

# CITY OF MADISON

## Proposed Alteration to Conditional Use

Location: 5116 Spring Court

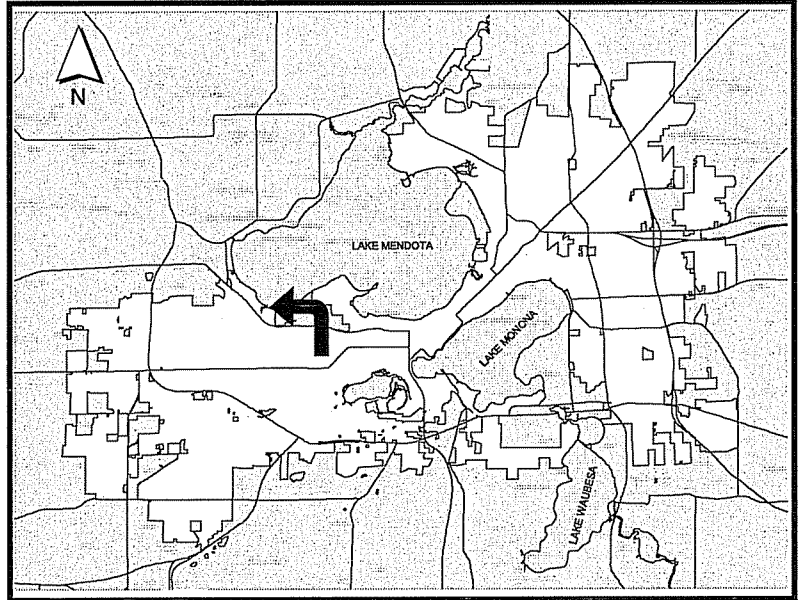
Project Name: Smith House

Applicant: Jason & Lori Smith/  
Mark Zingg- Zingg Design

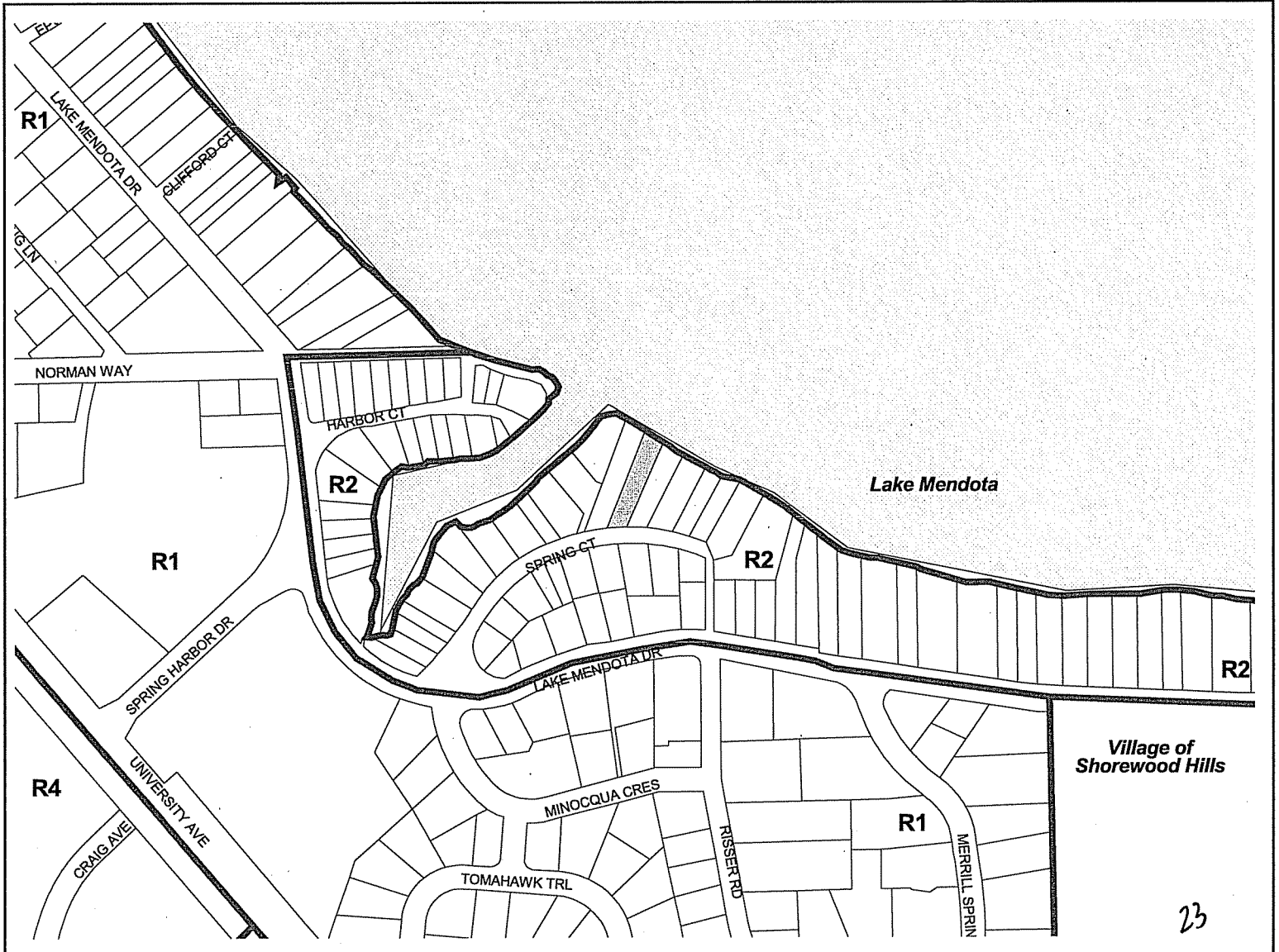
Existing Use: Single Family House  
Request for Major Alteration to an

Proposed Use: Approved Conditional Use- New  
Single Family House on Waterfront Lot (Under Construction)

Public Hearing Date:  
Plan Commission 10 July 2006



For Questions contact: Bill Roberts at: 266-5974 or orbroberts@cityofmadison.com or City Planning at 266-4635



# 5116 Spring Court

0 100 Feet

*Date of Aerial Photography - April 2003*



# JASON & LORI SMITH RESIDENCE

# PLAN COMMISSION

PROPOSED RESIDENCE

OWNER:  
JASON & LORI SMITH

5116 SPRING COURT  
MADISON, WISCONSIN

DATE: NOVEMBER 09, 2005

REVISED : X. X, 2005

## INDEX TO DRAWINGS

### ARCHITECT:

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- A4.1 ELEVATIONS
- A4.2 ELEVATIONS
- A4.3 BUILDING SECTIONS
- A4.4 ADJACENT BUILDING PROFILES



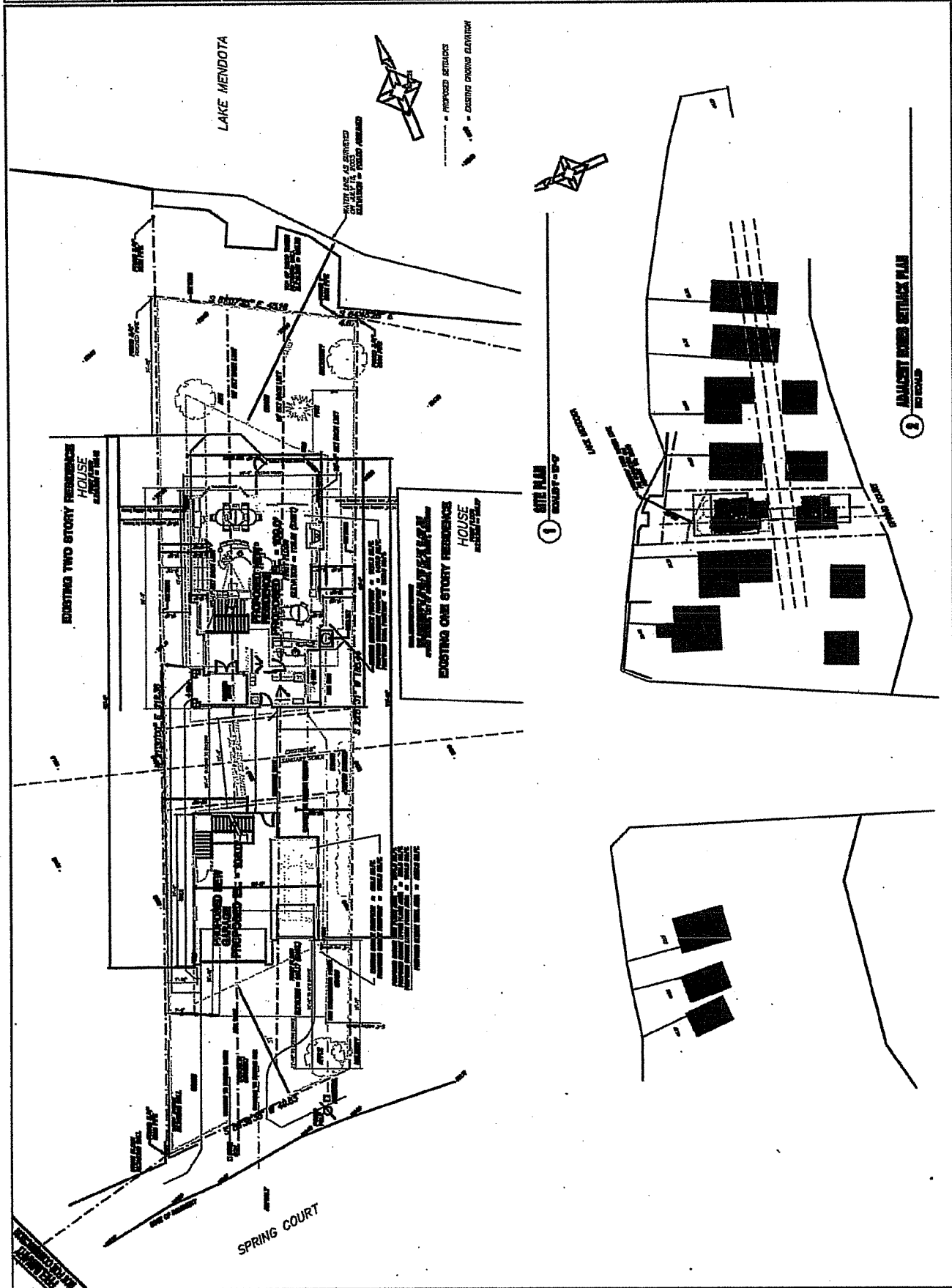
ARCHITECTURE ■ INTERIOR DESIGN ■ PLANNING  
6903 UNIVERSITY AVENUE ■ MIDDLETON, WISCONSIN 53562 ■ PH: 608-696-1129 ■ FAX: 608-696-1149


