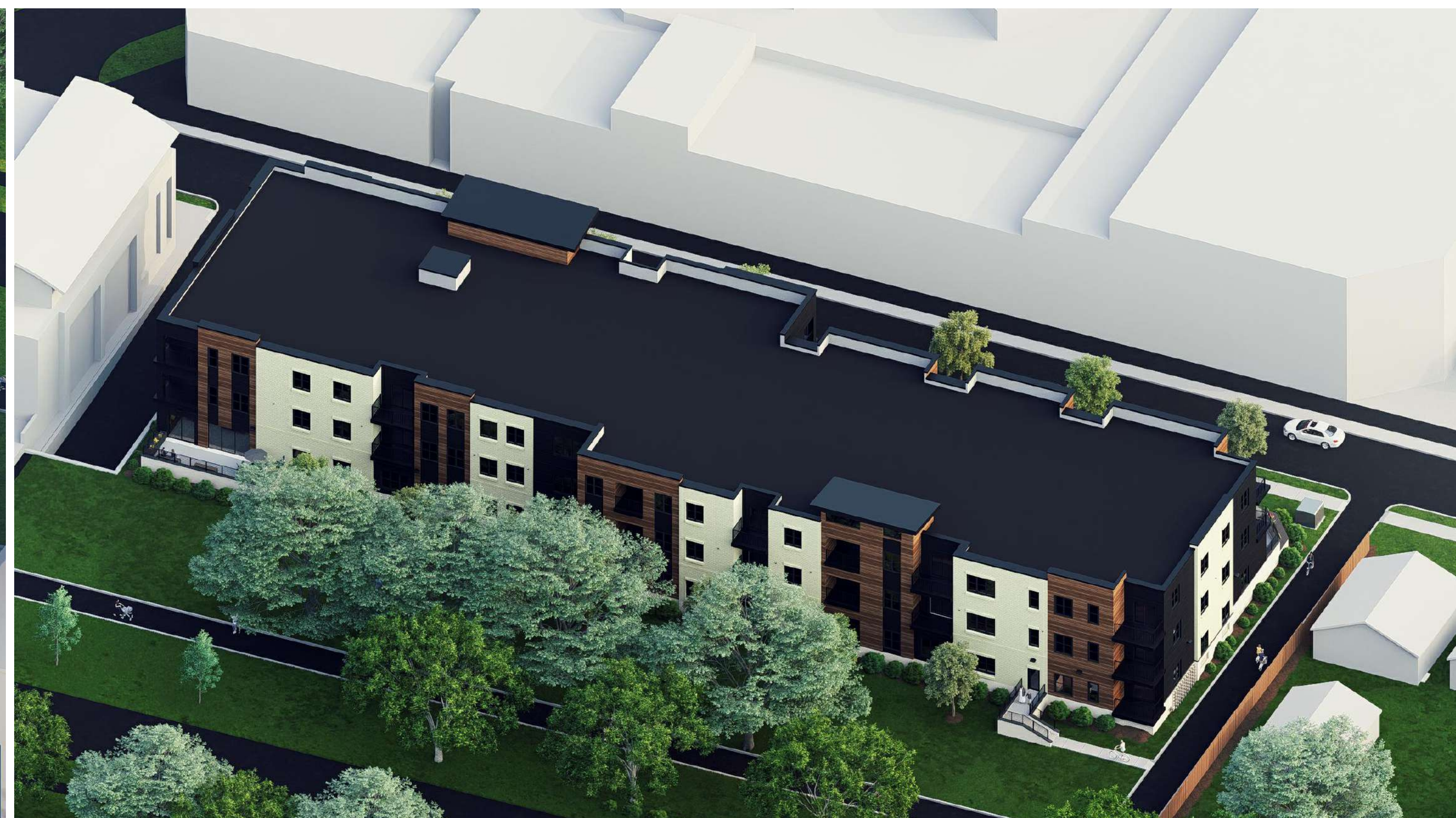
APPROVED BY
 JAD

REVIEWED BY
 BMA

DRAWN BY
 FM

RENDERINGS

G008



PRELIMINARY - NOT FOR CONSTRUCTION

ALTA/NSPS LAND TITLE SURVEY

ALL OF LOTS 17-24 AND PART OF LOT 25, BLOCK 2, GROVELAND, AS RECORDED IN VOLUME 5 OF PLATS, ON PAGES 41 AND 41A, AS DOCUMENT No. 352009, LOCATED IN THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 06, TOWNSHIP 07 NORTH, RANGE 10 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.

EASTWOOD DRIVE

72' WIDE PUBLIC RIGHT-OF-WAY

CITY OF MADISON BIKE PATH

66' WIDE PUBLIC RIGHT-OF-WAY (FORMER RAILROAD RIGHT-OF-WAY)

OWNER: CITY OF MADISON

ACCESS STRUCTURE FULL OF IRONS UNABLE TO MEASURE

APPARENT ENCROACHMENT

SEE DETAIL

END OF UNDERGROUND PIPE AS MARKED IN FIELD (TYPICAL)

OWNER: CITY OF MADISON

SEE DETAIL

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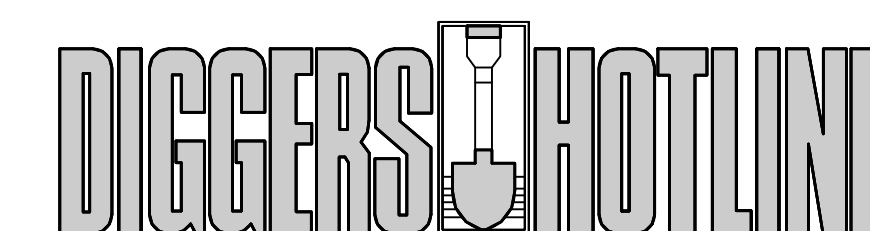
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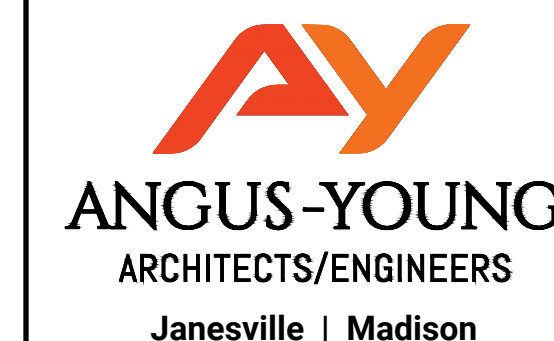
SEE DETAIL

EASTWOOD AVENUE



CALL TOLL FREE 1-800-242-8511
MILWAUKEE AREA 414-259-1181
FAX A LOCATE 1-800-338-3860
TDD (HEARING IMPAIRED) 1-800-542-2289
ONLINE: www.DiggersHotline.com

WISCONSIN STATUTE 122.07(5) (1974) REQUIRES A MINIMUM OF THREE (3) WORKING DAYS NOTICE PRIOR TO EXCAVATION.



