

# UW CAMPUS HOTEL



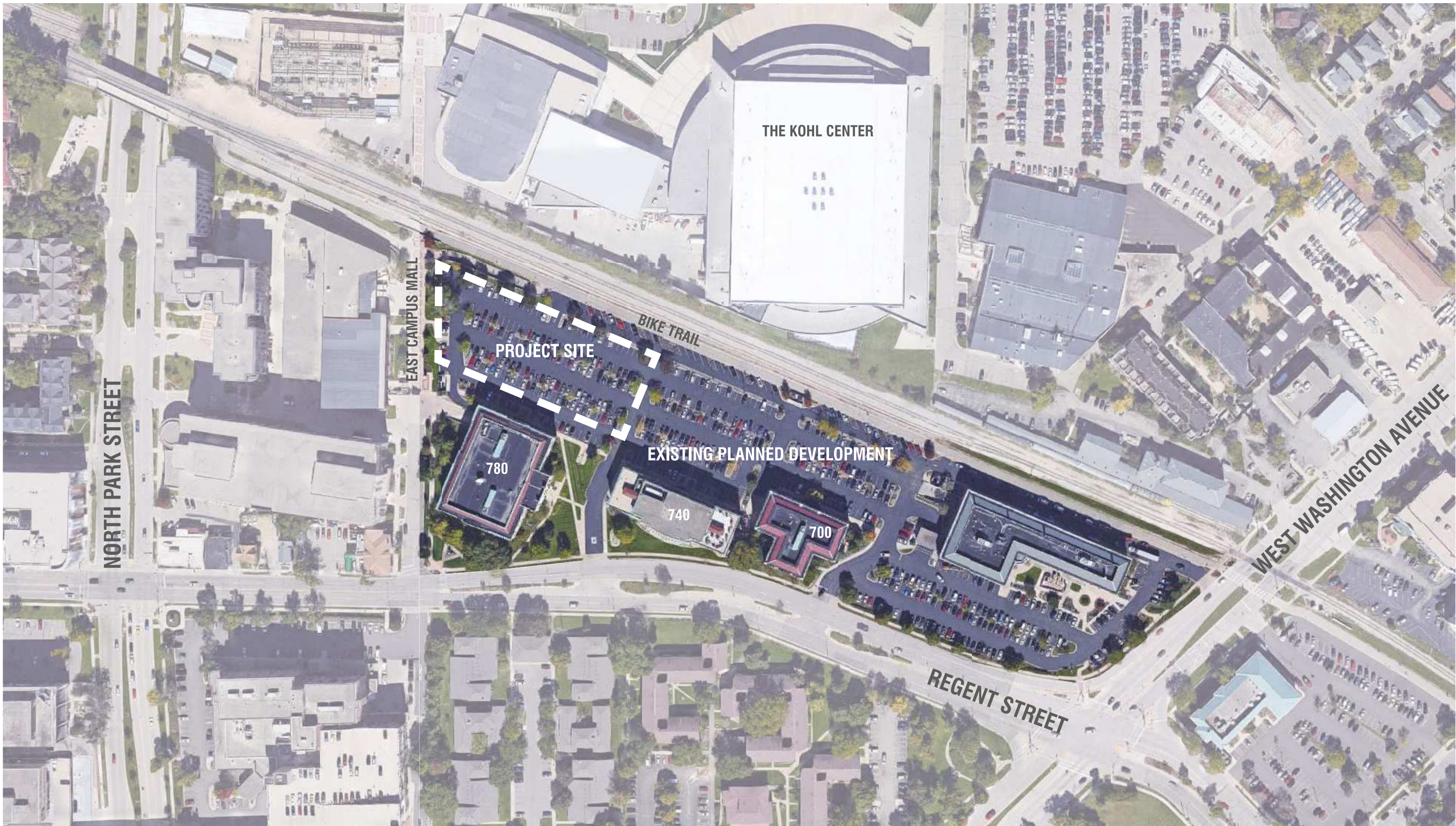
760 REGENT STREET | MADISON, WISCONSIN

## CONTENTS

- 01 COVER
- 02 LOCATION PLAN
- 03 SITE CONTEXT PLAN
- 04 SITE & CONTEXT VIEWS
- 05 SITE PLAN
- 06 1ST FLOOR PLAN
- 07 2ND & 3RD-6TH FLOOR PLANS
- 08 ENTRY VIEW
- 09 APPROACH FROM EAST CAMPUS MALL
- 10 APPROACH FROM NORTH EAST
- 11 VIGNETTES
- 12 SOUTH ELEVATION
- 13 NORTH ELEVATION
- 14 WEST & EAST ELEVATIONS
- 15 EXPOSED FASTENER METAL PANEL IMAGES
- 16 PTAC LOUVER IMAGES
- 17 SCREEN IMAGES

## ATTACHMENTS

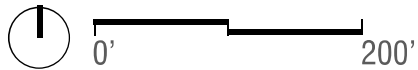
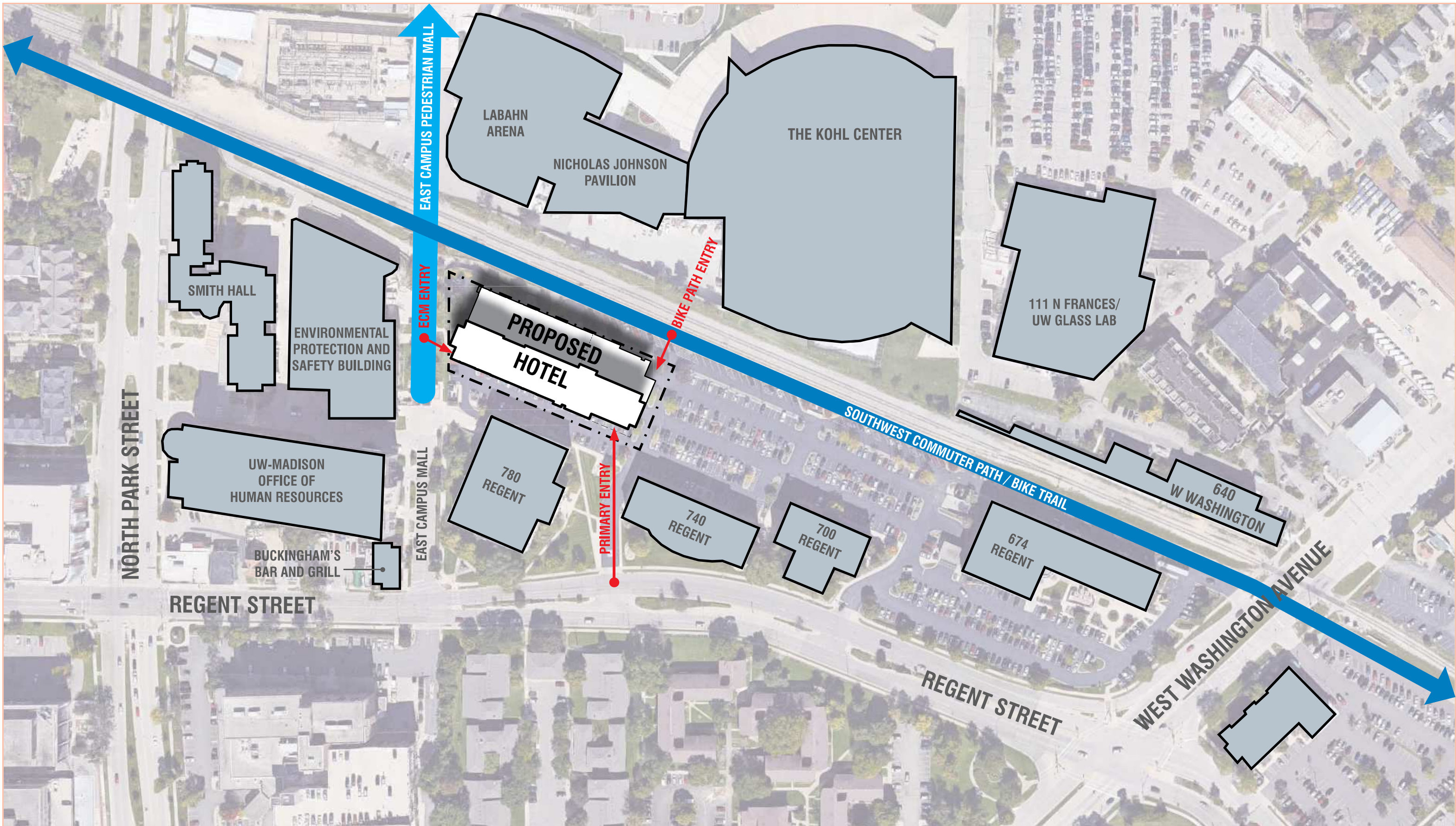
11x17 VERSIONS OF ARCHITECTURAL, LANDSCAPE, CIVIL, AND LIGHTING DETAILED DRAWINGS



NOT TO SCALE

## LOCATION PLAN

CITY OF MADISON UDC UPDATE | 04-12-2019 | PAGE 02



**SITE CONTEXT PLAN**

CITY OF MADISON UDC UPDATE | 04-12-2019 | PAGE 03



VIEW NORTH AT EAST CAMPUS MALL



VIEW NORTH FROM REGENT STREET



VIEW WEST TO THE DEVELOPMENT



VIEW WEST ON BIKE TRAIL



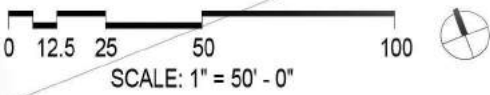
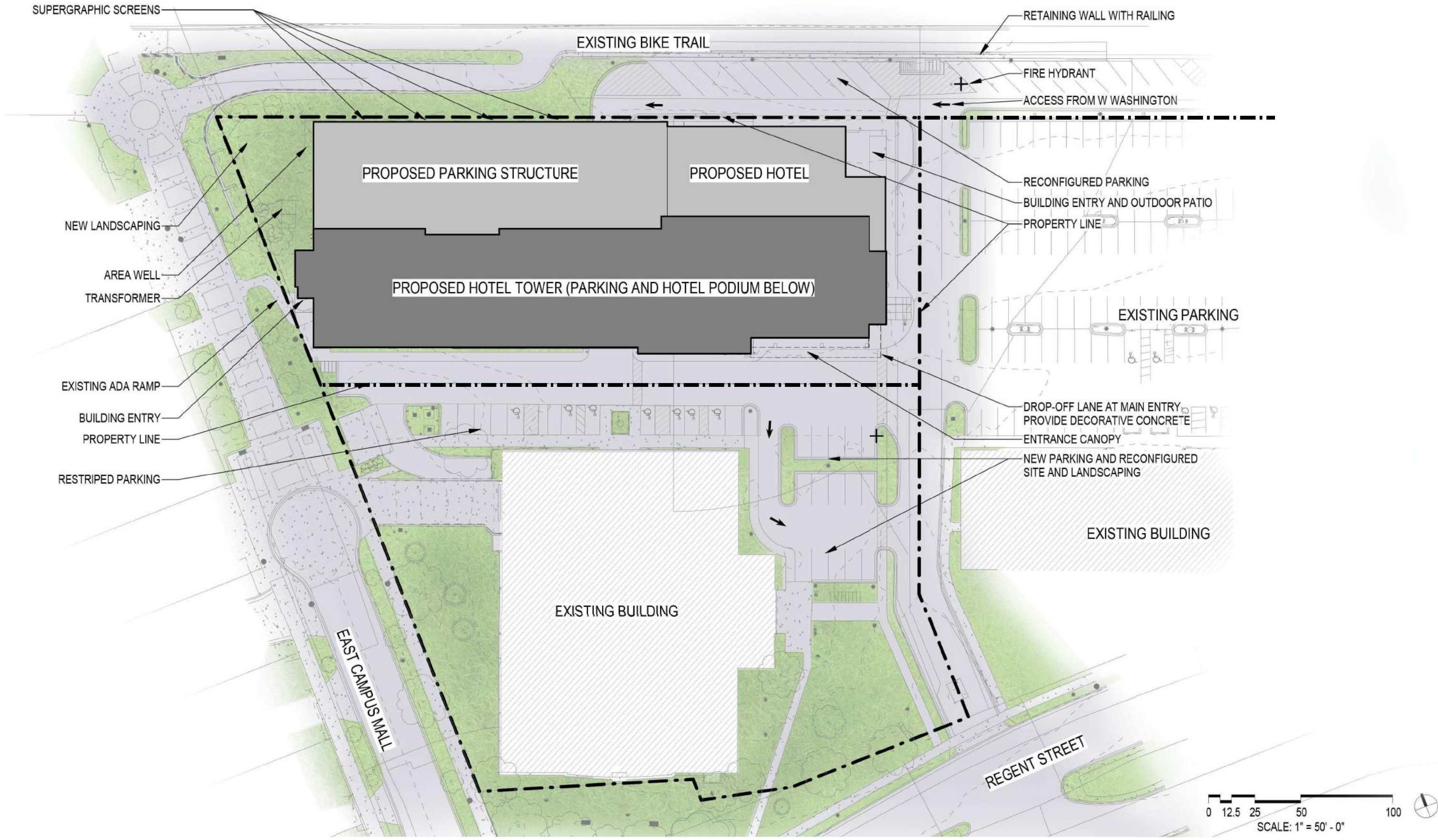
VIEW SOUTH ON EAST CAMPUS MALL AT BIKE TRAIL



VIEW WEST FROM KOHL CENTER

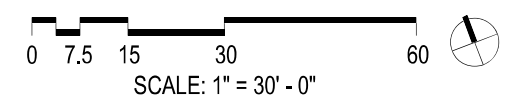
## SITE & CONTEXT VIEWS

CITY OF MADISON UDC UPDATE | 04-12-2019 | PAGE 04



**SITE PLAN**

- PUBLIC HOTEL USE - CIRCULATION
- BAR / RESTAURANT / LOUNGE
- BACK OF HOUSE
- GUESTROOMS

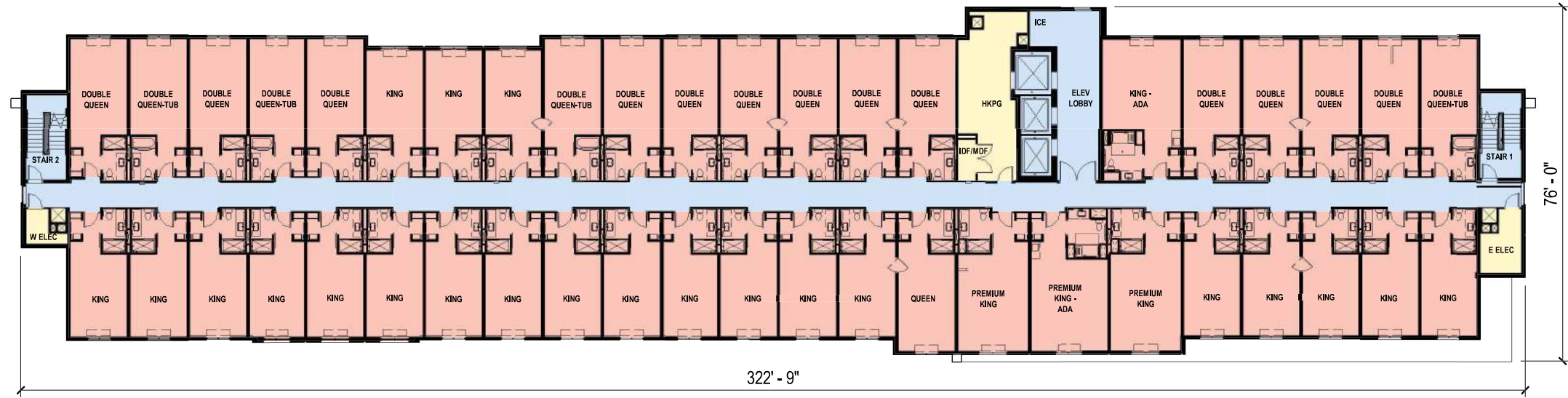


## 1ST FLOOR PLAN

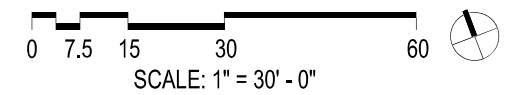
CITY OF MADISON UDC UPDATE | 04-12-2019 | PAGE 06

**Kahler Slater**  
COPYRIGHT © 2019 KAHLER SLATER, INC. ALL RIGHTS RESERVED

- PUBLIC HOTEL USE - CIRCULATION
- BAR / RESTAURANT / LOUNGE
- BACK OF HOUSE
- GUESTROOMS



**3RD-6TH FLOOR PLAN**



**2ND FLOOR PLAN**



ENTRY VIEW





**APPROACH FROM EAST CAMPUS MALL**

CITY OF MADISON UDC UPDATE | 04-12-2019 | PAGE 09



**APPROACH FROM NORTH EAST**

CITY OF MADISON UDC UPDATE | 04-12-2019 | PAGE 10



PATIO



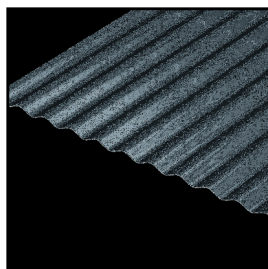
REGENT VIEW TO NORTH



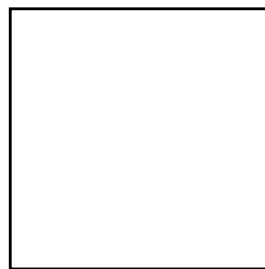
A CITY ON THE MOVE



BIKE PATH VIEW TO SOUTH



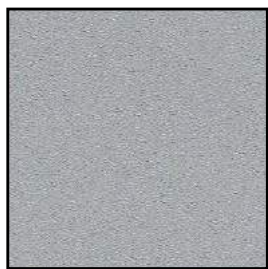
1) METAL: SMOOTH, CORRUGATED, PAINTED  
DARK GRAY  
COPPER ORANGE



2) METAL: WHITE SMOOTH



3) CONCRETE: BRICK TEXTURE, STAINED CHARCOAL



4) EIFS: GRAY

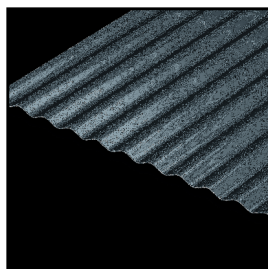


5) SCREEN: TENSIONED MESH

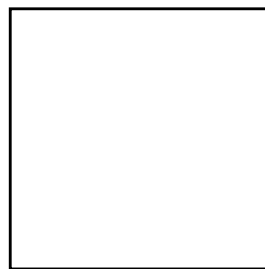


SOUTH ELEVATION  
NOT TO SCALE | PLEASE REFER TO BLACK & WHITE ELEVATIONS FOR DETAILED INFORMATION

SOUTH ELEVATION



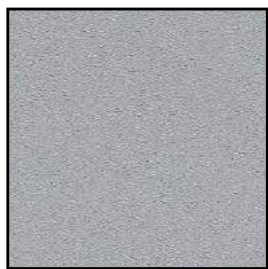
1) METAL: SMOOTH, CORRUGATED, PAINTED  
DARK GRAY  
COPPER ORANGE



2) METAL: WHITE SMOOTH



3) CONCRETE: BRICK TEXTURE, STAINED CHARCOAL



4) EIFS: GRAY

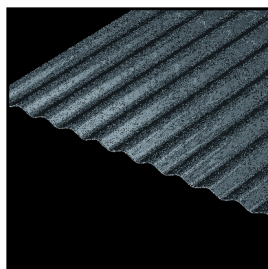


5) SCREEN: TENSIONED MESH

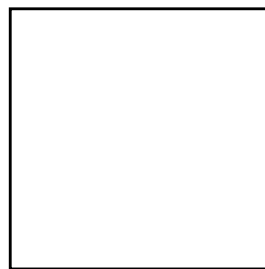


NORTH ELEVATION  
NOT TO SCALE | PLEASE REFER TO BLACK & WHITE ELEVATIONS FOR DETAILED INFORMATION

NORTH ELEVATION



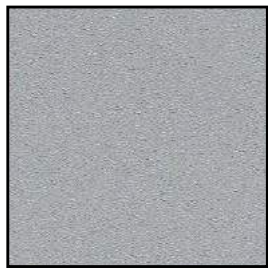
1) METAL: SMOOTH, CORRUGATED, PAINTED  
DARK GRAY  
COPPER ORANGE



2) METAL: WHITE SMOOTH



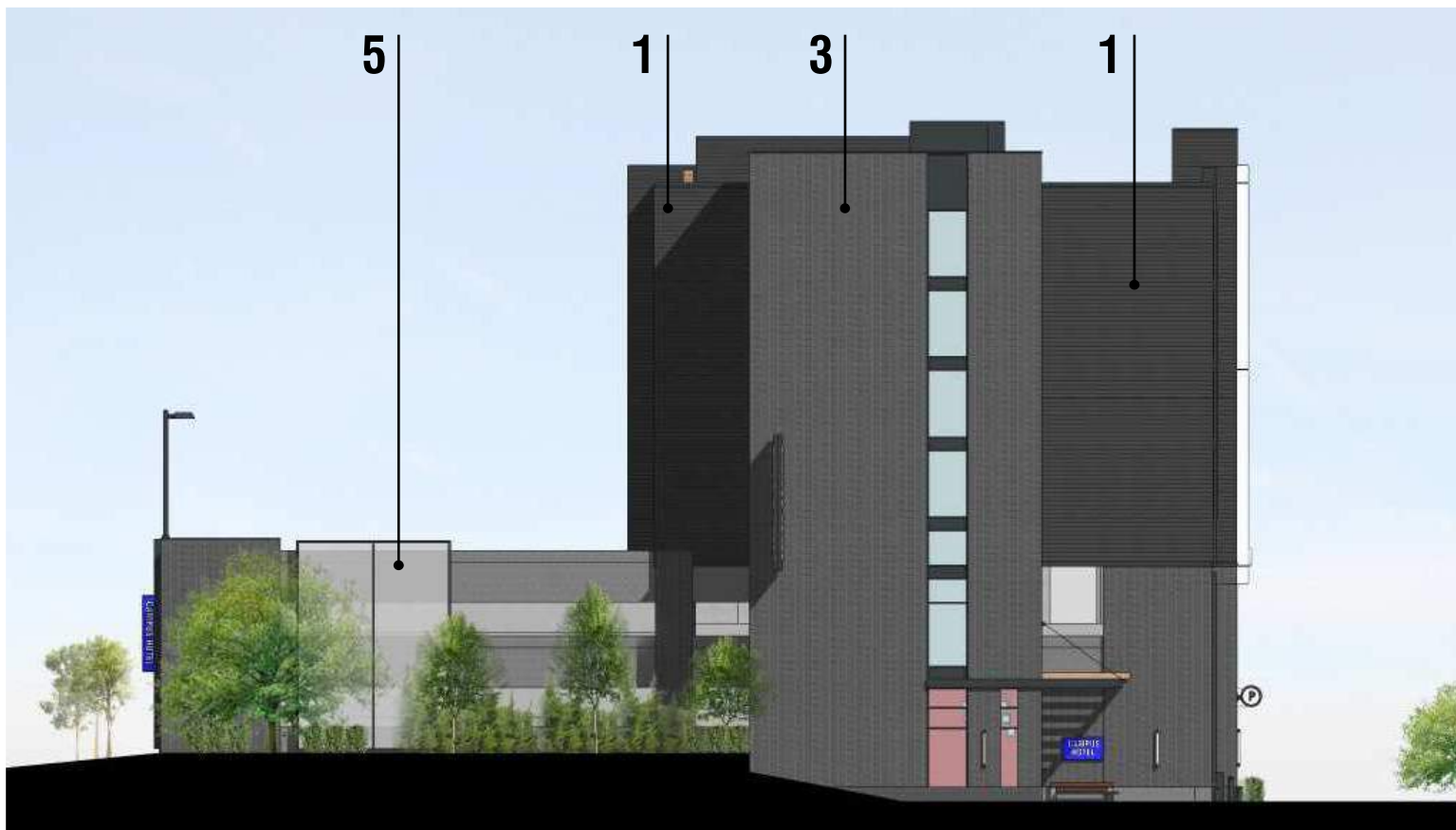
3) CONCRETE: BRICK TEXTURE, STAINED CHARCOAL



4) EIFS: GRAY



5) SCREEN: TENSIONED MESH



WEST ELEVATION

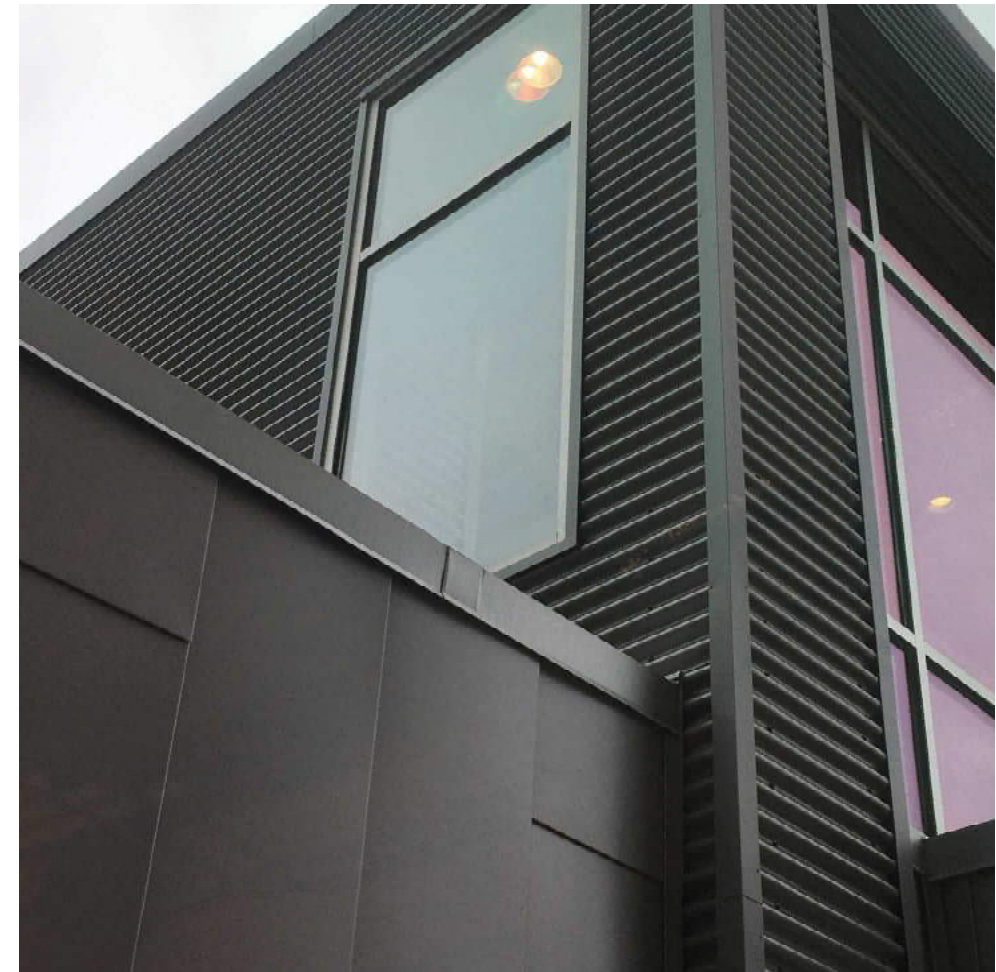
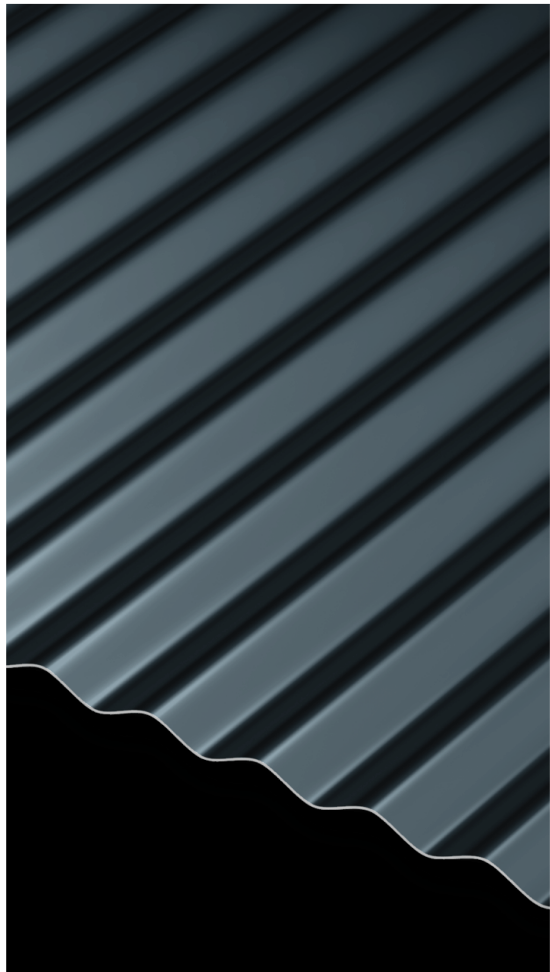
NOT TO SCALE | PLEASE REFER TO BLACK & WHITE ELEVATIONS FOR DETAILED INFORMATION