### CONSULTANTS:

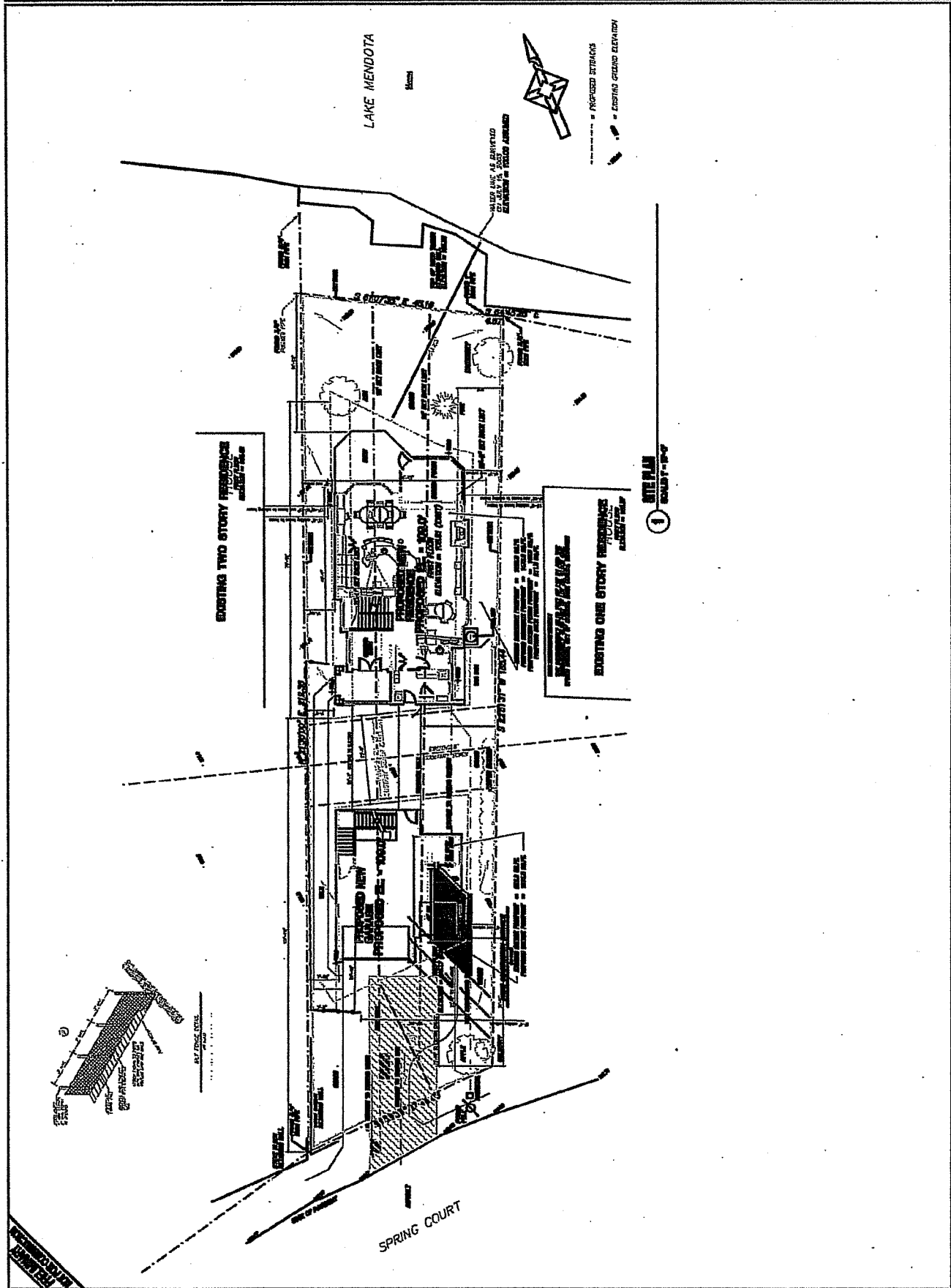
- MECHANICAL:  
TO BE DETERMINED
- STRUCTURAL ENGINEERING:  
SRI DESIGN  
2000 UNIVERSITY AVENUE  
MIDDLETON, WISCONSIN 53562
- CIVIL ENGINEERING:  
HELD ENGINEERING  
2000 UNIVERSITY AVENUE  
MIDDLETON, WISCONSIN 53562
- LANDSCAPE:  
THE BRUCE COMPANY  
2000 UNIVERSITY AVENUE  
MIDDLETON, WISCONSIN 53562
- CGC, INC.  
2000 UNIVERSITY AVENUE  
MIDDLETON, WISCONSIN 53562

PLANS APPROVED BY  
PLAN COMMISSION 1-9-06

		<b>ZINGG ARCHITECTURE INTERIOR DESIGN PLANNING</b> 2000 W. 10th Street, Suite 100 Lincoln, NE 68502 (402) 441-1111 www.zingg.com		<b>PROPOSED LAKE MENDOTA SOUTH RESIDENCE</b> 2000 W. 10th Street, Suite 100 Lincoln, NE 68502 (402) 441-1111 www.zingg.com		<b>SITE PLAN</b> SHEET NO. SW.1	
<b>DATE:</b> 01/15/10 <b>SCALE:</b> AS SHOWN <b>PROJECT NO.:</b> 10-001 <b>CLIENT:</b> ZINGG ARCHITECTURE <b>DESIGNER:</b> ZINGG ARCHITECTURE <b>DATE:</b> 01/15/10		<b>DATE:</b> 01/15/10 <b>SCALE:</b> AS SHOWN <b>PROJECT NO.:</b> 10-001 <b>CLIENT:</b> ZINGG ARCHITECTURE <b>DESIGNER:</b> ZINGG ARCHITECTURE <b>DATE:</b> 01/15/10		<b>DATE:</b> 01/15/10 <b>SCALE:</b> AS SHOWN <b>PROJECT NO.:</b> 10-001 <b>CLIENT:</b> ZINGG ARCHITECTURE <b>DESIGNER:</b> ZINGG ARCHITECTURE <b>DATE:</b> 01/15/10		<b>DATE:</b> 01/15/10 <b>SCALE:</b> AS SHOWN <b>PROJECT NO.:</b> 10-001 <b>CLIENT:</b> ZINGG ARCHITECTURE <b>DESIGNER:</b> ZINGG ARCHITECTURE <b>DATE:</b> 01/15/10	



 <b>ZINGG ENGINEERS</b> ARCHITECTURE INTERIOR DESIGN PLANNING		<b>PROPOSED</b> <b>LAKE MENDOTA</b> <b>SMITH RESIDENCE</b> 1000 W. WISCONSIN MADISON, WI 53706 608.261.1111		<b>GRADING PLAN</b> <b>EROSION CONTROL</b> 10/20/20		<b>SW.2</b> SHEET NUMBER	
PROJECT NO. _____ DATE _____ DRAWN BY _____ CHECKED BY _____ SCALE _____ DATE _____		PROJECT NO. _____ DATE _____ DRAWN BY _____ CHECKED BY _____ SCALE _____ DATE _____		PROJECT NO. _____ DATE _____ DRAWN BY _____ CHECKED BY _____ SCALE _____ DATE _____		PROJECT NO. _____ DATE _____ DRAWN BY _____ CHECKED BY _____ SCALE _____ DATE _____	




**CONSULTING**

**ZINGG**  
ARCHITECTURE  
INTERIOR DESIGN  
PLANNING

100 University Avenue  
Suite 100  
Madison, WI 53706  
Tel: 608-262-2222  
Fax: 608-262-2223

**PROPOSED  
LAKESHORE  
SOUTH RESIDENCE**

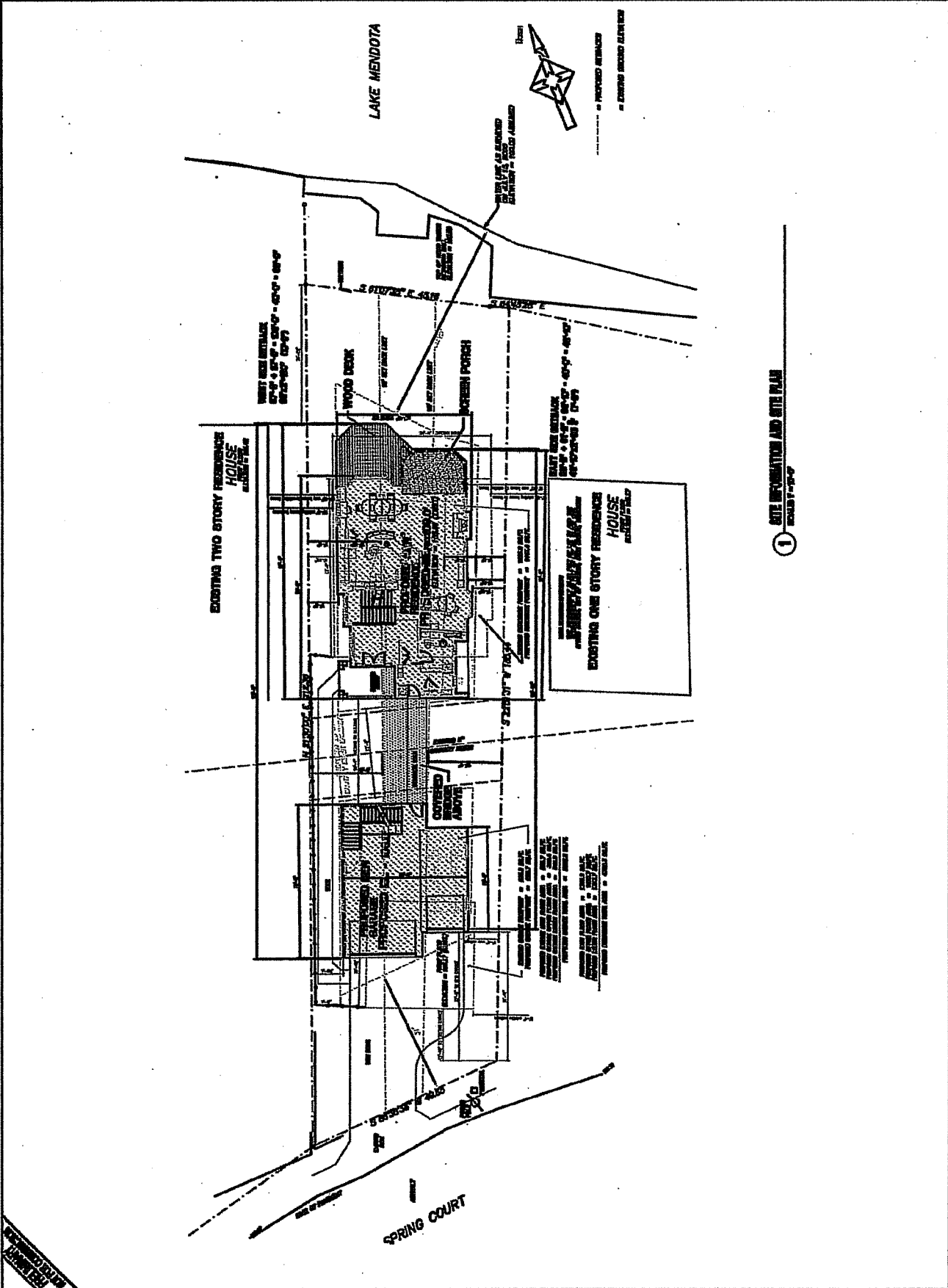
LAKE MENDOTA  
MADISON, WI 53706  
SHEET TITLE

**SITE PLAN  
SITE INFORMATION**

DATE: 1/10/03  
DRAWN BY: [unintelligible]  
CHECKED BY: [unintelligible]  
SCALE: 1/8" = 1'-0"  
BY: [unintelligible]