HOVDE PROPERTIES

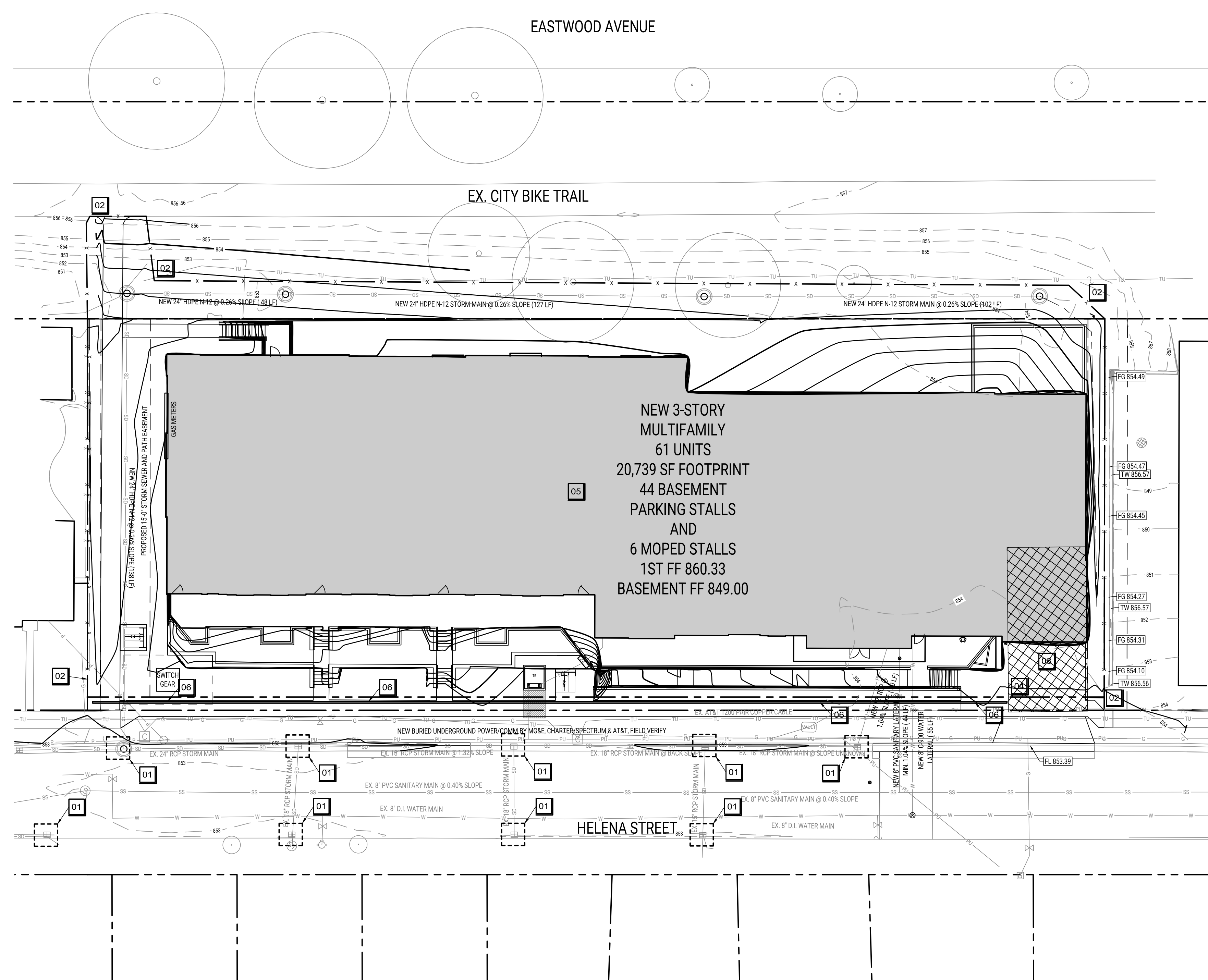
HELENA STREET REDEVELOPMENT

2084 HELENA STREET
MADISON, WI 53704



EROSION CONTROL NOTES

- Initial Downstream Receiving Water of the State from the site: Yahara River and Lake Monona
This project is anticipated to disturb approximately 0.83 Acres.
1 POST CITY OF MADISON EROSION CONTROL AND STORMWATER PERMIT COVERAGE ON SITE PRIOR TO LAND DISTURBANCE AND MAINTAIN UNTIL CONSTRUCTION ACTIVITIES HAVE CEASED, THE SITE IS STABILIZED.
2 KEEP A COPY OF THE CURRENT EROSION CONTROL PLAN ON SITE THROUGHOUT THE DURATION OF THE PROJECT.
3 CONTRACTOR IS RESPONSIBLE FOR ROUTINE SITE INSPECTIONS AT LEAST ONCE EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. KEEP INSPECTION REPORTS ON-SITE AND MAKE THEM AVAILABLE UPON REQUEST.
4 CONTRACTOR SHALL MAINTAIN A WEEKLY REPORT OF THE EROSION AND SEDIMENT CONTROL MEASURES AND CONDUCT MAINTENANCE TO ENSURE THE MEASURES ARE IN PROPER WORKING ORDER. THE MONITORING RECORD SHALL INCLUDE AT LEAST THE FOLLOWING:
a DATE, TIME AND EXACT PLACE OF INSPECTION.
b NAME(S) OF INDIVIDUAL(S) PERFORMING INSPECTION.
c AN ASSESSMENT OF THE CONDITION OF EROSION AND SEDIMENT CONTROLS
d A DESCRIPTION OF ANY EROSION AND SEDIMENT CONTROL IMPLEMENTATION AND MAINTENANCE PERFORMED.
e A DESCRIPTION OF THE SITE'S PRESENT PHASE OF CONSTRUCTION
NOTE: THE DNR CONSTRUCTION SITE INSPECTION REPORT FORM CAN BE USED FOR THESE INSPECTIONS, WHICH IS LOCATED AT: HTTP://DNR.WI.GOV/RUNOFF/PDF/STORMWATER/3400187_CONSTRUCTION_SITE_INSPECTION_REPORT.PDF
5 INSPECT AND MAINTAIN ALL INSTALLED EROSION CONTROL PRACTICES UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
6 REFER TO THE WDNR TECHNICAL STANDARDS FOR STORM WATER CONSTRUCTION AT http://dnr.wi.gov/topic/stormwater/standards/const_standards.html
7 INSTALL PERIMETER CONTROLS AND ROCK CONSTRUCTION ENTRANCE(S) PRIOR TO ANY LAND-DISTURBING ACTIVITIES, INCLUDING CLEARING AND GRUBBING. USE WDNR TECHNICAL STANDARD STONE TRACKING PAD AND TIRE WASHING #1057 FOR ROCK CONSTRUCTION ENTRANCE(S).
8 INSTALL INLET PROTECTION PRIOR TO LAND-DISTURBING ACTIVITIES IN THE TRIBUTARY AREA AND/OR IMMEDIATELY UPON INLET INSTALLATION. COMPLY WITH WDNR TECHNICAL STANDARD STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITES #1060.
9 NOTIFY AUTHORITY HAVING JURISDICTION IF DEWATERING IS SCHEDULED TO OCCUR IN AREAS OF SOIL AND/OR GROUNDWATER CONTAMINATION, OR IF DEWATERING WILL OCCUR FROM A HIGH CAPACITY WELL (70 GPM OR MORE). DEWATER ONLY AFTER THE APPROPRIATE WDNR DEWATERING DISCHARGE PERMIT HAS BEEN OBTAINED.
10 DEWATERING OPERATIONS SHALL PROTECT ADJOINING PROPERTIES AND DISCHARGE LOCATIONS FROM EROSION AND PREVENT CONTAMINATION OR DEGRADATION OF QUALITY FOR GROUND AND SURFACE WATERS. ALL OPERATIONS SHALL IN ACCORDANCE WITH THE BEST MANAGEMENT PRACTICES PLAN THAT HAS BEEN DEVELOPED AND APPROVED FOR THIS SITE. WISCONSIN DEPARTMENT OF NATURAL RESOURCES CONSERVATION SEDIMENT CONTROL PRACTICE STANDARD, DE-WATERING, No. 1061, AND SHALL COMPLY WITH THE REQUIREMENTS OF THE WISCONSIN POLLUTANT DISCHARGE ELIMINATION SYSTEM (WPDES) GENERAL PERMIT NO. WI-0049344-05-0.
