



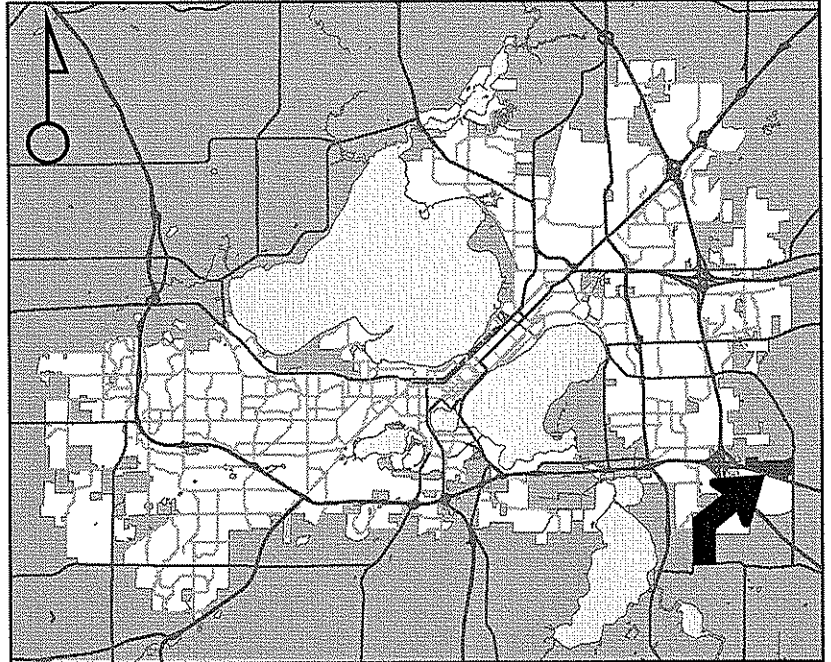
Location
7102 US Highway 12 & 18

Applicant
John Welch –
Dane County Public Works

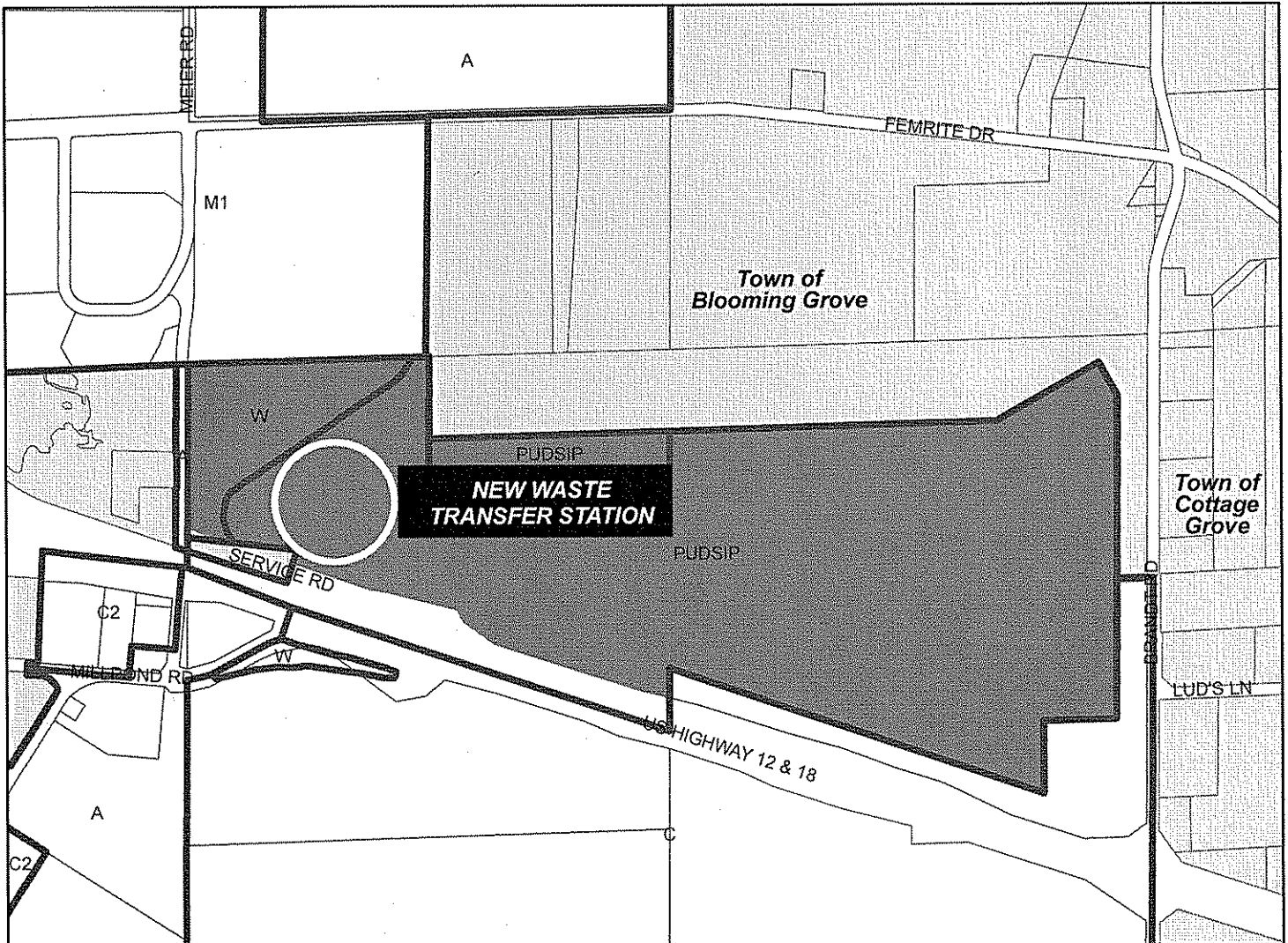
Existing Use
Rodefild Landfill

Proposed Use
Construct New Waste Transfer
Station at Rodefild Landfill

Public Hearing Date
Plan Commission
08 February 2010



For Questions Contact: Tim Parks at: 261-9632 or tparks@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 900'

City of Madison, Planning Division : RPJ : Date : 26 January 2010





LAND USE APPLICATION Madison Plan Commission

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed with the Subdivision Application.
- Before filing your application, please review the information regarding the **LOBBYING ORDINANCE** on the first page.
- Please read all pages of the application completely and fill in all required fields.
- This application form may also be completed online at www.cityofmadison.com/planning/plan.html
- All Land Use Applications should be filed directly with the Zoning Administrator.

FOR OFFICE USE ONLY:	
Amt. Paid	\$ 600 Receipt No. 106417
Date Received	12/14/09
Received By	JL
Parcel No.	0710 25100993
Aldermanic District	16 Judy Compton
GQ	Zoned PUDSIP; wetland
Zoning District	PUDSIP
For Complete Submittal	
Application	Letter of Intent <u>OK</u>
IDUP	Legal Descript. <u>N/A</u>
Plan Sets	Zoning Text <u>OK</u>
Alder Notification	Waiver <u>OK</u>
Ngrbrhd. Assn Not.	Waiver
Date Sign Issued	12/14/09

1. Project Address: 7102 U.S. Highway 12 & 18, Madison, WI 53718. **Project Area in Acres:** 4.9

Project Title (if any): Dane County Landfill - Waste Transfer Station and Clean Sweep Building

2. This is an application for:

Zoning Map Amendment (check the appropriate box(es) in only one of the columns below)