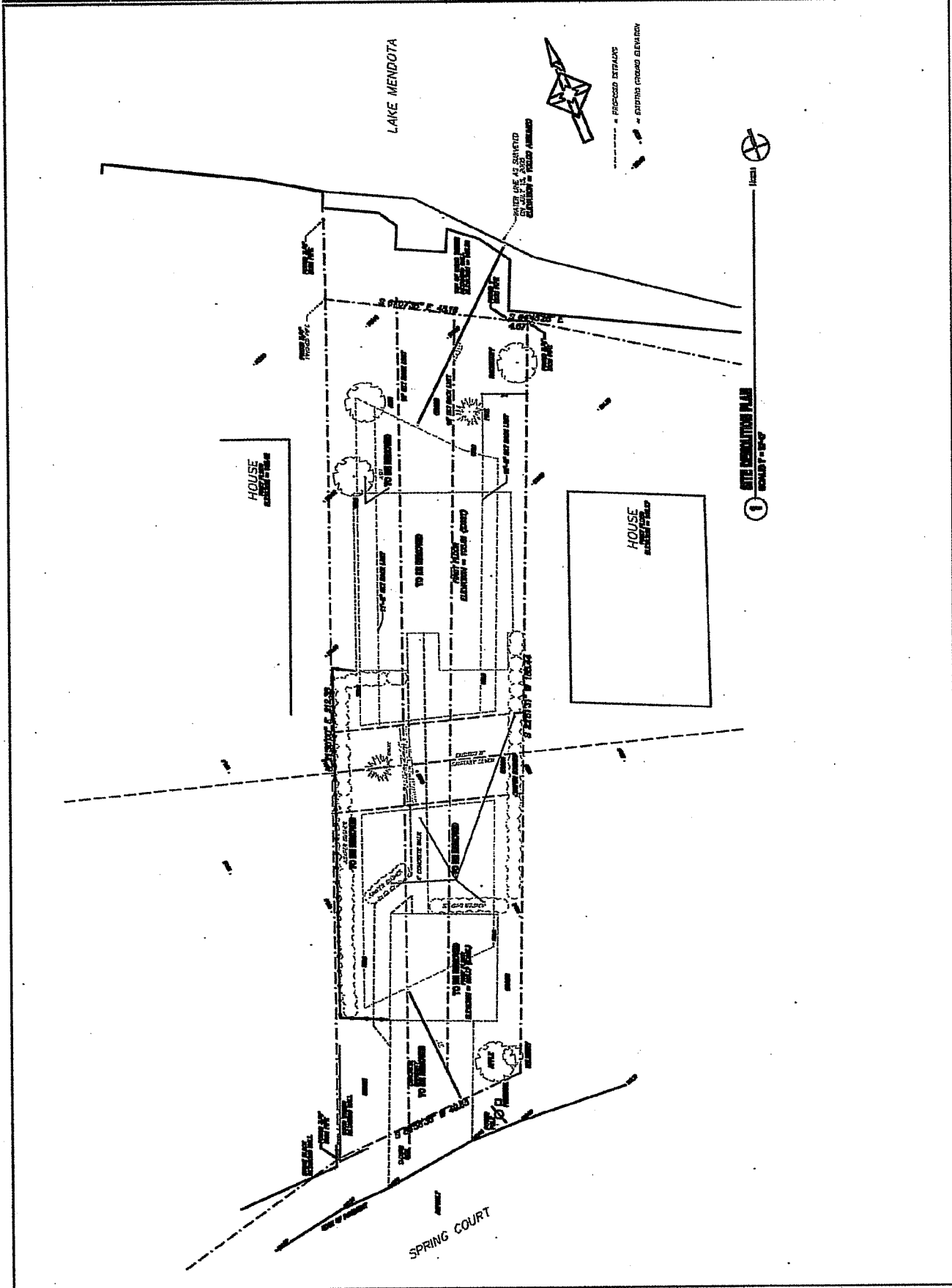
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BY: [unintelligible]

**SW/3**

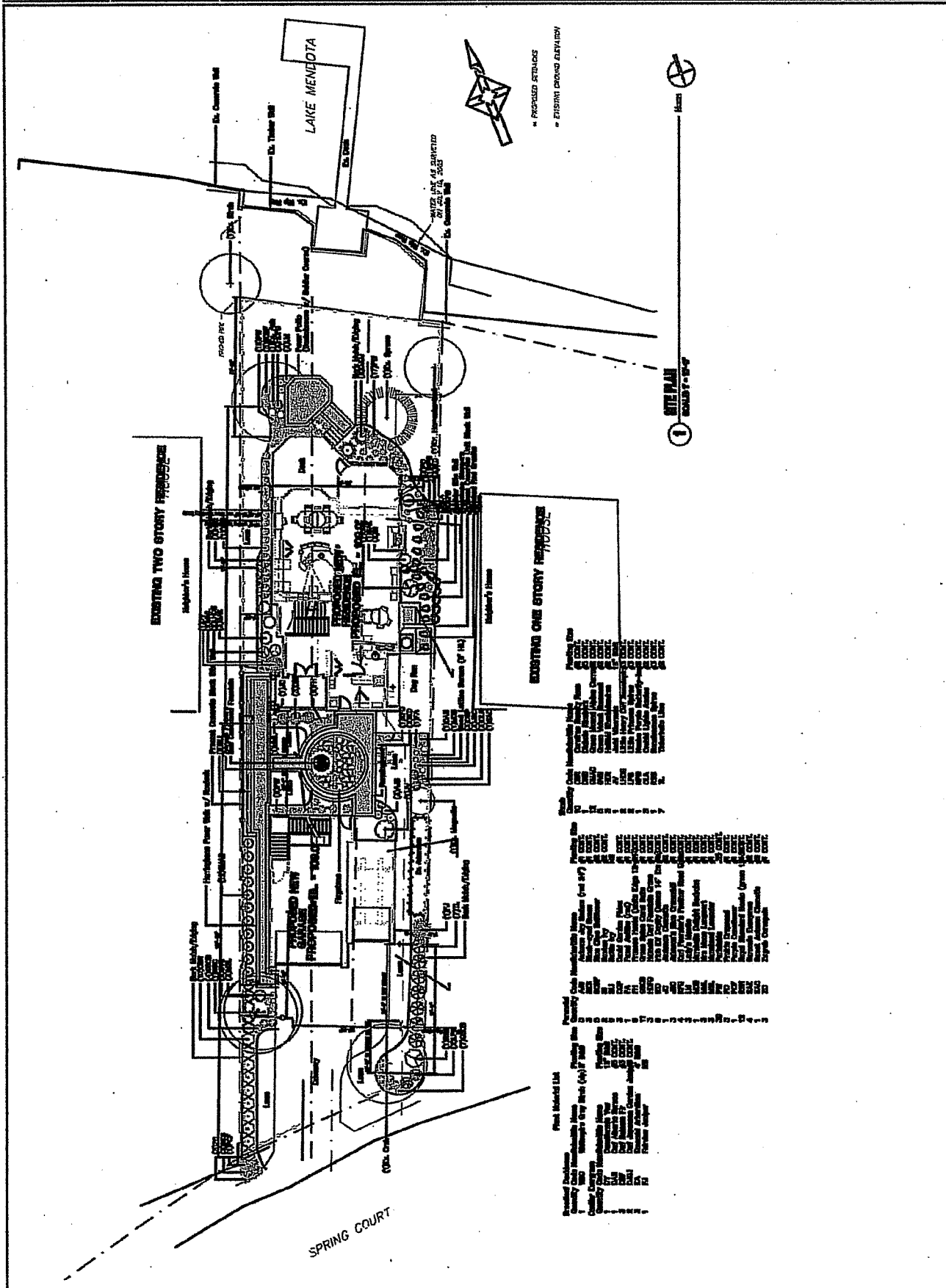


1 SITE INFORMATION AND SITE PLAN  
NOV 17 2003

<p><b>ARCHITECTURE</b>  <b>INTERIOR DESIGN</b>  <b>PLANNING</b></p>	
<p><b>PROPOSED</b>  <b>LAKE HOUSE</b>  <b>SOUTH RESIDENCE</b></p>	
<p><b>SITE DEMO PLAN</b></p>	
<p><b>SW.4</b></p>	



<b>ZINGG</b> ARCHITECTURE INTERIOR DESIGN PLANNING	PROJECT: <b>PROPOSED          LAKE HOUSE          WITH PORCHES</b>	CLIENT: <b>LANDSCAPE PLAN</b>
	ADDRESS: 10000 LAKE AVENUE LAKE MENDOTA, WI 53146	DATE: 10/15/03
	DRAWN BY: J. H. H.	CHECKED BY: J. H. H.
	SCALE: 1/8" = 1'-0"	SHEET NO.: <b>11</b>



- Plant Material List
- Planting Schedule
- Planting Details
- Planting Notes
- Planting Specifications
- Planting Materials
- Planting Methods
- Planting Equipment
- Planting Personnel
- Planting Budget
- Planting Timeline
- Planting Risks
- Planting Mitigation
- Planting Maintenance
- Planting Evaluation
- Planting Reporting
- Planting Compliance
- Planting Safety
- Planting Quality
- Planting Sustainability
- Planting Innovation
- Planting Leadership
- Planting Collaboration
- Planting Communication
- Planting Transparency
- Planting Accountability
- Planting Integrity
- Planting Honesty
- Planting Fairness
- Planting Respect
- Planting Compassion
- Planting Kindness
- Planting Patience
- Planting Persistence
- Planting Perseverance
- Planting Resilience
- Planting Flexibility
- Planting Adaptability
- Planting Creativity
- Planting Innovation
- Planting Entrepreneurship
- Planting Risk-Taking
- Planting Decision-Making
- Planting Problem-Solving
- Planting Teamwork
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- Planting Communication
- Planting Transparency
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- Planting Adaptability
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- Planting Innovation
- Planting Entrepreneurship
- Planting Risk-Taking
- Planting Decision-Making
- Planting Problem-Solving
- Planting Teamwork



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NO. 50

CONTRACT NO.



**ZINGG**  
ARCHITECTURE  
& INTERIORS  
PLANNING & DESIGN

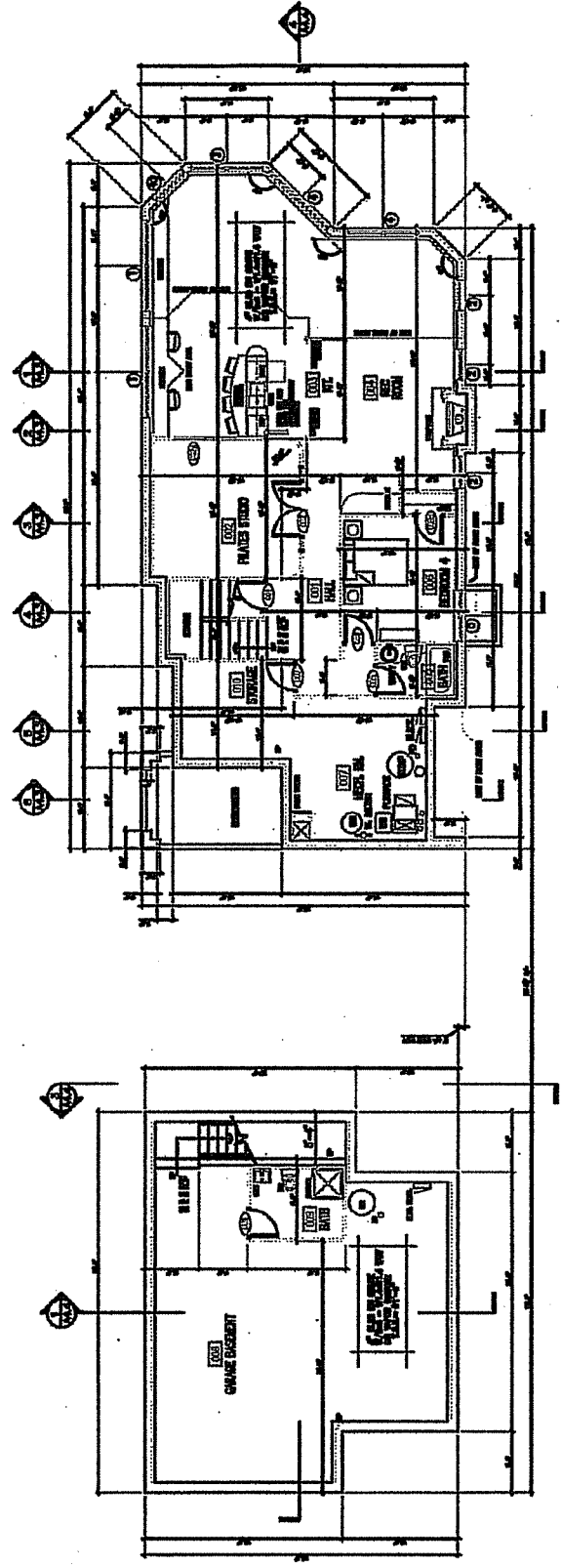
1600 University Avenue  
Suite 100  
Berkeley, CA 94704  
Tel: 415-841-5500  
www.zingg.com