11 PROVIDE ANTI-SCOUR PROTECTION AND MAINTAIN NON-EROSIVE FLOW DURING DEWATERING. LIMIT PUMPING RATES TO EITHER (A) THE SEDIMENT BASIN/TRAP DESIGN DISCHARGE RATE, OR (B) THE BASIN DESIGN RELEASE RATE WITH THE CORRECTLY-FITTED HOSE AND GEOTEXTILE FILTER BAG. PERFORM DEWATERING OF ACCUMULATED SURFACE RUNOFF IN ACCORDANCE WITH WDNR TECHNICAL STANDARD DE-WATERING #1061.
12 REMOVE SEDIMENT FROM BEHIND SEDIMENT LOG BEFORE SEDIMENT REACHES A DEPTH THAT IS EQUAL TO ONE-HALF OF THE FENCE AND/OR BARRIER HEIGHT. REPAIR BREAKS AND GAPS IN BARRIERS IMMEDIATELY.
13 SWEEP/CLEAN UP ALL SEDIMENT THAT MOVES OFF-SITE DUE TO CONSTRUCTION ACTIVITY OR STORM EVENTS BEFORE THE END OF THE SAME WORKDAY OR AS DIRECTED BY AUTHORITY HAVING JURISDICTION. SEPARATE SWEEP MATERIALS (SOILS AND TRASH) AND DISPOSE OF APPROPRIATELY.
14 CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST PER WDNR TECHNICAL STANDARD DUST CONTROL ON CONSTRUCTION SITES # 1068.
15 PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, OR OTHER CONSTRUCTION MATERIALS) AND DO NOT ALLOW THESE MATERIALS TO BE CARRIED BY RUNOFF INTO THE RECEIVING CHANNEL.
16 INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES AS NEEDED AS DIRECTED BY AUTHORITY HAVING JURISDICTION.
17 CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE WDNR REMEDIATION AND WASTE MANAGEMENT REQUIREMENTS FOR HANDLING AND DISPOSING OF CONTAMINATED MATERIALS. SITE-SPECIFIC INFORMATION FOR AREAS WITH KNOWN OR SUSPECTED SOIL AND/OR GROUNDWATER CONTAMINATION CAN BE FOUND ON WDNR'S BUREAU OF REMEDIATION AND REDEVELOPMENT TRACKING SYSTEM (BRRTS) PUBLIC DATABASE AT: http://dnr.wi.gov/botw



NEW 3-STORY MULTIFAMILY
61 UNITS
20,739 SF FOOTPRINT
44 BASEMENT PARKING STALLS AND 6 MOPED STALLS
1ST FF 860.33
BASEMENT FF 849.00

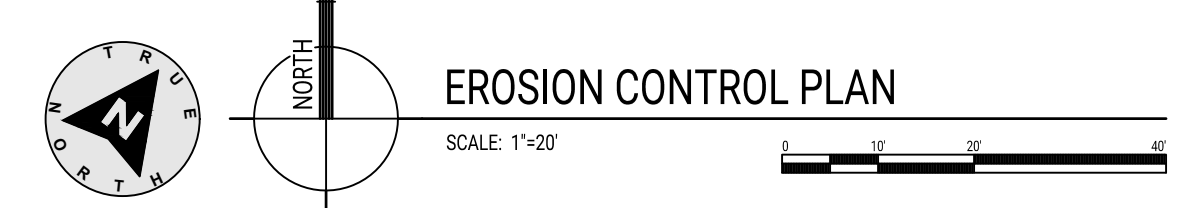
EROSION CONTROL LEGEND

Table with 2 columns: Symbol and Description. Includes Silt Fencing, Inlet Protection, Concrete Washout Zone, Slope Interruption/Perimeter Control, Tracking Pad, and Rip Rap.

SITE LINE LEGEND

Table with 2 columns: Line Style and Description. Includes Property Line, Setback Line, Easement Line, Existing/Intermediate/Existing Index/New Intermediate/New Index Contour, Pavement, Fence, Storm Drain, Sanitary Sewer, Water, Gas, Electrical Power, Underground Electrical Power, Underground Fiber Optic, Telephone, Underground Telephone, Cable, and Edge of Trees or Shrubs.

EROSION CONTROL PLAN



KEYNOTES

- 01 NEW STORM INLET PROTECTION, TYP. SEE DETAIL ON SHEET C800.
02 NEW SILT FENCING, TYP. SEE DETAIL 17/C800.
03 NEW STONE TRACKING PAD. SEE DETAIL ON SHEET C800.
04 TEMPORARY CONCRETE WASHOUT DUMPSTER TO BE MOVED ON-SITE WHEN NEEDED AND TAKEN OFF-SITE TO DISPOSE OF PROPERLY.
05 IF A WELL POINT DEWATERING SYSTEM IS REQUIRED, INSTALL AROUND THE PERIMETER OF THE EXCAVATION AND UTILIZE A WATER TREATMENT SYSTEM TO TREAT WATER FROM SYSTEM PRIOR TO DISCHARGE TO MUNICIPAL STORM SEWER.
06 SEDIMENT SOCK ALONG SIDEWALK, SEE DETAIL ON SHEET C800.

