

Thursday, August 27, 2009

Rebecca Cnare, ASLA, Preservation Planner &  
Madison Landmarks Commission  
City Hall  
Madison, WI 53701

Dear Commissioners,

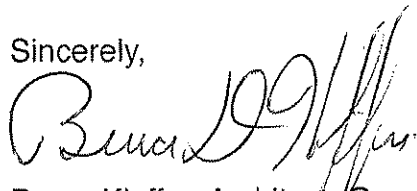
We would like to request Landmark Commission approval for several changes to the exterior of our residence. The home, although not historic (having been constructed in 1989) is located in the University Heights Historic District.

The two changes being requested are: (1) removal of two rather large wood framed chimneys approximately centered on the roof and (2) the addition of an 8-1/2' radius barrel vaulted dormer on the back side of the house, also at roof level of the house located at 1914 Arlington Place. The two chimneys would be replaced by a much smaller chimney and a matching ventilator (see drawings).

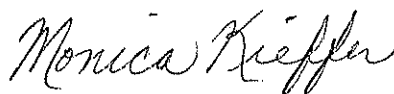
The chimneys were originally intended to present a visually dramatic / dynamic vertical contrast to a more sedate and somewhat more horizontal organization and design of the balance of the buildings front elevation. In addition, the chimneys do house a metal fireplace flue, components of a natural ventilation system and access to the roof through a (mostly) concealed door at the back side of one of the frame chimneys. These functions can easily be replaced by much smaller components and the access is not required. The chimneys have also proven to be a difficult maintenance problem - mostly due to their inherent exposure to the weather. Visually, these changes (I believe) would make for a much more calm appearance on the house's front elevation - more in keeping with the visual character of other houses on Arlington Place. The dormer addition would enhance the visual character of the back elevation, which is far more sculpted and dynamic in nature (than the front) - and far less visible. I feel comfortable in making these comments as I was also the original designer of the house.

Thanks for the opportunity to make this request. If there are any remaining questions, please feel free to contact me.