PROPERTY  
 PROJECT NO.  
 DATE  
 SCALE

FOUNDATION PLAN  
 BASEMENT PLAN

DATE	10/10/00
DESIGNER	
CHECKER	
PROJECT NO.	
SCALE	
PROJECT NAME	
CLIENT NAME	
ADDRESS	
CITY	
STATE	
COUNTY	
ZIP	
PHONE	
FAX	
EMAIL	
WEBSITE	

**A1.0**



**1 LOWER FLOOR PLAN**  
 FOUNDATION PLAN  
 BASEMENT PLAN  
 1/8" = 1'-0"


**CONSTRUCTION**

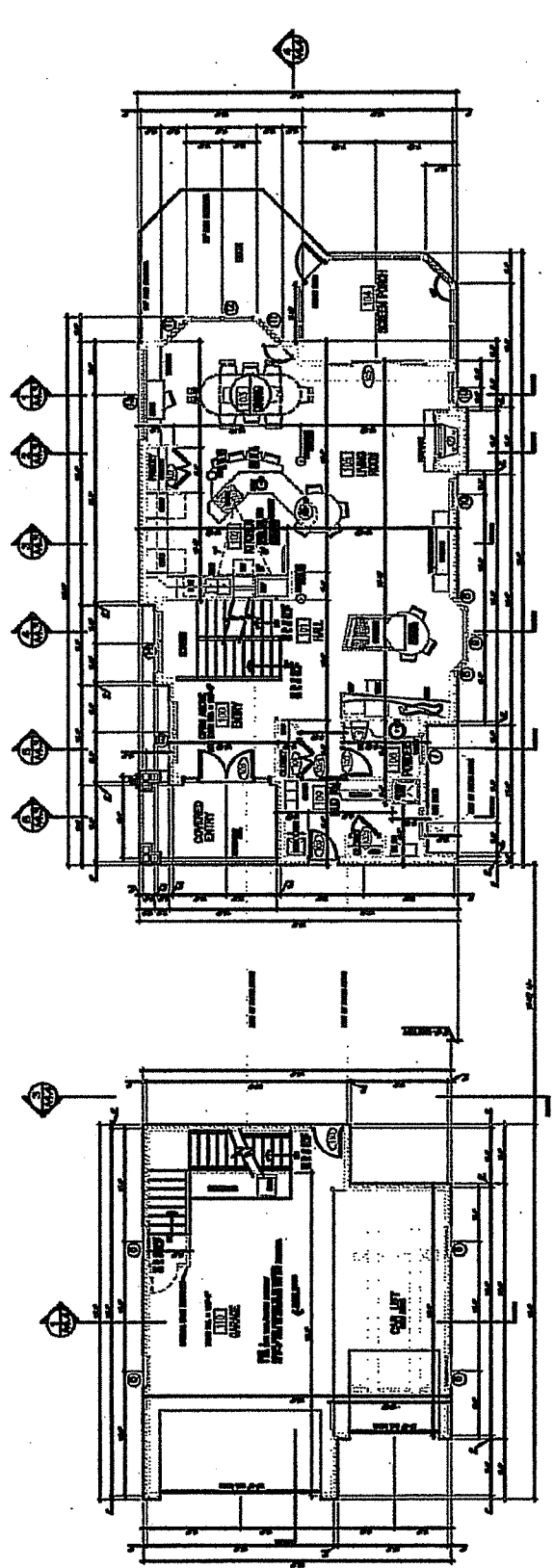

**ZINGG**  
 ARCHITECTURE  
 INTERIOR DESIGN  
 PLANNING  
2000 University Avenue  
 Suite 100  
 Berkeley, CA 94704  
 Tel: 415.841.1111

**PROJECT**  
**FRANCO LACE HOME WITH PORCHES**  
 SAN FRANCISCO  
 PROJECT NO. 11111

**MAIN FLOOR PLAN**

DATE	11/10/10
DRAWN	
CHECKED	
SCALE	AS SHOWN
PROJECT NO.	11111
CLIENT	FRANCO LACE
ADDRESS	
CITY	
STATE	
ZIP	
PHONE	
FAX	
EMAIL	
WEBSITE	
PROJECT MANAGER	

**A11**  
ARCHITECTURAL DRAWING



**MAIN FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"  
 DATE: 11/10/10

**ROOF SCHEDULE**

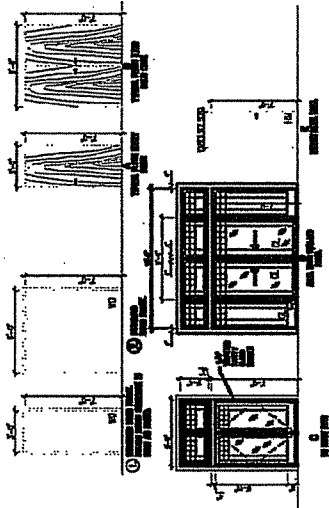
NO.	DESCRIPTION	AREA	FINISH	THICKNESS	WEIGHT	LOAD	REMARKS
1	ROOF SLAB	1000	CONCRETE	12"	150	150	
2	ROOF FINISH	1000					
3	ROOF INSULATION	1000					
4	ROOF DRAINAGE	1000					
5	ROOF STRUCTURE	1000					
6	ROOF VENTILATION	1000					
7	ROOF LIGHTING	1000					
8	ROOF ACCESS	1000					
9	ROOF SLOPE	1000					
10	ROOF CURB	1000					

**ROOF FINISH SCHEDULE**

NO.	DESCRIPTION	AREA	FINISH	THICKNESS	WEIGHT	LOAD	REMARKS
1	ROOF FINISH	1000					
2	ROOF FINISH	1000					
3	ROOF FINISH	1000					
4	ROOF FINISH	1000					
5	ROOF FINISH	1000					
6	ROOF FINISH	1000					
7	ROOF FINISH	1000					
8	ROOF FINISH	1000					
9	ROOF FINISH	1000					
10	ROOF FINISH	1000					

**FINISH SCHEDULE**

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**DOOR & FRAME ELEVATIONS**  
 SCALE: 1/4" = 1'-0"  
 DATE: 11/10/10

**ROOF RISE DETAIL**  
 SCALE: 1/4" = 1'-0"  
 DATE: 11/10/10

PROJECT
OWNER
ARCHITECT
DATE
SCALE
DESCRIPTION
REVISIONS

CONSULTANT

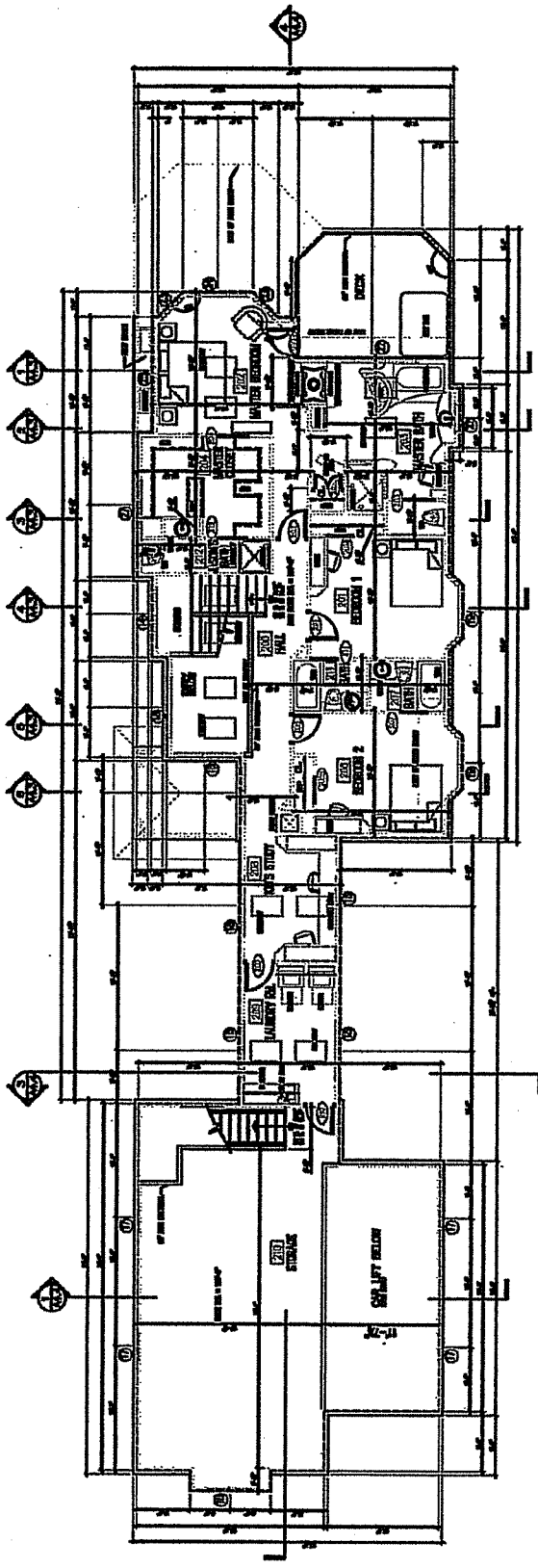


**UPPER FLOOR PLAN**  
 11/15/2011  
 11/15/2011  
 11/15/2011

**UPPER FLOOR PLAN**

DATE	02/12/2010
DRAWN	
CHECKED	
SCALE	AS SHOWN
PROJECT NO.	
DATE	
SCALE	
DESCRIPTION	

**A12**



UPPER FLOOR PLAN 11/15/2011  
 UPPER FLOOR PLAN 11/15/2011

**1 UPPER FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

**WINDOW SIZES**  
 WINDOW AND DOOR SIZES

- ① 7'-0" x 1'-0"
- ② 2'-0" x 1'-0"
- ③ 5'-0" x 1'-0"
- ④ 7'-0" x 1'-0"
- ⑤ 2'-0" x 2'-0"
- ⑥ 2'-0" x 2'-0"
- ⑦ 2'-0" x 2'-0"
- ⑧ 2'-0" x 2'-0"
- ⑨ 2'-0" x 2'-0"
- ⑩ 2'-0" x 2'-0"
- ⑪ 2'-0" x 2'-0"
- ⑫ 2'-0" x 2'-0"
- ⑬ 2'-0" x 2'-0"
- ⑭ 2'-0" x 2'-0"
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- ⑯ 2'-0" x 2'-0"
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**USE BUILDING ELEVATIONS FOR WINDOW FINISHES**

- ① 7'-0" x 2'-0"
- ② 2'-0" x 2'-0"
- ③ 5'-0" x 2'-0"
- ④ 5'-0" x 2'-0"
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**ZINGG**  
ARCHITECTURE  
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PLANNING

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**PROVIDED**  
LAND SURVEY  
SITE ELEVATIONS