<input type="checkbox"/> Rezoning to a Non-PUD or PCD Zoning Dist.: Existing Zoning: _____ to _____ Proposed Zoning (ex: R1, R2T, C3): _____	Rezoning to or Amendment of a PUD or PCD District: <input type="checkbox"/> Ex. Zoning: _____ to PUD/PCD-GDP <input type="checkbox"/> Ex. Zoning: _____ to PUD/PCD-SIP <input type="checkbox"/> Amended Gen. Dev. <input type="checkbox"/> Amended Spec. Imp. Plan
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Demolition Permit
<input checked="" type="checkbox"/> Other Requests (Specify): Minor Alteration to PUD	

3. Applicant, Agent & Property Owner Information:

Applicant's Name: John Welch Company: Dane County Public Works

Street Address: 1919 Alliant Energy Center Way City/State: Madison, WI Zip: 53713

Telephone: (608) 267-8815 Fax: (608) 267-1533 Email: Welch@co.dane.wi.us

Project Contact Person: John Welch Company: Dane County Public Works

Street Address: 1919 Alliant Energy Center Way City/State: Madison, WI Zip: 53713

Telephone: (608) 267-8815 Fax: (608) 267-1533 Email: Welch@co.dane.wi.us

Property Owner (if not applicant): _____

Street Address: _____ City/State: _____ Zip: _____

4. Project Information:

Provide a brief description of the project and all proposed uses of the site:

Dane County is proposing the construction of new waste transfer station at the current Dane County landfill site.

Development Schedule: Commencement 5/1/10 Completion 12/2/10

5. Required Submittals:

- Plans** submitted as follows below and depicts all lot lines; existing, altered, demolished or proposed buildings; parking areas and driveways; sidewalks; location of any new signs; existing and proposed utility locations; building elevations and floor plans; landscaping, and a development schedule describing pertinent project details:
 - **7 copies** of a full-sized plan set drawn to a scale of one inch equals 20 feet (collated and folded)
 - **7 copies** of the plan set reduced to fit onto 11 inch by 17 inch paper (collated, stapled and folded)
 - **1 copy** of the plan set reduced to fit onto 8 ½ inch by 11 inch paper
- Letter of Intent (12 copies):** describing this application in detail including, but not limited to: existing conditions and uses of the property; development schedule for the project; names of persons involved (contractor, architect, landscaper, business manager, etc.); types of businesses; number of employees; hours of operation; square footage or acreage of the site; number of dwelling units; sale or rental price range for dwelling units; gross square footage of building(s); number of parking stalls, etc.
- Legal Description of Property:** Lot(s) of record or metes and bounds description prepared by a land surveyor. For any application for rezoning, the description must be submitted as an electronic word document via CD or e-mail. For applications proposing rezoning to more than one district, a separate description of each district shall be submitted.
- Filing Fee:** \$ 600 See the fee schedule on the application cover page. Make checks payable to: *City Treasurer*.
- Electronic Submittal:** All applicants are required to submit copies of all items submitted in hard copy with their application (including this application form, the letter of intent, complete plan sets and elevations, etc.) as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or in an e-mail sent to pcapplications@cityofmadison.com. The e-mail shall include the name of the project and applicant. Applicants unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.

In Addition, The Following Items May Also Be Required With Your Application:

- For any applications proposing demolition or removal of existing buildings, the following items are required:
 - Prior to the filing of an application, the applicant or his/her agent is required to notify a list of interested persons registered with the City **30 or 60 days prior to filing** their application using the online notification tool found at: <https://www.cityofmadison.com/developmentCenter/demolitionNotification/>
 - A photo array (6-12 photos) of the **interior and exterior** of the building(s) to be demolished or removed. A written assessment of the condition of the building(s) to be demolished or removed is highly recommended.
 - Note: A Reuse and Recycling Plan approved by the City's Recycling Coordinator is required prior to issuance of wrecking permits and the start of construction.
- Zoning Text (12 copies):** must accompany Planned Community or Planned Unit Development (PCD/PUD) submittals.

6. Applicant Declarations:

Conformance with adopted City plans: Applications shall be in accordance with all adopted City of Madison plans:
 → The site is located within the limits of _____ Plan, which recommends: _____ for this property.