Sincerely,

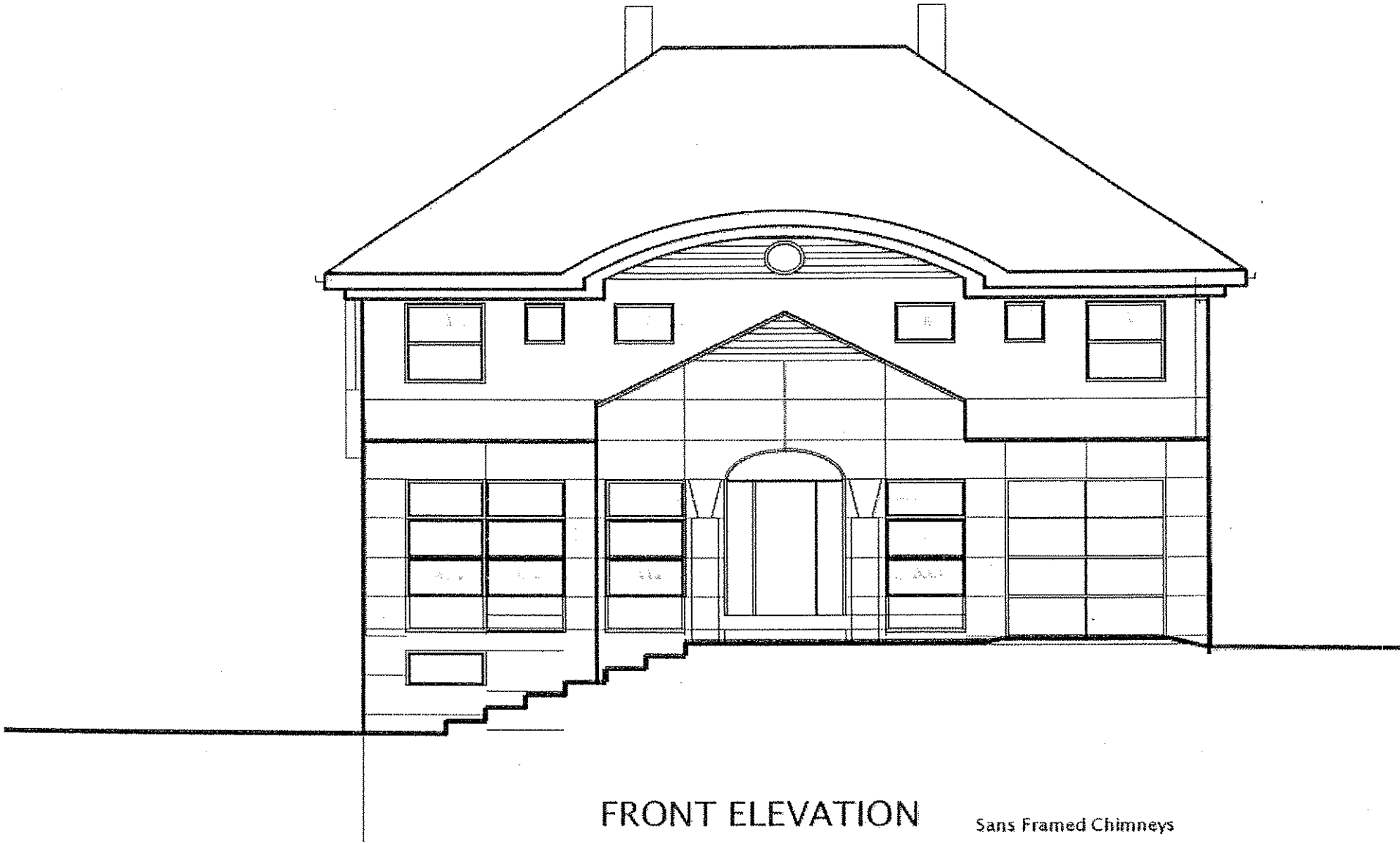


Bruce Kieffer, Architect, Owner



Monica Kieffer, Owner

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1914 Arlington Place  
Madison, WI 53726



FRONT ELEVATION

Sans Framed Chimneys



BACK ELEVATION

Sans Framed Chimneys / New Barrel Vault Dormer

PROPERTY S 89d 51' 60" E 64.8'

2' OAK

18' OAK

18' OAK

REAR YARD SETBACK  
MINIMUM 48'

OUTDOOR DECK IS  
ALLOWABLE 082'  
6" INTO REAR YARD

PAVED DRIVE

18' OAK

PROPERTY N 18d 38' 01" W 97d 18' 00" E 97.8'

12' MAPLE

BASEMENT FLR. 8 81'9.5"  
MAIN FLOOR 8 92'9"  
SECOND FLR. 8 99'11.5"

PAVED DRIVE

OUTLINE OF APRX. LOCATION  
OF HOUSE ON ADJ. PROPERTY

OUTLINE OF BUILDING  
ON ADJ. PROPERTY

OVERHANGING PORCH  
OUTLINE ABOVE

RIDGE

PAVED DRIVE

DROWS NEST

9' SIDE YARD

CHIMNEYS

9' SIDE YARD

EXIST. 3' DIA. OAK

FREESTANDING TRELLIS

ROOF OUTLINE

FOUNDATION OUTLINE

P.C. STOP

PAVED DRIVE

ADJ. HOUSE SETBACK  
AT WEST END 13'

FRONT YARD SETBACK  
AT 15'-0" MIN. OR

WALK

PAVED DRIVE

ADJ. HOUSE SETBACK  
AT EAST END 17'-18'

PROPERTY N 89d 42' 13" W 68.0'

B = 680.8' A = 5d 43' 28"

V G NEW GAS SERVICE

NEW UNDER-E

GROUND ELEC.

EXIST. SIDEWALK

AVERAGE SETBACK OF  
HOUSE TO THE WEST  
15' NOT INC. 2nd FLR. DIA.

89

FUTURE  
DRIVE  
APRON

90

3' OAK

DRIVE  
APRON

EXISTING DRIVE

SIDEWALK OUTLINE

ELECTRICAL UTILITY  
TO RELOCATE POWER  
POLE TO NEW LOCATION

NORTH CURB LINE  
ARLINGTON PLACE

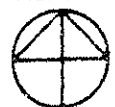
PROPOSED NEW SEWER  
LAT. LOC. TO LEL 80.1'

INVERT ELEV  
APRX. 81.44'

NEW WATER LATERAL  
AND STOP 30.1'

ARLINGTON PLACE R.O.W

NORTH



# SITE PLAN

SCALE: 1" = 15'

## **1914 Arlington Place Architectural Change - Materials Note**

The overall intention for any new exterior materials is to match the corresponding existing materials in form, texture and color including the following:

Roofing:       New roof shingles to match existing  
                  Rubber roof membrane (dark gray to black) on dormer to match existing  
                  rubber roofing on from round section of roof at front of house.