EAST ELEVATION

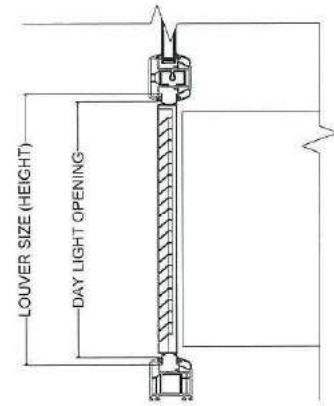
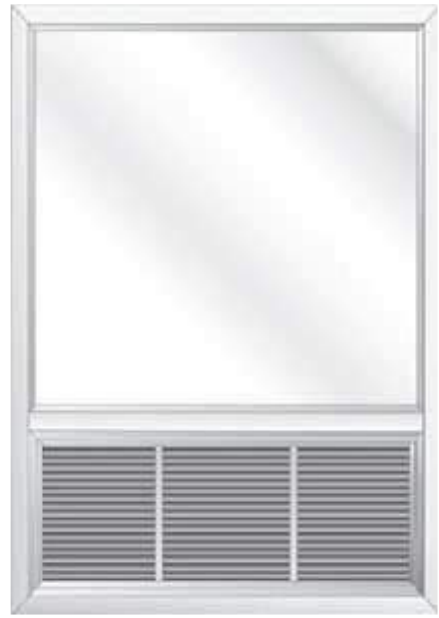
**WEST & EAST ELEVATIONS**

CITY OF MADISON UDC UPDATE | 04-12-2019 | PAGE 14

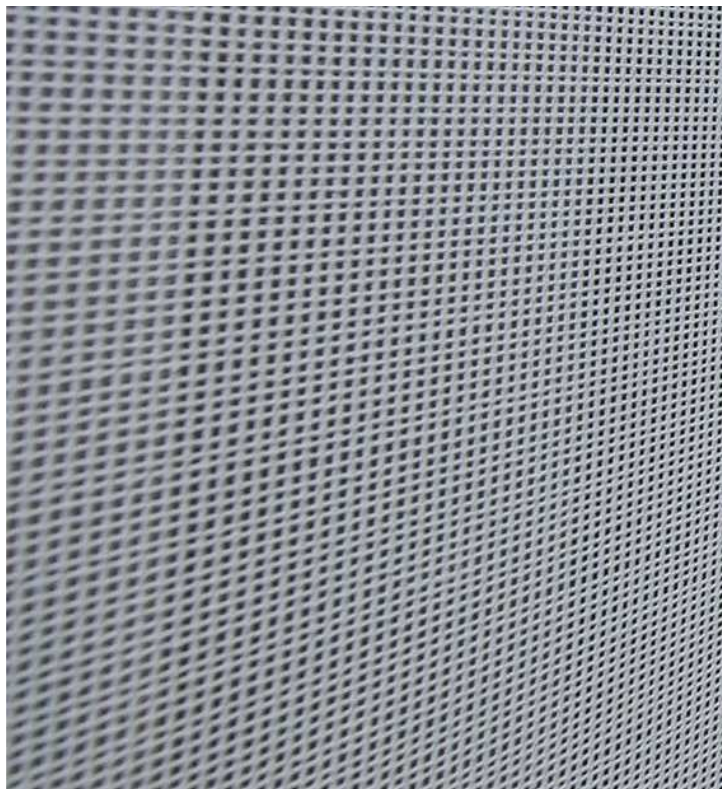
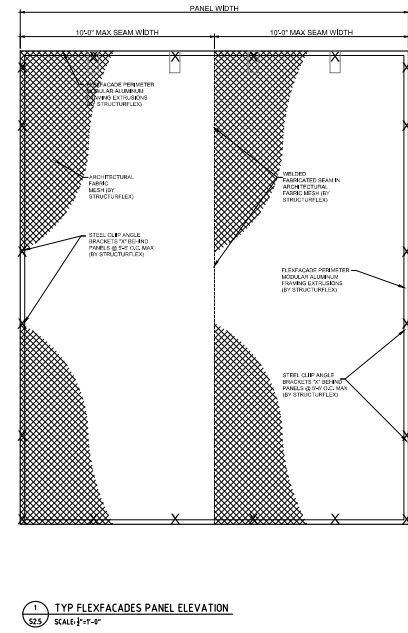
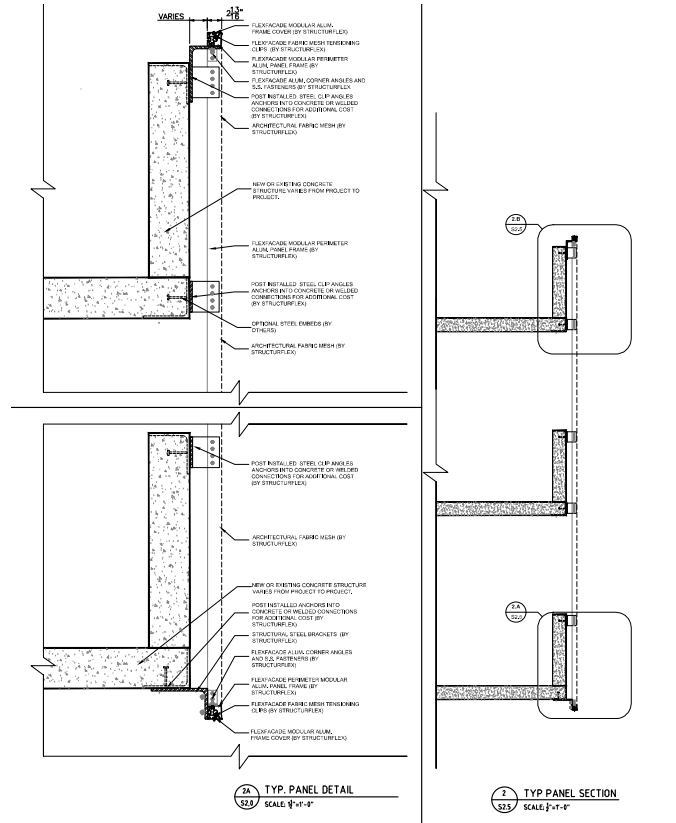


## EXPOSED FASTENER METAL PANEL

CITY OF MADISON UDC UPDATE | 04-12-2019 | PAGE 15







# PARKING FACADE SCREENING

CITY OF MADISON UDC UPDATE | 04-12-2019 | PAGE 17

LUA SUBMITTAL  
**UW CAMPUS HOTEL**

780 Regent Street  
 Madison, WI 53715

KAHLER SLATER PROJECT: 218051  
 04/12/2019

| GENERAL SHEET INDEX |             |
|---------------------|-------------|
| Sheet Number        | Sheet Name  |
| G000                | COVER SHEET |

| LANDSCAPE SHEET INDEX |                |
|-----------------------|----------------|
| Sheet Number          | Sheet Name     |
| L101                  | LANDSCAPE PLAN |

| CIVIL SHEET INDEX |                                |
|-------------------|--------------------------------|
| Sheet Number      | Sheet Name                     |
| C100              | EXISTING CONDITIONS PLAN       |
| C101              | DEMOLITION PLAN                |
| C200              | SITE PLAN                      |
| C300              | GRADING & EROSION CONTROL PLAN |
| C400              | UTILITY PLAN                   |
| C500              | CONSTRUCTION DETAILS           |
| C601              | CONSTRUCTION DETAILS           |
| C602              | CONSTRUCTION DETAILS           |

| ARCHITECTURAL SHEET INDEX |                                  |
|---------------------------|----------------------------------|
| Sheet Number              | Sheet Name                       |
| A000                      | ARCHITECTURAL SITE PLAN/SIGNAGE  |
| A101                      | LEVEL 1 PLAN                     |
| A102                      | LEVEL P2 PLAN - PARKING          |
| A103                      | LEVEL 2 PLAN - HOTEL             |
| A104                      | LEVEL P3 AND P3.5 PLAN - PARKING |
| A106                      | LEVEL 3 & 4 PLAN                 |
| A107                      | LEVEL 5 & 6 PLAN                 |
| A108                      | LEVEL 7 - ROOF PLAN              |
| A200                      | EXTERIOR ELEVATIONS              |
| A201                      | EXTERIOR ELEVATIONS              |
| A300                      | BUILDING SECTIONS                |
| A301                      | BUILDING SECTIONS                |



NOT FOR CONSTRUCTION

Revisions

LUA SUBMITTAL

SCOPE DOCUMENTS  
 Drawing Date  
 APRIL 12, 2019

UW CAMPUS HOTEL

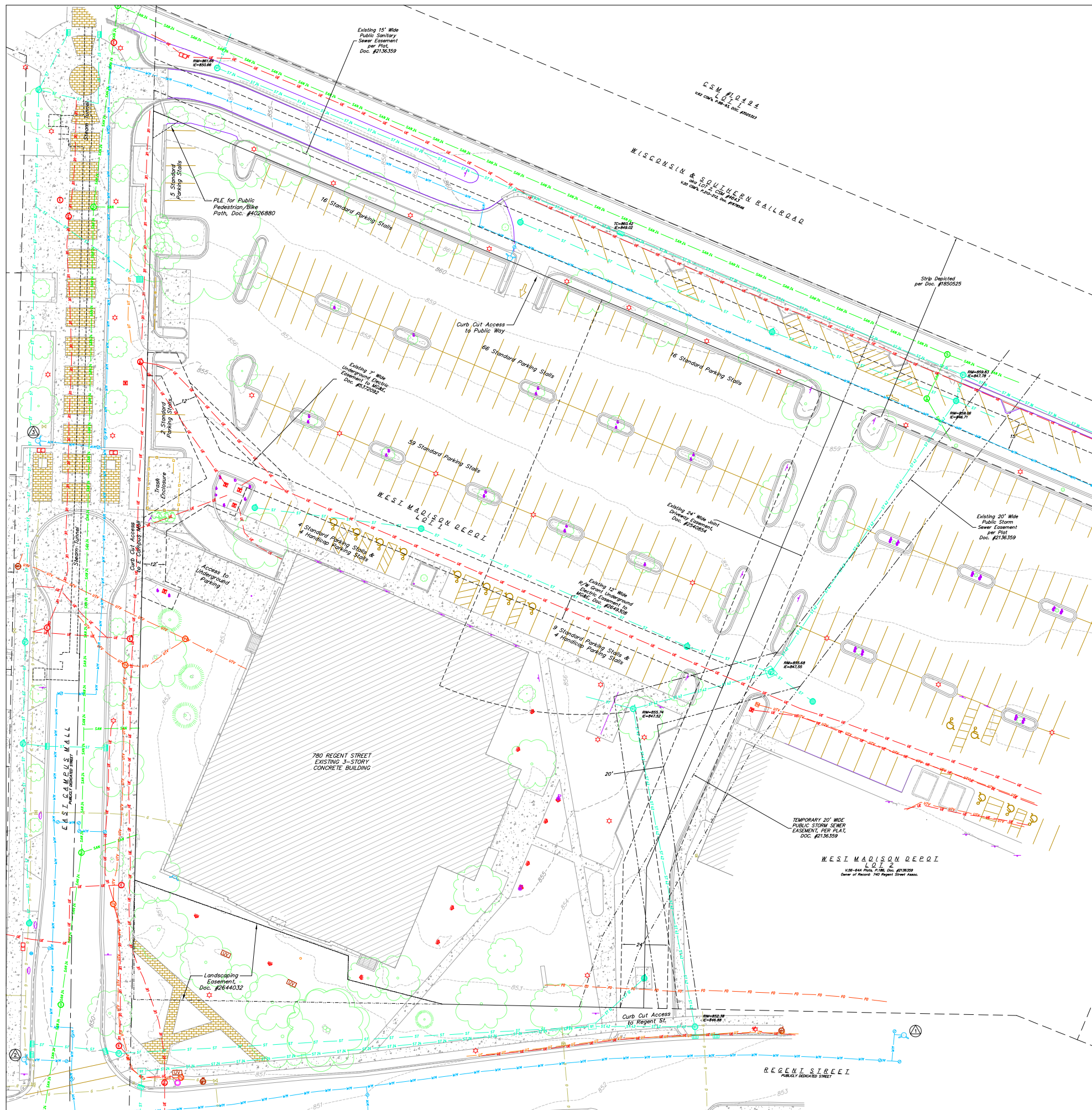
780 Regent Street  
 Madison, WI 53715

Project No. Mortenson  
 218051

Sheet Title  
 COVER SHEET

Copyright © 2019 Kahler Slater, Inc. All rights reserved.  
 111 West Wisconsin Avenue, Milwaukee, Wisconsin 53203  
 Telephone 414.272.2000 Fax 414.272.2001  
 44 East Millin Street, Suite 700, Madison, Wisconsin 53703  
 Telephone 608.283.6300 Fax 608.283.6317

Sheet No.  
 G000



**TOPOGRAPHIC LINEWORK LEGEND**

- UT — UT — EXISTING UNDERGROUND CABLE TV
- UT — UT — EXISTING UNDERGROUND TELEPHONE
- G — G — EXISTING GENERAL FENCE
- W — W — EXISTING WOOD FENCE
- G — G — EXISTING GAS LINE
- E — E — EXISTING UNDERGROUND ELECTRIC LINE
- S — S — EXISTING SANITARY SEWER LINE (SIZE NOTED)
- ST — ST — EXISTING STORM SEWER LINE (SIZE NOTED)
- WM — WM — EXISTING WATER MAIN (SIZE NOTED)
- 820 — 820 — EXISTING MAJOR CONTOUR
- 818 — 818 — EXISTING MINOR CONTOUR

**TOPOGRAPHIC SYMBOL LEGEND**

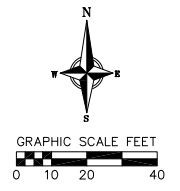
- EXISTING BOLLARD
- EXISTING FLAG POLE
- EXISTING SIGN
- EXISTING PARKING METER
- EXISTING CURB INLET
- EXISTING FIELD INLET RECTANGULAR
- EXISTING FIELD INLET
- EXISTING STORM MANHOLE
- EXISTING STORM MANHOLE RECTANGULAR
- EXISTING SANITARY MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING FIRE DEPARTMENT CONNECTION
- EXISTING WATER MAIN VALVE
- EXISTING GAS VALVE
- EXISTING GAS METER
- EXISTING ELECTRIC MANHOLE
- EXISTING ELECTRIC RECTANGULAR MANHOLE
- EXISTING TRANSFORMER
- EXISTING LIGHT POLE
- EXISTING GENERIC LIGHT
- EXISTING TV MANHOLE
- EXISTING TV PEDESTAL
- EXISTING TELEPHONE MANHOLE
- EXISTING UNIDENTIFIED MANHOLE
- EXISTING UNIDENTIFIED UTILITY VAULT
- EXISTING HANDICAP PARKING
- EXISTING TRAFFIC SIGNAL
- EXISTING SHRUB
- EXISTING CONIFEROUS TREE
- EXISTING DECIDUOUS TREE

**HATCHING LEGEND**

- ▨ EXISTING CONCRETE
- ▨ EXISTING BRICK PAVERS

**NOTES:**

- THIS SURVEY IS BASED UPON FIELD SURVEY WORK PERFORMED ON AUGUST 16 THROUGH AUGUST 23, 2018. ANY CHANGES IN SITE CONDITIONS AFTER AUGUST 23, 2018 ARE NOT REFLECTED BY THIS SURVEY. ADDITIONAL FIELD SURVEY WORK WAS PERFORMED ON FEBRUARY 22, 2019.
- EXISTING TOPOGRAPHIC INFORMATION IS BASED ON FIELD OBSERVATIONS AND/OR PLAN OF RECORD DRAWINGS. CONTRACTOR SHALL VERIFY TOPOGRAPHIC INFORMATION PRIOR TO STARTING CONSTRUCTION.
- CONTRACTOR SHALL FIELD VERIFY LOCATION OF EXISTING SANITARY SEWER, STORM SEWER AND WATER MAIN PRIOR TO CONSTRUCTION TO ENSURE PROPER CLEARANCE OF THE NEW UTILITIES. CONTRACTOR MUST TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES DURING CONSTRUCTION. ANY DAMAGE TO THE EXISTING UTILITIES AND ANY REPAIRS NEEDED AS A RESULT OF THE DAMAGE SHALL BE AT THE EXPENSE OF THE CONTRACTOR REGARDLESS OF THE LOCATION MARKED IN THE FIELD OR SHOWN ON THE PLANS.
- THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THE PLAN ARE APPROXIMATE. THERE MAY BE OTHER UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING DIGGERS HOTLINE AND LOCATING ALL EXISTING UTILITIES AND ENSURE PROPER CLEARANCE OF NEW UTILITIES.



**SITE BENCHMARKS**

- ▲ ARROW BOLT ON FIRE HYDRANT LOCATED ON NORTH SIDE OF REGENT STREET, APPROXIMATELY 430' EAST OF THE INTERSECTION WITH EAST CAMPUS MALL. ELEV = 855.83
- ▲ ARROW BOLT ON FIRE HYDRANT LOCATED IN THE NORTHWEST QUADRANT OF REGENT STREET AND EAST CAMPUS MALL. ELEV = 852.43
- ▲ TAG BOLT ON FIRE HYDRANT LOCATED ON THE WEST SIDE OF EAST CAMPUS MALL APPROXIMATELY 65' NORTH OF THE CUL-DE-SAC. ELEV = 854.77



THE LOCATION OF EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD ARE APPROXIMATE ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.

CALL DIGGER'S HOTLINE  
 1-800-242-8511

Revisions

---

LUA SUBMITTAL

---

SCOPE DOCUMENTS  
 Drawing Date  
 April 12, 2019

---

UW CAMPUS HOTEL

---

780 Regent Street  
 Madison, WI 53715

---

Project No. Mortenson  
 218051

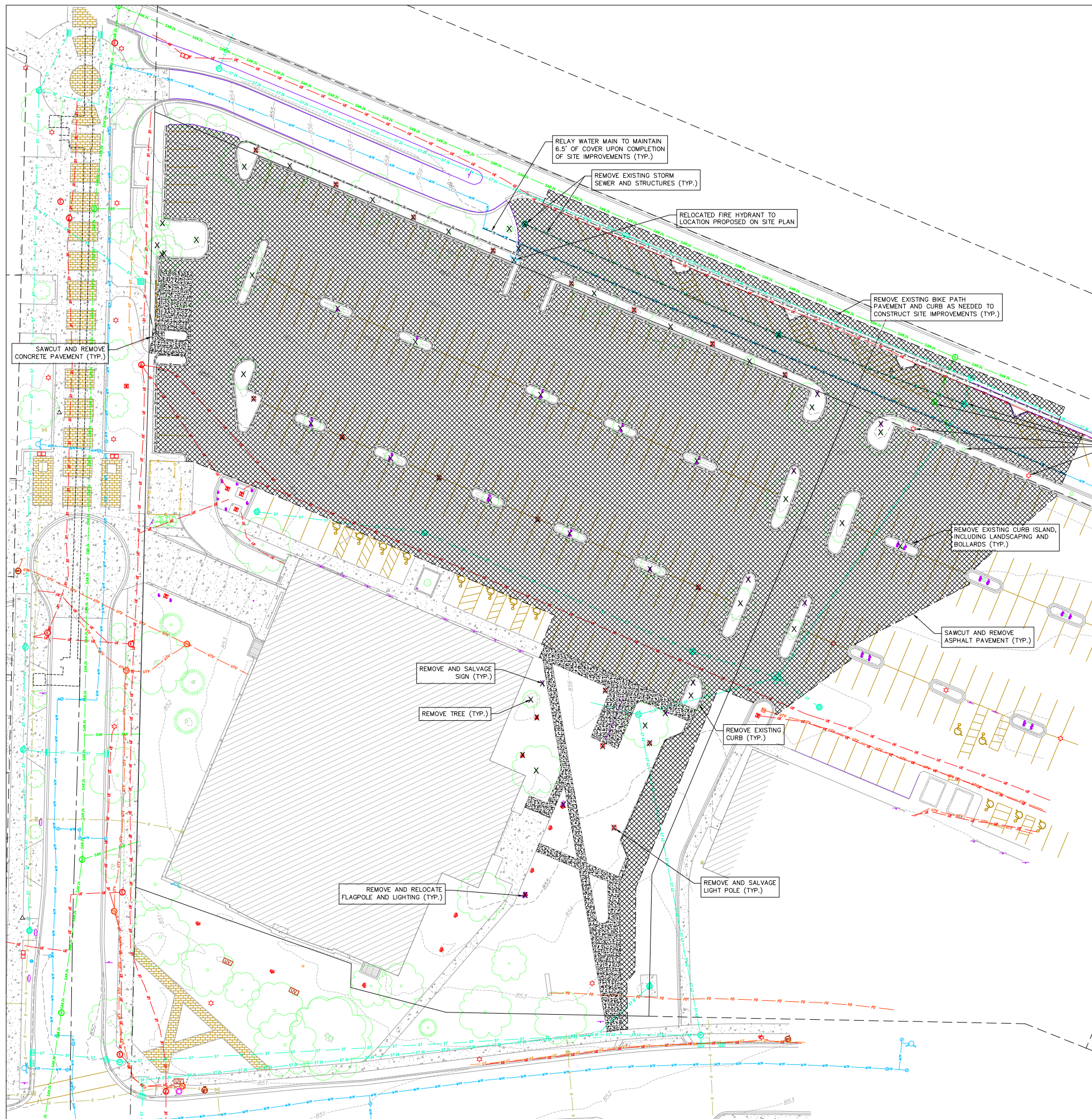
---

Sheet Title  
**EXISTING CONDITIONS PLAN**

---

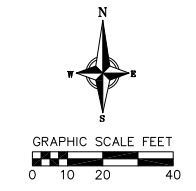
Copyright © 2018 Kahler Slater, Inc. All rights reserved.  
 111 West Wisconsin Avenue, Milwaukee, Wisconsin 53203  
 Telephone: 414.272.2000 Fax: 414.272.2001  
 48 East Main Street, Suite 700, Madison, Wisconsin 53703  
 Telephone: 608.255.6300 Fax: 608.255.6317

Sheet No.  
**C100**



**DEMOLITION PLAN LEGEND**

|  |                           |
|--|---------------------------|
|  | CURB AND GUTTER REMOVAL   |
|  | ASPHALT REMOVAL           |
|  | CONCRETE REMOVAL          |
|  | BUILDING REMOVAL          |
|  | TREE REMOVAL              |
|  | SAWCUT                    |
|  | UTILITY STRUCTURE REMOVAL |
|  | UTILITY LINE REMOVAL      |



- DEMOLITION/EROSION CONTROL NOTES:**
1. CONTRACTOR SHALL KEEP ALL CITY STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
  2. COORDINATE EXISTING UTILITY REMOVAL/ABANDONMENT WITH LOCAL AUTHORITIES AND UTILITY COMPANIES HAVING JURISDICTION.
  3. ALL SAWCUTTING SHALL BE FULL DEPTH TO PROVIDE A CLEAN EDGE TO MATCH NEW CONSTRUCTION. MATCH EXISTING ELEVATIONS AT POINTS OF CONNECTION FOR NEW AND EXISTING PAVEMENT, CURB, SIDEWALKS, ETC. ALL SAWCUT LOCATIONS SHOWN ARE APPROXIMATE AND MAY BE FIELD ADJUSTED TO ACCOMMODATE CONDITIONS, JOINTS, MATERIAL TYPE, ETC. REMOVE MINIMUM AMOUNT NECESSARY FOR INSTALLATION OF PROPOSED IMPROVEMENTS.
  4. CONTRACTOR SHALL PROVIDE AND SHALL BE RESPONSIBLE FOR ANY NECESSARY TRAFFIC CONTROL SIGNAGE AND SAFETY MEASURES DURING DEMOLITION AND CONSTRUCTION OPERATIONS WITHIN OR NEAR THE PUBLIC ROADWAY.
  5. COORDINATE TREE REMOVAL WITH LANDSCAPE ARCHITECT. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GROUND TO 12" BELOW PROPOSED SUBGRADE.
  6. IF APPLICABLE, PROVIDE TREE PROTECTION FENCING PRIOR TO CONSTRUCTION OPERATIONS. MAINTAIN THROUGHOUT CONSTRUCTION.
  7. ALL LIGHT POLES TO BE REMOVED FROM PRIVATE PROPERTY SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL APPURTENANCES. COORDINATE ABANDONMENT OF ELECTRICAL LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION.
  8. CONTRACTOR SHALL OBTAIN ANY NECESSARY DEMOLITION AND UTILITY PLUGGING PERMITS.
  9. THE LOCATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE PLANS HAS BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER AND THE ENGINEER DO NOT ASSUME RESPONSIBILITY IN THE EVENT THAT DURING CONSTRUCTION, UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED, AND THAT THE ACTUAL LOCATION OF THOSE WHICH ARE SHOWN MAY BE DIFFERENT FROM THE LOCATION AS SHOWN ON THE PLANS.
  10. ANY DAMAGE TO THE CITY PAVEMENT, INCLUDING DAMAGE RESULTING FROM CURB REPLACEMENT, WILL REQUIRE RESTORATION IN ACCORDANCE WITH THE CITY ENGINEERING PATCHING CRITERIA.

Revisions

---

LUA SUBMITTAL

---

SCOPE DOCUMENTS  
 Drawing Date  
 April 12, 2019

---

UW CAMPUS HOTEL

---

780 Regent Street  
 Madison, WI 53715

---

Project No. Mortenson  
 218051

---

Sheet Title  
**DEMOLITION PLAN**

---

Copyright © 2019 Kahler Slater, Inc. All rights reserved.  
 111 West Wisconsin Avenue, Milwaukee, Wisconsin 53203  
 Telephone: 414.272.2000 Fax: 414.272.2001  
 40 East Main Street, Suite 700, Madison, Wisconsin 53703  
 Telephone: 608.253.6300 Fax: 608.253.6317

Sheet No.  
**C101**

**SITE PLAN LEGEND**

- PROPERTY BOUNDARY
- CURB AND GUTTER (REVERSE CURB HATCHED)
- PROPOSED CHAIN LINK FENCE
- PROPOSED WOOD FENCE
- PROPOSED CONCRETE
- PROPOSED LIGHT-DUTY ASPHALT
- DECORATIVE PAVEMENT
- PROPOSED SIGN
- PROPOSED LIGHT POLE
- PROPOSED BOLLARD
- PROPOSED ADA DETECTABLE WARNING FIELD
- PROPOSED HANDICAP PARKING

**Parking Lot Plan Site Information Block**

Site Address: 760 REGENT ST  
 Site acreage (total): 51,737 SF (1.19 ACRES)

Number of building stories (above grade): 6  
 Building height: 72'-5"  
 DLIR type of construction (new structures): IIB  
 Total square footage of building: 180,816 SF TOTAL  
 (75,706 SF PARKING; 22,090 HOTEL COMMON/BOH; 83,020 GUEST ROOMS)

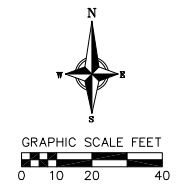
Use of property:  
 Gross square feet of building: 180,816 SF  
 Gross square feet of retail area: N/A  
 Number of employees in warehouse: N/A  
 Number of employees: 60 TOTAL; 45 FULL-TIME; 15 PART-TIME  
 Capacity of restaurant/place of assembly: 199 TOTAL  
 Number of bicycle stalls shown: 18 INTERIOR

Number of parking stalls:

|            |     |
|------------|-----|
| Large Car  | 175 |
| Accessible | 4   |
| Total      | 239 |

Number of trees shown: See Landscape Plan

- GENERAL NOTES:**
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED DURING CONSTRUCTION TO PUBLIC PROPERTY, PRIVATE PROPERTY OR UTILITIES. CONTRACTOR SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER THAT ABUTS THE PROPERTY THAT IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER, WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
  - THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW BY THE ENGINEER, PRIOR TO PLACING AN ORDER OF ANY SUCH ITEM.
  - RIGHT OF WAY (ROW) AND PROPERTY LINES ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING PROPERTY CORNER MONUMENTATION. ANY MONUMENTS DISTURBED BY CONTRACTOR SHALL BE REPLACED AT THE CONTRACTORS EXPENSE.
  - DIMENSIONS RELATING TO CURB ARE TO FACE OF CURB.
  - CROSS-SLOPE OF SIDEWALKS SHALL BE 2% UNLESS OTHERWISE NOTED.
  - LONGITUDINAL GRADE OF SIDEWALK RAMP SHALL NOT EXCEED 8.33% (1:12) AND SHALL BE IN ACCORDANCE WITH ADA REQUIREMENTS.
  - LONGITUDINAL GRADE OF SIDEWALK SHALL NOT EXCEED 5.0% OR THE ADJACENT STREET GRADE WHICHEVER IS GREATER.
  - ACCESSIBLE ROUTES SHALL BE 5% MAX LONGITUDINAL SLOPE AND 2% MAX CROSS SLOPE. ACCESSIBLE LOADING AREAS OR LANDINGS SHALL BE 2% MAX SLOPE IN ANY DIRECTION. RAMPS SHALL BE 8.33% MAX SLOPE.
  - ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
  - PROVIDE ALL NECESSARY TEMPORARY TRAFFIC CONTROL PER MUTCD AND CITY OF MADISON REQUIREMENTS.