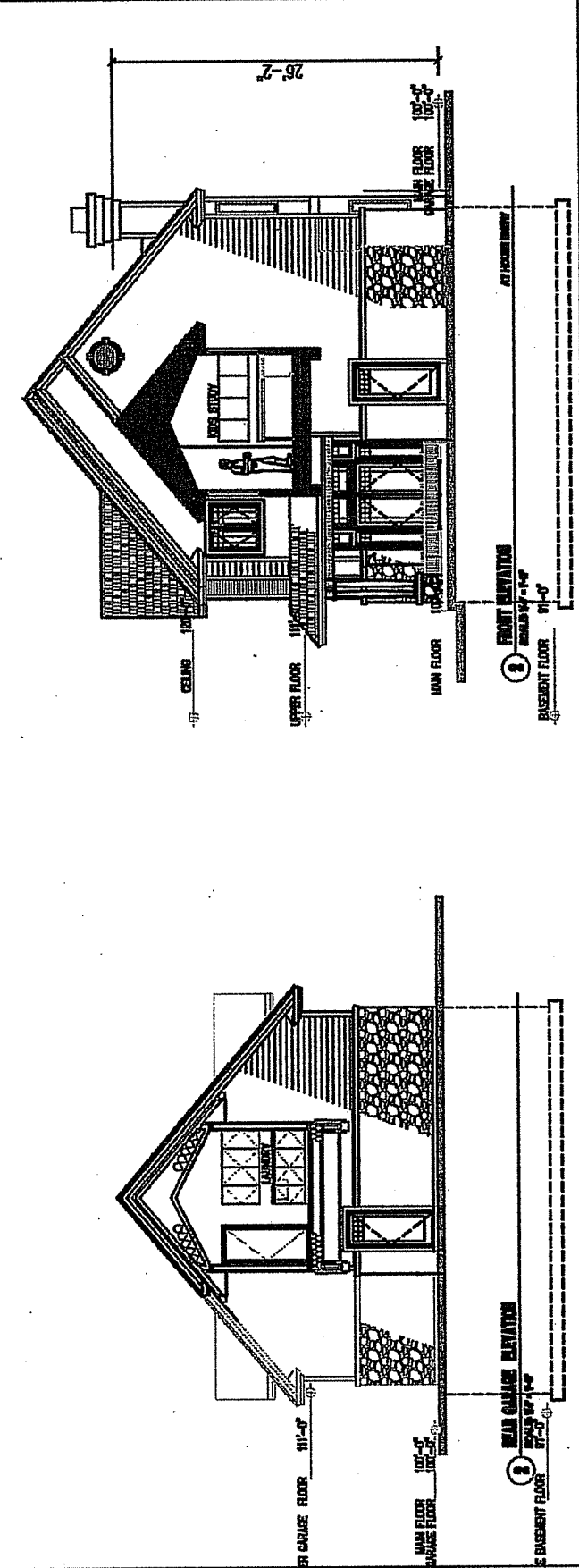
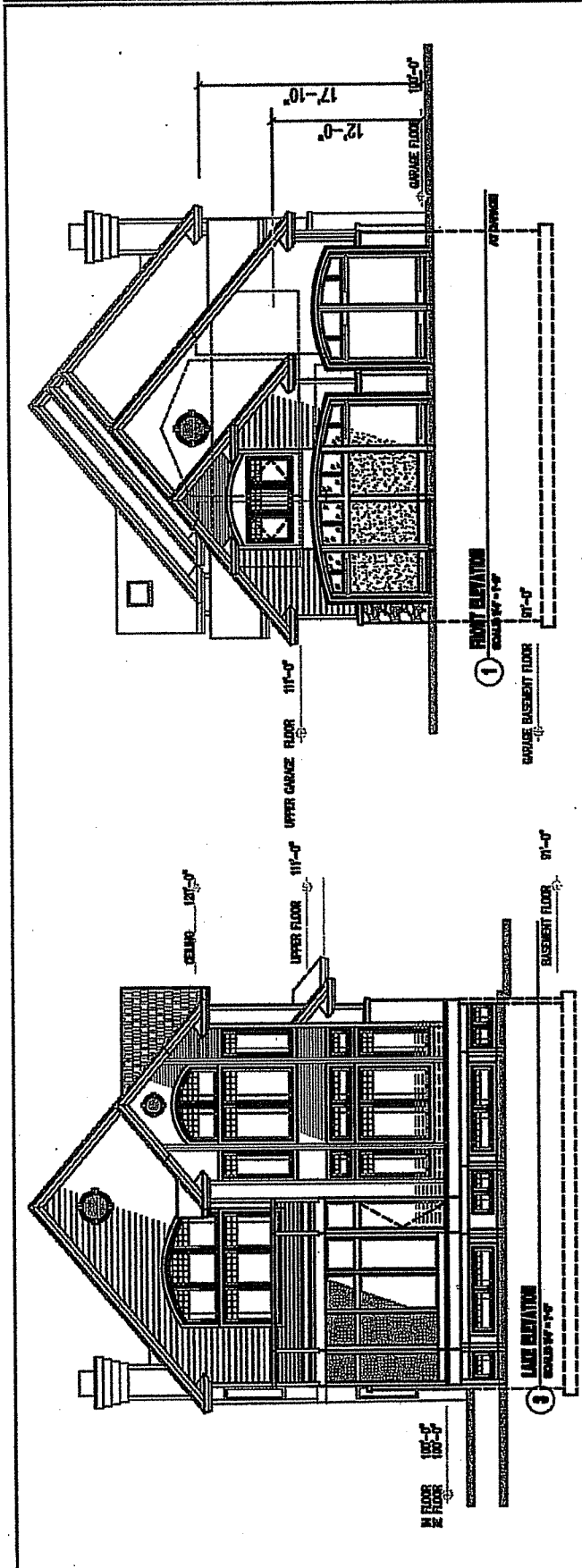
NO. 10000 COUNTY  
MAPS & RECORDS  
MADISON, WISCONSIN

**ELEVATIONS**

NO. 10000 COUNTY  
MAPS & RECORDS  
MADISON, WISCONSIN

NO. 10000 COUNTY MAPS & RECORDS MADISON, WISCONSIN	NO. 10000 COUNTY MAPS & RECORDS MADISON, WISCONSIN	NO. 10000 COUNTY MAPS & RECORDS MADISON, WISCONSIN	NO. 10000 COUNTY MAPS & RECORDS MADISON, WISCONSIN
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**A4.1**







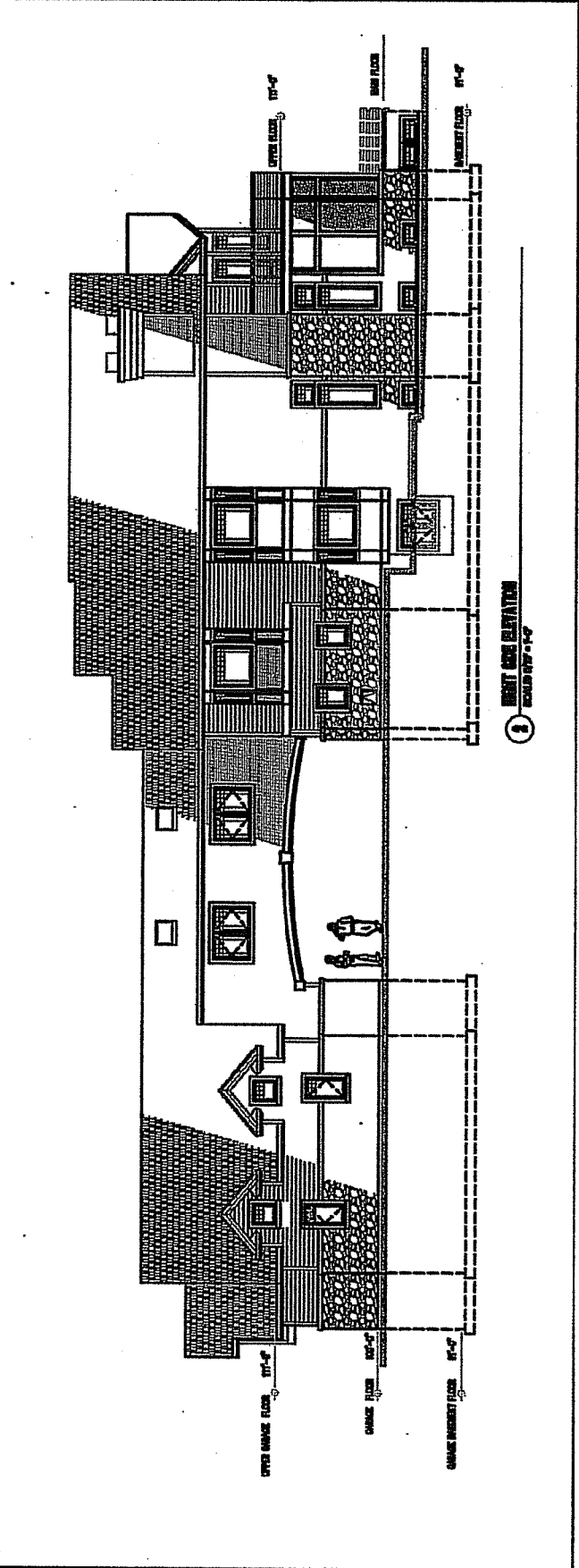
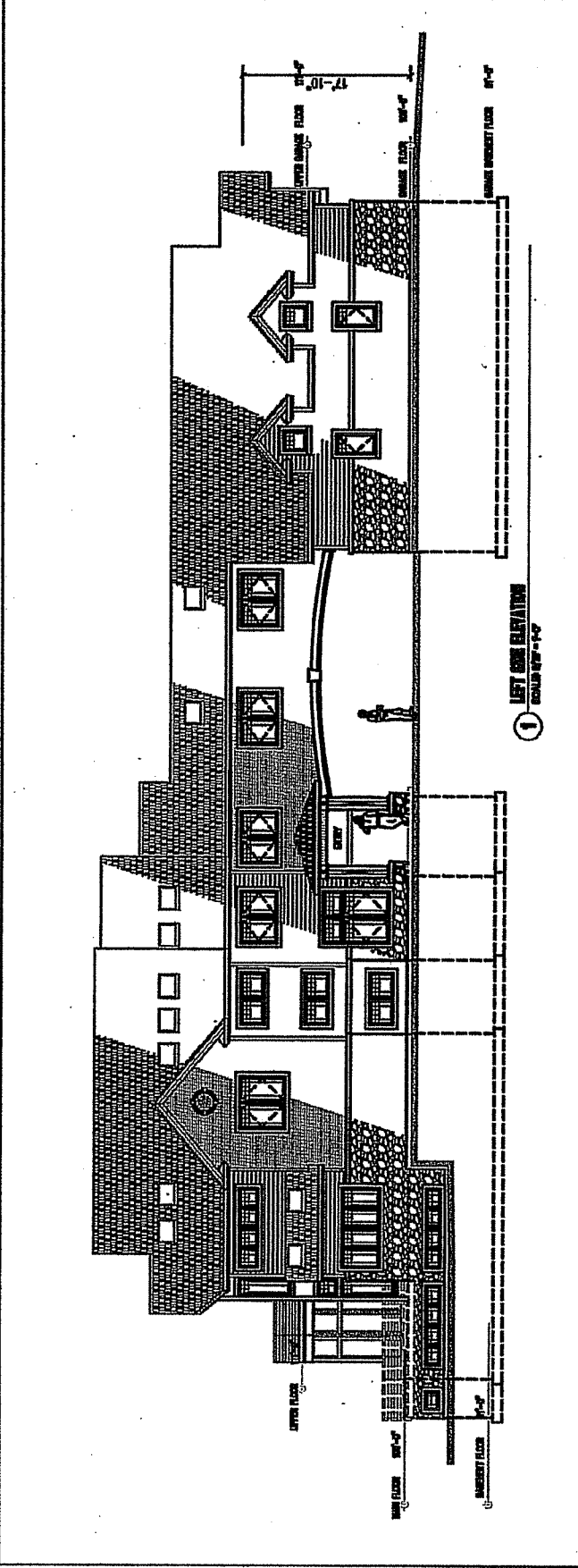
**ZINGG ARCHITECTURE**  
ARCHITECTURE  
INTERIOR DESIGN  
PLANNING

12500 W. 4th Ave., Suite 100  
Denver, CO 80202  
Tel: 303.751.1111  
www.zingg.com

PROJECT
PRINCIPAL ARCHITECT
ARCHITECT
DATE
SCALE
ELEVATIONS

DATE
SCALE
PROJECT NO.