EROSION CONTROL NOTES

- 1. SEE SHEET C802 FOR EROSION CONTROL DETAILS.
2. CONTRACTOR IS RESPONSIBLE FOR ALL EROSION CONTROL INSTALLATIONS AND INSPECTIONS.
3. ALL WATER PUMPED FROM PITS, TRENCHES, PONDS, OR OTHER EXCAVATIONS MUST BE TREATED (PUMP TO SEDIMENT BASIN OR FILTER BAG) PRIOR TO DISCHARGE OFF-SITE. DEWATERING SHALL BE PERFORMED ACCORDING TO WDNR TECHNICAL STANDARD 1061. SEE DETAIL 05/C802.
4. CONTRACTOR SHALL FOLLOW CONCRETE MANAGEMENT PLAN AND CONSTRUCTION DEWATERING PLAN ON-SITE IF CONTAMINATED SOIL OR GROUNDWATER CONDITIONS EXIST ON OR ADJACENT TO THIS PROJECT. ADDITIONAL APPROVALS MAY BE REQUIRED DURING CONSTRUCTION.
5. SEE DETAIL 21/10800 FOR DEWATERING DETAIL IF NEEDED.
6. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.
7. ALL WORK WITHIN THE CITY RIGHT-OF-WAY AND ALL PUBLIC IMPROVEMENTS TO SERVE THE PROJECT, INCLUDING LATERAL CONNECTIONS, SHALL BE COMPLETED PER THE CITY OF MADISON ISSUED PLANS (CONTRACT XXXX, PROJECT XXXXX).

ISSUANCES / REVISIONS

Table with 3 columns: NO., DESCRIPTION, DATE. Shows two revisions: 1 SD REVIEW (12/04/2023) and 2 CU SUBMITTAL (02/02/2024).

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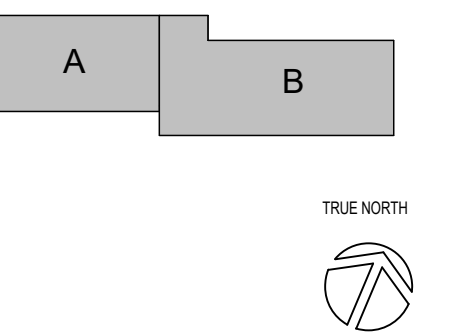
Table with 2 columns: Field Name and Value. Includes PROJECT NUMBER (78220), APPROVED BY (JAD), REVIEWED BY (BMA), and DRAWN BY (KAU).

EROSION CONTROL PLAN

C301

PRELIMINARY - NOT FOR CONSTRUCTION

KEYPLAN



ISSUANCES / REVISIONS

NO.	DESCRIPTION:	DATE:
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PROJECT NUMBER
 78220

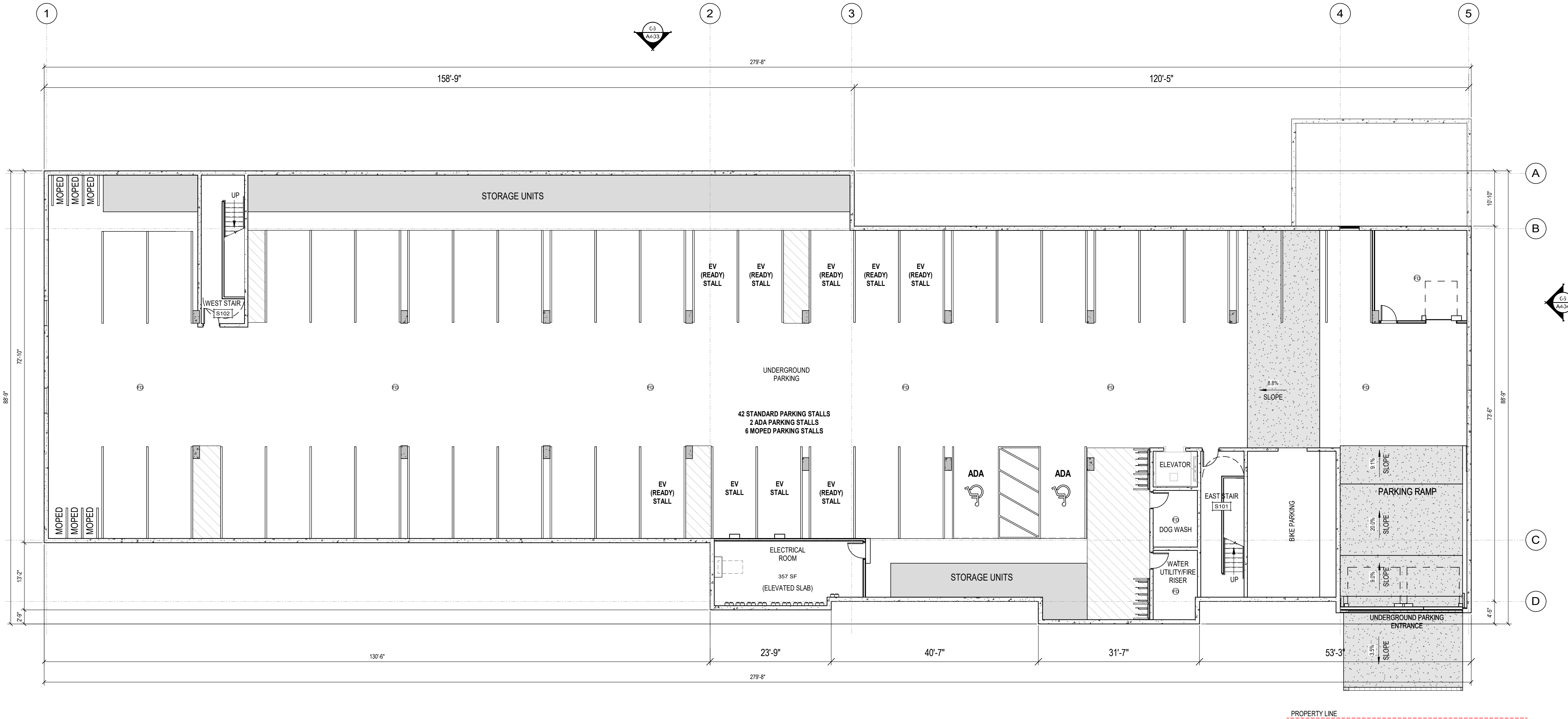
APPROVED BY
 JAD

REVIEWED BY
 BMA

DRAWN BY
 FM

BASEMENT FLOOR PLAN

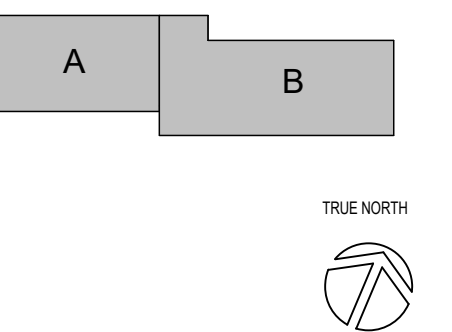
A100



1 LOWER OVERALL FLOOR PLAN
A100 SCALE: 3/32" = 1'-0"

PRELIMINARY - NOT FOR CONSTRUCTION

KEYPLAN



ISSUANCES / REVISIONS

NO.	DESCRIPTION:	DATE:
01	SD PRICING SET	02/21/2025
02	CU SUBMITTAL	02/02/2026

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PROJECT NUMBER
 78220

APPROVED BY
 JAD

REVIEWED BY
 BMA

DRAWN BY
 FM

FIRST FLOOR PLAN

A101

UNIT MIX QUANTITY OVERALL

UNIT TYPE	QUANTITY
STUDIO + DEN	3
STUDIO/MICRO	17
1 BED	19
1 BED + DEN	4
2 BED	12
3 BED	2
WALK UP - 1 BED	1
WALK UP - 2 BED	3
TOTAL UNIT COUNT:	61