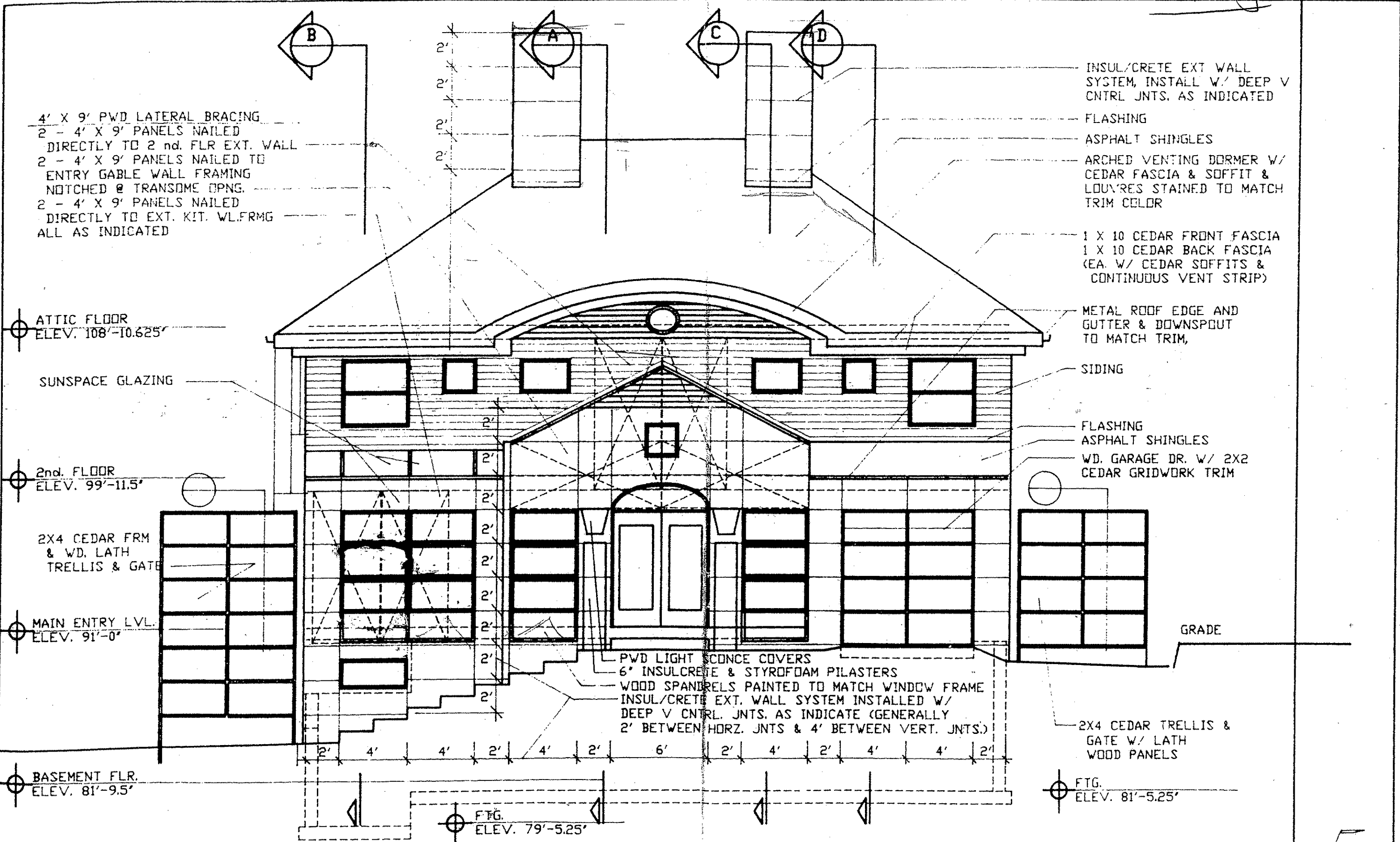
Windows / Glass and Patio Doors at dormer to match existing Anderson windows of house

Siding: Small areas at dormer wall to match existing siding, cedar bevel

Exterior Trim: to match existing fascias and soffits; cedar

Deck: Wood deck framing, decking and railing to be sealed treated lumber matching existing deck construction and materials.





4' X 9' PWD LATERAL BRACING  
 2 - 4' X 9' PANELS NAILED  
 DIRECTLY TO 2 nd. FLR EXT. WALL  
 2 - 4' X 9' PANELS NAILED TO  
 ENTRY GABLE WALL FRAMING  
 NOTCHED @ TRANSOME OPNG.  
 2 - 4' X 9' PANELS NAILED  
 DIRECTLY TO EXT. KIT. WL.FRMG  
 ALL AS INDICATED

INSUL/CRETE EXT WALL  
 SYSTEM, INSTALL W/ DEEP V  
 CNTRL JNTS. AS INDICATED  
 FLASHING  
 ASPHALT SHINGLES  
 ARCHED VENTING DORMER W/  
 CEDAR FASCIA & SOFFIT &  
 LOUVRES STAINED TO MATCH  
 TRIM CELDR  
 1 X 10 CEDAR FRONT FASCIA  
 1 X 10 CEDAR BACK FASCIA  
 (EA. W/ CEDAR SOFFITS &  
 CONTINUOUS VENT STRIP)

ATTIC FLOOR  
 ELEV. 108'-10.625'