Pre-application Notification: Section 28.12 of the Zoning Code requires that the applicant notify the district alder and any nearby neighborhood & business associations in writing no later than **30** days prior to filing this request:
 → List below the Alderperson, Neighborhood Association(s), Business Association(s) AND dates you sent the notices:
 Alderperson Judy Compton notified on August 28, 2009
 NOTE: If the alder has granted a waiver to this requirement, please attach any such correspondence to this form.

Pre-application Meeting with staff: Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.
 Planning Staff: Brad Murphy Date: 7/29/09 Zoning Staff: Matt Tucker Date: 7/29/09

Check here if this project will be receiving a public subsidy. If so, indicate type in your Letter of Intent.

The signer attests that this form is accurately completed and all required materials are submitted:
 Printed Name John Welch Date 12/14/09
 Signature [Signature] Relation to Property Owner Employee - Recycling Manager
 Authorizing Signature of Property Owner [Signature] Date 12/14/09

Dane County Landfill - Waste Transfer Station and Clean Sweep Building

Letter of Intent

Dane County has operated a municipal solid waste landfill at this site, as a service to its residents and to local municipalities, since 1985, with an expansion to its current footprint occurring in 1994. In recent years, Dane County has received 175,000 – 200,000 tons of solid waste annually. Dane County has a plan of operation on file with the WI DNR, and the site complies with all applicable regulations. Dane County has also worked hard to maintain a very good working relationship with the neighbors of this site, while providing an economical and environmentally responsible waste disposal solution as an element of its comprehensive and integrated solid waste management plan.

As part of its plans for continued landfill operation, Dane County is always looking for ways to divert waste and extend the life of the landfill. One of the best methods for accomplishing this is to divert recyclable materials from the waste stream that is disposed of in the landfill hill. Diverting recyclable materials to recycling markets will extend the life of our landfill, increase recycling rates, and reduce our dependence on raw materials for manufacturing. In an effort to divert more material from the landfill hill, Dane County is proposing the construction of new waste transfer station at the current Dane County landfill site, 7102 U.S. Hwy 12 & 18, Madison WI.

The waste transfer station will be used to separate recyclable materials, especially Construction and Demolition waste, from the waste stream. This separation will take place on the tipping floor slab, which is the main floor space within the waste transfer station and where waste haulers will dump their loads. Wastes will then be loaded onto semi trailers one of two ways. Waste will either be 1) top loaded into open-top semi trailers parked below the tipping floor slab; or 2) pushed into holes at the south end of the tipping floor slab. The holes on the south end of the building lead to compactors below, where the waste will be compacted before being end-loaded onto semi trailers. The semi trailers will then haul the wastes to appropriate final locations. This building is being designed to eventually handle 1800 tons of waste per day. The building would use renewable heat from the electrical generation engines on site to heat the tipping floor slab.

In addition to the waste transfer station, Dane County is also proposing to construct a household hazardous waste drop off site to house the Clean Sweep program year-round. The Clean Sweep program provides a place for residents to safely dispose of hazardous household materials, such as fertilizer, chemicals, mercury, paint, batteries, etc. Currently, Clean Sweep is only open during the summer months, but this new building will allow Clean Sweep to remain open to County residents year-round. The Clean Sweep building would obtain all of its heat from the electrical generation engines on site, a renewable energy source.

As shown on the attached plans, the construction of these facilities includes construction of drive paths and parking areas. A stormwater control plan will be developed for this

site, and it will coordinate future runoff with the existing storm waterplan on file with the DNR.

Because the transfer station will be handling waste that would have already been coming to this site, the only anticipated increase in traffic for the transfer station is the relatively small number of semi trailers leaving the facility. The largest traffic increase will be due to residents using the Clean Sweep facility, which will result in an estimated increase of less than 50 vehicle trips per day during its busiest period.

Key Project Milestones:

February 18, 2010: Bids due from contractors

April 1, 2010: Notice to Proceed

May 7, 2010: Begin construction

December 2, 2010: Substantial Completion.

