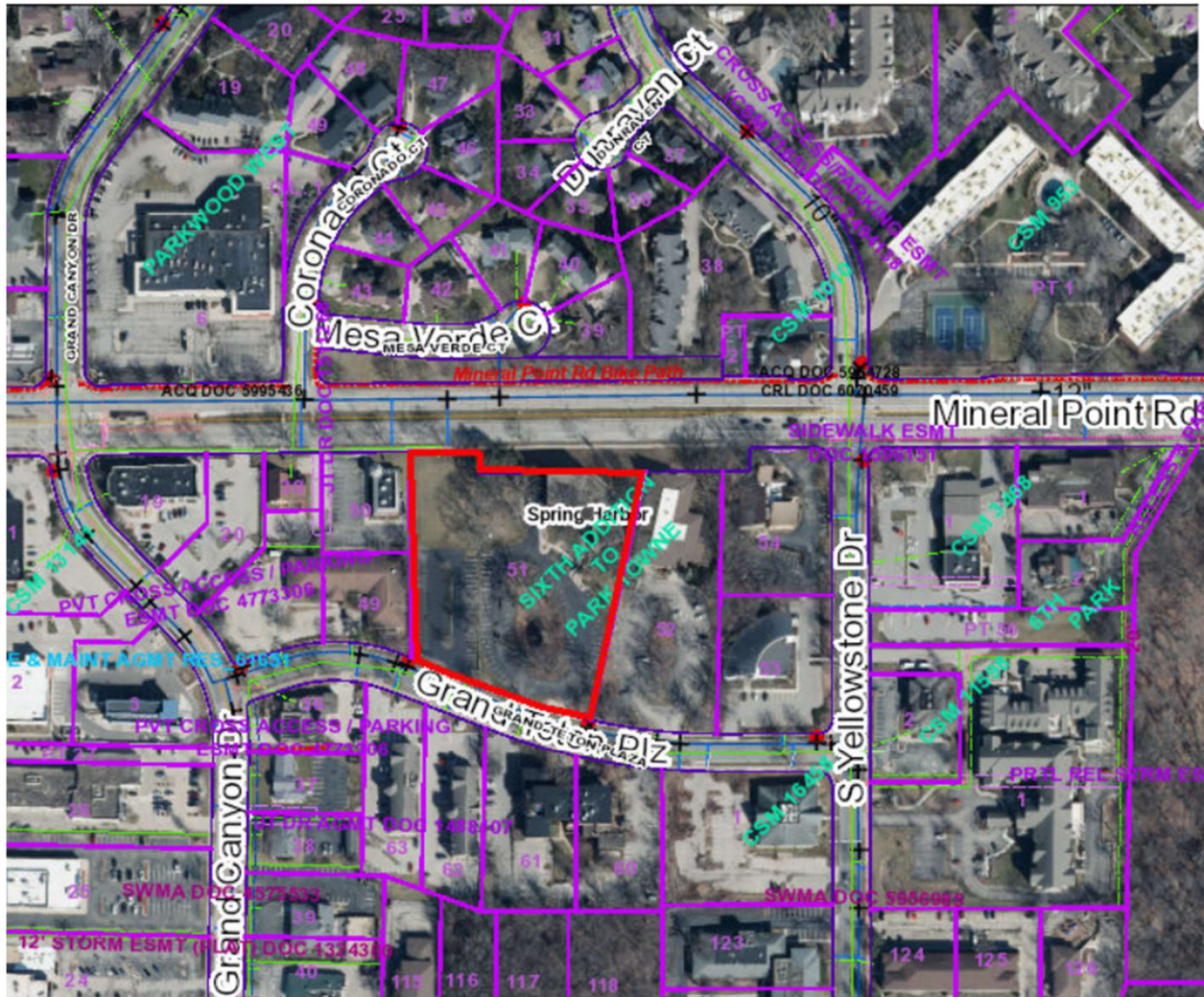


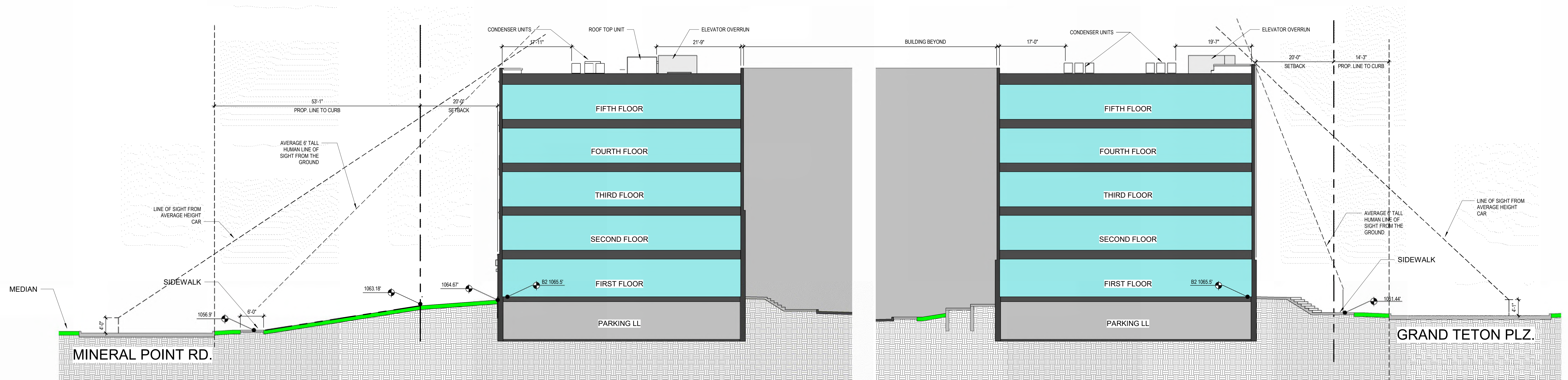
6518 and 6526 Grand Teton Plaza
Contract 9772
MUNIS 16208
Developer: GT Apartments, LLC



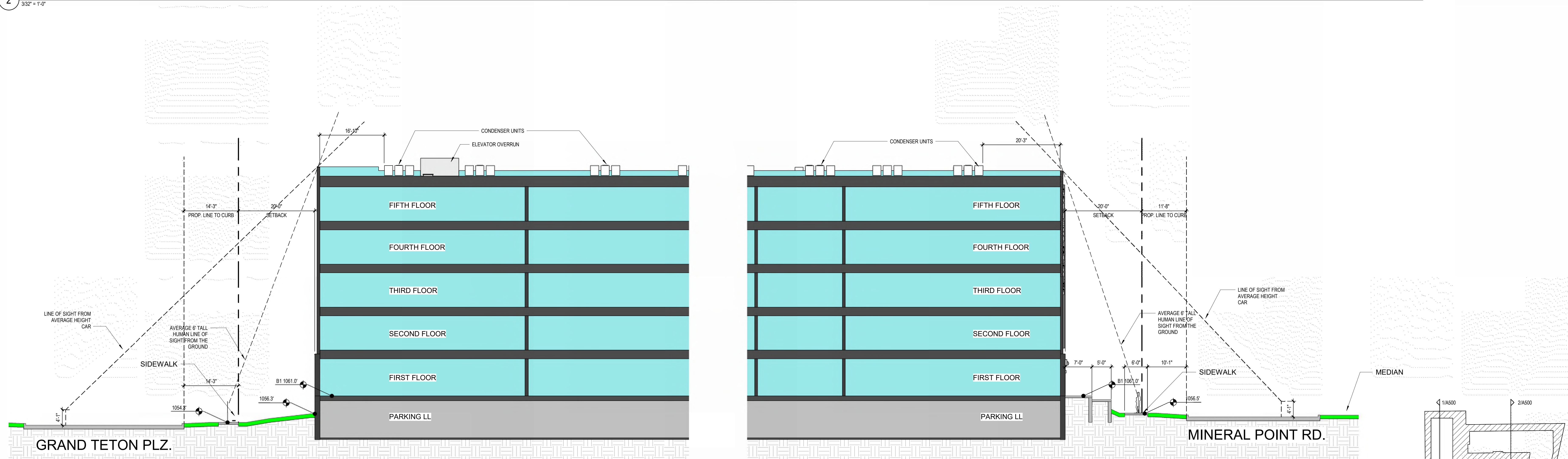
Summary of Improvements:

- Provide a public sidewalk easement to a width approved by Engineering and Traffic Engineering along Mineral Point Road and Grand Teton Plaza.
- Developer to construct 10' terrace, 6' sidewalk and 1' maintenance buffer along Mineral Point Road and 8' terrace, 6' sidewalk and 1' maintenance buffer along Grand Teton Plaza along with curb and gutter and pavement adjacent to the development to a plan approved by the City Engineer.