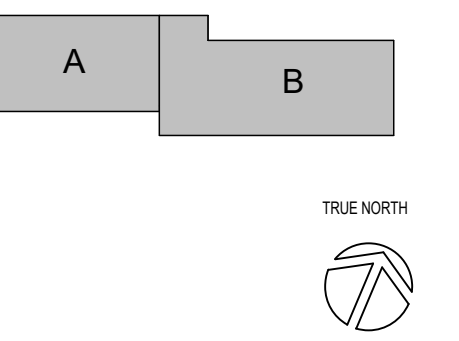
UNIT MIX QUANTITY FIRST FLOOR

UNIT TYPE	QUANTITY
STUDIO + DEN	1
STUDIO/MICRO	7
1 BED	5
2 BED	2
WALK UP - 1 BED	1
WALK UP - 2 BED	3
TOTAL UNIT COUNT:	19



FIRST FLOOR OVERALL PLAN
 SCALE: 3/32" = 1'-0"

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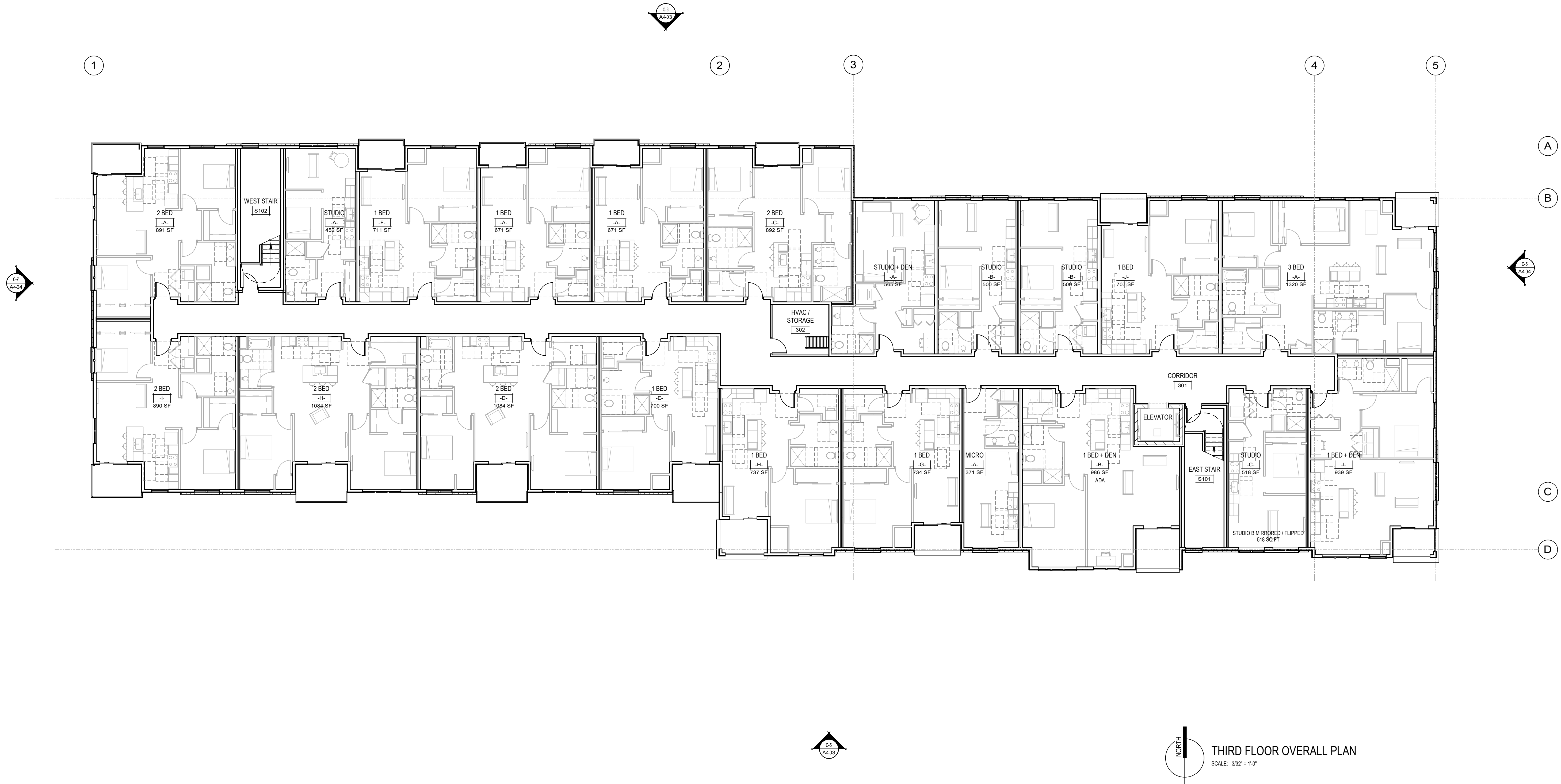
THIRD FLOOR PLAN

UNIT MIX QUANTITY OVERALL

UNIT TYPE	QUANTITY
STUDIO + DEN	3
STUDIO/MICRO	17
1 BED	19
1 BED + DEN	4
2 BED	12
3 BED	2
WALK UP - 1 BED	1
WALK UP - 2 BED	3
TOTAL UNIT COUNT:	61

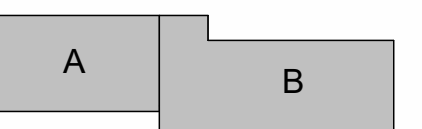
UNIT MIX QUANTITY THIRD FLOOR

UNIT TYPE	QUANTITY
STUDIO + DEN	1
STUDIO/MICRO	5
1 BED	7
1 BED + DEN	2
2 BED	5
3 BED	1
TOTAL UNIT COUNT:	21



THIRD FLOOR OVERALL PLAN
 SCALE: 3/32" = 1'-0"