History of PUD-SIP Zoning for Dane County Rodefild Landfill

When the Rodefild Landfill originally opened in 1985, the site was comprised of approximately 94 acres. A portion of this original site was in the City of Madison, and this portion was originally zoned PUD/SIP. The northern one-half of the original site was in the Town of Blooming Grove until 1991, when it was annexed to the City of Madison. This portion of the site was originally zoned Agriculture.

In 1994, Dane County purchased an adjacent 75-acre tract of land from the City of Madison to expand the total acreage of the landfill site to its current size of approximately 169 acres. As a condition of this sale, the City of Madison required Dane County to secure City of Madison rezoning of the entire site.

Of the newly acquired land, a 6.413-acre portion was needed as a buffer area, so it was given its own SIP language to ensure its continued use as a buffer area. The remaining 162 acres of the property was required, as a condition of the sale, to be rezoned as a unified PUD/SIP plan. This PUD/SIP plan is document V29808P, recorded with the Dane County Register of Deeds. Dane County has not included the entire text of the PUD/SIP plan with this application because it is 66 pages in length.

The PUD/SIP plan and drawings outline acceptable activities at the site, which include landfill operations and the construction of buildings for an office, maintenance area, future gas control building (since built), future public drop off building (not constructed), and future cold storage building (since built).

Alterations to the SIP were approved in 1997, 2004 and 2009. These alterations allowed for installation of gas clean-up and electric generation equipment and buildings (1997); expansion of the gas generation equipment and building (2004); and installation of a new building and equipment for gas clean-up and compression (2009).

Dane County has copies of the PUD/SIP texts for this site available for review, upon request. Additionally, Dane County staff is available to answer any questions related to the zoning of the landfill property. For any questions regarding this application, please contact John Welch at 608-267-8815 or welch@co.dane.wi.us.

DANE COUNTY WASTE TRANSFER STATION AND HOUSEHOLD HAZARDOUS WASTE FACILITY RODEFELD LANDFILL



Dan Henry Graef
2000 Lakeside Drive
Madison, WI 53716-1479
414.728.1000
414.729.0077 fax
www.graef-usa.com

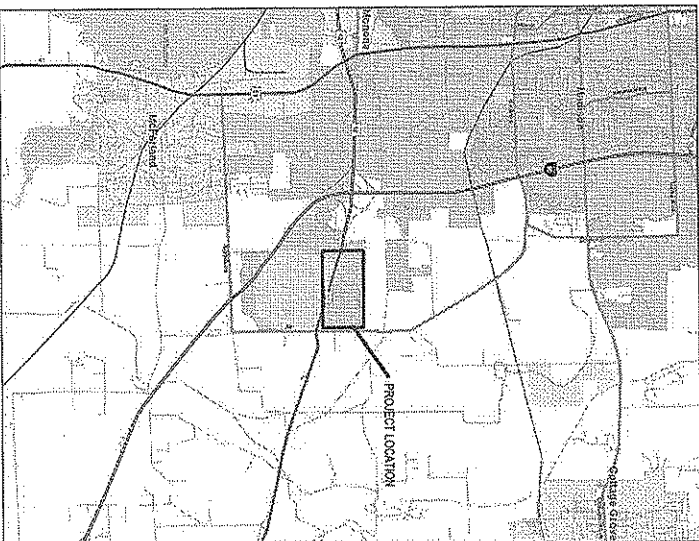
DRAWING LIST

- T100 TITLE SHEET
- C300 SITE PLAN
- C400 GRADING PLAN
- A400 BUILDING ELEVATIONS
- A401 BUILDING ELEVATIONS
- E001 SITE ELECTRICAL PLAN
- E002 SITE PHOTO METRICS PLAN