**A4.2**  
ELEVATION SHEETS









# LAND USE APPLICATION Madison Plan Commission

215 Martin Luther King Jr. Blvd; Room LL-100  
PO Box 2985; Madison, Wisconsin 53701-2985  
Phone: 608.266.4635 | Facsimile: 608.267.8739

- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed with the Subdivision Application.
- Before filing your application, please review the information regarding the **LOBBYING ORDINANCE** on the first page.
- Please read all pages of the application completely and fill in all required fields.
- This application form may also be completed online at [www.cityofmadison.com/planning/plan.html](http://www.cityofmadison.com/planning/plan.html)
- All zoning applications should be filed directly with the Zoning Administrator.

FOR OFFICE USE ONLY:	
Amt. Paid	<u>550-</u> Receipt No. <u>72066</u>
Date Received	<u>6-27-06</u>
Received By	<u>MUT</u>
Parcel No.	<u>0709-184-0117-9</u>
Aldermanic District	<u>19-Adamski</u>
GQ	<u>EXIST CU - Flood Plain, Eng hold</u>
Zoning District	_____
For Complete Submittal	
Application	<input checked="" type="checkbox"/> Letter of Intent <input checked="" type="checkbox"/>
IDUP	<u>N/A</u> Legal Descript. _____
Plan Sets	<input checked="" type="checkbox"/> Zoning Text <u>N/A</u>
Alder Notification	<input type="checkbox"/> Waiver _____
Ngrhd. Assn Not.	<input checked="" type="checkbox"/> Waiver _____
Date Sign Issued	<u>6-27-06</u>

1. Project Address: 5116 Spring Ct Project Area in Acres: > 1 acre

Project Title (if any): Jason & Lori Smith

2. This is an application for: (check at least one)

<input type="checkbox"/> <b>Zoning Map Amendment</b> (check only ONE box below for rezoning and fill in the blanks accordingly)		
<input type="checkbox"/> Rezoning from _____ to _____	<input type="checkbox"/> Rezoning from _____ to PUD/PCD-SIP	
<input type="checkbox"/> Rezoning from _____ to PUD/PCD-GDP	<input type="checkbox"/> Rezoning from PUD/PCD-GDP to PUD/PCD-SIP	
<input type="checkbox"/> <b>Conditional Use</b>	<input type="checkbox"/> <b>Demolition Permit</b>	<input type="checkbox"/> <b>Other Requests (Specify):</b> _____

3. Applicant, Agent & Property Owner Information:

Applicant's Name: Ideal Bldrs Inc Company: \_\_\_\_\_

Street Address: 1406 Emil St City/State: Madison, WI Zip: 53713

Telephone: (608) 271-6111 Fax: (608) 271-6233 Email: brziegler@idealbuildersinc.com

Project Contact Person: Brad Ziegler Company: Ideal Bldrs Inc

Street Address: \_\_\_\_\_ City/State: \_\_\_\_\_ Zip: \_\_\_\_\_

Telephone: ( ) \_\_\_\_\_ Fax: ( ) \_\_\_\_\_ Email: \_\_\_\_\_

Property Owner (if not applicant): Jason & Lori Smith

Street Address: 5116 Spring Ct City/State: Madison, WI Zip: 53705

4. Project Information:

Provide a general description of the project and all proposed uses of the site: \_\_\_\_\_

Construction of new 2-story house 23

Development Schedule: Commencement 4-1-06 Completion 11-10-06



**5. Required Submittals:**

- Site Plans** submitted as follows below and depicts all lot lines; existing, altered, demolished or proposed buildings; parking areas and driveways; sidewalks; location of any new signs; existing and proposed utility locations; building elevations and floor plans; landscaping, and a development schedule describing pertinent project details:
  - **Seven (7) copies** of a full-sized plan set drawn to a scale of one inch equals 20 feet (collated and folded)
  - **Seven (7) copies** of the plan set reduced to fit onto 11 inch by 17 inch paper (collated, stapled and folded)
  - **One (1) copy** of the plan set reduced to fit onto 8 1/2 inch by 11 inch paper
- Letter of Intent: Twelve (12) copies** describing this application in detail but not limited to, including: existing conditions and uses of the property; development schedule for the project; names of persons involved (contractor, architect, landscaper, business manager, etc.); types of businesses; number of employees; hours of operation; square footage or acreage of the site; number of dwelling units; sale or rental price range for dwelling units; gross square footage of building(s); number of parking stalls, etc.
- Legal Description of Property:** Lot(s) of record or metes and bounds description prepared by a land surveyor.
- Filing Fee:** \$\_\_\_\_\_ See the fee schedule on the application cover page. Make checks payable to: *City Treasurer.*

**IN ADDITION, THE FOLLOWING ITEMS MAY ALSO BE REQUIRED WITH YOUR APPLICATION; SEE BELOW:**

- For any applications proposing demolition of existing buildings, **photos** of the interior and exterior of the structure(s) to be demolished shall be submitted with your application. Be advised that a **Reuse and Recycling Plan** approved by the City's Recycling Coordinator is required prior to issuance of wrecking permits.
- A project proposing **ten (10) or more dwelling units** may be required to comply with the City's Inclusionary Zoning requirements outlined in Section 28.04 (25) of the Zoning Ordinance. A separate INCLUSIONARY DWELLING UNIT PLAN application detailing the project's conformance with these ordinance requirements shall be submitted concurrently with this application form. Note that some IDUP materials will coincide with the above submittal materials.
- A **Zoning Text** must accompany **all** Planned Community or Planned Unit Development (PCD/PUD) submittals.

**FOR ALL APPLICATIONS:** All applicants are required to submit copies of all items submitted in hard copy with their application (including this application form, the letter of intent, complete plan sets and elevations, etc.) as **INDIVIDUAL** Adobe Acrobat PDF files compiled either on a non-returnable CD to be included with their application materials, or in an e-mail sent to [pcapplications@cityofmadison.com](mailto:pcapplications@cityofmadison.com). The e-mail shall include the name of the project and applicant. Applicants who are unable to provide the materials electronically should contact the Planning Unit at (608) 266-4635 for assistance.

**6. Applicant Declarations:**

- Conformance with adopted City plans:** Applications shall be in accordance with all adopted City of Madison plans:
 

→ The site is located within the limits of the: \_\_\_\_\_ Plan, which recommends: \_\_\_\_\_ for this property.
- Pre-application Notification:** Section 28.12 of the Zoning Ordinance requires that the applicant notify the district alder and any nearby neighborhood or business associations by mail no later than **30** days prior to filing this request:
 

→ List below the Alderperson, Neighborhood Association(s), Business Association(s) AND dates you sent the notices:

\_\_\_\_\_

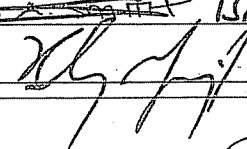
*NOTE: If the alder has granted a waiver to this requirement, please attach any such correspondence to this form.*

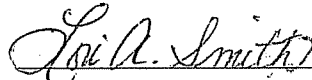
- Pre-application Meeting with staff:** Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning Counter and Planning Unit staff; note staff persons and date.
 


Planner \_\_\_\_\_ Date \_\_\_\_\_ | Zoning Staff Max Tucker Date \_\_\_\_\_

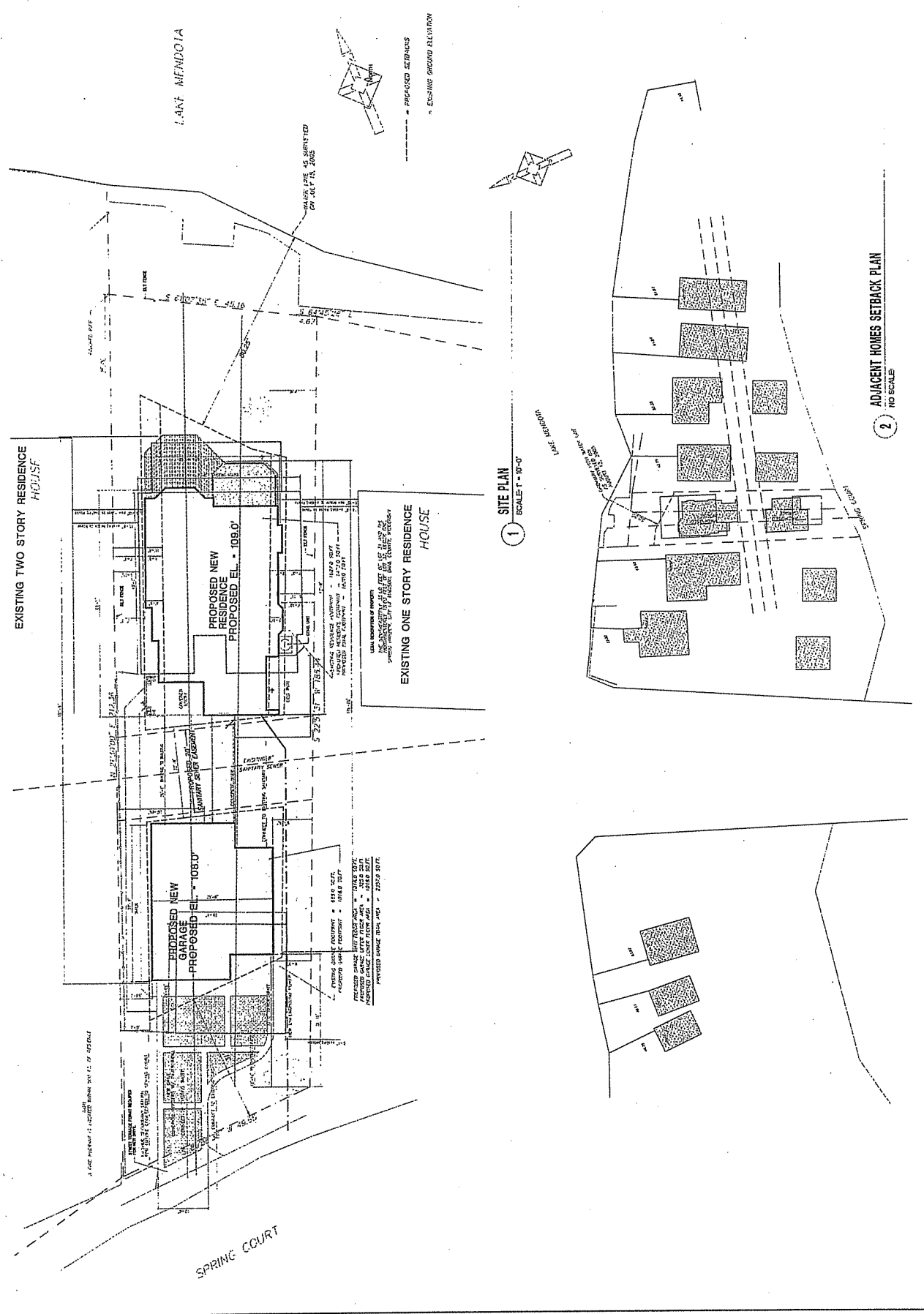
**The signer attests that this form is accurately completed and all required materials are submitted:**

Printed Name ~~LOUISE SMITH~~ Brad Ziegler Date 6-22-06

Signature  Relation to Property Owner Builder / Contractor

Authorizing Signature of Property Owner  Date 6-22-06

CONSULTANT	 <b>ZINGG DESIGN</b> ARCHITECTURE INTERIOR DESIGN PLANNING	PROJECT <b>PROPOSED LAKE HOUSE LAKE HOUSE SMITH RESIDENCE</b>	DATE: 10/09/05 DATE: FILE NUMBER: 0508 DRAWN BY: CS/ANZ SCALE: SEE PLAN NOTES: THIS PLAN IS THE PROPERTY OF ZINGG DESIGN AND IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF ZINGG DESIGN.
	8603 University Avenue Madison, WI 53705 Phone: 608-530-2000 Fax: 608-530-1100 www.zinggdesign.com	316 SPRING COURT MADISON, WI 53705 SHEET TITLE <b>SITE PLAN</b>	SHEET NUMBER <b>SW.1</b> ZINGG DESIGN © 2005