Revisions

LUA SUBMITTAL

SCOPE DOCUMENTS

Drawing Date  
 April 12, 2019

UW CAMPUS HOTEL

760 Regent Street  
 Madison, WI 53715

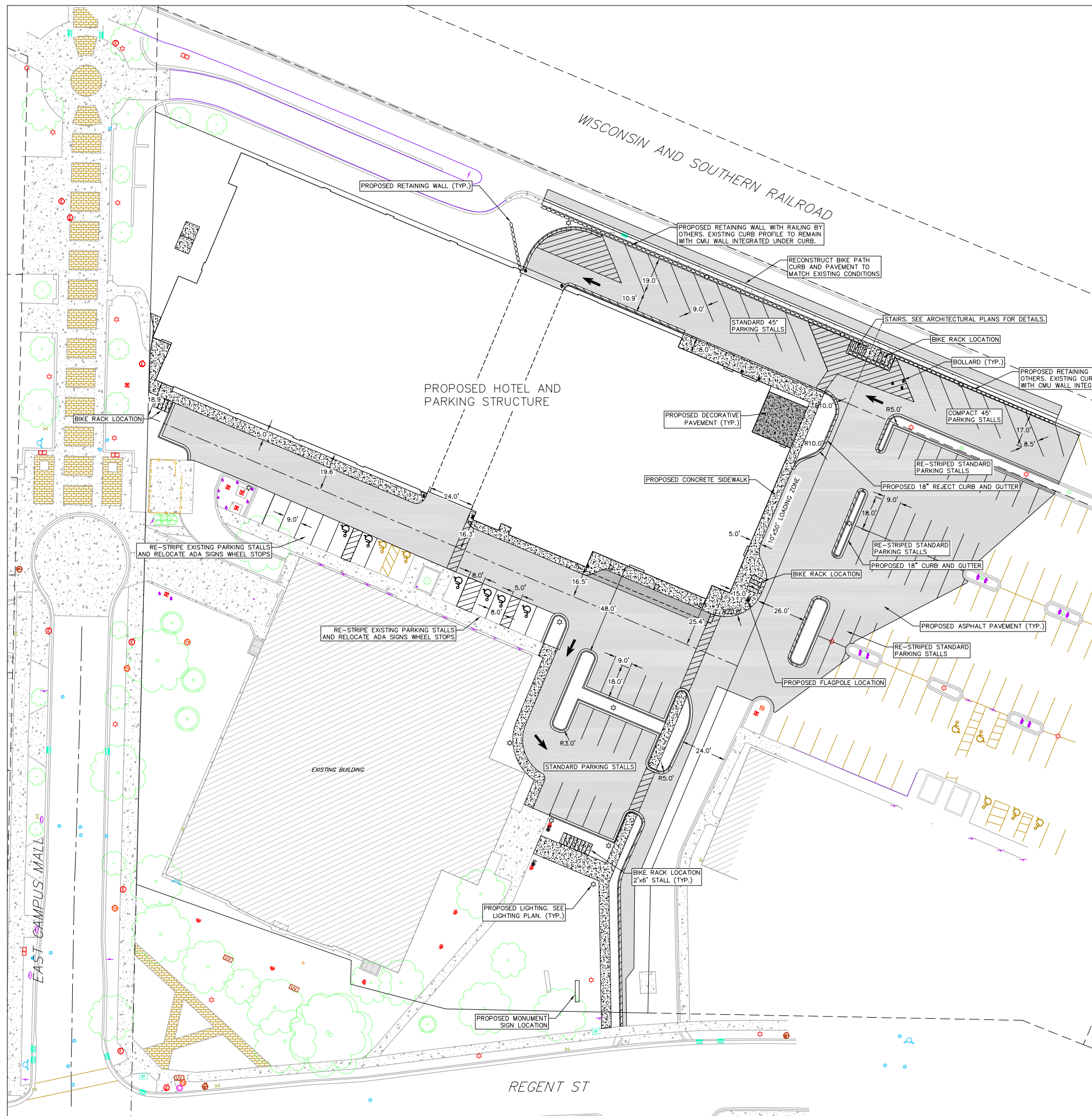
Project No. Mortenson  
 218051

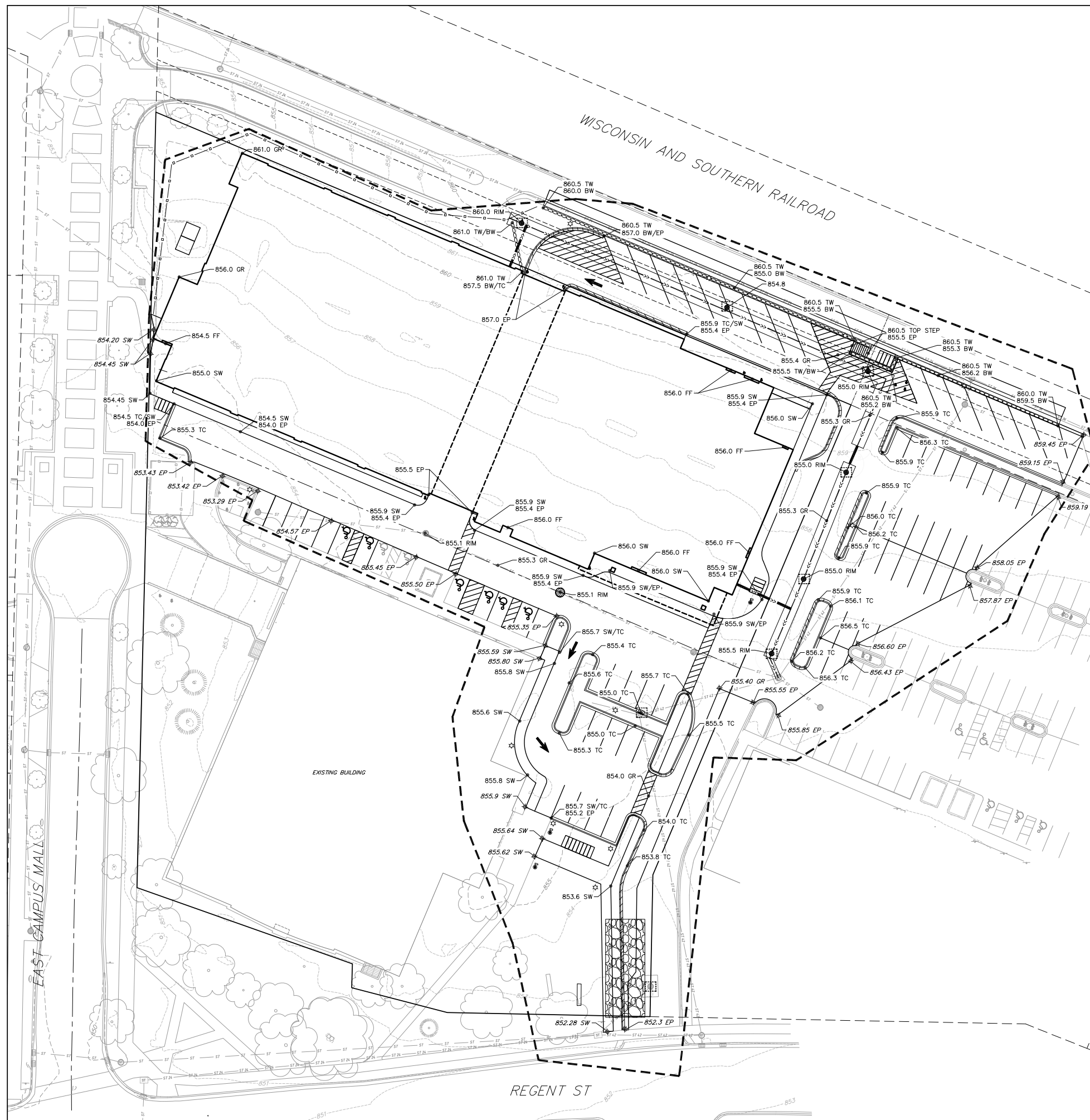
Sheet Title  
 SITE PLAN

Copyright © 2018 Kahler Slater, Inc. All rights reserved.  
 111 West Wisconsin Avenue, Milwaukee, Wisconsin 53203  
 Telephone 414-272-2000 Fax 414-272-2001

44 East Main Street, Suite 100, Madison, Wisconsin 53703  
 Telephone 608-251-6300 Fax 608-253-6117

Sheet No.  
 C200





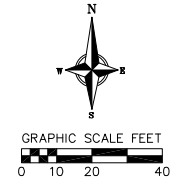
**GRADING LEGEND**

- - - 820 - - - EXISTING MAJOR CONTOURS
- - - 818 - - - EXISTING MINOR CONTOURS
- 820 — PROPOSED MAJOR CONTOURS
- 818 — PROPOSED MINOR CONTOURS
- - - - - DITCH CENTERLINE
- - - - - SILT FENCE
- - - - - DISTURBED LIMITS
- BERM
- DRAINAGE DIRECTION
- PROPOSED SLOPE ARROWS
- 1048.61 • EXISTING SPOT ELEVATIONS
- 1048.61 • PROPOSED SPOT ELEVATIONS
- STONE WEEPER
- VELOCITY CHECK
- INLET PROTECTION
- EROSION MAT CLASS I, TYPE A
- EROSION MAT CLASS II, TYPE B
- TRACKING PAD
- RIP RAP

**ABBREVIATIONS**

|    |                  |
|----|------------------|
| TC | TOP OF CURB      |
| FF | FINISHED FLOOR   |
| FL | FLOW LINE        |
| SW | TOP OF WALK      |
| TW | TOP OF WALL      |
| BW | BOTTOM OF WALL   |
| EP | EDGE OF PAVEMENT |
| GR | GRADE            |

- GRADING NOTES:**
- ALL GRADES SHOWN ARE FINISHED GRADES. CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
  - SEE DETAIL SHEETS FOR EROSION CONTROL NOTES AND CONSTRUCTION SEQUENCE.
  - INSTALL A 50'L X 20'W X 1.5'D TRACKING PAD AT THE SITE ENTRANCE. THE TRACKING PAD SHALL BE MAINTAINED/REPAIRED AS NECESSARY TO ACCOMMODATE CONSTRUCTION.
  - THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR. ALL MAINTENANCE/REPAIR WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
  - INSTALL W DOT TYPE D INLET PROTECTION IN EXISTING CURB INLETS AND W DOT TYPE A IN FIELD INLETS.
  - THE CONTRACTOR SHALL REMOVE ANY SEDIMENT TRACKED ONTO ADJACENT ROADS BY MEANS OF STREET SWEEPING (NOT FLUSHING) AT A MINIMUM OF THE END OF EACH WORK DAY OR MORE AS NEEDED.



Revisions

LUA SUBMITTAL

SCOPE DOCUMENTS

Drawing Date  
April 12, 2019

UW CAMPUS HOTEL

730 Regent Street  
Madison, WI 53715

Project No. Mortenson  
218051

Sheet Title  
**GRADING & EROSION CONTROL PLAN**

Copyright © 2018 Kahler Slater, Inc. All rights reserved.  
111 West Wisconsin Avenue, Milwaukee, Wisconsin 53203  
Telephone 414-272-2000 Fax 414-272-2001

44 East Main Street, Suite 100, Madison, Wisconsin 53703  
Telephone 608-251-6300 Fax 608-253-6317

Sheet No.  
**C300**

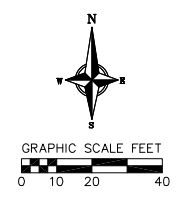
**PROPOSED UTILITY LEGEND**

|  |                                  |
|--|----------------------------------|
|  | STORM SEWER PIPE                 |
|  | STORM SEWER MANHOLE              |
|  | STORM SEWER ENDWALL              |
|  | STORM SEWER CURB INLET           |
|  | STORM SEWER CURB INLET W/MANHOLE |
|  | STORM SEWER FIELD INLET          |
|  | ROOF DRAIN CLEANOUT              |
|  | SANITARY SEWER PIPE (GRAVITY)    |
|  | SANITARY SEWER PIPE (FORCE MAIN) |
|  | SANITARY SEWER LATERAL PIPE      |
|  | SANITARY SEWER MANHOLE           |
|  | SANITARY SEWER CLEANOUT          |
|  | WATER MAIN                       |
|  | WATER SERVICE LATERAL PIPE       |
|  | FIRE HYDRANT                     |
|  | WATER VALVE                      |
|  | CURB STOP                        |
|  | WATER VALVE MANHOLE              |
|  | PROPOSED PIPE INSULATION         |
|  | GAS MAIN                         |
|  | ELECTRIC SERVICE                 |

**ABBREVIATIONS**

|      |                    |
|------|--------------------|
| STMH | - STORM MANHOLE    |
| FI   | - FIELD INLET      |
| CI   | - CURB INLET       |
| CB   | - CATCH BASIN      |
| EW   | - ENDWALL          |
| SMH  | - SANITARY MANHOLE |

- UTILITY NOTES:**
- CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS AND ELEVATIONS PRIOR TO STARTING WORK.
  - SANITARY & STORM SEWER LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. STORM SEWER END SECTIONS ARE INCLUDED IN THE LENGTH AND SLOPE OF THE PIPE.
  - CONTRACTOR SHALL INVESTIGATE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL UTILITY STRUCTURES (MANHOLE RIMS, WATER VALVES, AND CURB STOPS), IF NECESSARY.
  - CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT-OF-WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING, ABANDONMENT, AND DRIVEWAY CONNECTION PERMITS PRIOR TO CONSTRUCTION.
  - FOR ALL SEWER AND WATER MAIN CROSSINGS: PROVIDE MINIMUM 18" SEPARATION WHEN WATER MAIN CROSSES BELOW SEWER AND MINIMUM 6" SEPARATION WHEN WATER MAIN CROSSES ABOVE SEWER.
  - IF DEWATERING OPERATIONS EXCEED 70 GALLONS PER MINUTE OF PUMPING CAPACITY, A DEWATERING WELL PERMIT SHALL BE OBTAINED FROM THE DNR PRIOR TO STARTING ANY DEWATERING ACTIVITIES.
  - A COPY OF THE APPROVED UTILITY PLANS, SPECIFICATIONS AND PLUMBING PERMIT APPROVAL LETTER SHALL BE ON-SITE DURING CONSTRUCTION AND OPEN TO INSPECTION BY AUTHORIZED REPRESENTATIVES OF THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES AND OTHER LOCAL INSPECTORS.
  - STORM BUILDING SEWER PIPE SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-6 OF SPS 384.30(3)(c).
  - PRIVATE WATER SERVICES AND PRIVATE WATER MAINS SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-7 OF SPS 384.30(4)(d).
  - PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-3 OF SPS 384.30(2)(c).
  - A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER SPS 382.10(11)(h) AND SPS 382.40(6)(k).
  - EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SPS 382.40(8)(b).
  - NO PERSON MAY ENGAGE IN PLUMBING WORK IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PER S.145.06.
  - SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE, LOCATION, AND INVERT ELEVATION OF PROPOSED SANITARY AND WATER LATERALS.
  - CONTRACTOR SHALL FIELD VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES PRIOR TO INSTALLING ANY ON-SITE UTILITIES OR STRUCTURES. CONTACT ENGINEER PRIOR TO INSTALLATION IF DISCREPANCY EXISTS WITHIN THESE PLANS.
  - PROPOSED UTILITY SERVICE LINES SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATIONS WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE RELOCATION OF ANY UTILITIES ENCOUNTERED AND REPLACEMENT OF ANY UTILITIES DAMAGED WITHIN INFLUENCE ZONE OF NEW CONSTRUCTION. CONTACT ENGINEER IF THE EXISTING UTILITIES VARY APPRECIABLY FROM THE PLANS.
  - ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GROUND ELEVATION TO TOP OF MAIN.
  - IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING VALVES WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. THE CITY IS NOT RESPONSIBLE FOR ANY COSTS INCURRED DUE TO THE CONTRACTOR NOT VERIFYING THAT THE EXISTING VALVE WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. IF A NEW VALVE IS REQUIRED, THE APPLICANT WILL BE REQUIRED TO INSTALL ONE AT THEIR EXPENSE, AT THE POINT OF CONNECTION.
  - CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
  - FOR WATER SERVICES AND HYDRANT LEADS, ALL MECHANICAL JOINTS TO BE RESTRAINED WITH MEGALUG 1100 OR APPROVED EQUAL. PIPE JOINTS TO BE RESTRAINED AS INDICATED WITH MEGALUG 1700 EXHIBIT OR APPROVED EQUAL.
  - CONNECTIONS TO EXISTING WATER MAIN TO BE BY LIVE TAPPING. CONTRACTOR IS RESPONSIBLE FOR ALL CONNECTION FEES AND COSTS PAYABLE TO THE CITY OF MADISON FOR LIVE TAPPING, AND ALL OTHER WORK AND COSTS ASSOCIATED WITH LIVE TAPPING.



Revisions

LUA SUBMITTAL

SCOPE DOCUMENTS

Drawing Date  
April 12, 2019

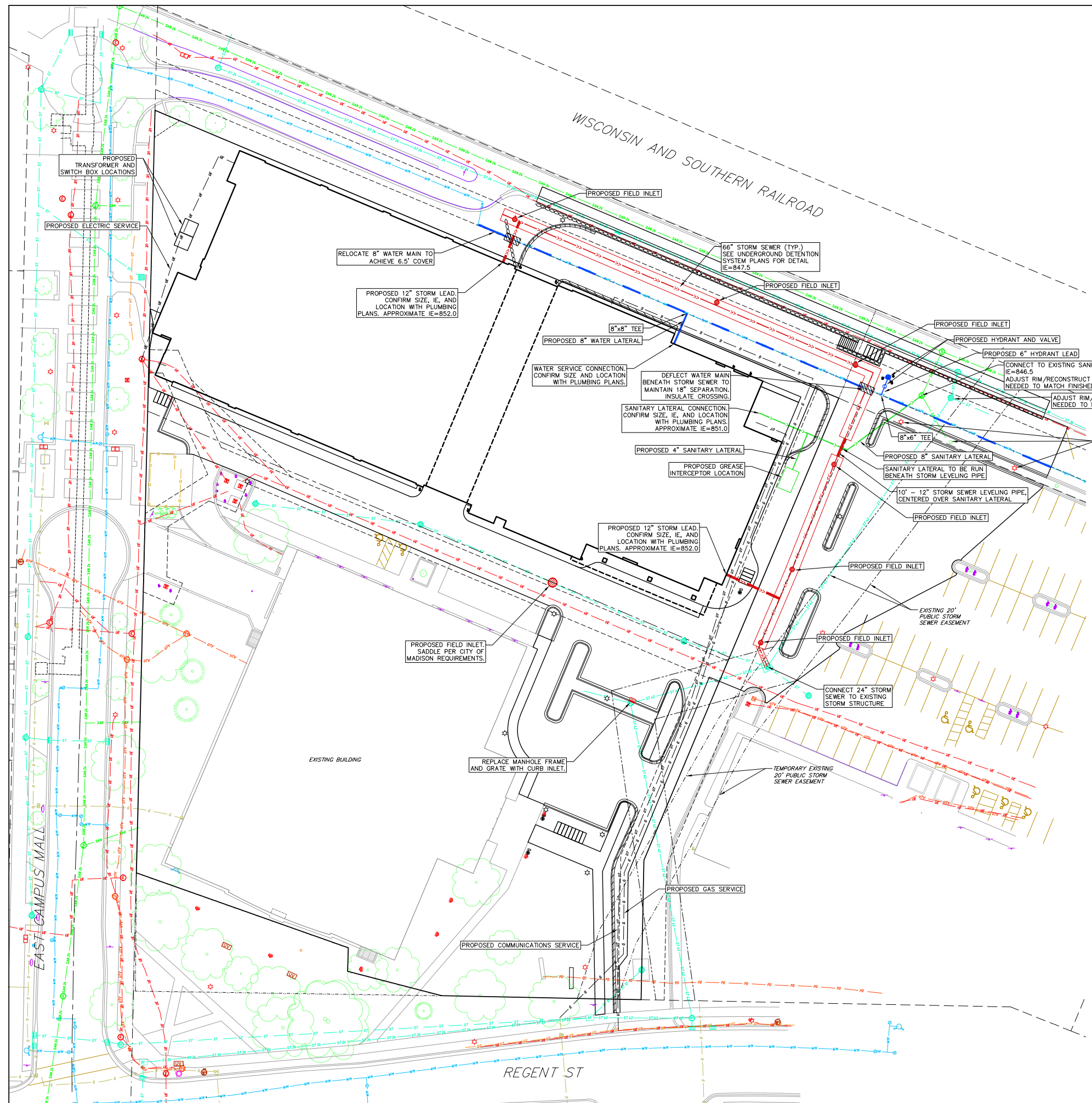
UW CAMPUS HOTEL

730 Regent Street  
Madison, WI 53715

Project No. Mortenson  
218051

Sheet Title  
UTILITY PLAN

Copyright © 2018 Kahler Slater, Inc. All rights reserved.  
 111 West Wisconsin Avenue, Milwaukee, Wisconsin 53203  
 Telephone 414-272-2000 Fax 414-272-2001  
 44 East North Street, Suite 100, Madison, Wisconsin 53703  
 Telephone 608-253-6300 Fax 608-253-6317  
 Sheet No.  
**C400**



## EROSION CONTROL MEASURES

1. EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.
2. CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (<http://dnr.wi.gov/runoff/stormwater/techstds.htm>) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.
3. INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, SEDIMENT BASINS, ETC.) PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.
4. THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
5. EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
6. A 3" CLEAR STONE TRACKING PAD SHALL BE INSTALLED AT THE END OF ROAD CONSTRUCTION LIMITS TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WISDNR TECHNICAL STANDARD 1057. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.
7. CHANNELIZED RUNOFF: FROM ADJACENT AREAS PASSING THROUGH THE SITE SHALL BE DIVERTED AROUND DISTURBED AREAS.
8. STABILIZED DISTURBED GROUND: ANY SOIL OR DIRT PILES WHICH WILL REMAIN IN EXISTENCE FOR MORE THAN 7-CONSECUTIVE DAYS, WHETHER TO BE WORKED DURING THAT PERIOD OR NOT, SHALL NOT BE LOCATED WITHIN 25-FEET OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TARPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN-WORKED FOR A PERIOD OF MORE THAN 14-CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS STABILIZED.
9. SITE DE-WATERING: WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROL MEASURES. SEDIMENTATION BASINS SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BE SURROUNDED BY SNOWFENCE OR EQUIVALENT BARRIER AND HAVE SUFFICIENT SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NO MORE THAN 750 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1061 (DE-WATERING).
10. WASHED STONE WEEPERS OR TEMPORARY EARTH BERMS SHALL BE BUILT PER PLAN BY CONTRACTOR TO TRAP SEDIMENT OR SLOW THE VELOCITY OF STORM WATER.
11. INLET FILTERS ARE TO BE PLACED IN STORMWATER INLET STRUCTURES AS SOON AS THEY ARE INSTALLED. ALL PROJECT AREA STORM INLETS NEED WISCONSIN D.O.T. TYPE D INLET PROTECTION. THE FILTERS SHALL BE MAINTAINED UNTIL THE CITY HAS ACCEPTED THE BINDER COURSE OF ASPHALT.
12. RESTORATION (SEED, FERTILIZE AND MULCH) SHALL BE PER SPECIFICATIONS ON THIS SHEET UNLESS SPECIAL RESTORATION IS CALLED FOR ON THE LANDSCAPE PLAN OR THE DETENTION BASIN DETAIL SHEET.
13. SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.
14. FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, EROSION MAT, SOD) OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEEDED AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
15. EROSION MAT (CLASS I, TYPE A URBAN PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON ALL SLOPES 3:1 OR GREATER BUT LESS THAN 1:1.
16. SOIL STABILIZERS SHALL BE APPLIED TO DISTURBED AREAS WITH SLOPES BETWEEN 10% AND 3:1 (DO NOT USE IN CHANNELS). SOIL STABILIZERS SHALL BE TYPE B, PER WISCONSIN D.O.T. P.A.L. (PRODUCT ACCEPTABILITY LIST), OR EQUAL. APPLY AT RATES AND METHODS SPECIFIED PER THIS SHEET. SOIL STABILIZERS SHALL BE RE-APPLIED WHENEVER VEHICLES OR OTHER EQUIPMENT TRACK ON THE AREA.
17. SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY. SEE DETAILS.
18. SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE.
19. ACCUMULATED CONSTRUCTION SEDIMENT SHALL BE REMOVED FROM ALL PERMANENT BASINS TO THE ELEVATION SHOWN ON THE GRADING PLAN FOLLOWING THE STABILIZATION OF DRAINAGE AREAS.
20. ALL CONSTRUCTION ENTRANCES SHALL HAVE TEMPORARY ROAD CLOSED SIGNS THAT WILL BE IN PLACE WHEN THE ENTRANCE IS NOT IN USE AND AT THE END OF EACH DAY.
21. ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY DANE COUNTY LAND CONSERVATION OR PERMITTING MUNICIPALITY.
22. THE CITY, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.

### CONSTRUCTION SEQUENCE:

1. INSTALL SILT FENCE AND TRACKING PAD
2. STRIP TOPSOIL-DETENTION BASINS
3. ROUGH GRADE DETENTION BASINS
4. SEED DETENTION BASINS
5. STRIP TOPSOIL-STREETS & LOTS
6. ROUGH GRADE STREETS & LOTS
7. SEED LOT AREAS AND INSTALL DRIVE-OVER VELOCITY CHECKS
8. CONSTRUCT UNDERGROUND UTILITIES
9. INSTALL INLET PROTECTION
10. CONSTRUCT ROADS (STONE BASE, CURB & GUTTER, AND SIDEWALK). REMOVE DRIVE-OVER VELOCITY CHECKS WHEN BASE COURSE IS PLACED
11. RESTORE TERRACES
12. REMOVE TRACKING PAD, SILT FENCE AND DIVERSION BERM MEASURES AFTER DISTURBED AREAS ARE RESTORED

### SEEDING RATES:

- TEMPORARY:**
1. USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.
  2. USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 15.

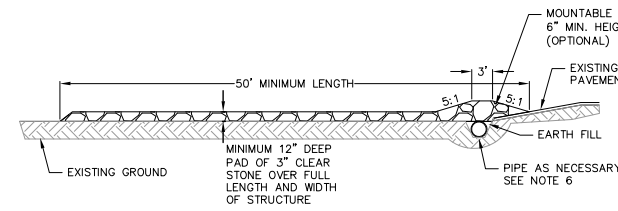
- PERMANENT:**
1. USE WISCONSIN D.O.T. SEED MIX #40 AT 2 LB./1,000 S.F.

### FERTILIZING RATES:

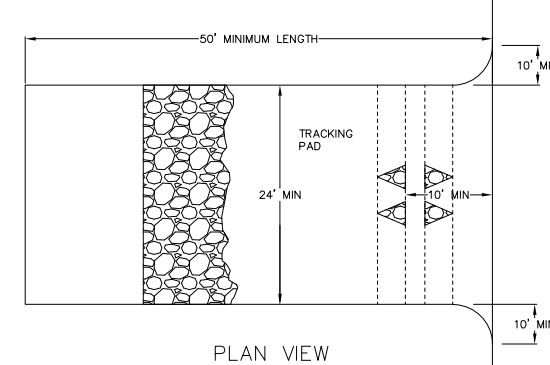
- TEMPORARY AND PERMANENT:**
- USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.