KEYPLAN



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EXTERIOR ELEVATIONS

A401

KEYNOTES

- 01 ENGINEERED WOOD LAP SIDING - MATCH BRICK COLOR
- 02 ENGINEERED WOOD LAP SIDING - MOUNTAIN CEDAR
- 03 MAC POLYMAC METAL SIDING PANEL - SMOKEY QUARTZ
- 04 3 1/2" X 5/4" CEDAR TEXTURE ENGINEERED WOOD TRIM
- 05 4" X 5/4" CEDAR TEXTURE OUTSIDE CORNER TRIM
- 06 ARRIS-CRAFT RENAISSANCE STONE VENEER - GEORGIA, MONTECITO
- 07 COUNTY MATERIALS PREMIER ULTRA BURNISHED - MOONBEAM
- 08 BRICK VENEER - GLACIER WHITE
- 09 INDIANA LIMESTONE STILL - BUFF
- 10 SOLDIER COURSE HEADER - GLACIER WHITE
- 11 COMMERCIAL GRADE PRE-FINISHED METAL FASCIA ON 2X WOOD
- 12 PAC-CLAD PRE-FINISHED COMMERCIAL GRADE PARAPET COPING - MATTE BLACK
- 13 PRE-FINISHED COMMERCIAL GRADE ALUMINUM SOFFIT PANELS - MATTE BLACK
- 14 KAWNEER ALUMINUM STOREFRONT SYSTEM TRIFAB 451T - PILKINGTON, U-FACTOR -.35 & SHGC = .37 - BLACK
- 15 KAWNEER ALUMINUM STOREFRONT SYSTEM TRIFAB 451T - PILKINGTON, U-FACTOR -.35 & SHGC = .37 (BIRD FRIT) - BLACK
- 16 VINYL PATIO DOOR W/ TEMPERED INSULATING GLAZING. (U-FACTOR = .28/SHGC = .23)
- 17 VINYL WINDOW (U-FACTOR = .28/SHGC = .29)
- 18 ALUMINUM GUARDRAIL, SEE MANUFACTURERS INSTALL MANUAL FOR FASTENING REQUIREMENTS - BLACK
- 19 METAL STANDING SEAM AWNING WITH POWDER COATED METAL CORBEL PAINTED BLACK
- 20 MECHANICAL LOUVER BY DESIGN BUILD CONTRACTOR. COLOR TO MATCH ADJACENT FACADE.
- 21 MECHANICAL EXHAUST INTAKE LOUVER FOR UNDERGROUND PARKING
- 22 INSULATED ALUMINUM GARAGE DOOR. R-VALUE = 18.4
- 23 INSULATED HOLLOW METAL DOOR AND FRAMES. U-FACTOR = .35
- 24 CONCRETE RETAINING WALL AND STAIR, SEE ARCHITECTURAL FLOOR PLANS AND STRUCTURAL DRAWINGS FOR MORE INFORMATION
- 25 FUTURE MURAL LOCATION

ELEVATION NOTES:

- 1. ALL EXTERIOR LIGHTING FIXTURES, OUTLETS, HOSE BIBS, AND ALL OTHER SIDED PENETRATIONS TO BE WRAPPED WITH 1X4 CEMENTITIOUS TRIM.
- 2. REFER TO SHEET A301 FOR WINDOW FRAME ELEVATIONS.
- 3. SELANT TRIM COLORS TO MATCH ADJACENT FINISH SURFACES.
- 4. C/J-MASONRY JOINT - BACKER ROD & SEALANT. SEALANT TO MATCH MORTAR.



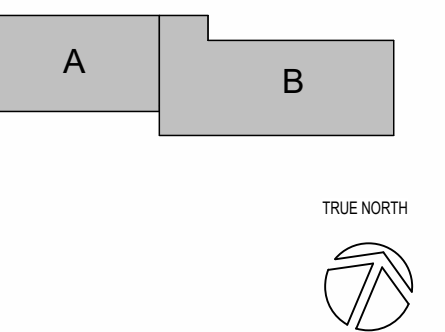
06 NORTH ELEVATION
 A401 SCALE: 3/32" = 1'-0"



05 SOUTH ELEVATION
 A401 SCALE: 3/32" = 1'-0"

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KEYPLAN



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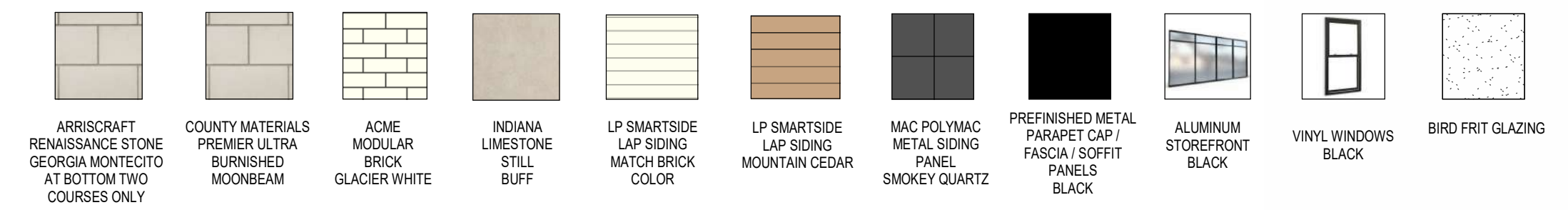
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EXTERIOR ELEVATIONS - COLOR

A404

MATERIAL LEGEND



23 A404 ALCOVE SOUTH
 SCALE: 3/32" = 1'-0"

19 A404 ALCOVE EAST
 SCALE: 3/32" = 1'-0"

15 A404 ALCOVE WEST
 SCALE: 3/32" = 1'-0"

07 A404 WEST ELEVATION - COLORED
 SCALE: 3/32" = 1'-0"



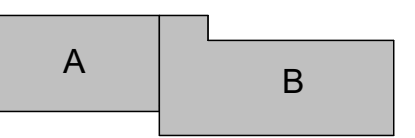
21 A404 ALCOVE SOUTH
 SCALE: 3/32" = 1'-0"