SUBMITTALS

URBAN DESIGN COMMISSION REVIEW

01-12-2010



LOCATION MAP



PROJECT TITLE
DANE COUNTY
WASTE TRANSFER STATION
AND HOUSEHOLD HAZARDOUS
WASTE FACILITY
RODEFELD LANDFILL

ISSUE

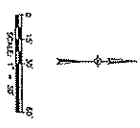
PROJECT ORGANIZATION

PROJECT NUMBER: 2009-02-030
DATE: 01-12-2010
DRAWN BY: JRS
CHECKED BY: JK
APPROVED BY: JK
SCALE: AS NOTED

TITLE SHEET

SHEET NUMBER

T100



GENERAL NOTE
 1. BLUE SHOWN AND PROPOSED BY DRAIN ENGINEER
 2. EXISTING AND PROPOSED ALIQUOT CONTROL
 3. EXISTING AND PROPOSED BOTTOM OF WALL GRADE
 4. EXISTING AND PROPOSED SPOT ELEVATION
 5. EXISTING AND PROPOSED FINISH GRADE

- LEGEND**
- PROPOSED UNDER CONSTRUCTION
 - PROPOSED ALIQUOT CONTROL
 - PROPOSED BOTTOM OF WALL GRADE
 - PROPOSED SPOT ELEVATION
 - PROPOSED FINISH GRADE



GR2EF

One Honey Creek Corporate Center
 25500 West 14th Street, Suite 401
 Minneapolis, MN 55448
 414.729.1500
 414.729.0075 fax
 www.gr2ef.com

CONSULTANTS

PROJECT TITLE

DATE COUNTY
 WASTE TRANSFER STATION
 AND HOUSEHOLD WASTEWATERS
 WASTE FACILITY
 ROSEBUD PARKFILL

NO. DATE PERSONS BY

ISSUE

PROJECT INFORMATION

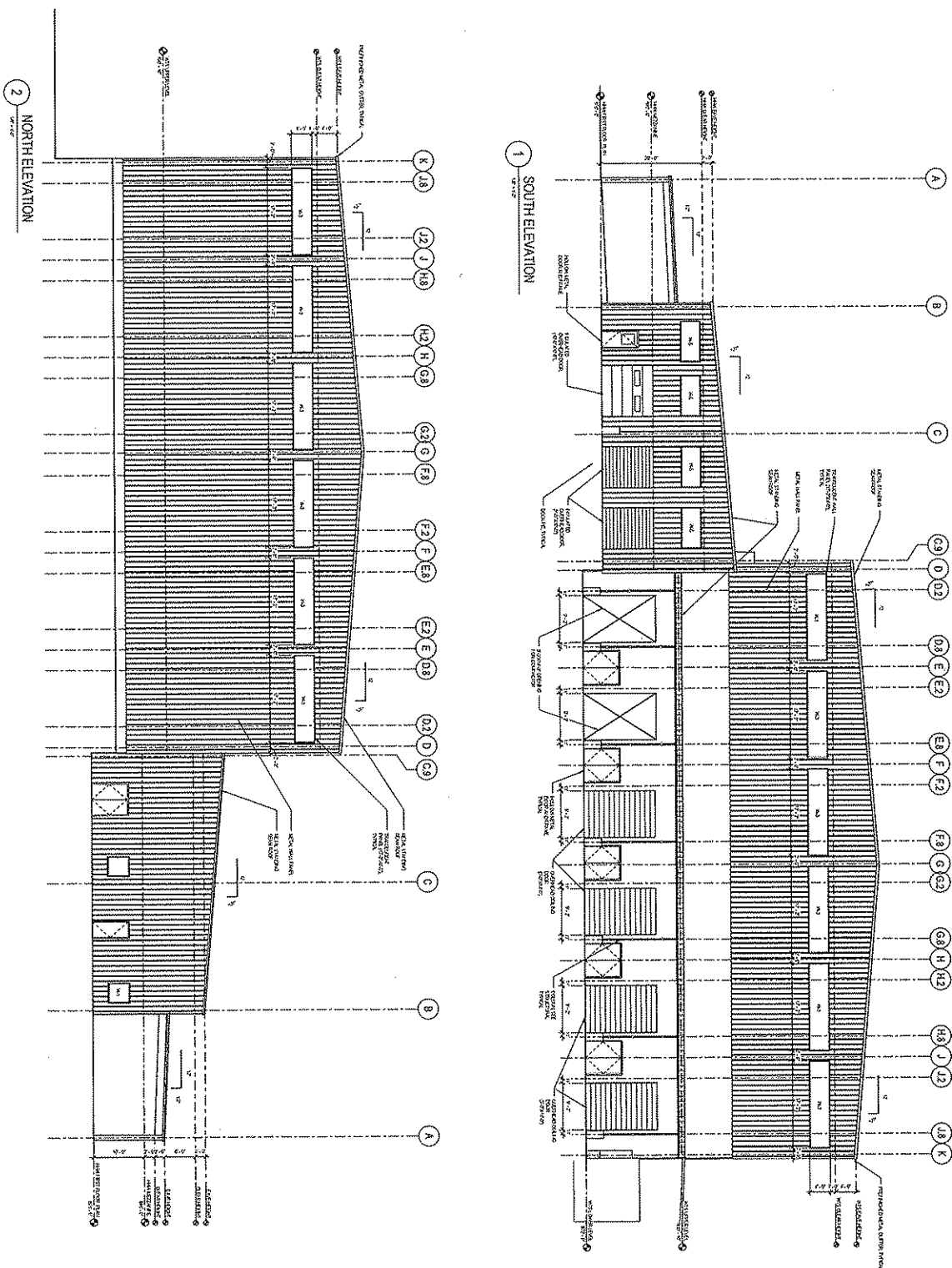
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 DATE: 01-12-2010
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 CHECKED BY: DWA
 APPROVED BY: JPH
 SCALE: 1" = 30'
 FILE PATH: C:\p\dw\c\c