### MULCHING RATES:

- TEMPORARY AND PERMANENT:**
- USE 2" TO 1-1/2" STRAW OR HAY MULCH, CRIMPED PER SECTION 607.3.2.3, OR OTHER RATE AND METHOD PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION



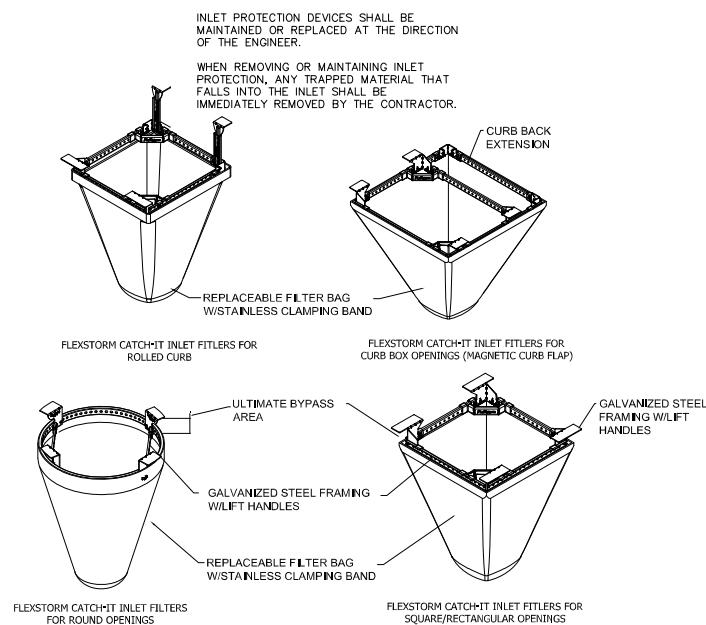
PROFILE VIEW



PLAN VIEW

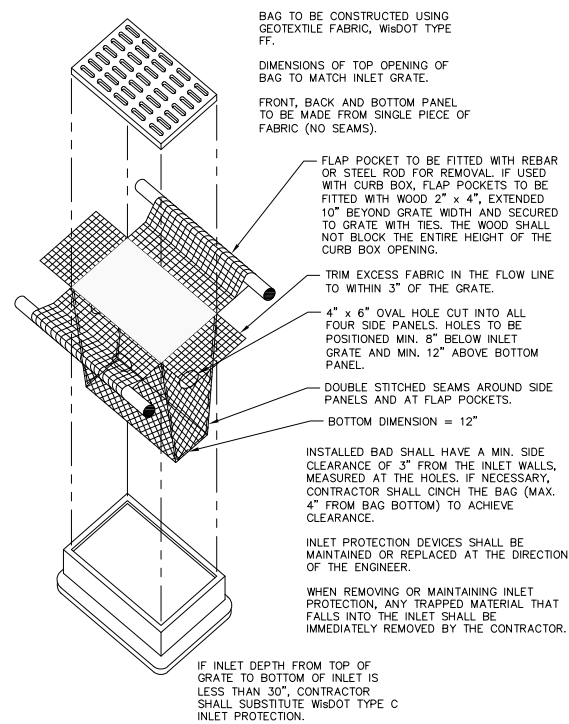
1. FOLLOW WISCONSIN DNR TECHNICAL STANDARD 1057 FOR FURTHER DETAILS AND INSTALLATION.
2. LENGTH - MINIMUM OF 50'
3. WIDTH - 24" MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
4. ON SITES WITH A HIGH GROUND WATER TABLE OR WHERE SATURATED CONDITIONS EXIST, GEOTEXTILE FABRIC SHALL BE PLACED OVER EXISTING GROUND PRIOR TO PLACING STONE. FABRIC SHALL BE WISDOT TYPE-HR GEOTEXTILE FABRIC.
5. STONE - CRUSHED 3" CLEAR STONE SHALL BE PLACED AT LEAST 12" DEEP OVER THE ENTIRE LENGTH AND WIDTH OF ENTRANCE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARDS CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND MINIMUM OF 6" STONE OVER THE PIPE. PIPE SHALL BE SIZED ACCORDING TO THE DRAINAGE REQUIREMENTS. WHEN THE ENTRANCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY A PIPE SHALL NOT BE NECESSARY. THE MINIMUM PIPE DIAMETER SHALL BE 6". CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF SAID PIPE.
7. LOCATION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED WHERE CONSTRUCTION TRAFFIC ENTERS AND/OR LEAVES THE CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE TRACKING PAD.

## 1 TRACKING PAD 1 NOT TO SCALE

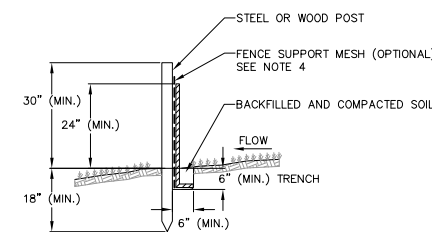


| NEENAH CASTING     | INLET TYPE  | GRATE SIZE     | OPENING SIZE | ADS PIN    |
|--------------------|-------------|----------------|--------------|------------|
| 10401642/1733      | ROUND       | 26             | 24           | 62MRDFX    |
| 3067 W/FLAP        | CURB BOX    | 35.25 X 17.75  | 33.0 X 15.0  | 62LCBEXTFX |
| 3067 EXTENDED BACK | CURB BOX    | 35.25 X 17.75  | 33.0 X 15.0  | 62LCBEXTFX |
| 3246A              | CURB BOX    | 35.75 X 23.875 | 33.5 X 21.0  | 62LCBFX    |
| 3030               | SQUARE/RECT | 23 X 16        | 20.5 X 13.5  | 62MCFBX    |
| 3067-C             | SQUARE/RECT | 35.25 X 17.75  | 33 X 15      | 62LSQFX    |

## 1 FLEXSTORM INLET PROTECTION 11 NOT TO SCALE



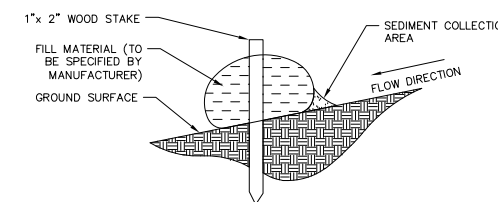
## 1 INLET PROTECTION TYPE D 1 NOT TO SCALE



### NOTES:

1. INSTALL SILT FENCE TO FOLLOW THE GROUND CONTOURS AS CLOSELY AS POSSIBLE.
2. CURVE THE SILT FENCE UP THE SLOPE TO PREVENT WATER FROM RUNNING AROUND THE ENDS.
3. POST SPACING WITH FENCE SUPPORT MESH = 10 FT. (MAX.)  
POST SPACING WITHOUT FENCE SUPPORT MESH = 6 FT. (MAX.)
4. SILT FENCE SUPPORT MESH CONSISTS OF 14-GAUGE STEEL WIRE WITH A MESH SPACING OF 6 IN. X 6 IN. OR PREFABRICATED POLYMERIC MESH OF EQUIVALENT STRENGTH

## 1 SILT FENCE 1 NOT TO SCALE



## 1 SILT SOCK 1 NOT TO SCALE

Revisions

LUA SUBMITTAL

SCOPE DOCUMENTS

Drawing Date  
April 12, 2019

UW CAMPUS HOTEL

780 Regent Street  
Madison, WI 53715

Project No. Mortenson  
218051

Sheet Title

**CONSTRUCTION  
DETAILS**

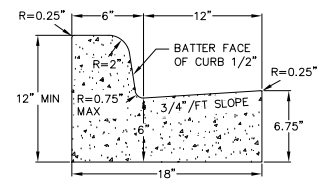
Copyright © 2018 Kahler Slater, Inc. All rights reserved.  
111 West Wisconsin Avenue, Milwaukee, Wisconsin 53203  
Telephone 414-272-2000 Fax 414-272-2001

44 East North Street, Suite 100, Madison, Wisconsin 53703  
Telephone 608-251-6300 Fax 608-253-6117

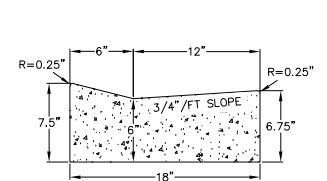
Sheet No.

**C500**

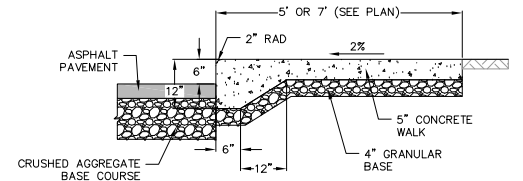




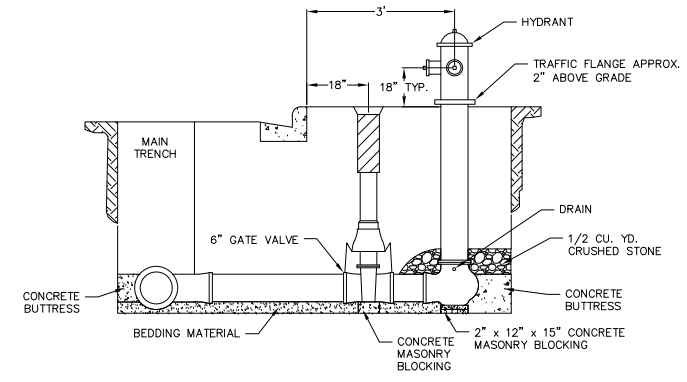
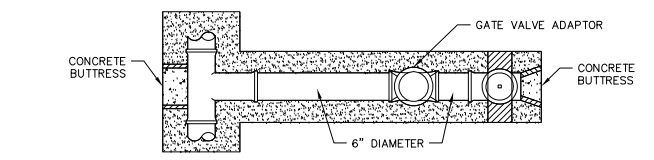
CURB AND GUTTER CROSS SECTION



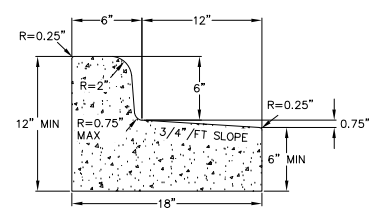
DRIVEWAY GUTTER CROSS SECTION



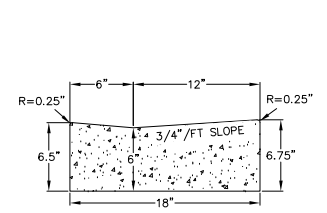
1 CURBED SIDEWALK SITE DETAIL  
 1 NOT TO SCALE



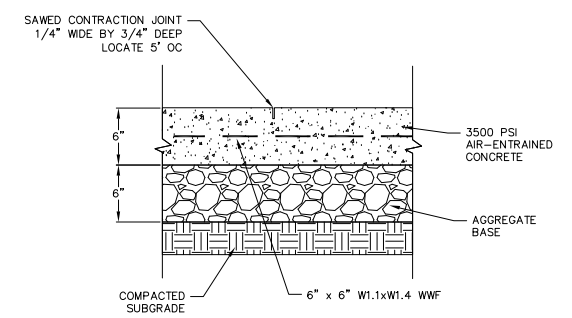
1 STANDARD HYDRANT SETTING  
 1 NOT TO SCALE



CURB AND GUTTER REJECT SECTION

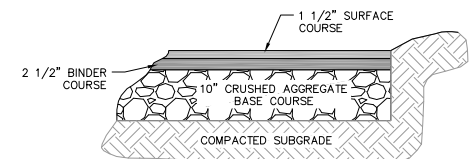


HANDICAP RAMP GUTTER CROSS SECTION

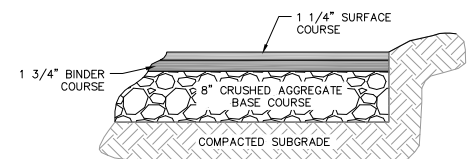


1 CONCRETE PAD  
 1 NOT TO SCALE

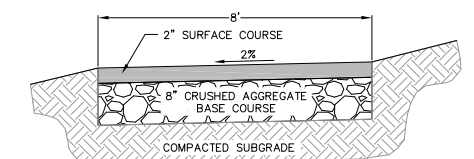
1 18" CONCRETE CURB AND GUTTER  
 1 NOT TO SCALE



BITUMINOUS PAVEMENT DRIVES



BITUMINOUS PAVEMENT PARKING LOT



BITUMINOUS PAVEMENT BIKE PATH

1 SITE PAVEMENT  
 1 NOT TO SCALE

Revisions

LUA SUBMITTAL

SCOPE DOCUMENTS

Drawing Date  
 April 12, 2019

UW CAMPUS HOTEL

780 Regent Street  
 Madison, WI 53715

Project No. Mortenson  
 218051

Sheet Title  
**CONSTRUCTION  
 DETAILS**

Copyright © 2018 Kahler Slater, Inc. All rights reserved.  
 111 West Wisconsin Avenue, Milwaukee, Wisconsin 53203  
 Telephone 414-272-2000 Fax 414-272-2001  
 44 East North Street, Suite 100, Madison, Wisconsin 53703  
 Telephone 608-251-6300 Fax 608-253-6317

Sheet No.  
**C501**

| PIECE       | STUB INVERT | SYSTEM INVERT |
|-------------|-------------|---------------|
| 12" STUB S3 | 851.75      | 847.50        |
| 12" STUB E2 | 851.80      | 847.50        |
| 12" STUB F2 | 851.80      | 847.50        |
| 12" STUB H1 | 851.75      | 847.50        |
| 24" STUB J2 | 851.80      | 847.50        |

| PIECE        | RIM ELEV. | SYSTEM INVERT |
|--------------|-----------|---------------|
| 24" RISER S2 | 853.50    | 847.50        |
| 24" RISER C1 | 854.80    | 847.50        |
| 24" RISER O1 | 855.00    | 847.50        |
| 24" RISER F3 | 855.00    | 847.50        |
| 24" RISER O1 | 855.00    | 847.50        |
| 24" RISER J3 | 855.00    | 847.50        |

**WEIR PLATE DETAIL**  
NOT TO SCALE

**ASSEMBLY SCALE: 1" = 30'**  
 PIPE STORAGE: 8,316 CF  
 LOADING: H20  
 PIPE INV. = 847.5'

**NOTES:**  
 • ALL RISER AND STUB DIMENSIONS ARE TO CENTERLINE.  
 • ALL ELEVATIONS, DIMENSIONS AND LOCATIONS OF RISERS AND INLETS, SHALL BE VERIFIED BY THE ENGINEER OF RECORD (EOR) PRIOR TO RELEASE FOR FABRICATION.  
 • ALL FITTINGS AND REINFORCEMENT COMPLY WITH ASTM A88.  
 • ALL RISERS AND STUBS ARE 30" C/C CORRUGATION AND 16 GAUGE UNLESS OTHERWISE NOTED.  
 • RISERS TO BE FIELD TRIMMED TO GRADE AS REQUIRED, BY CONTRACTOR.  
 • QUANTITY OF PIPE DOWN DOES NOT PROVIDE EXTRA PIPE FOR CONNECTING THE SYSTEM TO EXISTING PIPE OR DRAINAGE STRUCTURES. OUR SYSTEM AS DETAIL PROVIDES NOMINAL INLET AND/OR OUTLET PIPE STUB FOR CONNECTION TO EXISTING DRAINAGE FACILITIES. IF ADDITIONAL PIPE IS NEEDED IT IS THE RESPONSIBILITY OF THE CONTRACTOR.  
 • ALL ACCESS CASTINGS ARE THE RESPONSIBILITY OF THE CONTRACTOR AND ARE NOT SUPPLIED BY CONTECH.

**CONTECH ENGINEERED SOLUTIONS LLC**  
 66'x10' UNDERGROUND DETENTION SYSTEM - 616275-010  
 UW CAMPUS HOTEL  
 MADISON, WI  
 SITE DESIGNATION: WQ DETENTION

**TYPICAL SECTION VIEW**  
NOT TO SCALE

**TYPICAL BACKFILL DETAIL**  
NOT TO SCALE

**BACKFILL REQUIREMENTS FOLLOW THE GUIDELINES OF AASHTO LRFD BRIDGE DESIGN (SEC. 12) AND CONSTRUCTION (SEC. 30)**

- MINIMUM TRENCH WIDTH MUST ALLOW ROOM FOR PROPER COMPACTION OF HAUNCH MATERIALS UNDER THE PIPE. THE MINIMUM TRENCH WIDTH (12.6.2.1)  
 PIPE = 12" O.D. = 12"  
 PIPE = 12" I.D. = 12"
- MINIMUM EMBANKMENT WIDTH (IN FEET) FOR INITIAL FILL ENVELOPE (12.6.2.2)  
 PIPE = 24" I.D. = 40"  
 PIPE = 14" O.D. = 40"  
 PIPE = 14" O.D. = 100"
- THE FOUNDATION UNDER THE PIPE AND SIDE BACKFILL SHALL BE ADEQUATE TO SUPPORT THE LOADS ACTING UPON IT (28.5.2).
- SEEDING MATERIAL SHALL BE A RELATIVELY LOOSE MATERIAL THAT IS ROUGHLY GRAINED TO FIT THE BOTTOM OF THE PIPE, AND A MINIMUM OF TWICE THE CORRELATION DEPTH IN THICKNESS, WITH THE MAXIMUM PARTICLE SIZE OF ONE-HALF OF THE CORRELATION DEPTH (28.5.3).
- CORRUGATED STEEL PIPE (CSP / HEL-COR)
- HAUNCH ZONE MATERIAL SHALL BE HAND SHOVELED OR SHOVEL SLICED INTO PLACE TO ALLOW FOR PROPER COMPACTION (28.5.4).
- INITIAL BACKFILL FOR PIPE EMBELEMEN TO MEET AASHTO A-1, A-2 OR A-3 CLASSIFICATION OR APPROVED EQUAL, COMPACTED TO 90% STANDARD PROCTOR (90% MAXIMUM PARTICLE SIZE NOT TO EXCEED 2" (28.5.5). ALL LIFTS PLACED IN A CONTROLLED MANNER. IT IS RECOMMENDED THAT LIFTS NOT EXCEED AN UNCOMPACTED LIFT HEIGHT TO PREVENT UNEVEN LOADINGS AND THE LESSER OF 1/3 THE DIAMETER OR 2' AS THE MAXIMUM DIFFERENTIAL SIDE-TO-SIDE (28.5.5).
- INITIAL BACKFILL ABOVE PIPE MAY INCLUDE ROAD BASE MATERIAL (AND ROAD PAVEMENT IF APPLICABLE). SEE TABLE ABOVE.
- TOTAL HEIGHT OF COMPACTED COVER FOR CONVENTIONAL HIGHWAY LOADS IS MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT ON TOP OF ROAD PAVEMENT (12.6.5).
- FINAL BACKFILL MATERIAL SELECTION AND COMPACTION REQUIREMENTS SHALL FOLLOW THE PROJECT PLANS AND SPECIFICATIONS PER THE ENGINEER OF RECORD (28.5.6.1).

**NOTES:**  
 • GEOTEXTILE SHOULD BE CONSIDERED FOR USE TO PREVENT SOIL MIGRATION INTO VARYING SOIL TYPES (PROJECT ENGINEER).  
 • FOR MULTIPLE BARREL INSTALLATIONS THE RECOMMENDED STANDARD SPACING BETWEEN PARALLEL PIPE RINGS SHALL BE PIPE DIA/2.  
 • CONTACT YOUR CONTECH REPRESENTATIVE FOR NONSTANDARD SPACING (TABLE C12.6.7-1).

**CONTECH ENGINEERED SOLUTIONS LLC**  
 66'x10' UNDERGROUND DETENTION SYSTEM - 616275-010  
 UW CAMPUS HOTEL  
 MADISON, WI  
 SITE DESIGNATION: WQ DETENTION

**PLAIN END CMP RISER PIPE**

**CONNECTION DETAIL**  
7 1/2" TECHSD SHOWN, MAY VARY

**ELEVATION VIEW OF CMP AND RISER**

**CONNECTION DETAIL**  
4 RODS AND LUGS

**2 2/3"x1/2" HEL-COR PIPE (4 CORRUGATION RE-ROLL)**

**GENERAL NOTES:**  
 1. DELIVERED BAND STYLE AND FASTENER TYPE MAY VARY BY FABRICATION PLANT.  
 2. JOINT IS TO BE ASSEMBLED PER AASHTO BRIDGE CONSTRUCTION SPECIFICATION SEC. 28.4.2.A.  
 3. BAND MATERIAL AND GASKET TO BE SAME AS RISER MATERIAL.  
 4. IF RISER HAS HEIGHT OF COVER OF 12" OR MORE, USE A SLIP JOINT.  
 5. BANDS ARE NORMALLY FINISHED AS FOLLOWS:  
 • 12" THRU 48" 1-PIECE  
 • 54" THRU 84" 2-PIECES  
 • 102" THRU 144" 3-PIECES  
 6. BAND FASTENERS ARE ATTACHED WITH SPOT WELDS, RIVETS OR HAND WELDS.  
 7. ALL CMP IS REBELLER TO HAVE ANNULAR END CORRUGATIONS OF 2.27X1/2"  
 8. DIMENSIONS ARE SUBJECT TO MANUFACTURING TOLERANCES.

**CONTECH ENGINEERED SOLUTIONS LLC**  
 66'x10' UNDERGROUND DETENTION SYSTEM - 616275-010  
 UW CAMPUS HOTEL  
 MADISON, WI  
 SITE DESIGNATION: WQ DETENTION

**CONSTRUCTION LOADING DIAGRAM**  
NOT TO SCALE

**REINFORCING TABLE**

| Ø CMP RISER | A   | B Ø | REINFORCING | BEARING PRESSURE (PSF) |
|-------------|-----|-----|-------------|------------------------|
| 24"         | 48" | 30" | Ø 12" OCEW  | 2,560                  |
|             |     |     | Ø 12" OCEW  | 1,080                  |
| 30"         | 48" | 30" | Ø 12" OCEW  | 2,560                  |
|             |     |     | Ø 12" OCEW  | 1,080                  |
| 36"         | 48" | 30" | Ø 12" OCEW  | 2,080                  |
|             |     |     | Ø 12" OCEW  | 1,080                  |
| 42"         | 48" | 30" | Ø 12" OCEW  | 1,480                  |
|             |     |     | Ø 12" OCEW  | 1,310                  |
| 48"         | 48" | 30" | Ø 12" OCEW  | 1,280                  |
|             |     |     | Ø 12" OCEW  | 1,280                  |

**CONSTRUCTION LOADING TABLE**

| PIPE SPAN (INCHES) | AXLE LOADS (DEPT) |       |        | MINIMUM COVER (FT) |
|--------------------|-------------------|-------|--------|--------------------|
|                    | 15-50             | 50-75 | 75-110 |                    |
| 12-42              | 2.0               | 2.5   | 3.0    | 3.0                |
| 48-72              | 3.0               | 3.0   | 3.5    | 4.0                |
| 78-102             | 3.0               | 3.5   | 4.0    | 4.0                |
| 126-144            | 3.5               | 4.0   | 4.5    | 4.5                |

**CONSTRUCTION LOADING NOTES:**  
 FOR TEMPORARY CONSTRUCTION VEHICLE LOADS, AN EXTRA AMOUNT OF COMPACTED COVER MAY BE REQUIRED OVER THE TOP OF THE PIPE. THE HEIGHT OF COVER SHALL MEET THE MINIMUM REQUIREMENTS SHOWN IN THE TABLE BELOW. THE USE OF HEAVY CONSTRUCTION EQUIPMENT REQUIRES GREATER PROTECTION FOR THE PIPE THAN FINISHED GRADE COVER MINIMUMS FOR NORMAL HIGHWAY TRAFFIC.

**MINIMUM COVER MAY VARY, DEPENDING ON LOCAL CONDITIONS. THE CONTRACTOR MUST PROVIDE THE ADDITIONAL COVER REQUIRED TO AVOID DAMAGE TO THE PIPE. MINIMUM COVER IS MEASURED FROM THE TOP OF THE PIPE TO THE TOP OF THE MAINTAINED CONSTRUCTION ROADWAY SURFACE.**

**CONTECH ENGINEERED SOLUTIONS LLC**  
 66'x10' UNDERGROUND DETENTION SYSTEM - 616275-010  
 UW CAMPUS HOTEL  
 MADISON, WI  
 SITE DESIGNATION: WQ DETENTION

Revisions

LUA SUBMITTAL

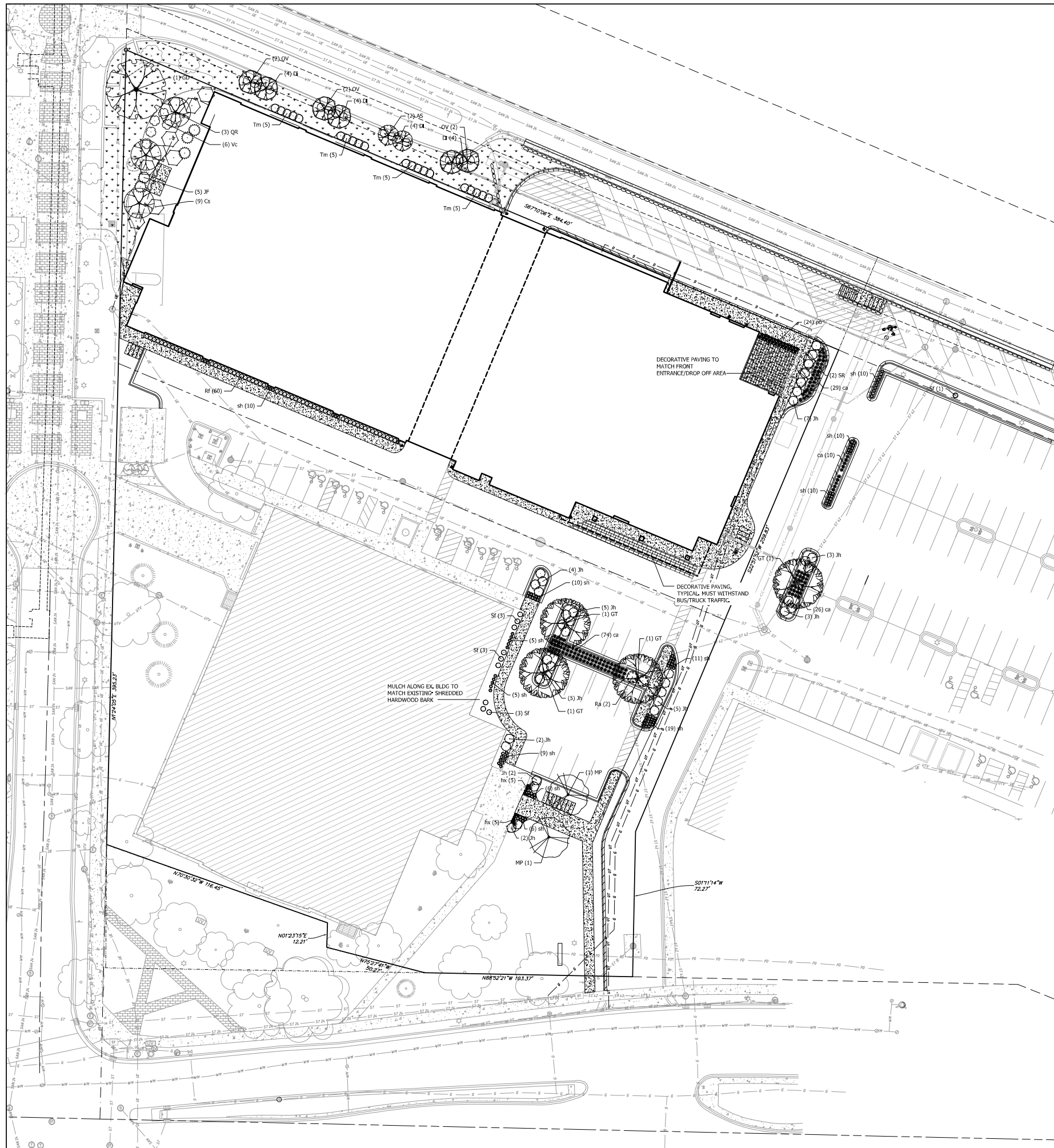
SCOPE DOCUMENTS  
 Drawing Date  
 April 12, 2019