17 A404 ALCOVE EAST
 SCALE: 3/32" = 1'-0"

13 A404 ALCOVE WEST
 SCALE: 3/32" = 1'-0"

05 A404 EAST ELEVATION - COLORED
 SCALE: 3/32" = 1'-0"

KEYPLAN



TRUE NORTH



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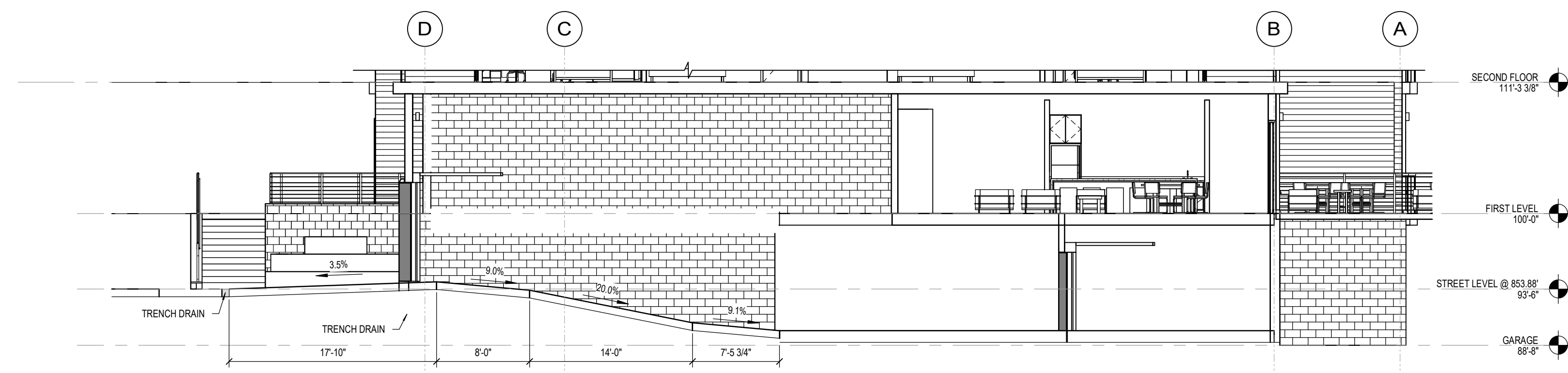
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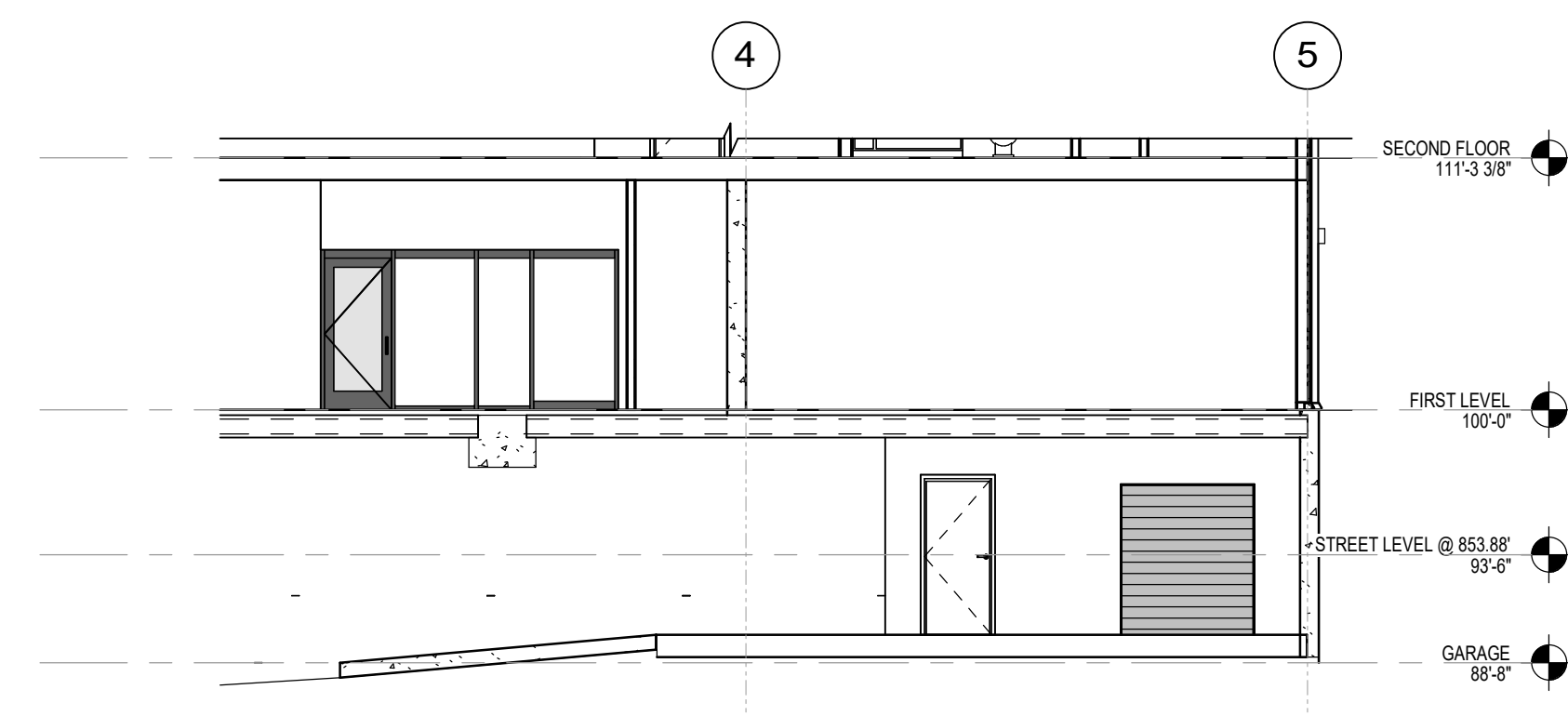
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BUILDING SECTIONS