METAL ROOF EDGE AND  
 GUTTER & DOWNSPOUT  
 TO MATCH TRIM,

SUNSPACE GLAZING

SIDING

2nd. FLOOR  
 ELEV. 99'-11.5'

FLASHING  
 ASPHALT SHINGLES  
 WD. GARAGE DR. W/ 2X2  
 CEDAR GRIDWORK TRIM

2X4 CEDAR FRM  
 & WD. LATH  
 TRELLIS & GATE

MAIN ENTRY LVL.  
 ELEV. 91'-0'

GRADE

PWD LIGHT SCNCE COVERS  
 6" INSULCRETE & STYROFOAM PILASTERS  
 WOOD SPANDRELS PAINTED TO MATCH WINDOW FRAME  
 INSUL/CRETE EXT. WALL SYSTEM INSTALLED W/  
 DEEP V CNTRL. JNTS. AS INDICATE (GENERALLY  
 2' BETWEEN HORZ. JNTS & 4' BETWEEN VERT. JNTS.)

2X4 CEDAR TRELLIS &  
 GATE W/ LATH  
 WOOD PANELS

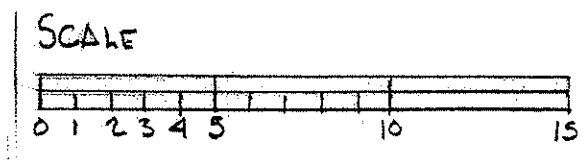
BASEMENT FLR.  
 ELEV. 81'-9.5'

FTG.  
 ELEV. 81'-5.25'

FTG.  
 ELEV. 79'-5.25'

SOUTH / FRONT ELEVATION

SCALE 3/16"=1'-0"



6'8" WD. & GLASS ACCESS DOOR TO CROWS NEST W/ DECK FRAMING & RAILING TO MATCH OTHER DECK CONSTR.

1 X 10 WD. TRIM BD  
 2 - 4' X 4' VENTING SKYLIGHTS  
 ASPHALT SHINGLES  
 METAL GUTTERS & DOWNSPOUTS

SIDING  
 4' X 9' PWD LAT BRAC'NG  
 2 - 2 X 10 HEADER FOR FUTURE WINDO OPENING

SIDEWALK GRADE  
 DRIVE GRADE FRONT OF HOUSE  
 12" HORZ. SIDING ON 4X4 WD FENCE POSTS 2 6' o.c.  
 CONC. RETAINING WALL @ DRIVE WAY  
 DRIVE GRADE  
 GRADE @ BACK OF HOUSE

TOP OF FTR. ELEV. VARIES SEE FND/FTG PLAN

INSUL/CRETE WALL SYSTEM @ CHIMNEYS W/ DEEP 'V' CNTRL JNTS HDRZ. @ 2' o.c.  
 FLASHING TYP.

ATTIC FLOOR ELEV. 108'-11.625'

DECK FRAM & RAILING CONSTRUCTION TYPICAL

2nd. FLOOR ELEV. 99'-11.5'

LIVING RM. FLR. ELEV. 90'-3.75'

GRADE @ SIDEWALK FRONT OF HOUSE

BSMT. FLOOR ELEV. 81'-9.5'

TOP OF FTG. ELEV. 77'-5.25'

TOP OF FTG. ELEV. 75'-5.25'

2' X 2' X 1' CONC COLUMN FTG'S FOR DECK SUPPORTS

PWD LATERAL BRACING

BACK / NORTH ELEVATION

SCALE 3/16"=1'-0"

7



INSUL/CRETE EXT WALL  
SYSTEM ON FRAME CHIMNEY

FLASHING

ASPHALT SHINGLES

INSUL/CRETE W/ DEEP V  
CNTRL. JNTS AS INDICATED

4' 4' 4' 4' 4' 4' 4' 4' 4' 4'

GUTTER & DOWNSPOUT

4X9 PWD LATERAL BRACING

2' TYP.

DECK RAILING / WALL  
INSULCRETE W/ CNTRL JNTS  
AS INDICATED AND  
2X & 4X CEDAR RAILS

4X4 WOOD POST ON  
2' X 2' X 1' DEEP  
PORED CONC. FTG.

ATTIC FLR.  
ELEV. 108'-10.625'

ASPHALT SHINGLES  
4' X 9' PWD BRACING  
GUTTER & DRAIN TO SS ROOF  
INSULCRETE WALL SYSTEM

2nd. FLOOR  
ELEV. 99'-11.5'

MAIN FLOOR  
ELEV. 91'-0"

GRADE

BSMT. FLR.  
ELEV. 81'-9.5'

GRADE

TOP OF FTG.  
ELEV. 75'-5.25'

TOP OF FTG.  
ELEV. 77'-5.25'

TOP OF FTG.  
ELEV. 79'-5.25'

WEST ELEVATION

SCALE 3/16"=1'-0"

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