UW CAMPUS HOTEL

780 Regent Street  
 Madison, WI 53715

Project No. Mortenson  
 218051

Sheet Title  
**CONSTRUCTION DETAILS**



**PLANT SCHEDULE**

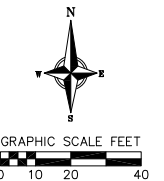
| DECIDUOUS TREES  | BOTANICAL NAME / COMMON NAME                                     | CONT   | CAL      | QTY |
|------------------|--|--------|----------|-----|
| AS               | Acer saccharum 'Apollo' TM / Apollo Sugar Maple                  | B & B  | 2.5' cal | 2   |
| GT               | Quercus laevis 'Northern Acclaim' / Northern Acclaim Honeylocust | B & B  | 2.5' cal | 4   |
| GD               | Gymnodendron dioica 'McKBranded' / Decal Kentucky Coffee Tree    | B & B  | 2.5' cal | 1   |
| OV               | Ostrya virginiana / American Hophornbeam                         | B & B  | 2.5' cal | 6   |
| QR               | Quercus robur 'Long' / Royal Prince Oak                          | B & B  | 2.5' cal | 3   |
| UNDERSTORY TREES | BOTANICAL NAME / COMMON NAME                                     | CONT   | CAL      | QTY |
| MP               | Malus x Pralix 'Madd' / Pralix Mad Crabapple                     | B & B  | 2' cal   | 2   |
| SR               | Syringa reticulata 'Ivory Silk' / Ivory Silk Japanese Tree Lilac | B & B  | 2' cal   | 2   |
| DECIDUOUS SHRUBS | BOTANICAL NAME / COMMON NAME                                     | SIZE   | FIELDZ   | QTY |
| Cs               | Cornus sericea / Red Twig Dogwood                                | 5 gal  | Cont     | 9   |
| DI               | Diervilla lonicera / Dwarf Bush Honeysuckle                      | 5 gal  | Cont     | 16  |
| RF               | Rhamnus frangula 'Fine Line' / Fine Line Buckthorn               | 5 gal  | Cont     | 60  |
| Ra               | Rhus aromatica 'GroLow' / GroLow Fragrant Sumac                  | 5 gal  | Cont     | 2   |
| Sf               | Sarcococca 'Finkerbloss' / Finkerbloss Fitch Spirea              | 3 gal  | Cont     | 10  |
| Vc               | Viburnum casnoides / Withered Viburnum                           | 5 gal  | Cont     | 6   |
| EVERGREEN SHRUBS | BOTANICAL NAME / COMMON NAME                                     | SIZE   | FIELDZ   | QTY |
| JF               | Juniperus chinensis 'Faldeew' / Faldeew Juniper                  | B & B  | 6' ht.   | 5   |
| Jh               | Juniperus horizontalis 'Blue Chip' / Blue Chip Juniper           | 5 gal  | Cont     | 38  |
| Tm               | Taxus x media 'Hicks' / Hicks Yew                                | 10 gal | Cont     | 20  |
| PERENNIALS       | BOTANICAL NAME / COMMON NAME                                     | SIZE   | FIELDZ   | QTY |
| ca               | Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass  | 1 gal  | Cont     | 139 |
| hc               | Hemerocallis x 'Stella de Oro' / Stella de Oro Daylily           | 1 gal  | Cont     | 10  |
| po               | Polygonatum acrostichoides / Christmas Fern                      | 1 gal  | Cont     | 24  |
| sh               | Sporobolus heterodeus / Prairie Droopseed                        | 1 gal  | Cont     | 111 |

**SEEDING/DECORATIVE PAVING SCHEDULE**

|                   |          |
|-------------------|----------|
| DECORATIVE PAVING | 893 sf   |
| TURF GRASS SOD    | 5,078 sf |

**GENERAL NOTES:**

- All plantings shall conform to quality requirements as per ANSI Z60.1.
- All plant material shall be true to the species, variety and size specified, nursery grown in accordance with good horticultural practices and under climatic conditions similar to those of the project site.
- Contact Landscape Architect in writing, to request and plant material substitutions due to availability issues.
- All disturbed areas, unless otherwise noted, to be sodded with Kentucky bluegrass turf sod grown in soil.
- All plants shall be guaranteed to be in healthy and flourishing condition during the growing season following installation. All plant material shall be guaranteed for one year from the time of installation.
- Contractor shall provide a suitable amended topsoil blend for all planting areas where soil conditions are unsuitable for plant growth. Topsoil shall conform to quality requirements as per Section 625.2(1) of the Standard Specifications for Highway Construction. Provide a minimum of 12" of topsoil in all planting areas and 6" of topsoil in areas to be seeded/sodded.
- Landscape beds to be mulched with 2" washed stone mulch to 3" depth min. and edged with commercial grade aluminum landscape edging. Permaloc CleanLine 2" x 4" or equal, color black anodized.



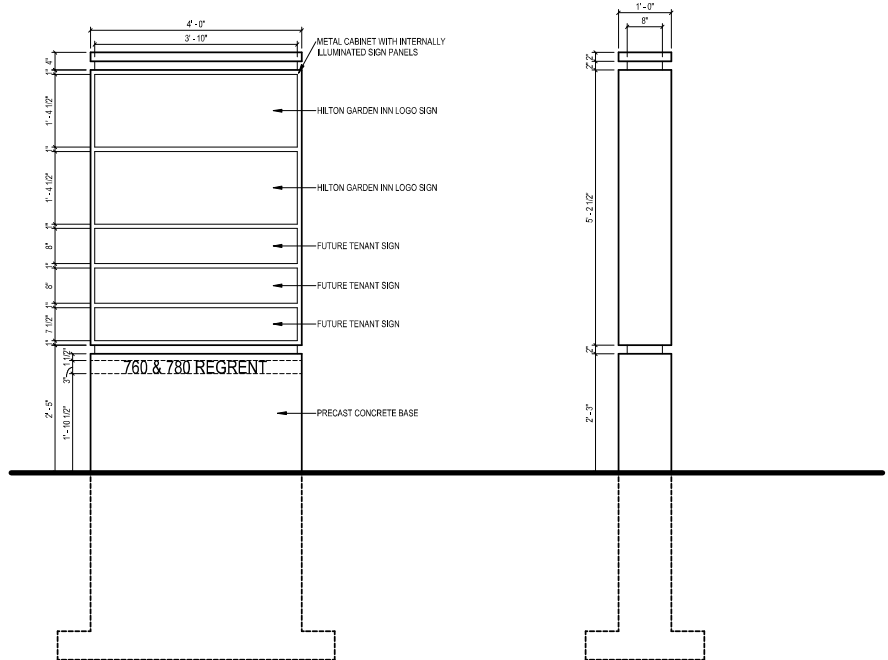
| City of Madison Landscape Worksheet                               |  |  |                           |                               |            |
|---|--|--|---------------------------|-------------------------------|------------|
| Address:  | 780 Regent St  | Date:  | 04.11.2019                |                               |            |
| Total Square Footage of Developed Area:                           | (Site Area) 5,1737   | (Building Footprint at Grade)                  | 38023                     | =                             | 13714 sf   |
| Total Landscape Points Required:                                  | 13,714   | / 300 =  | 46                        | x 5 =                         | 229        |
|   |  | Credits/ Existing Landscaping                  | New/ Proposed Landscaping |                               |            |
| Plant Type/ Element   | Min. Size at Installation  | Points   | Quantity                  | Points Achieved               | Quantity   |
| Overstory deciduous tree  | 2.5' cal   | 35   |                           | 0                             | 4          |
| Tall Evergreen Tree   | 5-6 feet tall  | 35   |                           | 0                             | 0          |
| Ornamental tree   | 1.5' cal   | 15   |                           | 0                             | 2          |
| Upright evergreen shrub   | 3-4 feet tall  | 10   |                           | 0                             | 5          |
| Shrub, deciduous  | #1 gallon container size, Min. 12-24"  | 3  |                           | 0                             | 75         |
| Shrub, evergreen  | #1 gallon container size, Min. 12-24"  | 4  |                           | 0                             | 7          |
| Ornamental grasses/perennials                                     | #1 gallon container size, Min. 8-18"   | 2  |                           | 0                             | 63         |
| Ornamental/Decorative fencing or wall                             | n/a  |  | 4 per 10 LF               | 0                             | 0          |
| Existing significant specimen tree                                | Min. Size 2.5' cal. Trees must be within developed area and cannot comprise more than 30% of total required points.      | 14 per caliper inch. Max. points per tree: 200 |                           | 0                             | 0          |
| Landscape Furniture for public seating and/or transit connections | Furniture must be within developed area, publicly accessible, and cannot comprise more than 5% of total required points. | 5 points per "seat"                            |                           | 0                             | 0          |
| <b>Sub Totals</b>   |  |  |                           | 0                             | 599        |
|   |  |  |                           | <b>Total Points Provided:</b> | <b>599</b> |



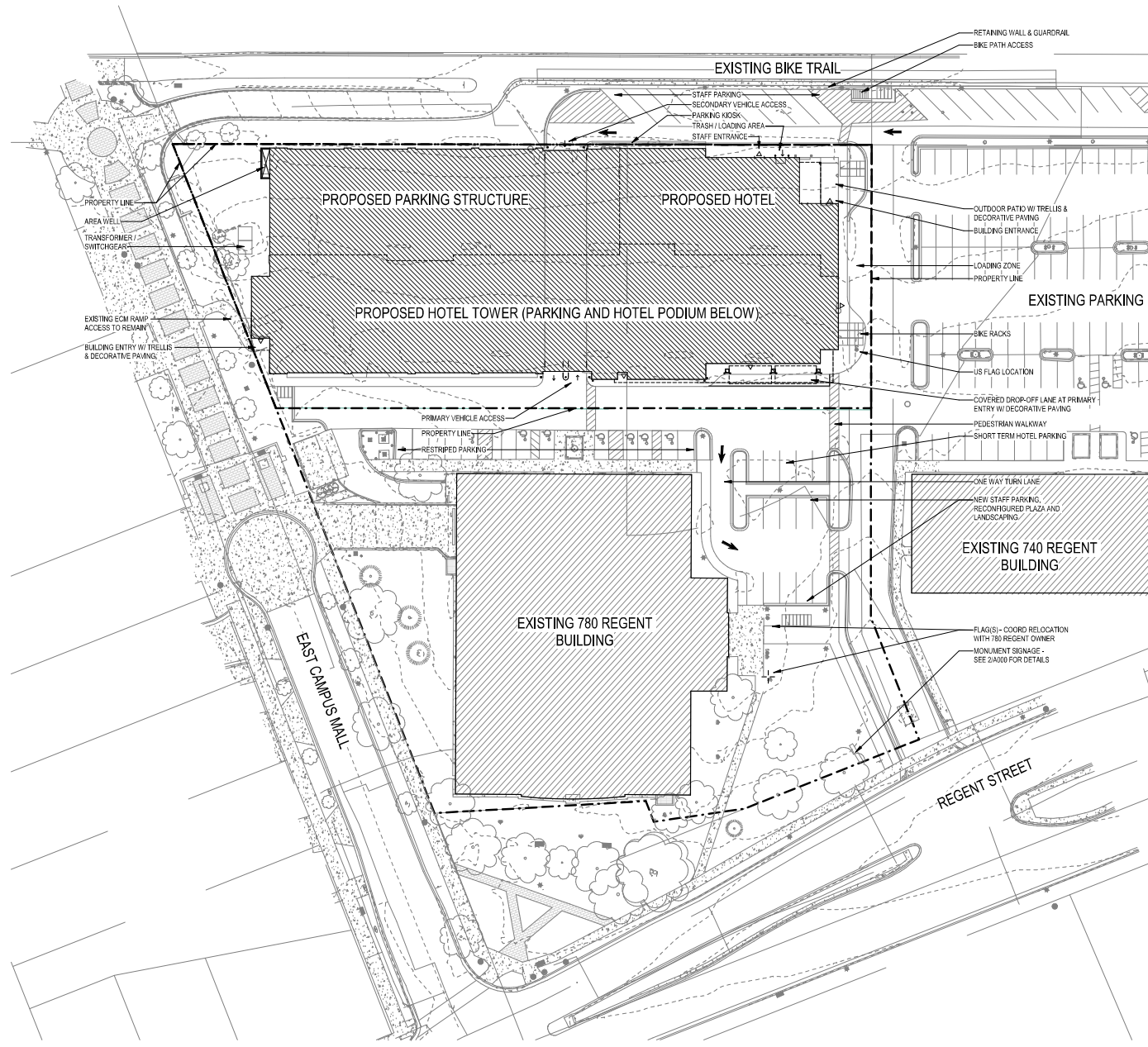
Revisions  
 LUA SUBMITTAL  
 SCOPE DOCUMENTS  
 Drawing Date  
 APRIL 12, 2019  
 UW CAMPUS HOTEL

780 Regent Street  
 Madison, WI 53715  
 Project No. 218051  
 Mortenson  
 Sheet Title  
**LANDSCAPE PLAN**  
 CopyRight © 2019 Kahler Slater Inc. All rights reserved.  
 111 West Wisconsin Avenue, Milwaukee, Wisconsin 53203  
 Telephone 414.272.2000 Fax 414.272.2001  
 44 East Main Street, Suite 700, Madison, Wisconsin 53703  
 Telephone 608.253.6300 Fax 608.253.6317  
 Sheet No.  
**L101**

NOT FOR CONSTRUCTION



2 MONUMENT SIGNAGE  
3/4" = 1'-0"



1 ARCHITECTURAL SITE PLAN  
1/32" = 1'-0"

Revisions

LUA SUBMITTAL

SCOPE DOCUMENTS  
Drawing Date  
APRIL 12, 2019

UW CAMPUS HOTEL

780 Regent Street  
Madison, WI 53715

Project No. Mortenson  
218051

Sheet Title  
ARCHITECTURAL SITE  
PLAN/SIGNAGE

Copyright © 2019 Kahler Slater, Inc. All rights reserved.  
111 West Wisconsin Avenue, Milwaukee, Wisconsin 53203  
Telephone 414.272.2000 Fax 414.272.2001  
44 East Millin Street, Suite 700, Madison, Wisconsin 53703  
Telephone 608.283.6300 Fax 608.283.6317

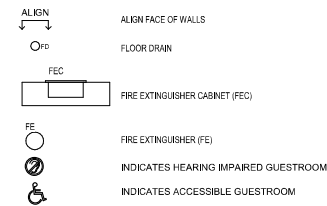
Sheet No.  
A000

| PARKING      | COUNT      | PERCENT     |
|--------------|------------|-------------|
| REGULAR      | 175        | 73%         |
| COMPACT      | 60         | 25%         |
| ADA          | 02         | 1%          |
| VAN/ADA      | 02         | 1%          |
| <b>TOTAL</b> | <b>239</b> | <b>100%</b> |

BIKE PARKING AREAS: 18 SPACES AVAILABLE

PARKING TOTALS

**PLAN LEGEND**

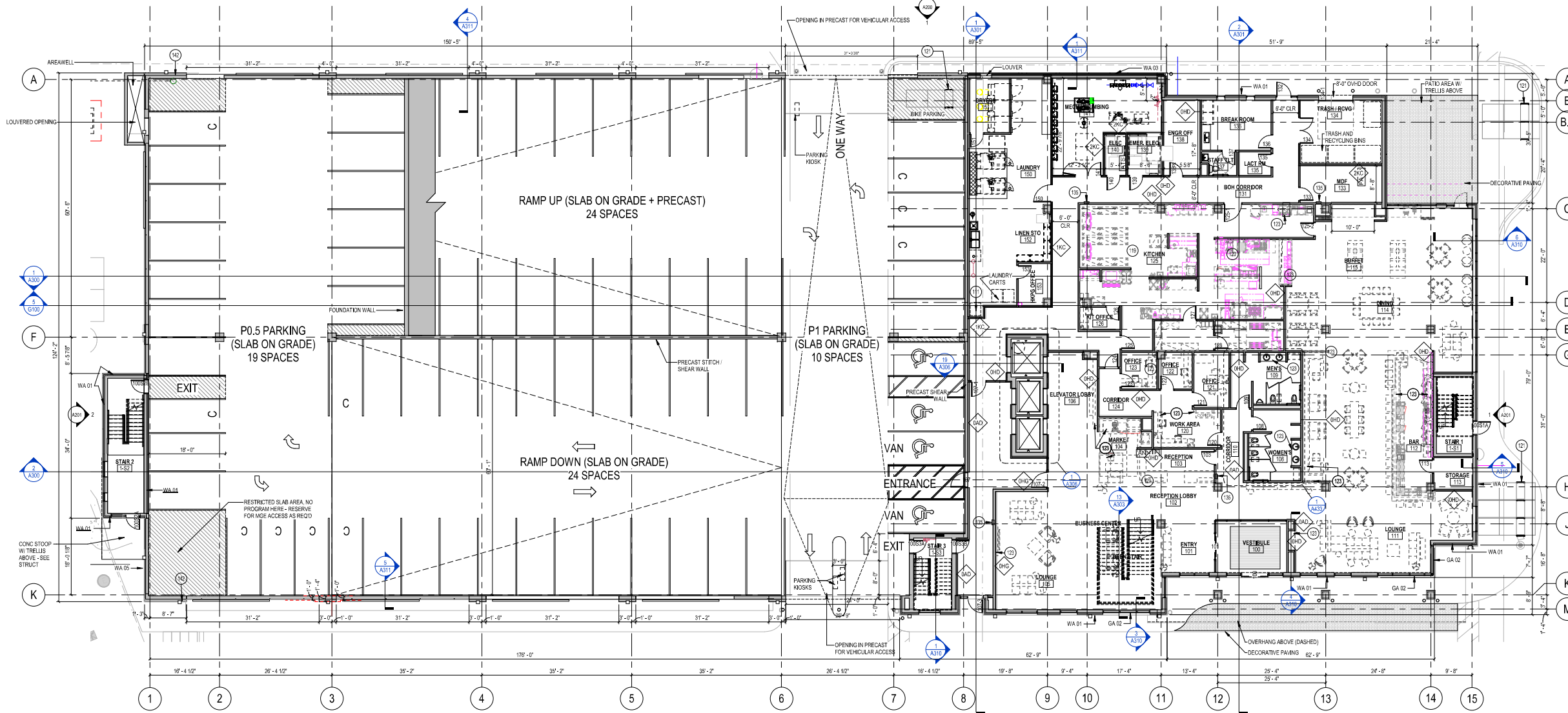


**KEYNOTES**

|       |  |
|-------|--|
| 111   | LINEN SHUTE  |
| 119   | WALK-IN FREEZER/COOLER - PROVIDE CLOSURE PANEL FROM CEILING TO TOP OF FREEZER/COOLER UNITS - COORDINATE RECESSED SLAB REQUIREMENTS WITH GC / STRUCTURAL ENGINEER |
| 120   | KITCHEN EXHAUST HOOD - COORDINATE ALL PENETRATIONS W/ MEP  |
| 121   | BIKE RACK  |
| 123   | MILWORK - SEE INTERIOR DESIGN  |
| 130   | SEMI RECESSED FIRE EXTINGUISHER CABINET  |
| 142   | ALL WALL UNITS TO MATCH W/INT FINISH OUTER 3 FACES   |
| GA 02 | GLAZING ASSEMBLY 02 - CURTAIN WALL   |
| WA 01 | WALL ASSEMBLY 01 - PRECAST INSULATED WALL PANEL  |
| WA 03 | WALL ASSEMBLY 03 - METAL PANEL W/ CMF BACKUP WALL  |
| WA 05 | WALL ASSEMBLY 05 - MASONRY W/ CMF BACKUP WALL  |

**GENERAL NOTES**

- BUILDING SHALL BE CONSTRUCTED TO MEET THE REQUIREMENTS AND QUALITY LEVEL DESCRIBED IN CURRENT HILTON GARDEN INN DESIGN GUID.
- VERIFY DIMENSIONS, CONDITIONS AND FINISHES PRIOR TO PRICING OR PROCEEDING WITH WORK.
- DO NOT SCALE FROM DRAWINGS. BRING ANY DISCREPANCIES TO ARCHITECTS ATTENTION IMMEDIATELY.
- COORDINATE LOCATIONS AND QUANTITY OF WORK WITH MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS.
- REFER TO PARTITION SCHEDULE ON G100 FOR TYPICAL PARTITION TYPES. GUESTROOM CORRIDOR WALLS TO HAVE 1 HOUR FIRE RATING. WALLS SEPARATING ADJACENT GUESTROOMS TO HAVE 1 HOUR FIRE RATING.
- PROVIDE METAL PLATE AND/OR WOOD BLOCKING IN ALL WALLS & PARTITIONS IN PUBLIC AND PRIVATE SPACES FOR ALL WALL-MOUNTED EQUIPMENT, INCLUDING BUT NOT LIMITED TO: ARTWORK, TELEVISIONS, LIGHT FIXTURES, MIRRORS, AND TOILET ACCESSORIES. VERIFY LOCATION WITH ELEVATIONS AND EQUIPMENT.
- CONFIRM ALL INTERIOR GUESTROOM WALLS WITH ENLARGED TYPICAL GUESTROOM PLANS. BRING ANY DISCREPANCIES TO ARCHITECTS ATTENTION IMMEDIATELY.
- LAYOUTS OF FITNESS CENTER AND LAUNDRY ROOM ARE FOR SCHEMATIC PURPOSES ONLY. OWNER, SUPPLIER AND MANUFACTURERS TO COORDINATE FINAL LAYOUT, QUANTITIES, ETC.
- MILWORK AND FINE TRIMS SHOWN FOR REFERENCE. SEE INTERIOR DESIGN DRAWINGS.
- PROVIDE FURNING PARTITION TYPE DAD AT COLUMN LOCATIONS - TYPICAL.



1 01 FIRST FLOOR PLAN  
3/32" = 1'-0"

NOT FOR CONSTRUCTION

Revisions

LUA SUBMITTAL

SCOPE DOCUMENTS  
Drawing Date  
APRIL 12, 2019

UW CAMPUS HOTEL

780 Regent Street  
Madison, WI 53715

Project No. Mortenson  
218051

Sheet Title  
LEVEL 1 PLAN

Copyright © 2019 Kahler Slater, Inc. All rights reserved.  
111 West Wisconsin Avenue, Milwaukee, Wisconsin 53203  
Telephone 414.272.2000 Fax 414.272.2001  
44 East Millin Street, Suite 700, Madison, Wisconsin 53703  
Telephone 608.283.6300 Fax 608.283.6317

Sheet No.  
A101

| PARKING      | COUNT      | PERCENT     |
|--------------|------------|-------------|
| REGULAR      | 175        | 73%         |
| COMPACT      | 60         | 25%         |
| ADA          | 02         | 1%          |
| VAN ADA      | 02         | 1%          |
| <b>TOTAL</b> | <b>239</b> | <b>100%</b> |

PARKING TOTALS

BIKE PARKING AREAS: 18 SPACES AVAILABLE

**PLAN LEGEND**

- ALIGN → ALIGN FACE OF WALLS
- FD FLOOR DRAIN
- FEC FIRE EXTINGUISHER CABINET (FEC)
- FE FIRE EXTINGUISHER (FE)
- ⊗ INDICATES HEARING IMPAIRED GUESTROOM
- ♿ INDICATES ACCESSIBLE GUESTROOM

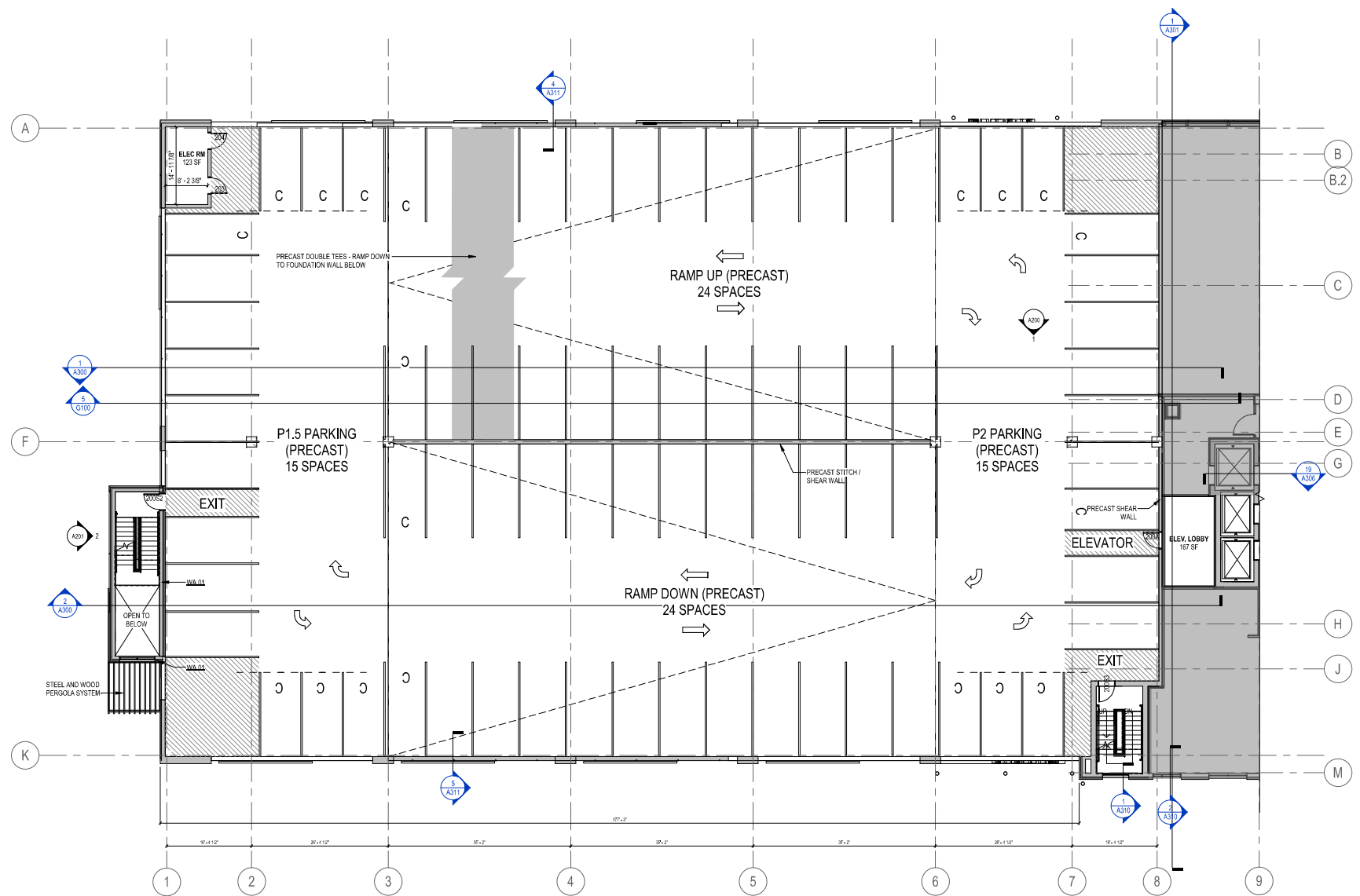
**KEYNOTES**

WA-01 WALL ASSEMBLY 01 - PRECAST INSULATED WALL PANEL

**GENERAL NOTES**

1. BUILDING SHALL BE CONSTRUCTED TO MEET THE REQUIREMENTS AND QUALITY LEVEL DESCRIBED IN CURRENT HILTON GARDEN INN DESIGN (A.I.C.).
2. VERIFY DIMENSIONS, CONDITIONS AND FINISHES PRIOR TO PRICING OR PROCEEDING WITH WORK.
3. DO NOT SCALE FROM DRAWINGS. BRING ANY DISCREPANCIES TO ARCHITECTS ATTENTION IMMEDIATELY.
4. COORDINATE LOCATIONS AND QUANTITY OF WORK WITH MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS.
5. REFER TO PARTITION SCHEDULE ON G100 FOR TYPICAL PARTITION TYPES. GUESTROOM CORRIDOR WALLS TO HAVE 1/2 HOUR FIRE RATING. WALLS SEPARATING ADJACENT GUESTROOMS TO HAVE 1 HOUR FIRE RATING.
6. PIPING, CONDUIT AND RELATED MECHANICAL AND ELECTRICAL ITEMS SHALL BE CONCEALED WITHIN GYPSUM BOARD FURRING IN FINISHED AREAS.
7. PROVIDE METAL PLATE AND/OR WOOD BLOCKING IN ALL WALLS & PARTITIONS IN PUBLIC AND PRIVATE SPACES FOR ALL WALL MOUNTED EQUIPMENT INCLUDING BUT NOT LIMITED TO: ARTWORK, TELEVISIONS, LIGHT FIXTURES, MIRRORS, AND TOILET ACCESSORIES. VERIFY LOCATION WITH ELEVATIONS AND EQUIPMENT.
8. CONFIRM ALL INTERIOR GUESTROOM WALLS WITH ENLARGED TYPICAL GUESTROOM PLANS. BRING ANY DISCREPANCIES TO ARCHITECTS ATTENTION IMMEDIATELY.
9. LAYOUTS OF FITNESS CENTER AND LAUNDRY ROOM ARE FOR SCHEMATIC PURPOSES ONLY. OWNER, SUPPLIER AND MANUFACTURERS TO COORDINATE FINAL LAYOUT, QUANTITIES, ETC.
10. MILLWORK AND FF&E ITEMS SHOWN FOR REFERENCE. SEE INTERIOR DESIGN DRAWINGS.
11. PROVIDE FURRING PARTITION TYPE 040 AT COLUMN LOCATIONS - TYPICAL.