REVISED PLANS

CONSULTANT



ARCHITECTURE  
INTERIOR DESIGN  
PLANNING

6603 University Avenue  
Madison, Wisconsin 53705  
Phone: 608-261-1188  
www.zingg.com

PROJECT

PROPOSED  
LAKE HOUSE  
SMITH RESIDENCE

516 SPRING COURT  
MADISON, WI 53705

SHEET TITLE

GRADING PLAN  
EROSION CONTROL

NOTES

DATE: 11/09/05

FILE NUMBER: 0588

DRAWN BY: CS/MZ

SCALE: SEE PLAN

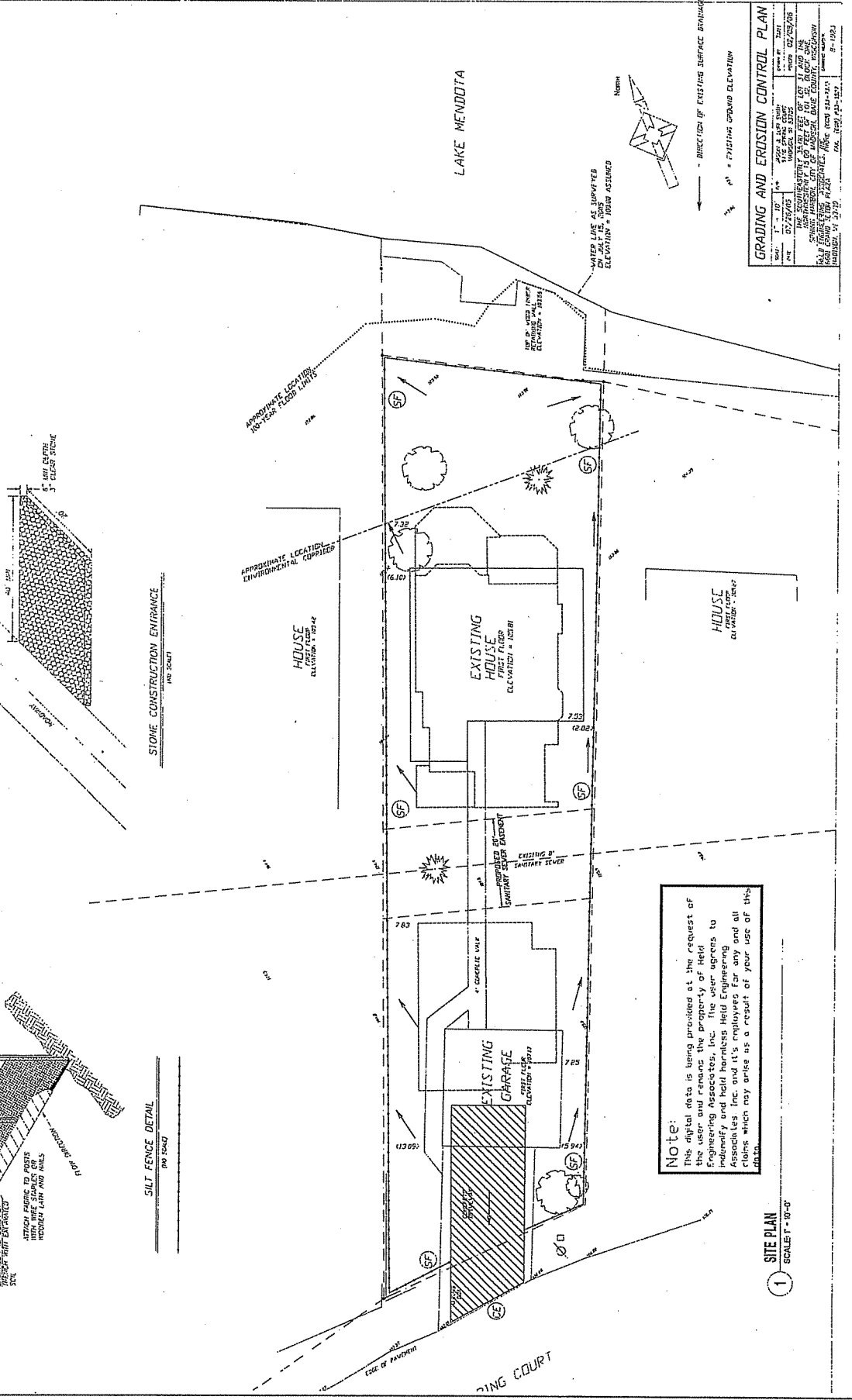
SEE ALL NOTES ON SHEETS 0587, 0588, 0589, 0590, 0591, 0592, 0593, 0594, 0595, 0596, 0597, 0598, 0599, 0600, 0601, 0602, 0603, 0604, 0605, 0606, 0607, 0608, 0609, 0610, 0611, 0612, 0613, 0614, 0615, 0616, 0617, 0618, 0619, 0620, 0621, 0622, 0623, 0624, 0625, 0626, 0627, 0628, 0629, 0630, 0631, 0632, 0633, 0634, 0635, 0636, 0637, 0638, 0639, 0640, 0641, 0642, 0643, 0644, 0645, 0646, 0647, 0648, 0649, 0650, 0651, 0652, 0653, 0654, 0655, 0656, 0657, 0658, 0659, 0660, 0661, 0662, 0663, 0664, 0665, 0666, 0667, 0668, 0669, 0670, 0671, 0672, 0673, 0674, 0675, 0676, 0677, 0678, 0679, 0680, 0681, 0682, 0683, 0684, 0685, 0686, 0687, 0688, 0689, 0690, 0691, 0692, 0693, 0694, 0695, 0696, 0697, 0698, 0699, 0700, 0701, 0702, 0703, 0704, 0705, 0706, 0707, 0708, 0709, 0710, 0711, 0712, 0713, 0714, 0715, 0716, 0717, 0718, 0719, 0720, 0721, 0722, 0723, 0724, 0725, 0726, 0727, 0728, 0729, 0730, 0731, 0732, 0733, 0734, 0735, 0736, 0737, 0738, 0739, 0740, 0741, 0742, 0743, 0744, 0745, 0746, 0747, 0748, 0749, 0750, 0751, 0752, 0753, 0754, 0755, 0756, 0757, 0758, 0759, 0760, 0761, 0762, 0763, 0764, 0765, 0766, 0767, 0768, 0769, 0770, 0771, 0772, 0773, 0774, 0775, 0776, 0777, 0778, 0779, 0780, 0781, 0782, 0783, 0784, 0785, 0786, 0787, 0788, 0789, 0790, 0791, 0792, 0793, 0794, 0795, 0796, 0797, 0798, 0799, 0800, 0801, 0802, 0803, 0804, 0805, 0806, 0807, 0808, 0809, 0810, 0811, 0812, 0813, 0814, 0815, 0816, 0817, 0818, 0819, 0820, 0821, 0822, 0823, 0824, 0825, 0826, 0827, 0828, 0829, 0830, 0831, 0832, 0833, 0834, 0835, 0836, 0837, 0838, 0839, 0840, 0841, 0842, 0843, 0844, 0845, 0846, 0847, 0848, 0849, 0850, 0851, 0852, 0853, 0854, 0855, 0856, 0857, 0858, 0859, 0860, 0861, 0862, 0863, 0864, 0865, 0866, 0867, 0868, 0869, 0870, 0871, 0872, 0873, 0874, 0875, 0876, 0877, 0878, 0879, 0880, 0881, 0882, 0883, 0884, 0885, 0886, 0887, 0888, 0889, 0890, 0891, 0892, 0893, 0894, 0895, 0896, 0897, 0898, 0899, 0900, 0901, 0902, 0903, 0904, 0905, 0906, 0907, 0908, 0909, 0910, 0911, 0912, 0913, 0914, 0915, 0916, 0917, 0918, 0919, 0920, 0921, 0922, 0923, 0924, 0925, 0926, 0927, 0928, 0929, 0930, 0931, 0932, 0933, 0934, 0935, 0936, 0937, 0938, 0939, 0940, 0941, 0942, 0943, 0944, 0945, 0946, 0947, 0948, 0949, 0950, 0951, 0952, 0953, 0954, 0955, 0956, 0957, 0958, 0959, 0960, 0961, 0962, 0963, 0964, 0965, 0966, 0967, 0968, 0969, 0970, 0971, 0972, 0973, 0974, 0975, 0976, 0977, 0978, 0979, 0980, 0981, 0982, 0983, 0984, 0985, 0986, 0987, 0988, 0989, 0990, 0991, 0992, 0993, 0994, 0995, 0996, 0997, 0998, 0999, 1000

SHEET NUMBER

**SW.2**

ZINGG DESIGN 12/2005

- EROSION CONTROL NOTES**
1. The contractor is responsible for establishing and maintaining an erosion control plan throughout the construction process.
  2. Erosion control measures shall be installed prior to the commencement of site activities.
  3. These temporary measures shall be maintained until permanent erosion control measures are installed.
  4. Erosion control measures shall be installed in a manner that does not impede the construction of the project.
  5. All erosion control measures shall be inspected and approved by the Engineer prior to their installation.
  6. All erosion control measures shall be maintained throughout the construction process.
  7. All erosion control measures shall be removed and the site restored to its original condition upon completion of the project.
  8. All erosion control measures shall be installed in accordance with the following specifications:
  9. All erosion control measures shall be installed in accordance with the following specifications:
  10. All erosion control measures shall be installed in accordance with the following specifications:



**Note:**  
This digital data is being provided at the request of the user and remains the property of field engineering Associates, Inc. The user agrees to indemnify and hold harmless field engineering Associates, Inc. and its employees for any and all claims which may arise as a result of their use of this data.