SHEET TITLE

GD0309-0-01

SHEET NUMBER

C400



041 Henry Park Campus Drive
135 South 44th Street, Suite 401
Madison, WI 53714-1470
414.726.1500
414.726.0303 fax
www.gr2ef.com

CONSULTANTS

PROJECT TITLE
DAVE COUNTY
WASTE TRANSFER STATION
AND HOUSEHOLD WASTES
RECYCLING CENTER
ROSEAU AVENUE

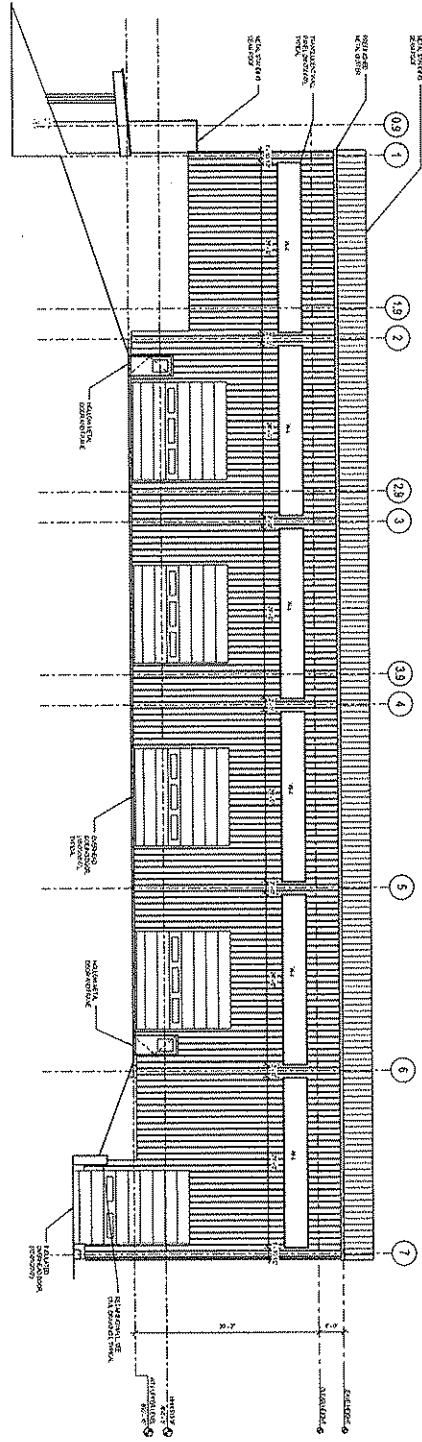
ISSUE

PROJECT INFORMATION
PROJECT NUMBER: 2009-0328-0
DATE: 01-12-2010
DRAWN BY: PJP
CHECKED BY: SEB
APPROVED BY: JHK
SCALE: AS NOTED

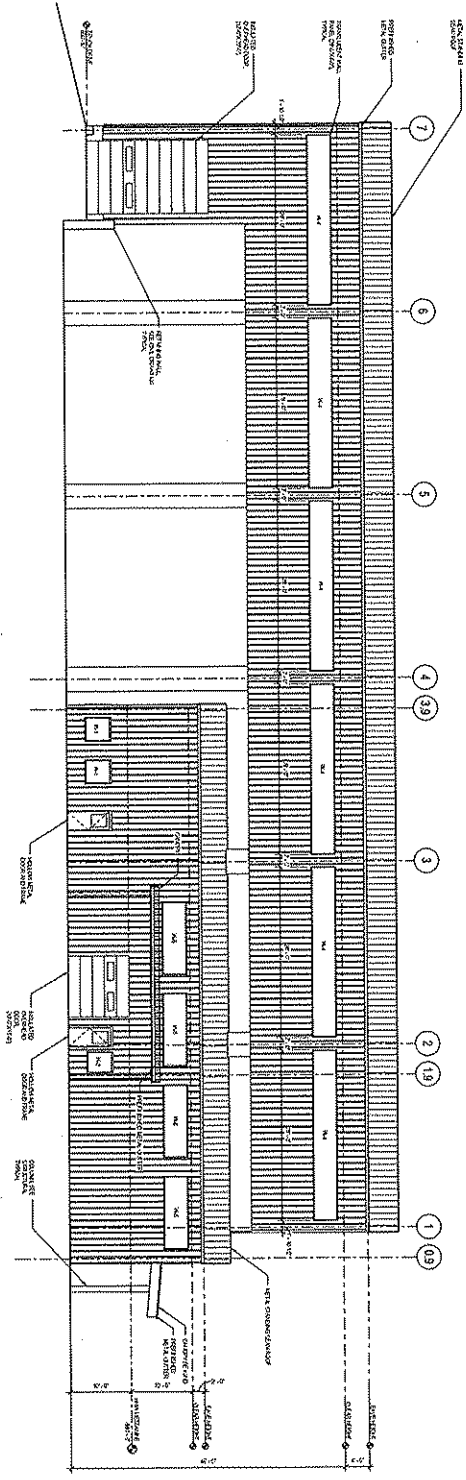
SHEET TITLE
BUILDING ELEVATIONS

SHEET NUMBER

A300



1 EAST ELEVATION



2 WEST ELEVATION



On Heavy Duty Organic Coarse
 125 South State Street, Suite 401
 Milwaukee, WI 53214-4470
 414.222.7000
 414.222.8000 fax
 www.griefusa.com

CONSULTANTS

PROJECT TITLE
 DANE COUNTY
 WASTE TRANSFER STATION
 AND RECYCLED PAVEMENTS
 ROOF FLOOR FINISH

ISSUE

PROJECT INFORMATION
 PROJECT NUMBER: 2009-0328-00
 DATE: 01-12-2010
 DRAWN BY: PJP
 CHECKED BY: SEB
 APPROVED BY: JJK
 SCALE: AS NOTED

SHEET NUMBER

A301

SHEET TITLE
 BUILDING ELEVATIONS