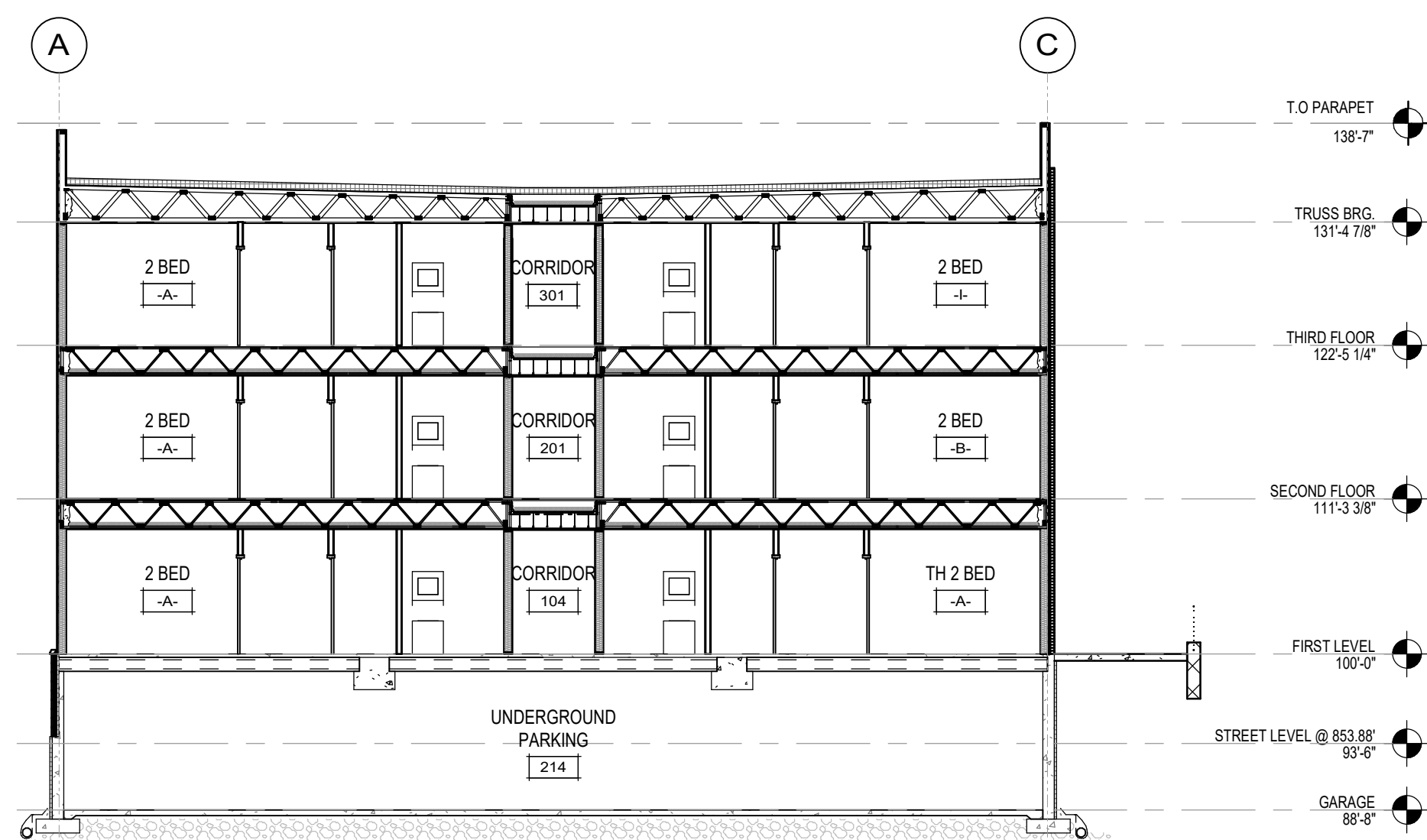
A601



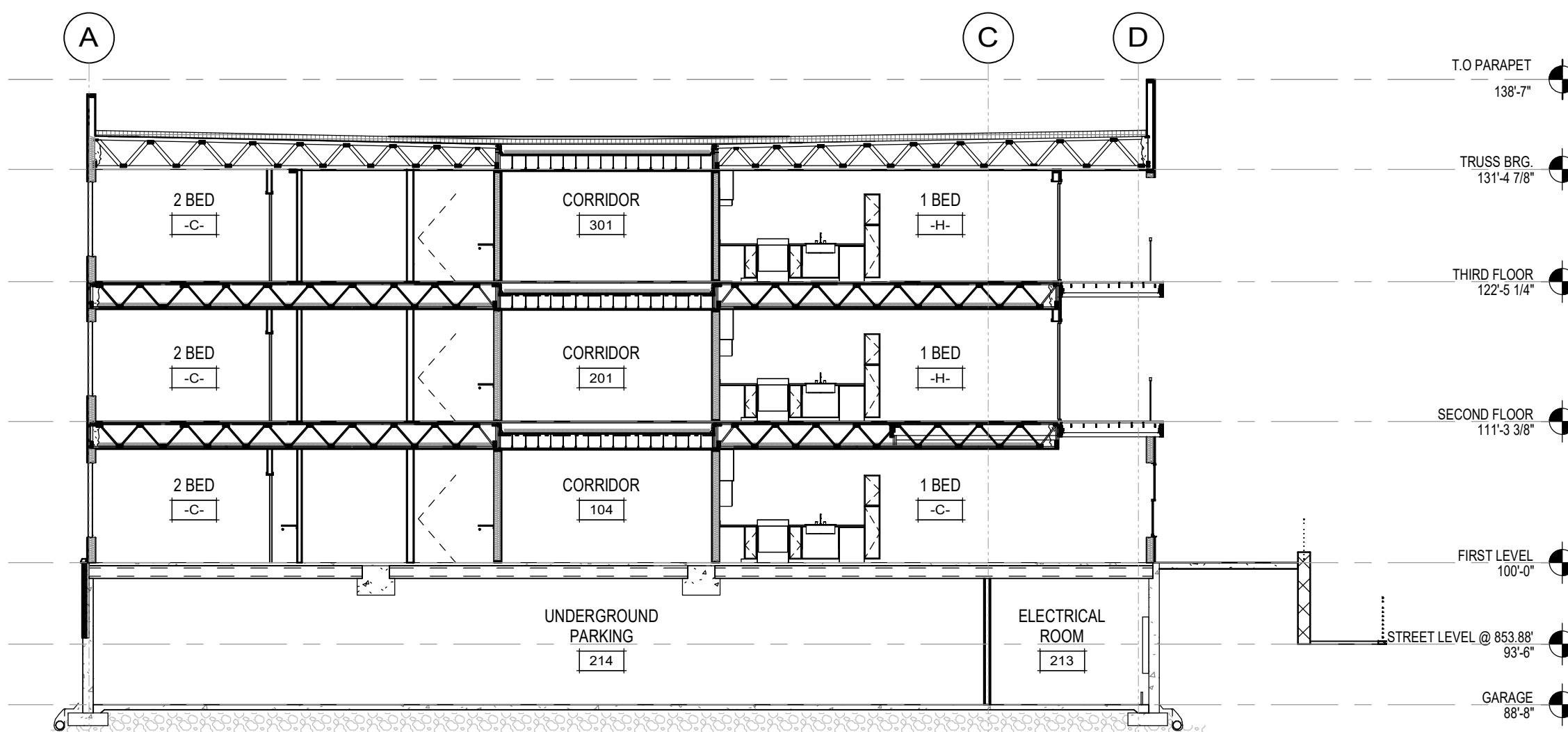
24 RAMP SLOPE SECTION N/S
 A601 SCALE: 1/8" = 1'-0"



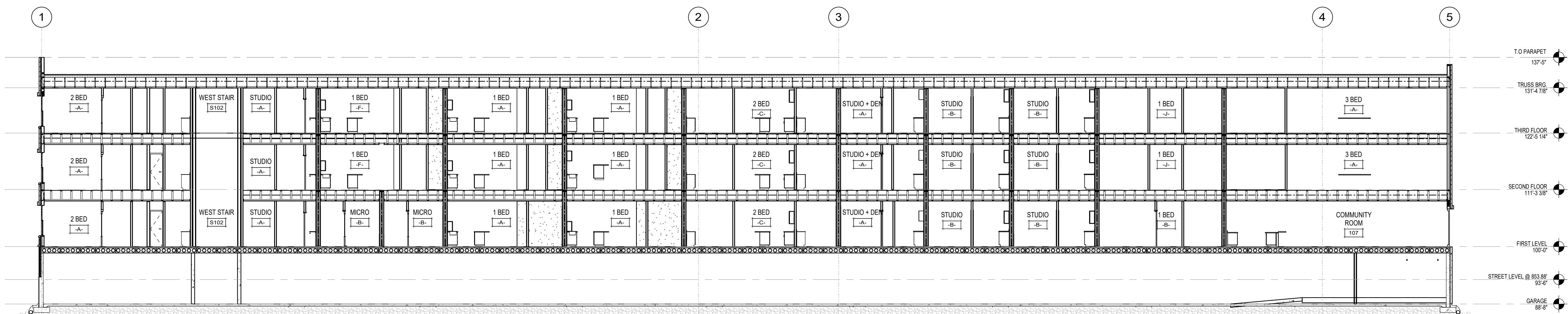
08 RAMP SLOPE SECTION E/W
 A601 SCALE: 1/8" = 1'-0"



22 Section 7
 A601 SCALE: 3/32" = 1'-0"



10 Section 9
 A601 SCALE: 3/32" = 1'-0"



21 Section 6
 A601 SCALE: 3/32" = 1'-0"

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Existing Site Photos

From East, Looking Northwest



From South, Looking North



From East, Looking West



From Southeast, Looking Northwest



From North, Looking Southeast



From North, Looking Southeast



From North, Looking Southeast