**GRADING AND EROSION CONTROL PLAN**

DATE: 11/09/05

FILE NUMBER: 0588

DRAWN BY: CS/MZ

SCALE: SEE PLAN

SEE ALL NOTES ON SHEETS 0587, 0588, 0589, 0590, 0591, 0592, 0593, 0594, 0595, 0596, 0597, 0598, 0599, 0600, 0601, 0602, 0603, 0604, 0605, 0606, 0607, 0608, 0609, 0610, 0611, 0612, 0613, 0614, 0615, 0616, 0617, 0618, 0619, 0620, 0621, 0622, 0623, 0624, 0625, 0626, 0627, 0628, 0629, 0630, 0631, 0632, 0633, 0634, 0635, 0636, 0637, 0638, 0639, 0640, 0641, 0642, 0643, 0644, 0645, 0646, 0647, 0648, 0649, 0650, 0651, 0652, 0653, 0654, 0655, 0656, 0657, 0658, 0659, 0660, 0661, 0662, 0663, 0664, 0665, 0666, 0667, 0668, 0669, 0670, 0671, 0672, 0673, 0674, 0675, 0676, 0677, 0678, 0679, 0680, 0681, 0682, 0683, 0684, 0685, 0686, 0687, 0688, 0689, 0690, 0691, 0692, 0693, 0694, 0695, 0696, 0697, 0698, 0699, 0700, 0701, 0702, 0703, 0704, 0705, 0706, 0707, 0708, 0709, 0710, 0711, 0712, 0713, 0714, 0715, 0716, 0717, 0718, 0719, 0720, 0721, 0722, 0723, 0724, 0725, 0726, 0727, 0728, 0729, 0730, 0731, 0732, 0733, 0734, 0735, 0736, 0737, 0738, 0739, 0740, 0741, 0742, 0743, 0744, 0745, 0746, 0747, 0748, 0749, 0750, 0751, 0752, 0753, 0754, 0755, 0756, 0757, 0758, 0759, 0760, 0761, 0762, 0763, 0764, 0765, 0766, 0767, 0768, 0769, 0770, 0771, 0772, 0773, 0774, 0775, 0776, 0777, 0778, 0779, 0780, 0781, 0782, 0783, 0784, 0785, 0786, 0787, 0788, 0789, 0790, 0791, 0792, 0793, 0794, 0795, 0796, 0797, 0798, 0799, 0800, 0801, 0802, 0803, 0804, 0805, 0806, 0807, 0808, 0809, 0810, 0811, 0812, 0813, 0814, 0815, 0816, 0817, 0818, 0819, 0820, 0821, 0822, 0823, 0824, 0825, 0826, 0827, 0828, 0829, 0830, 0831, 0832, 0833, 0834, 0835, 0836, 0837, 0838, 0839, 0840, 0841, 0842, 0843, 0844, 0845, 0846, 0847, 0848, 0849, 0850, 0851, 0852, 0853, 0854, 0855, 0856, 0857, 0858, 0859, 0860, 0861, 0862, 0863, 0864, 0865, 0866, 0867, 0868, 0869, 0870, 0871, 0872, 0873, 0874, 0875, 0876, 0877, 0878, 0879, 0880, 0881, 0882, 0883, 0884, 0885, 0886, 0887, 0888, 0889, 0890, 0891, 0892, 0893, 0894, 0895, 0896, 0897, 0898, 0899, 0900, 0901, 0902, 0903, 0904, 0905, 0906, 0907, 0908, 0909, 0910, 0911, 0912, 0913, 0914, 0915, 0916, 0917, 0918, 0919, 0920, 0921, 0922, 0923, 0924, 0925, 0926, 0927, 0928, 0929, 0930, 0931, 0932, 0933, 0934, 0935, 0936, 0937, 0938, 0939, 0940, 0941, 0942, 0943, 0944, 0945, 0946, 0947, 0948, 0949, 0950, 0951, 0952, 0953, 0954, 0955, 0956, 0957, 0958, 0959, 0960, 0961, 0962, 0963, 0964, 0965, 0966, 0967, 0968, 0969, 0970, 0971, 0972, 0973, 0974, 0975, 0976, 0977, 0978, 0979, 0980, 0981, 0982, 0983, 0984, 0985, 0986, 0987, 0988, 0989, 0990, 0991, 0992, 0993, 0994, 0995, 0996, 0997, 0998, 0999, 1000

1 SITE PLAN

SCALE 1" = 10'-0"

SASalter - New Ideal Language

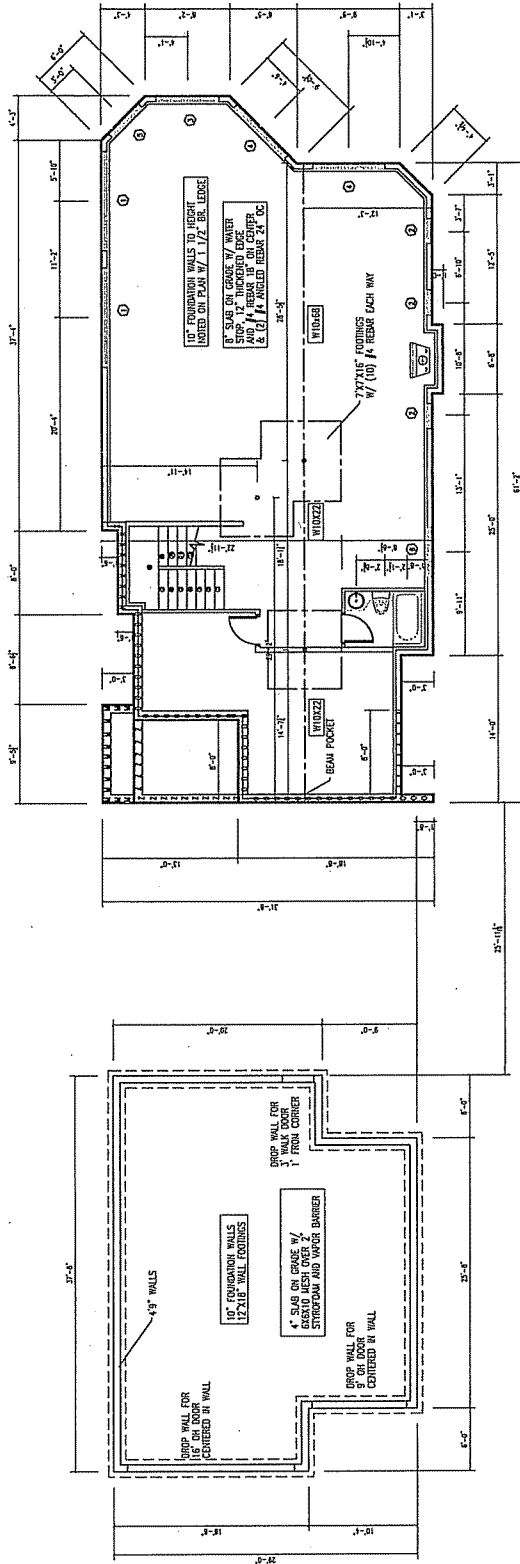
1408 Emil Street  
 Madison, WI 53713-2312  
 Phone: 808-271-8111  
 Fax: 808-271-8233

NO.	REVISION	DATE
1	Final Submission	8-24-15

Project  
**Jason and Lori Smith**  
 5116 Spring Court  
 Madison, WI 53713

sheet

drawn by:  
 checked by:  
 date:  
 drawing no.: A0.0



WALL HEIGHT LEGEND  
 X = 5'-9" WALL  
 1 = 7'-8" WALL  
 2 = 7'-0" WALL  
 4 = 5'-6" WALL  
 ALL OTHER WALLS 3'-9"

SCALE 3/16" = 1'-0"

**BASEMENT**



S\Smaller, New Ideal Legabhp

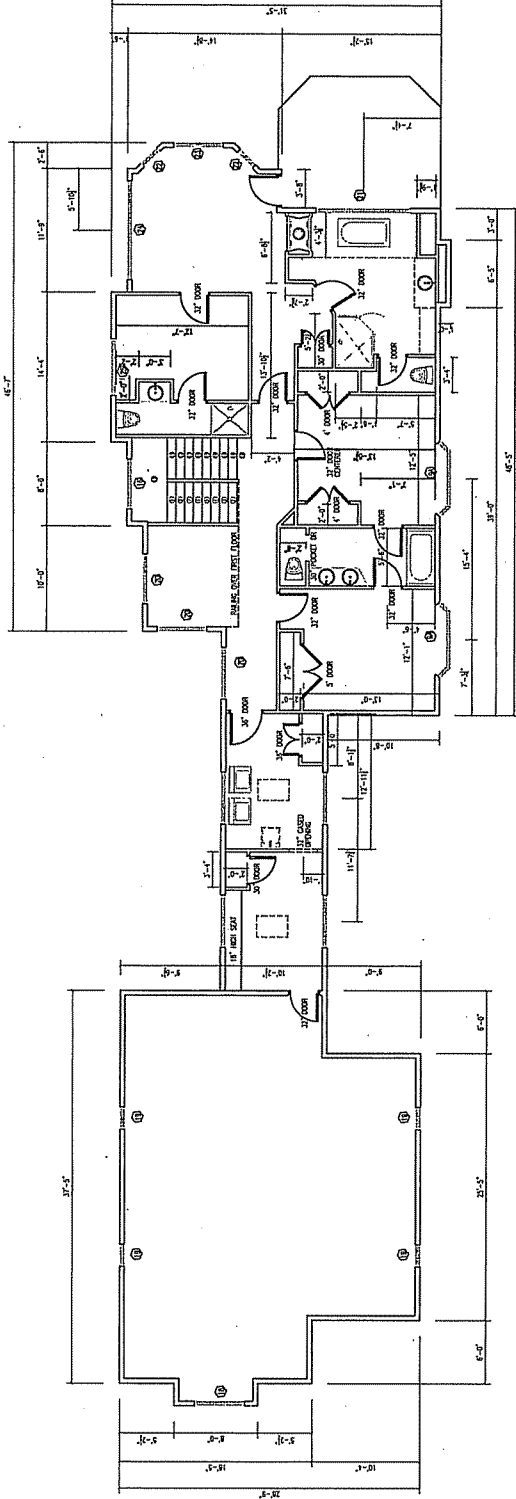
1408 Emil Street  
Madison, WI 53715-2812  
Phone: 608-271-8111  
Fax: 608-271-0283

revisions	
DATE	BY

project  
Jason and Lori Smith  
5116 Spring Court  
Madison, WI 53713

client

drawn by:  
checked by:  
date:  
drawing no. A2.0



SCALE 3/16" = 1'-0"

SECOND FLOOR

3/8" = 1' - 0" New Detail Logoship

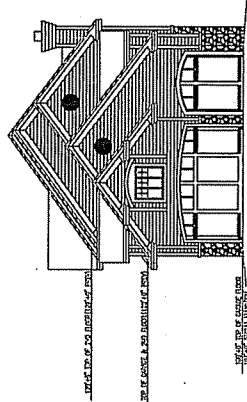
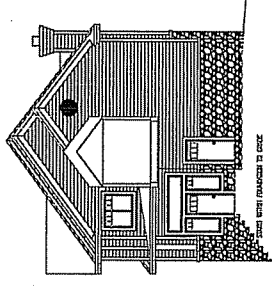
1408 Paul Street  
 Madison, WI 53719-2912  
 Phone: 608-271-8111  
 Fax: 608-271-8233

REV	DATE	BY	DESCRIPTION
1	10/20/21	JLS	ISSUE FOR PERMITS
2			
3			
4			
5			
6			
7			
8			

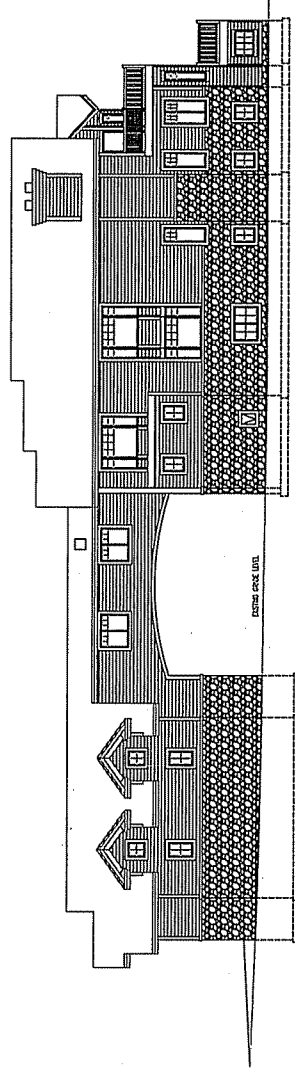
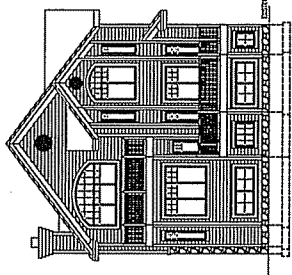
Project  
 Jason and Lori Smith  
 5116 Spring Court  
 Madison, WI 53713

Client

Drawn by: JLS  
 Checked by: JLS  
 Date: 10/20/21  
 Drawing No. A19



ALTERATIONS TO PREVIOUSLY APPROVED PLANS  
 1) EXPOSED SIDING ON HOUSE AND GARAGE  
 2) CHANGED WINDOW GRILLE PATTERN  
 3) CHANGED HEIGHT OF WINDOWS IN BASEMENT, FIRST AND SECOND FLOORS  
 4) COMPOSITE SHINGLES  
 5) (1) JOBB ENTRY DOOR  
 6) DECK RAIL SYSTEM  
 7) DECK STAIRS TO GO DOWN TO EAST  
 8) HOUSE ELEVATIONS AS NOTED ON PLAN



**A** Elevations  
 Scale: 3/16" = 1'-0"