NOT FOR CONSTRUCTION



**1 P2 PARKING PLAN**  
3/32" = 1'-0"

Revisions

LUA SUBMITTAL

SCOPE DOCUMENTS  
Drawing Date  
APRIL 12, 2019

UW CAMPUS HOTEL

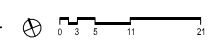
780 Regent Street  
Madison, WI 53715

Project No. Mortenson  
218051

Sheet Title  
**LEVEL P2 PLAN - PARKING**

Copyright © 2019 Kahler Slater, Inc. All rights reserved.  
111 West Wisconsin Avenue, Milwaukee, Wisconsin 53203  
Telephone 414.272.2000 Fax 414.272.2001  
44 East Millin Street, Suite 700, Madison, Wisconsin 53703  
Telephone 608.283.6300 Fax 608.283.6317

Sheet No.  
**A102**



**PLAN LEGEND**

- ALIGN → ALIGN FACE OF WALLS
- <sub>FD</sub> FLOOR DRAIN
- FEC [ ] FIRE EXTINGUISHER CABINET (FEC)
- FE ○ FIRE EXTINGUISHER (FE)
- ⊗ INDICATES HEARING IMPAIRED GUESTROOM
- ♿ INDICATES ACCESSIBLE GUESTROOM

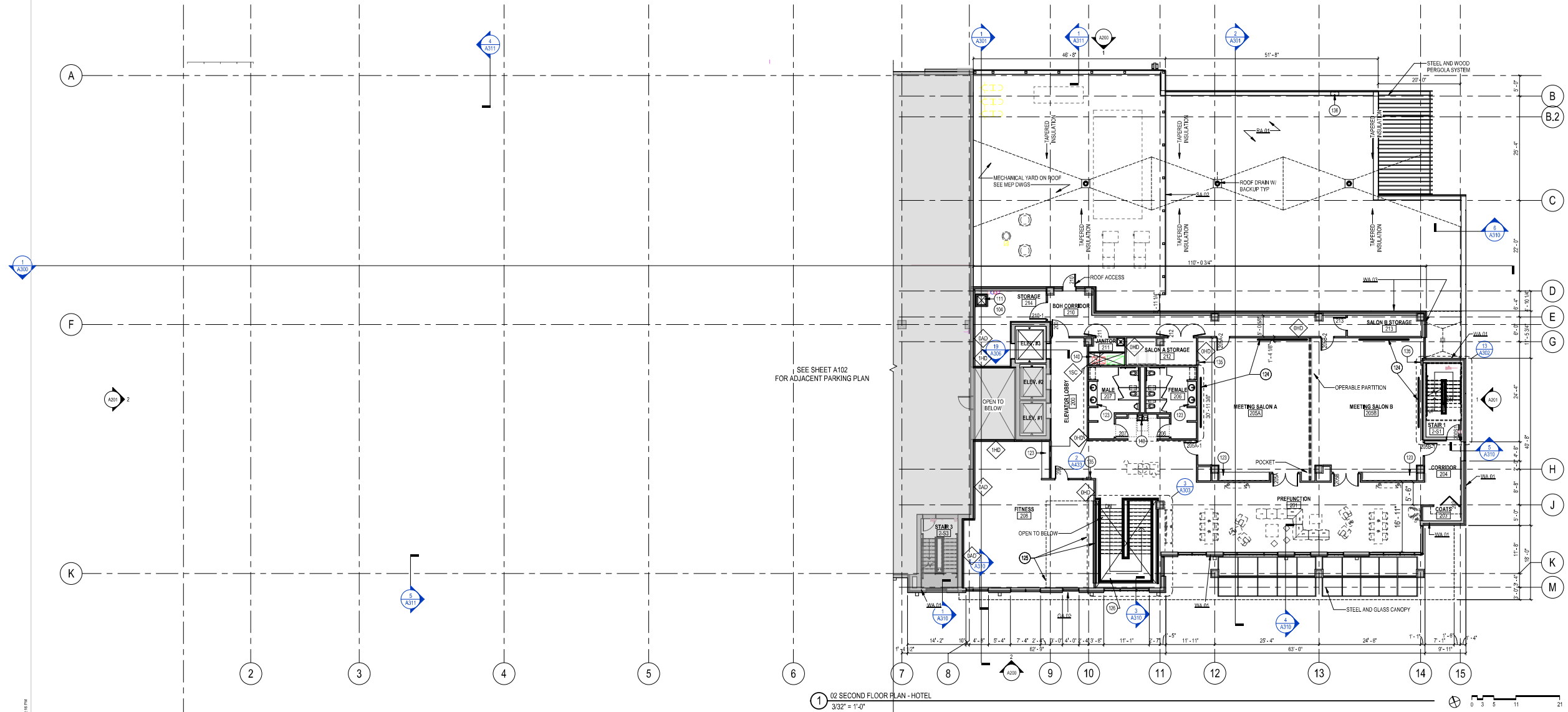
**KEYNOTES**

|       |  |
|-------|--|
| 104   | RATED SHAFT ENCLOSURE                                      |
| 111   | OPEN SHAPE   |
| 118   | DRINKING FOUNTAIN, PROVIDE ONE ACCESSIBLE AND ONE STANDARD |
| 123   | MILWORK - SEE INTERIOR DESIGN                              |
| 124   | PRESENTATION AREA - SEE INTERIOR DESIGN                    |
| 125   | DECORATIVE WALL CEILING - SEE INTERIOR DESIGN              |
| 126   | OPEN STAIR WITH ORNAMENTAL RAILINGS - SEE INTERIOR DESIGN  |
| 135   | SEMI RECESSED FIRE EXTINGUISHER CABINET                    |
| 136   | PREFINISHED METAL THROUGH WALL SCUPPER                     |
| 140   | SUPPLY TRUCTURE  |
| GA 02 | GLAZING ASSEMBLY 02 - CURTAIN WALL                         |
| RA 01 | ROOF ASSEMBLY 01 - PRECAST PLANK                           |
| SA 02 | SCREEN ASSEMBLY 02 - ROOF SCREEN                           |
| WA 01 | WALL ASSEMBLY 01 - PRECAST INSULATED WALL PANEL            |
| WA 03 | WALL ASSEMBLY 03 - METAL PANEL W/ CMF BACKUP WALL          |

**GENERAL NOTES**

1. BUILDING SHALL BE CONSTRUCTED TO MEET THE REQUIREMENTS AND QUALITY LEVEL DESCRIBED IN CURRENT HILTON GARDEN INN DESIGN (N/A).
2. VERIFY DIMENSIONS, CONDITIONS AND FINISHES PRIOR TO PRICING OR PROCEEDING WITH WORK.
3. DO NOT SCALE FROM DRAWINGS, BRING ANY DISCREPANCIES TO ARCHITECTS ATTENTION IMMEDIATELY.
4. COORDINATE LOCATIONS AND QUANTITY OF WORK WITH MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS.
5. REFER TO PARTITION SCHEDULE ON G 100 FOR TYPICAL PARTITION TYPES. GUESTROOM CORRIDOR WALLS TO HAVE 12-HOUR FIRE RATING. WALLS SEPARATING ADJACENT GUESTROOMS TO HAVE 1 HOUR FIRE RATING.
6. PIPING, CONDUIT AND RELATED MECHANICAL AND ELECTRICAL ITEMS SHALL BE CONCEALED WITHIN GYPSUM BOARD FURRING IN FINISHED AREAS.
7. PROVIDE METAL PLATE AND/OR WOOD BLOCKING IN ALL WALLS & PARTITIONS IN PUBLIC AND PRIVATE SPACES FOR ALL WALL-MOUNTED EQUIPMENT, INCLUDING BUT NOT LIMITED TO ARTWORK, TELEVISIONS, LIGHT FIXTURES, MIRRORS, AND TOILET ACCESSORIES. VERIFY LOCATION WITH ELEVATIONS AND EQUIPMENT.
8. CONFIRM ALL INTERIOR GUESTROOM WALLS WITH ENLARGED TYPICAL GUESTROOM PLANS. BRING ANY DISCREPANCIES TO ARCHITECTS ATTENTION IMMEDIATELY.
9. LAYOUTS OF FITNESS CENTER AND LAUNDRY ROOM ARE FOR SCHEMATIC PURPOSES ONLY. OWNER, SUPPLIER AND MANUFACTURERS TO COORDINATE FINAL LAYOUT, QUANTITIES, ETC.
10. MILLWORK AND FF&E ITEMS SHOWN FOR REFERENCE. SEE INTERIOR DESIGN DRAWINGS.
11. PROVIDE FURRING PARTITION TYPE G40 AT COLUMN LOCATIONS - TYPICAL.

**NOT FOR CONSTRUCTION**



1 02 SECOND FLOOR PLAN - HOTEL  
3/32" = 1'-0"

Revisions

LUA SUBMITTAL

SCOPE DOCUMENTS  
Drawing Date  
APRIL 12, 2019

UW CAMPUS HOTEL

780 Regent Street  
Madison, WI 53715

Project No. Mortenson  
218051

Sheet Title  
LEVEL 2 PLAN - HOTEL

Copyright © 2019 Kahler Slater, Inc. All rights reserved.  
111 West Wisconsin Avenue, Milwaukee, Wisconsin 53203  
Telephone 414.272.2000 Fax 414.272.2001  
44 East Millin Street, Suite 700, Madison, Wisconsin 53703  
Telephone 608.283.6300 Fax 608.283.6317

Sheet No.  
A103

NOT FOR CONSTRUCTION

| PARKING       | COUNT      | PERCENT     |
|---------------|------------|-------------|
| REGULAR       | 175        | 73%         |
| COMPACT       | 60         | 25%         |
| ADA           | 02         | 1%          |
| VAN ADA       | 02         | 1%          |
| <b>TOTAL:</b> | <b>239</b> | <b>100%</b> |

PARKING TOTALS  
BIKE PARKING AREAS: 18 SPACES AVAILABLE

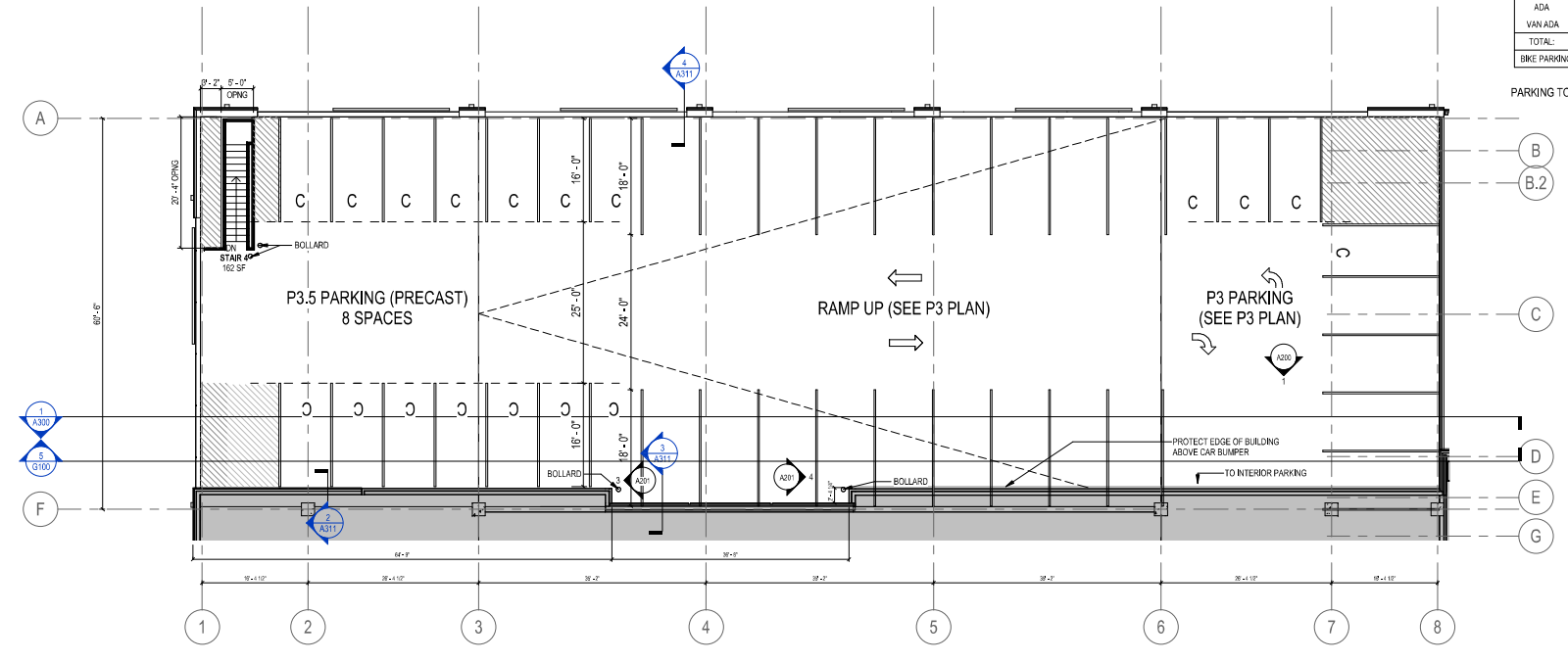
**PLAN LEGEND**

- ALIGN
- FLOOR DRAIN
- FEC
- FIRE EXTINGUISHER CABINET (FEC)
- FIRE EXTINGUISHER (FE)
- INDICATES HEARING IMPAIRED GUESTROOM
- INDICATES ACCESSIBLE GUESTROOM

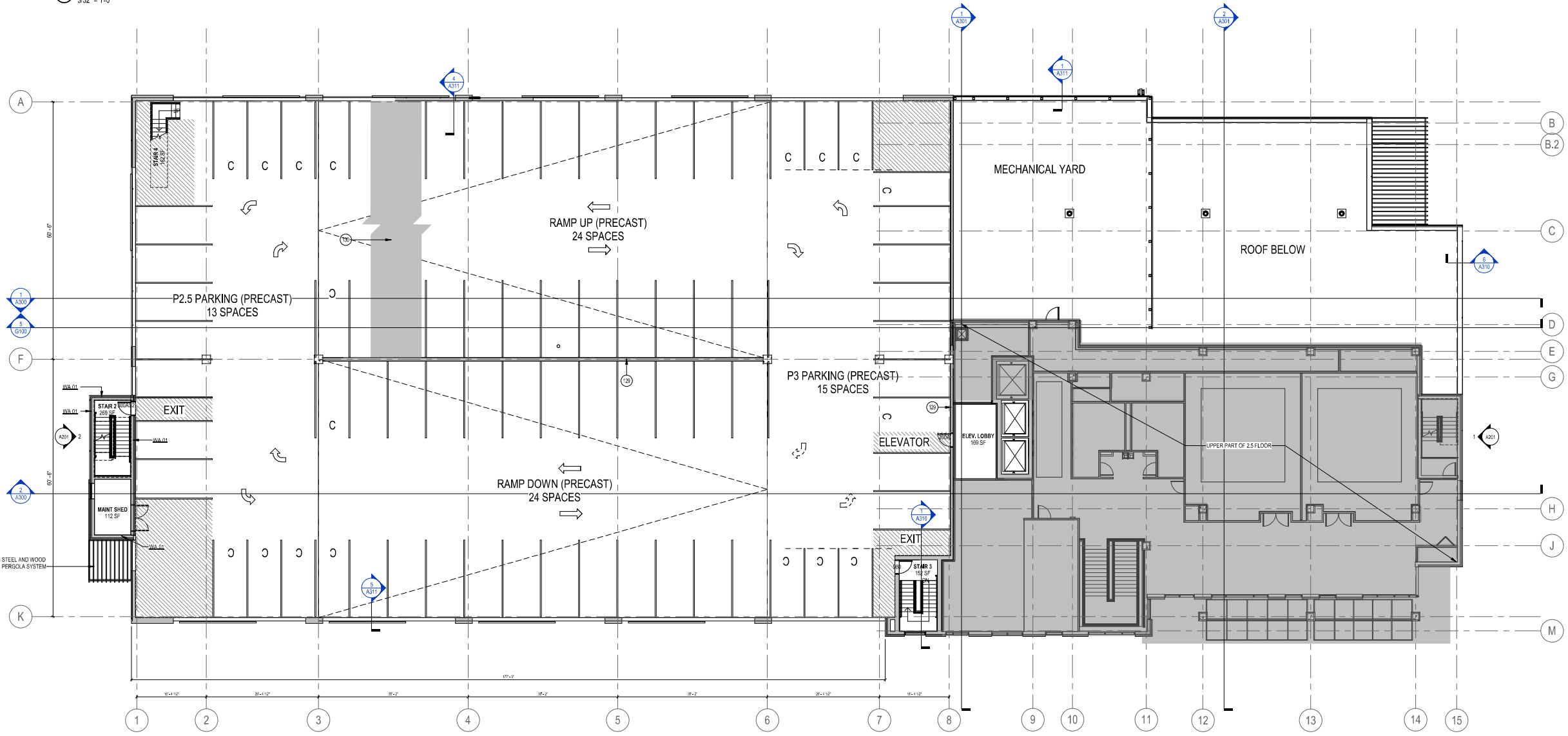
- GENERAL NOTES**
- BUILDING SHALL BE CONSTRUCTED TO MEET THE REQUIREMENTS AND QUALITY LEVEL DESCRIBED IN CURRENT HILTON GARDEN INN DESIGN L&D.
  - VERIFY DIMENSIONS, CONDITIONS AND FINISHES PRIOR TO PRICING OR PROCEEDING WITH WORK.
  - DO NOT SCALE FROM DRAWINGS. BRING ANY DISCREPANCIES TO ARCHITECTS ATTENTION IMMEDIATELY.
  - COORDINATE LOCATIONS AND QUANTITY OF WORK WITH MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS.
  - REFER TO PARTITION SCHEDULE ON G100 FOR TYPICAL PARTITION TYPES. GUESTROOM CORRIDOR WALLS TO HAVE 12 HOUR FIRE RATING. WALLS SEPARATING ADJACENT GUESTROOMS TO HAVE 1 HOUR FIRE RATING.
  - PIPING, CONDUIT AND RELATED MECHANICAL AND ELECTRICAL ITEMS SHALL BE CONCEALED WITHIN GYPSUM BOARD FLOORING IN FINISHED AREAS.
  - PROVIDE METAL PLATE AND OR WOOD BLOCKING IN ALL WALLS & PARTITIONS IN PUBLIC AND PRIVATE SPACES FOR ALL WALL-MOUNTED EQUIPMENT INCLUDING BUT NOT LIMITED TO: ARTWORK, TELEVISIONS, LIGHT FIXTURES, MIRRORS, AND TOILET ACCESSORIES. VERIFY LOCATION WITH ELEVATIONS AND EQUIPMENT.
  - CONFIRM ALL INTERIOR GUESTROOM WALLS WITH ENLARGED TYPICAL GUESTROOM PLANS. BRING ANY DISCREPANCIES TO ARCHITECTS ATTENTION IMMEDIATELY.
  - LAYOUTS OF FITNESS CENTER AND LAUNDRY ROOM ARE FOR SCHEMATIC PURPOSES ONLY. OWNER, SUPPLIER AND MANUFACTURERS TO COORDINATE FINAL LAYOUT, QUANTITIES, ETC.
  - MILLWORK AND FF&E ITEMS SHOWN FOR REFERENCE. SEE INTERIOR DESIGN DRAWINGS.
  - PROVIDE FLOORING PARTITION TYPE GAD AT COLUMN LOCATIONS - TYPICAL.

**KEYNOTES**

|         |  |
|---------|--|
| T20     | PRECAST STITCH/SHEAR WALL                                |
| T30     | PRECAST DOUBLE TEES - RAMP DOWN TO FOUNDATION WALL BELOW |
| BOLLARD |  |
| WA 01   | WALL ASSEMBLY 01 - PRECAST INSULATED WALL PANEL          |



2 P3.5 PARKING PLAN  
3/32" = 1'-0"



1 P3 PARKING PLAN  
3/32" = 1'-0"

Revisions

---

LUA SUBMITTAL

---

SCOPE DOCUMENTS  
Drawing Date  
APRIL 12, 2019

---

UW CAMPUS HOTEL

---

780 Regent Street  
Madison, WI 53715

---

Project No. Mortenson  
218051

---

Sheet Title  
**LEVEL P3 AND P3.5  
PLAN - PARKING**

---

Copyright © 2019 Kahler Slater, Inc. All rights reserved.  
111 West Wisconsin Avenue, Milwaukee, Wisconsin 53203  
Telephone 414.272.2000 Fax 414.272.2001  
44 East Mifflin Street, Suite 700, Madison, Wisconsin 53703  
Telephone 608.283.6300 Fax 608.283.6317

---

Sheet No.  
**A104**



| UNIT TYPE    | COUNT      | PERCENT     |
|--------------|------------|-------------|
| DO           | 72         | 41%         |
| DO-ADA       | 02         | 01%         |
| K            | 88         | 50%         |
| K-ADA        | 04         | 02%         |
| PK           | 08         | 5%          |
| PK-ADA       | 02         | 01%         |
| <b>TOTAL</b> | <b>176</b> | <b>100%</b> |

UNIT TOTALS

**PLAN LEGEND**

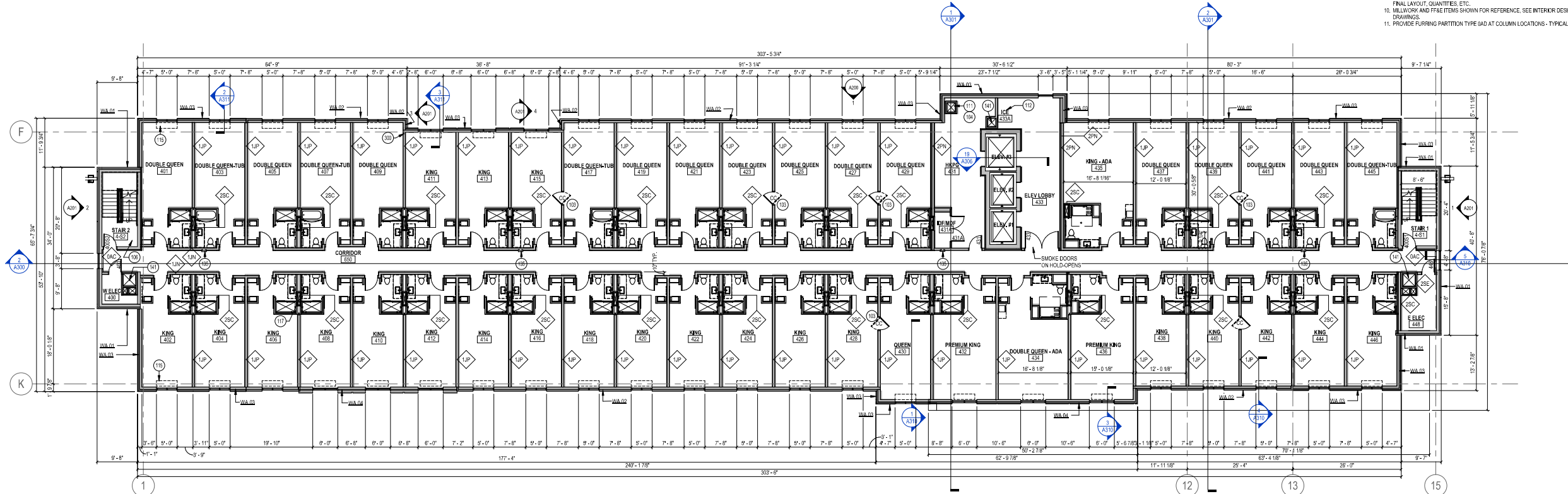
- ALIGN → ALIGN FACE OF WALLS
- FLOOR DRAIN
- FEC FIRE EXTINGUISHER CABINET (FEC)
- FE FIRE EXTINGUISHER (FE)
- INDICATES HEARING IMPAIRED GUESTROOM
- INDICATES ACCESSIBLE GUESTROOM

**KEYNOTES**

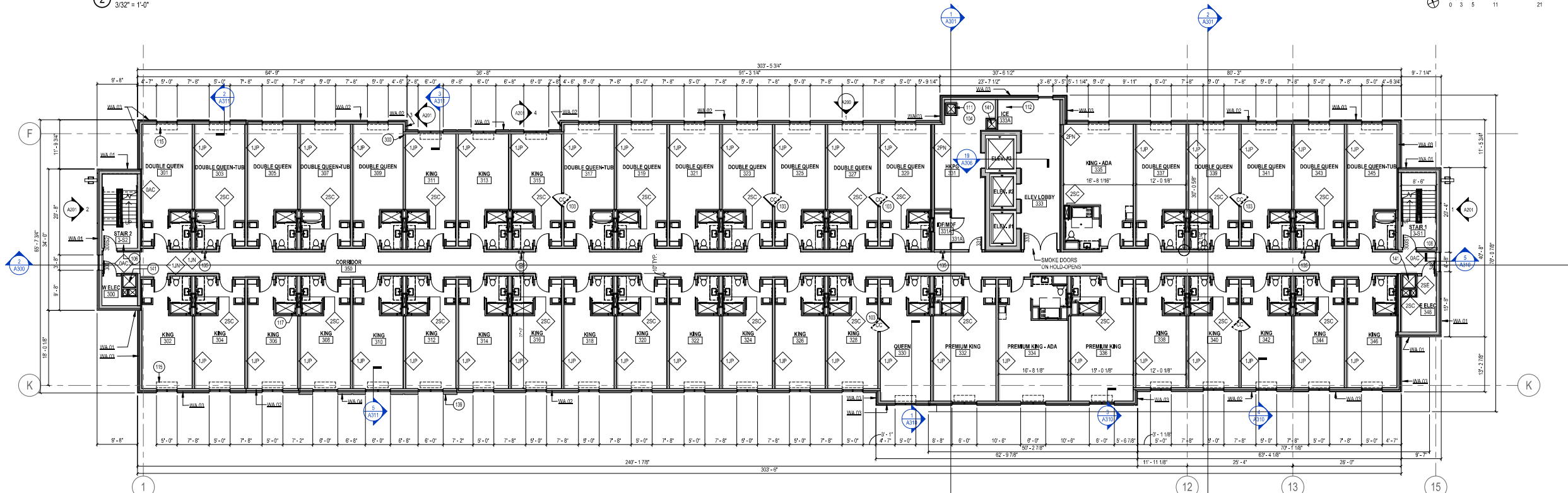
- 103 ADJOINING ROOM DOUBLE DOOR - SEE PLAN FOR LOCATIONS
- 104 RATED SHAFT ENCLOSURE
- 105 RATED STAIR SHAFT ENCLOSURE
- 111 IRON SHUTE
- 112 ICE MACHINE BY OTHERS
- 115 PTAC UNIT, TYPICAL EACH GUESTROOM
- 117 PROVIDE GLASS MAT SHAFT LINER AT ALL SUBDUCT SHAFTS TYPICAL
- 135 SUSPENDED ACCESSIBLE FIRE EXTINGUISHER CABINET
- 139 PREFINISHED METAL KNIFE EDGE CAP ALL EDGES
- 141 MECHANICAL SHAFT
- 300 COLD FORM METAL FRAMING TO ALIGN WITH EXTERIOR WALL, COORDINATE WITH GYPSUM BOARD
- WA.01 WALL ASSEMBLY 01 - PRECAST INSULATED WALL PANEL
- WA.02 WALL ASSEMBLY 02 - EHS W/ CMF BACKUP WALL
- WA.03 WALL ASSEMBLY 03 - METAL PANEL W/ CMF BACKUP WALL
- WA.04 WALL ASSEMBLY 04 - METAL PANEL W/ CMF BACKUP WALL

**GENERAL NOTES**

1. BUILDING SHALL BE CONSTRUCTED TO MEET THE REQUIREMENTS AND QUALITY LEVEL DESCRIBED IN CURRENT HILTON GARDEN INN DESIGN U.I.O.
2. VERIFY DIMENSIONS, CONDITIONS AND FINISHES PRIOR TO PRICING OR PROCEEDING WITH WORK.
3. DO NOT SCALE FROM DRAWINGS. BRING ANY DISCREPANCIES TO ARCHITECTS ATTENTION IMMEDIATELY.
4. COORDINATE LOCATIONS AND QUANTITY OF WORK WITH MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS.
5. REFER TO PARTITION SCHEDULE ON G160 FOR TYPICAL PARTITION TYPES. GUESTROOM CORRIDOR WALLS TO HAVE 1 HOUR FIRE RATING. WALLS SEPARATING ADJACENT GUESTROOMS TO HAVE 1 HOUR FIRE RATING.
6. PIPING, CONDUIT AND RELATED MECHANICAL AND ELECTRICAL ITEMS SHALL BE CONCEALED WITHIN GYPSUM BOARD FURRING IN FINISHED AREAS.
7. PROVIDE METAL PLATE AND/OR WOOD BLOCKING IN ALL WALLS & PARTITIONS IN PUBLIC AND PRIVATE SPACES FOR ALL WALL-MOUNTED EQUIPMENT INCLUDING BUT NOT LIMITED TO ARTWORK, TELEVISIONS, LIGHT FIXTURES, MIRRORS, AND TOILET ACCESSORIES. VERIFY LOCATION WITH ELEVATIONS AND EQUIPMENT.
8. CONTROL ALL INTERIOR GUESTROOM WALLS WITH ENLARGED TYPICAL GUESTROOM PLANS. BRING ANY DISCREPANCIES TO ARCHITECTS ATTENTION IMMEDIATELY.
9. LAYOUTS OF FITNESS CENTER AND LAUNDRY ROOM ARE FOR SCHEMATIC PURPOSES ONLY. OWNER, SUPPLIER AND MANUFACTURERS TO COORDINATE FINAL LAYOUT, QUANTITIES, ETC.
10. MILLWORK AND FF&E ITEMS SHOWN FOR REFERENCE. SEE INTERIOR DESIGN DRAWINGS.
11. PROVIDE FURRING PARTITION TYPE 040 AT COLUMN LOCATIONS - TYPICAL.



04 FOURTH - 06 SIXTH FLOOR PLANS  
3/32" = 1'-0"



03 THIRD FLOOR PLAN (TYPICAL)  
3/32" = 1'-0"

NOT FOR CONSTRUCTION

Revisions

LUA SUBMITTAL

SCOPE DOCUMENTS

Drawing Date  
APRIL 12, 2019

UW CAMPUS HOTEL

780 Regent Street  
Madison, WI 53715

Project No. Mortenson  
218051

Sheet Title  
LEVEL 3 & 4 PLAN

Copyright © 2019 Kahler Slater, Inc. All rights reserved.  
111 West Wisconsin Avenue, Milwaukee, Wisconsin 53203  
Telephone 414.272.2000 Fax 414.272.2001  
44 East Mifflin Street, Suite 700, Madison, Wisconsin 53703  
Telephone 608.283.8300 Fax 608.283.8317

Sheet No.  
A106

| UNIT TYPE    | COUNT      | PERCENT     |
|--------------|------------|-------------|
| DQ           | 72         | 41%         |
| DO-ADA       | 02         | 01%         |
| K            | 88         | 50%         |
| K-ADA        | 04         | 02%         |
| PK           | 08         | 5%          |
| PK-ADA       | 02         | 01%         |
| <b>TOTAL</b> | <b>176</b> | <b>100%</b> |

UNIT TOTALS

**PLAN LEGEND**

- ALIGN
- FLOOR DRAIN
- FEC
- FIRE EXTINGUISHER CABINET (FEC)
- FE
- FIRE EXTINGUISHER (FE)
- INDICATES HEARING IMPAIRED GUESTROOM
- INDICATES ACCESSIBLE GUESTROOM

**KEYNOTES**

- K103 ADJOINING ROOM DOUBLE DOOR- SEE PLAN FOR LOCATIONS
- K104 RATED STAIR ENCLOSURE
- K105 RATED STAIR SHAFT ENCLOSURE
- K106 SHIP'S LADDER
- K107 ICE MACHINE, BY OTHERS
- K108 PTAC UNIT, TYPICAL, EACH GUESTROOM
- K109 PROVIDE GLASS MAT SHAFTLINER AT ALL SUBJECT SHAFTS TYPICAL
- K110 SEMI RECESSED FIRE EXTINGUISHER CABINET
- K111 MECHANICAL SHAFT
- K300 COLD FORM METAL FRAMING TO ALIGN WITH EXTERIOR WALL, COORDINATE WITH GYPSUM BOARD
- K117 PROVIDE GLASS MAT SHAFTLINER AT ALL SUBJECT SHAFTS TYPICAL
- WA01 WALL ASSEMBLY 01- PRECAST INSULATED WALL PANEL
- WA02 WALL ASSEMBLY 02- EPS W/CFM BACKUP WALL
- WA03 WALL ASSEMBLY 03- METAL PANEL W/CFM BACKUP WALL
- WA04 WALL ASSEMBLY 04- METAL PANEL W/CFM BACKUP WALL

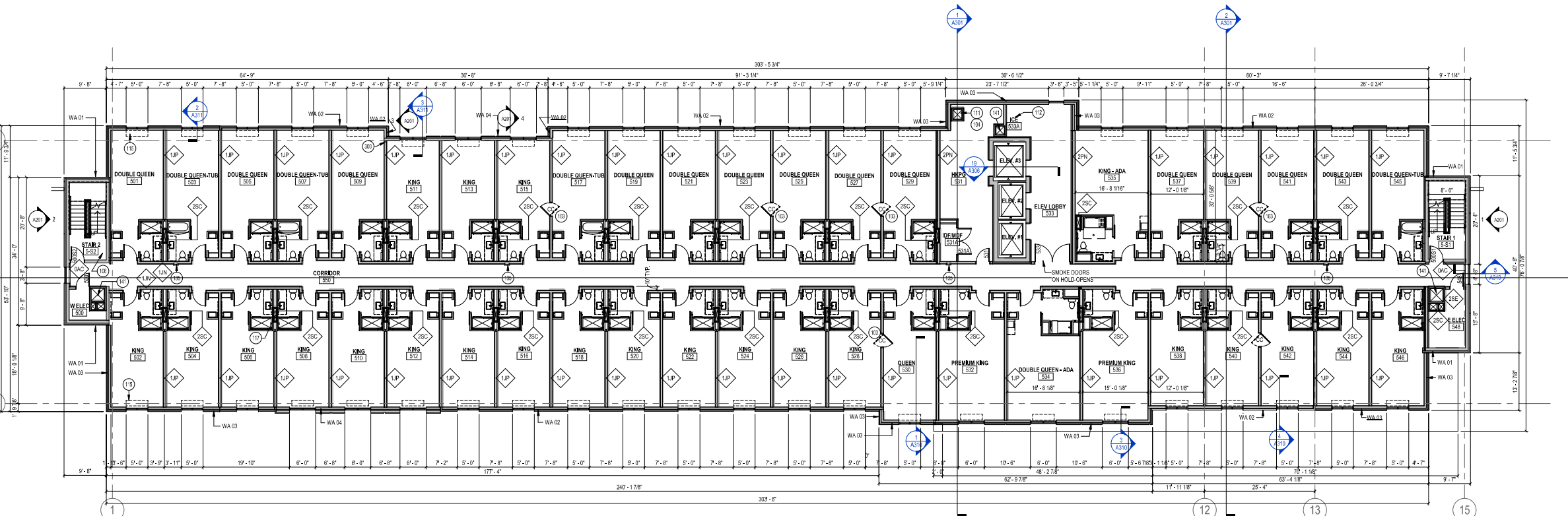
**GENERAL NOTES**

1. BUILDING SHALL BE CONSTRUCTED TO MEET THE REQUIREMENTS AND QUALITY LEVEL DESCRIBED IN CURRENT HILTON GARDEN INN DESIGN U.N.O.
2. VERIFY DIMENSIONS, CONDITIONS AND FINISHES PRIOR TO PROCEEDING OR PROCEEDING WITH WORK.
3. DO NOT SCALE FROM DRAWINGS, BRING ANY DISCREPANCIES TO ARCHITECTS ATTENTION IMMEDIATELY.
4. COORDINATE LOCATIONS AND QUANTITY OF WORK WITH MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS.
5. REFER TO PARTITION SCHEDULE ON G100 FOR TYPICAL PARTITION TYPES. GUESTROOM CORRIDOR WALLS TO HAVE 1/2 HOUR FIRE RATING. WALLS SEPARATING ADJACENT GUESTROOMS TO HAVE 1 HOUR FIRE RATING. PRING CONDUIT AND RELATED MECHANICAL AND ELECTRICAL ITEMS SHALL BE CONCEALED WITHIN GYPSUM BOARD FURRING IN FINISHED AREAS.
6. PROVIDE METAL PLATE AND/OR WOOD BLOCKS IN ALL WALLS & PARTITIONS IN PUBLIC AND PRIVATE SPACES FOR ALL WALL-MOUNTED EQUIPMENT, INCLUDING BUT NOT LIMITED TO: ARTWORK, TELEVISIONS, LIGHT FIXTURES, MIRRORS, AND TOILET ACCESSORIES. VERIFY LOCATION WITH ELEVATIONS AND EQUIPMENT.
7. CONFIRM ALL INTERIOR GUESTROOM WALLS WITH ENLARGED TYPICAL GUESTROOM PLANS. BRING ANY DISCREPANCIES TO ARCHITECTS ATTENTION IMMEDIATELY.
8. LAYOUTS OF FITNESS CENTER AND LAUNDRY ROOM ARE FOR SCHEMATIC PURPOSES ONLY. OWNER, SUPPLIER AND MANUFACTURERS TO COORDINATE FINAL LAYOUT, QUANTITIES, ETC.
9. MILLWORK AND FFE ITEMS SHOWN FOR REFERENCE. SEE INTERIOR DESIGN DRAWINGS.
10. PROVIDE FURRING PARTITION TYPE 040 AT COLUMN LOCATIONS - TYPICAL.

NOT FOR CONSTRUCTION

Revisions

06 SIXTH FLOOR PLAN  
3/32" = 1'-0"



05 FIFTH FLOOR PLAN  
3/32" = 1'-0"

LUA SUBMITTAL

SCOPE DOCUMENTS

Drawing Date  
APRIL 12, 2019

UW CAMPUS HOTEL

780 Regent Street  
Madison, WI 53715

Project No. Mortenson  
218051

Sheet Title  
LEVEL 5 & 6 PLAN

Copyright © 2019 Kahler Slater, Inc. All rights reserved.  
111 West Wisconsin Avenue, Milwaukee, Wisconsin 53203  
Telephone 414.272.2000 Fax 414.272.2001  
44 East Millin Street, Suite 700, Madison, Wisconsin 53703  
Telephone 608.283.6300 Fax 608.283.6317

Sheet No.  
A107

**PLAN LEGEND**

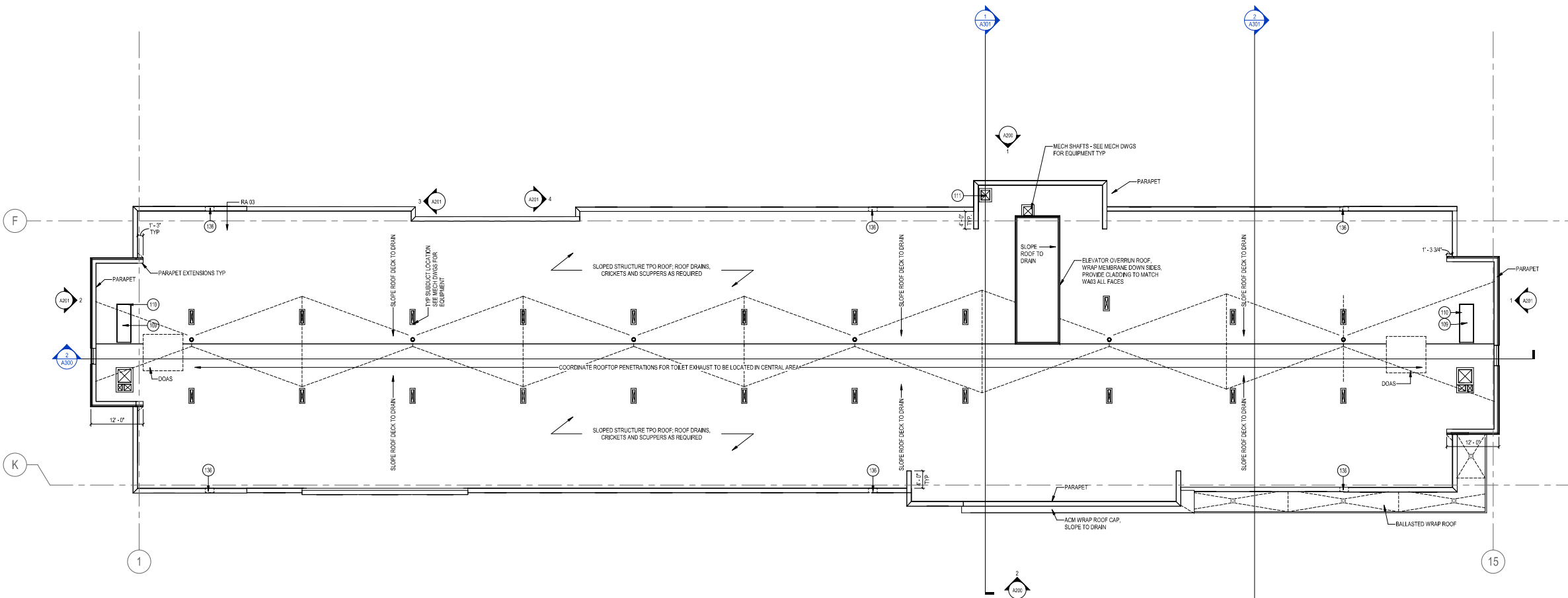
- ALIGN ↓ ALIGN FACE OF WALLS
- <sup>FD</sup> FLOOR DRAIN
- FEC □ FIRE EXTINGUISHER CABINET (FEC)
- FE ○ FIRE EXTINGUISHER (FE)
- ⊗ INDICATES HEARING IMPAIRED GUESTROOM
- ⊕ INDICATES ACCESSIBLE GUESTROOM

**KEYNOTES**

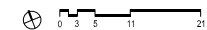
|       |  |
|-------|--|
| 109   | SHIPS LADDER                           |
| 110   | ROOF ACCESS HATCH                      |
| 111   | LINEN SHUTE                            |
| 136   | PREFINISHED METAL THROUGH WALL SCUPPER |
| RA 03 | BALLASTED TPO                          |

**GENERAL NOTES**

1. ALL ROOF SURFACES TO SLOPE 1/4" PER FOOT MIN. UNLESS NOTED OTHERWISE.
2. ALL HP ELEVATIONS APPROXIMATE & RELATIVE TO ROOF DRAINS.
3. PROVIDE SMOOLES CRICKETS OF TAPERED INSULATION TO CREATE POSITIVE DRAINAGE AROUND OBSTRUCTIONS TO ROOF DRAINS.
4. NOT ALL ROOF MOUNTED EQUIPMENT SHOWN. EQUIPMENT LOCATIONS SHOWN ARE APPROXIMATE COORDINATE WITH MEP DRAWINGS.
5. SEE EXTERIOR ASSEMBLIES FOR ROOF AND WALL ASSEMBLIES.



1 07 ROOF PLAN  
3/32" = 1'-0"



NOT FOR CONSTRUCTION

Revisions

LUA SUBMITTAL

SCOPE DOCUMENTS

Drawing Date  
APRIL 12, 2019

UW CAMPUS HOTEL

780 Regent Street  
Madison, WI 53715

Project No. Mortenson  
218051

Sheet Title

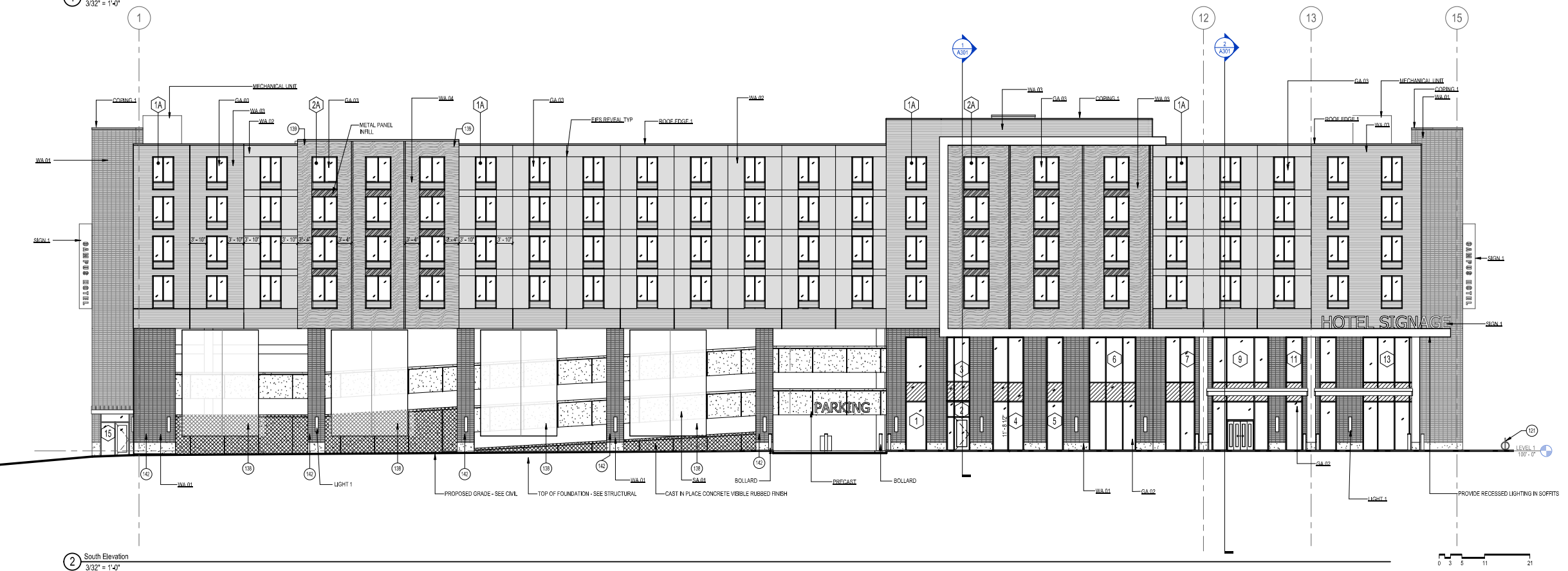
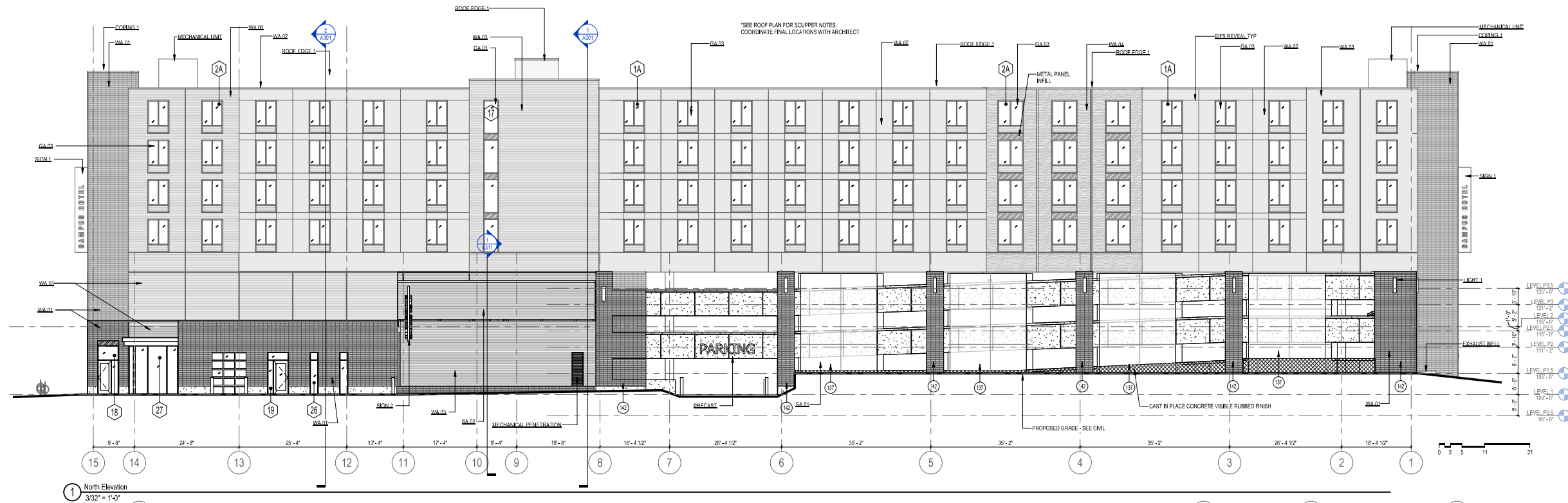
LEVEL 7 - ROOF PLAN

Copyright © 2019 Kahler Slater, Inc. All rights reserved.  
111 West Wisconsin Avenue, Milwaukee, Wisconsin 53203  
Telephone 414.272.2000 Fax 414.272.2001  
44 East Millin Street, Suite 700, Madison, Wisconsin 53703  
Telephone 608.283.6300 Fax 608.283.6317

Sheet No.  
A108

| KEYNOTES |   |
|----------|---|
| 121      | BIKE RACK                                       |
| 137      | MESH PANEL WITH SUPER GRAPHIC                   |
| 138      | MESH PANEL                                      |
| 139      | PREFINISHED METAL KNIFE EDGE CAP ALL EDGES      |
| 142      | ALL WALLMINS TO MATCH WAST FINISH OUTER 3 FACES |
| BOLLARD  |   |
| COPING 1 | PREFINISHED METAL COPING                        |
| GA 01    | GLAZING ASSEMBLY 01 - STOREFRONT                |
| GA 02    | GLAZING ASSEMBLY 02 - CURTAINWALL               |
| GA 03    | GLAZING ASSEMBLY 03 - ALUMINUM WINDOW           |
| LIGHT 1  | ARCHITECTURAL LIGHTING                          |

| KEYNOTES               |   |
|------------------------|---|
| MECHANICAL PENETRATION | PENETRATIONS SHOWN FOR REFERENCE - SEE MECHANICAL FOR SIZE AND LOCATION |
| PRECAST                | STRUCTURAL PRECAST CONCRETE WITH AN ARCHITECTURAL FINISH                |
| ROOF EDGE 1            | PREFINISHED METAL ROOF EDGE   |
| SA 01                  | SCREEN ASSEMBLY 01 - PARKING SCREEN                                     |
| SA 02                  | SCREEN ASSEMBLY 02 - ROOF SCREEN  |
| SIGN 1                 | INTERNALLY ILLUMINATED SIGN   |
| SIGN 2                 | INTERNALLY ILLUMINATED SIGN   |
| WA 01                  | WALL ASSEMBLY 01 - PRECAST INSULATED WALL PANEL                         |
| WA 02                  | WALL ASSEMBLY 02 - EIFS W/ CFMF BACKUP WALL                             |
| WA 03                  | WALL ASSEMBLY 03 - METAL PANEL W/ CFMF BACKUP WALL                      |
| WA 04                  | WALL ASSEMBLY 04 - METAL PANEL W/ CFMF BACKUP WALL                      |



NOT FOR CONSTRUCTION

Revisions

LUA SUBMITTAL

SCOPE DOCUMENTS  
Drawing Date  
APRIL 12, 2019

UW CAMPUS HOTEL

780 Regent Street  
Madison, WI 53715

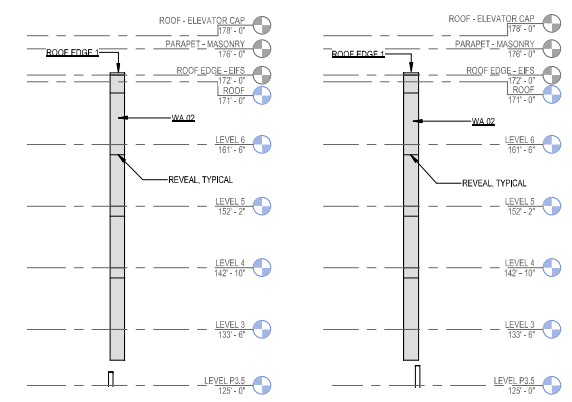
Project No. Mortenson  
218051

Sheet Title  
EXTERIOR ELEVATIONS

Copyright © 2019 Kahler Slater, Inc. All rights reserved.  
111 West Wisconsin Avenue, Milwaukee, Wisconsin 53203  
Telephone 414.272.2000 Fax 414.272.2001  
44 East Mifflin Street, Suite 700, Madison, Wisconsin 53703  
Telephone 608.283.6300 Fax 608.283.6317

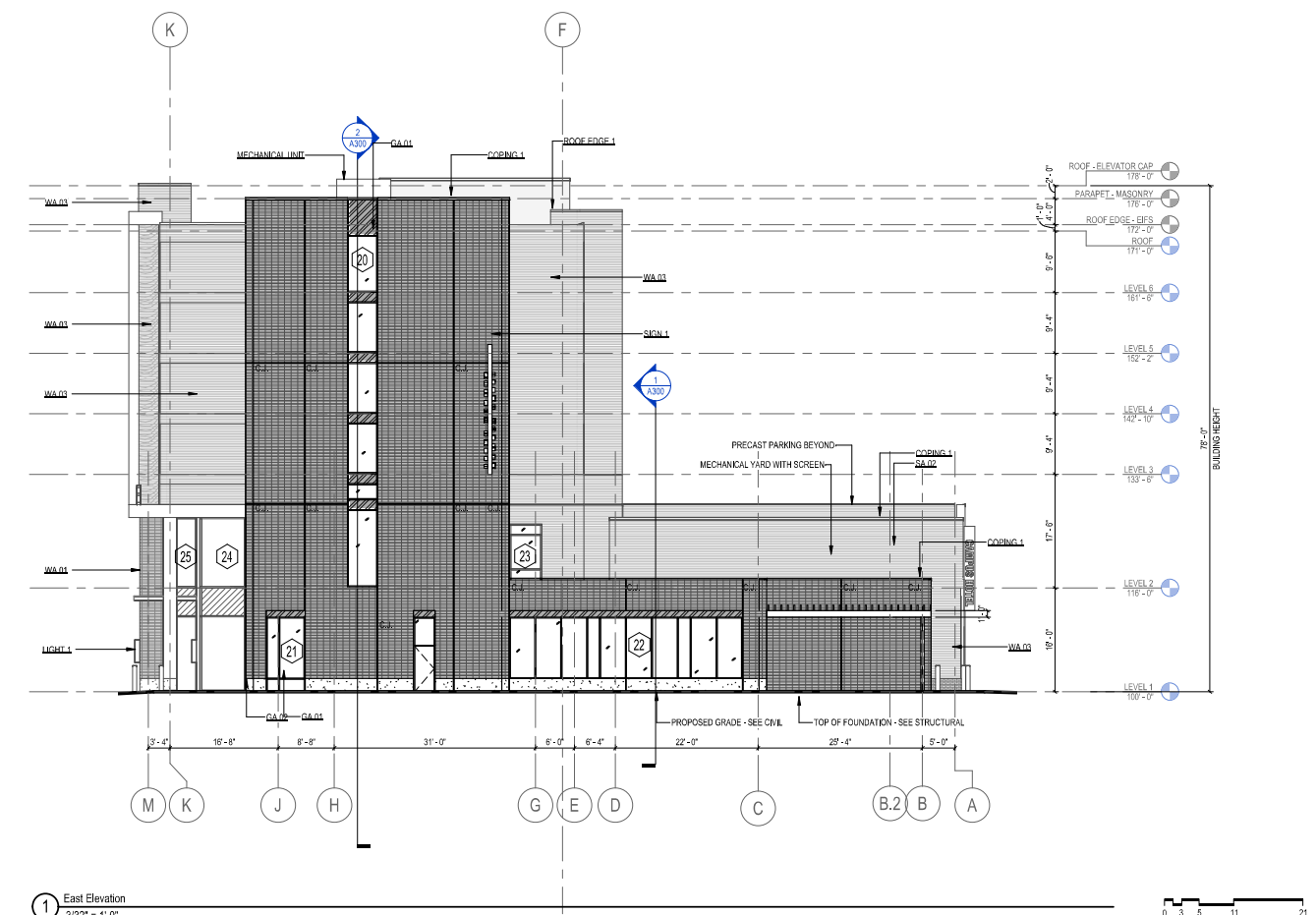
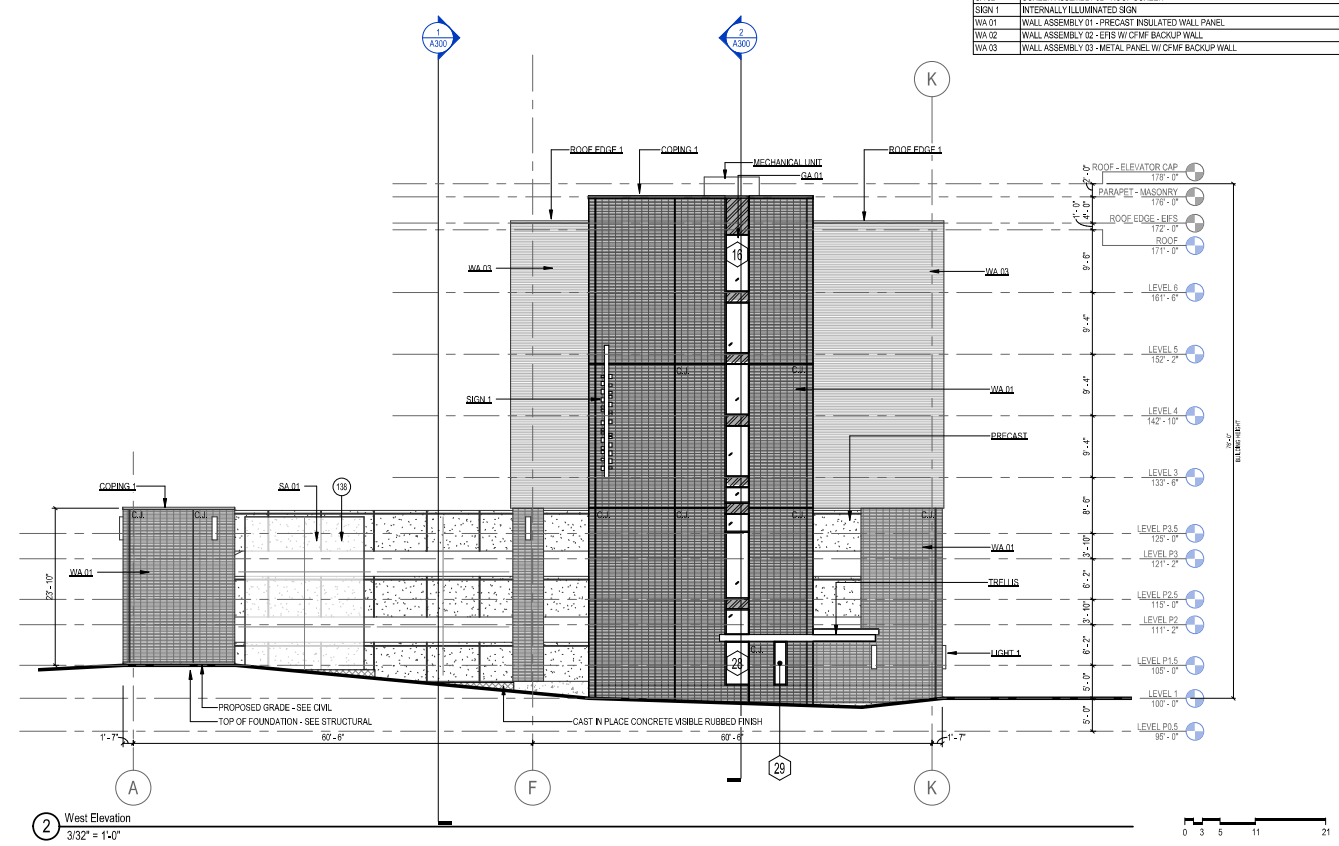
Sheet No.  
A200

| KEYNOTES    |  |
|-------------|--|
| 138         | MESH PANEL   |
| COPING 1    | PREFINISHED METAL COPING                                 |
| GA 01       | GLAZING ASSEMBLY 01 - STOREFRONT                         |
| GA 02       | GLAZING ASSEMBLY 02 - CURTAINWALL                        |
| LIGHT 1     | ARCHITECTURAL LIGHTING                                   |
| PRECAST     | STRUCTURAL PRECAST CONCRETE WITH AN ARCHITECTURAL FINISH |
| ROOF EDGE 1 | PREFINISHED METAL ROOF EDGE                              |
| SA 01       | SCREEN ASSEMBLY 01 - PARKING SCREEN                      |
| SA 02       | SCREEN ASSEMBLY 02 - ROOF SCREEN                         |
| SKIN 1      | INTERNALLY ILLUMINATED SKIN                              |
| WA 01       | WALL ASSEMBLY 01 - PRECAST INSULATED WALL PANEL          |
| WA 02       | WALL ASSEMBLY 02 - EPS W/ CFM BACKUP WALL                |
| WA 03       | WALL ASSEMBLY 03 - METAL PANEL W/ CFM BACKUP WALL        |



4 PARTIAL ELEVATION - EAST  
3/32" = 1/4"

3 PARTIAL ELEVATION - WEST  
3/32" = 1/4"



NOT FOR CONSTRUCTION

Revisions

LUA SUBMITTAL

SCOPE DOCUMENTS  
Drawing Date  
APRIL 12, 2019

UW CAMPUS HOTEL

780 Regent Street  
Madison, WI 53715

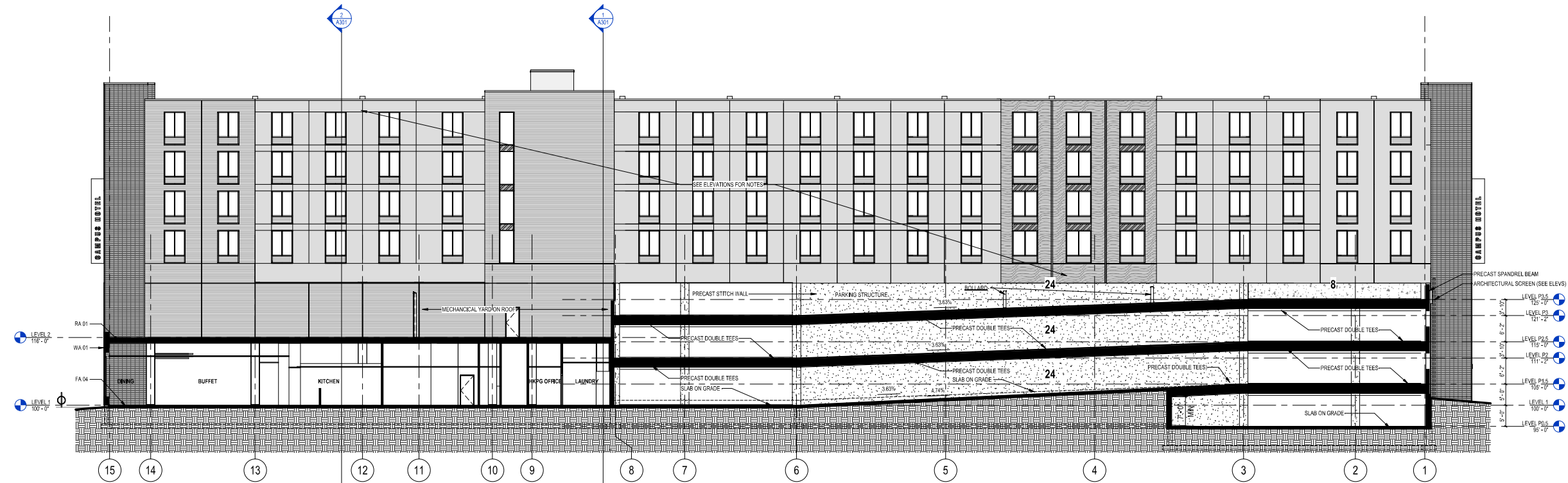
Project No. Mortenson  
218051

Sheet Title  
EXTERIOR ELEVATIONS

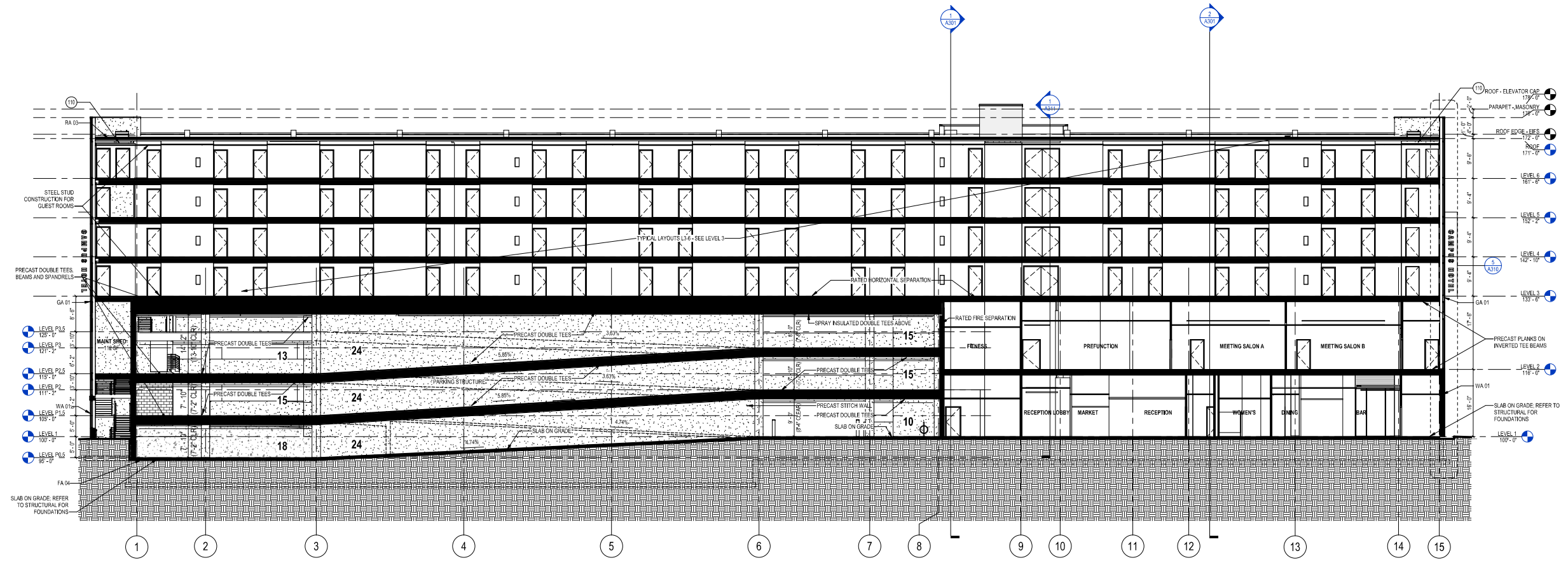
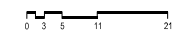
Copyright © 2019 Kahler Slater, Inc. All rights reserved.  
111 West Wisconsin Avenue, Milwaukee, Wisconsin 53203  
Telephone 414.272.2000 Fax 414.272.2001  
44 East Millin Street, Suite 700, Madison, Wisconsin 53703  
Telephone 608.283.6300 Fax 608.283.6317

Sheet No.  
A201

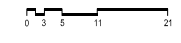
| KEYNOTES |   |
|----------|---|
| T10      | ROOF ACCESS HATCH                               |
| BOLLARD  |   |
| FA 04    | FLOOR ASSEMBLY 04 - SLAB ON GRADE               |
| GA 01    | GLAZING ASSEMBLY 01 - STOREFRONT                |
| RA 01    | ROOF ASSEMBLY 01 - PRECAST FLANK                |
| RA 03    | BALLASTED TPO                                   |
| WA 01    | WALL ASSEMBLY 01 - PRECAST INSULATED WALL PANEL |



1 LONGITUDINAL SECTION - GRID D  
3/32" = 1'-0"



2 LONGITUDINAL SECTION - GRID H  
3/32" = 1'-0"



NOT FOR CONSTRUCTION

Revisions

LUA SUBMITTAL

SCOPE DOCUMENTS

Drawing Date  
APRIL 12, 2019

UW CAMPUS HOTEL

780 Regent Street  
Madison, WI 53715

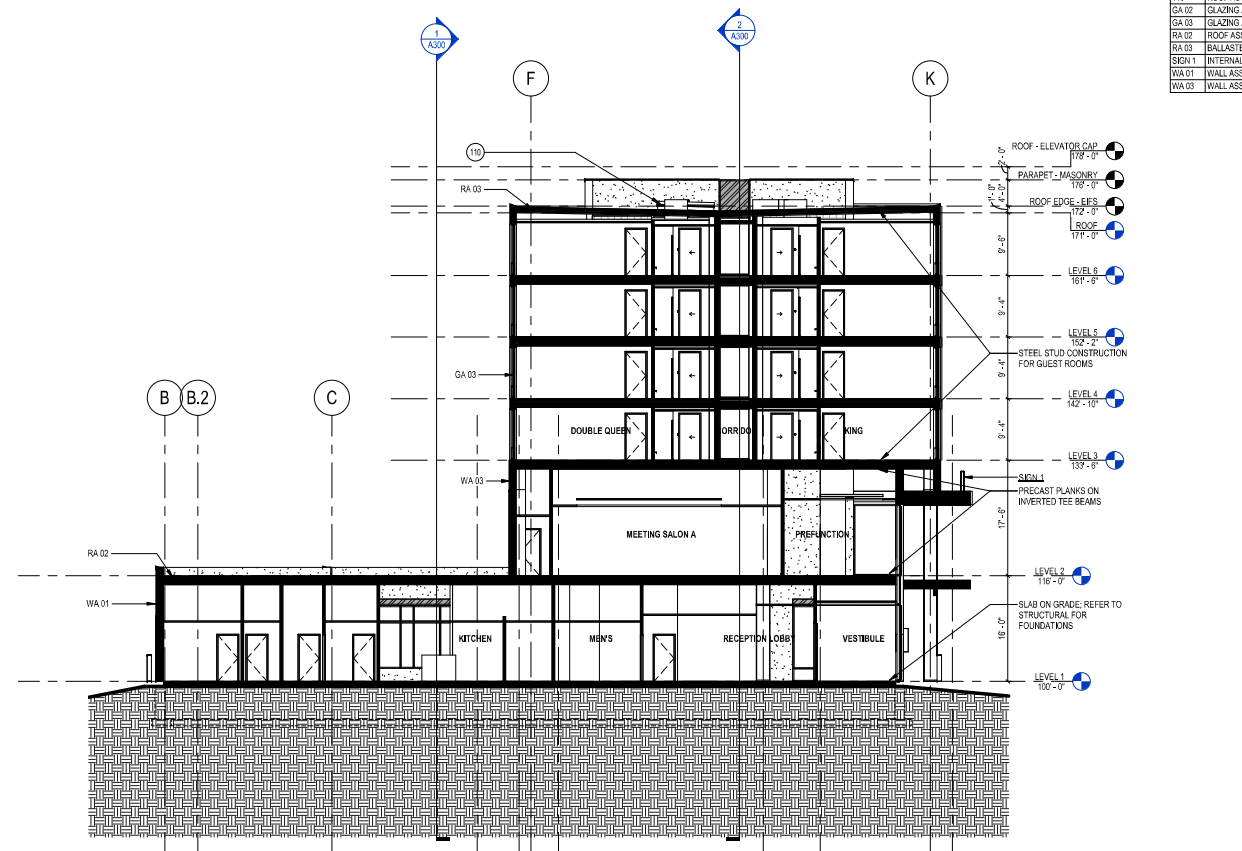
Project No. Mortenson  
218051

Sheet Title  
BUILDING SECTIONS

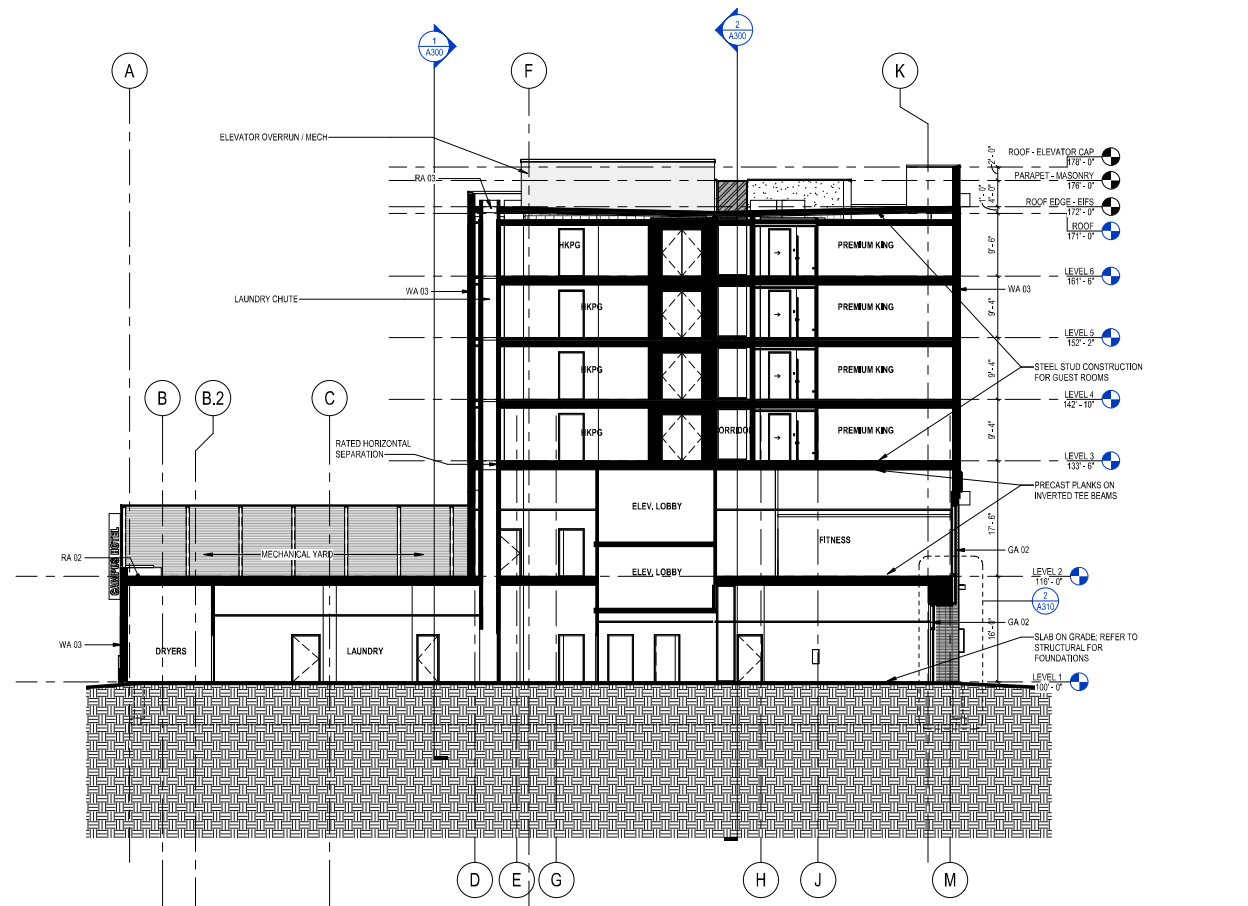
Copyright © 2019 Kahler Slater, Inc. All rights reserved.  
111 West Wisconsin Avenue, Milwaukee, Wisconsin 53203  
Telephone 414.272.2000 Fax 414.272.2001  
44 East Mifflin Street, Suite 700, Madison, Wisconsin 53703  
Telephone 608.283.6300 Fax 608.283.6317

Sheet No.  
A300

| KEYNOTES |  |
|----------|--|
| 110      | ROOF ACCESS HATCH                                  |
| GA 02    | GLAZING ASSEMBLY 02 - CURTAIN WALL                 |
| GA 03    | GLAZING ASSEMBLY 03 - ALUMINUM WINDOW              |
| RA 02    | ROOF ASSEMBLY 02 - SLOPED METAL DECK               |
| RA 03    | BALLASTED TPO                                      |
| SKN 1    | INTERNALLY ILLUMINATED SKIN                        |
| WA 01    | WALL ASSEMBLY 01 - PRECAST INSULATED WALL PANEL    |
| WA 03    | WALL ASSEMBLY 03 - METAL PANEL W/ CFMF BACKUP WALL |



② TRANSVERSE SECTION - GRID 12  
3/32" = 1'-0"



① TRANSVERSE SECTION - GRID 8  
3/32" = 1'-0"



NOT FOR CONSTRUCTION

Revisions

LUA SUBMITTAL

SCOPE DOCUMENTS

Drawing Date  
APRIL 12, 2019

UW CAMPUS HOTEL

780 Regent Street  
Madison, WI 53715

Project No. Mortenson  
218051

Sheet Title  
BUILDING SECTIONS

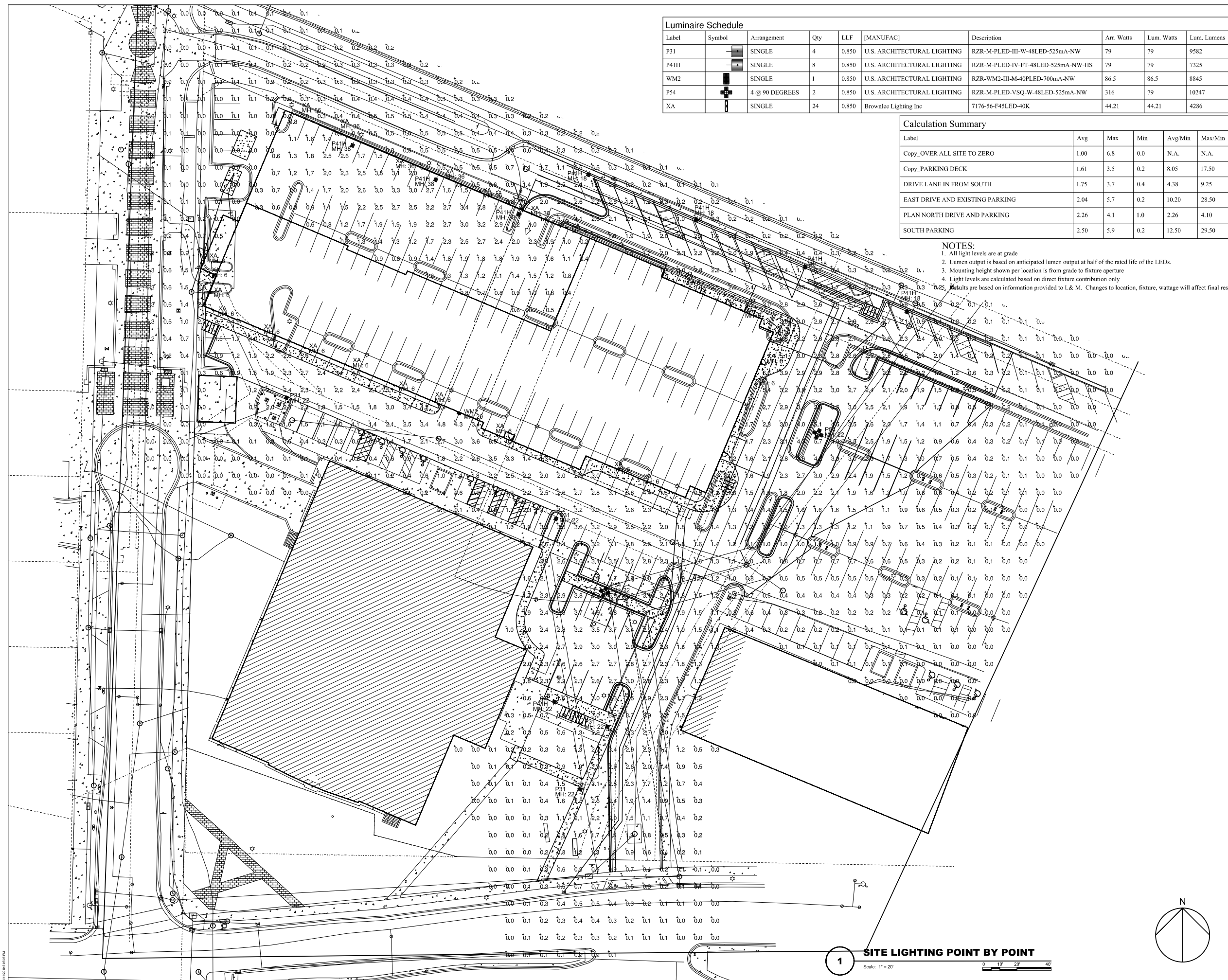
Copyright © 2019 Kahler Slater, Inc. All rights reserved.  
111 West Wisconsin Avenue, Milwaukee, Wisconsin 53203  
Telephone 414.272.2000 Fax 414.272.2001  
44 East Millin Street, Suite 700, Madison, Wisconsin 53703  
Telephone 608.263.6300 Fax 608.263.6317

Sheet No.  
A301

| Label | Symbol | Arrangement    | Qty | LLF   | [MANUFAC]                   | Description                        | Arr. Watts | Lum. Watts | Lum. Lumens |
|-------|--------|----------------|-----|-------|-----------------------------|------------------------------------|------------|------------|-------------|
| P31   |        | SINGLE         | 4   | 0.850 | U.S. ARCHITECTURAL LIGHTING | RZR-M-PLED-III-W-48LED-525mA-NW    | 79         | 79         | 9582        |
| P41H  |        | SINGLE         | 8   | 0.850 | U.S. ARCHITECTURAL LIGHTING | RZR-M-PLED-IV-FT-48LED-525mA-NW-HS | 79         | 79         | 7325        |
| WM2   |        | SINGLE         | 1   | 0.850 | U.S. ARCHITECTURAL LIGHTING | RZR-WM2-III-M-40PLED-700mA-NW      | 86.5       | 86.5       | 8845        |
| P54   |        | 4 @ 90 DEGREES | 2   | 0.850 | U.S. ARCHITECTURAL LIGHTING | RZR-M-PLED-VSQ-W-48LED-525mA-NW    | 316        | 79         | 10247       |
| XA    |        | SINGLE         | 24  | 0.850 | Brownlee Lighting Inc       | 7176-56-F45LED-40K                 | 44.21      | 44.21      | 4286        |

| Calculation Summary             |      |     |     |         |         |
|---------------------------------|------|-----|-----|---------|---------|
| Label                           | Avg  | Max | Min | Avg/Min | Max/Min |
| Copy_OVER ALL SITE TO ZERO      | 1.00 | 6.8 | 0.0 | N.A.    | N.A.    |
| Copy_PARKING DECK               | 1.61 | 3.5 | 0.2 | 8.05    | 17.50   |
| DRIVE LANE IN FROM SOUTH        | 1.75 | 3.7 | 0.4 | 4.38    | 9.25    |
| EAST DRIVE AND EXISTING PARKING | 2.04 | 5.7 | 0.2 | 10.20   | 28.50   |
| PLAN NORTH DRIVE AND PARKING    | 2.26 | 4.1 | 1.0 | 2.26    | 4.10    |
| SOUTH PARKING                   | 2.50 | 5.9 | 0.2 | 12.50   | 29.50   |

**NOTES:**  
1. All light levels are at grade  
2. Lumen output is based on anticipated lumen output at half of the rated life of the LEDs.  
3. Mounting height shown per location is from grade to fixture aperture  
4. Light levels are calculated based on direct fixture contribution only  
**Results are based on information provided to L & M. Changes to location, fixture, wattage will affect final results**



NOT FOR CONSTRUCTION

Revisions

LAND USE SUBMITTAL

SCOPE DOCUMENTS  
Drawing Date  
APRIL 12, 2019

UW CAMPUS HOTEL

780 Regent Street  
Madison, WI 53715

Project No. Mortenson  
218051

Sheet Title  
**SITE LIGHTING POINT BY POINT**

Copyright © 2019 Kahler Slater, Inc. All rights reserved.  
111 West Wisconsin Avenue, Milwaukee, Wisconsin 53203  
Telephone 414.271.2000 Fax 414.272.2011

44 East 98th Street, Suite 700, Madison, Wisconsin 53705  
Telephone 608.263.0300 Fax 608.263.2017  
Sheet No.  
**ES100**

**1 SITE LIGHTING POINT BY POINT**  
Scale: 1" = 20'