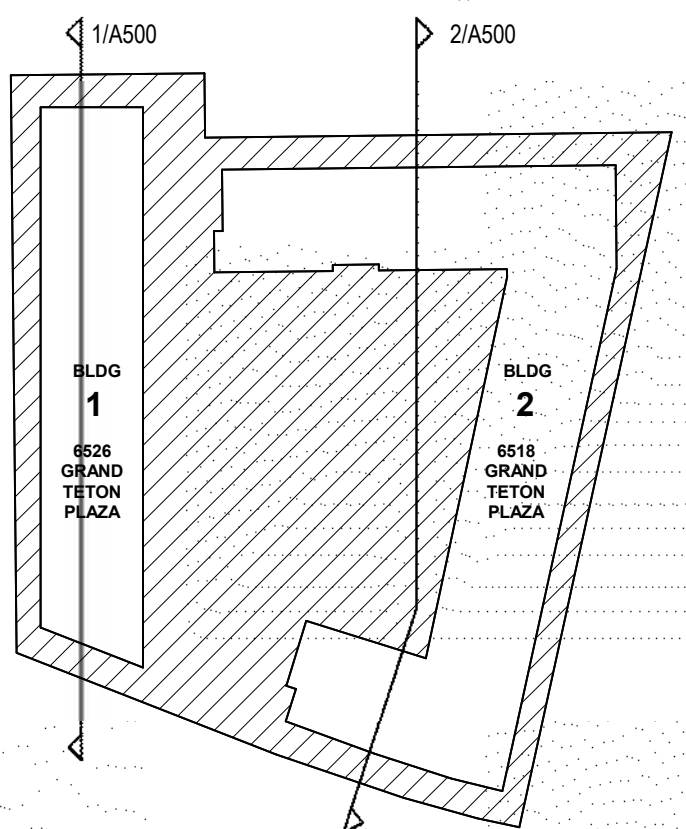
- Developer to construct new commercial drive apron and ingress/egress to the development on Grand Teton Plaza to a plan approved by the City Traffic Engineer.
- Existing driveway approaches to be abandoned shall be removed and replaced with curb and gutter by the Developer to a plan approved by Engineering and Traffic Engineering.
- Developer to maintain pedestrian access and obtain a Street Occupancy permit as well as Traffic Control Plan if necessary to a plan approved by the City Traffic Engineer.
- Developer to construct traffic signing and marking to a plan approved by the City Traffic Engineer.
- Developer to extend public storm sewer on Grand Teton Plaza to meet stormwater management requirements for the development.
- Developer to construct public sanitary sewer upgrades on Odana Road to provide sanitary sewer capacity for the proposed redevelopment. The City Sanitary Sewer Utility will participate in reimbursement to the Developer for the public sanitary sewer upgrades equivalent to lining the existing sanitary sewer (up to the maximum amount allowed per State statute).
- Developer to construct private sanitary, storm, and water service laterals as needed to serve the redevelopment.
- Developer to coordinate with City Forestry to provide plans for public street terrace trees adjacent to the project to a plan approved by City Forestry.
- Developer to obtain all necessary street tree removal permits from City Forestry. Currently there are 3 planned street tree removals associated with this project; one (1) on Grand Teton Plaza (per City Forestry) and two (2) on Odana Road due to the sanitary sewer work.
- Developer to repair or replace existing public sidewalk, curb and gutter, street terrace, and street pavement as necessary to accommodate the private redevelopment project.



2 SITE/BUILDING 2 SECTION - ROOF SITE LINES
3/32" = 1'-0"



1 SITE/BUILDING 1 SECTION - ROOF SITE LINES
3/32" = 1'-0"



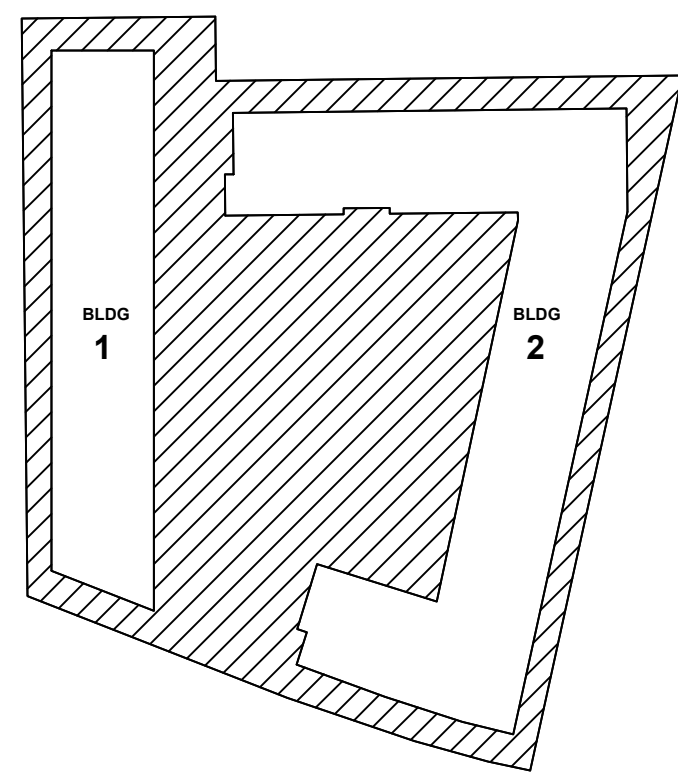
6522 GRAND TETON PLAZA
MULTIFAMILY HOUSING - SITE PLAN

6518 & 6526 GRAND TETON PLAZA
MADISON, WI 53719

OWNER

BEAR DEVELOPMENT
4011 80TH STREET
KENOSHA, WI 53142

PROJECT NUMBER: 253875.00



ISSUED FOR:

BID SET 04/21/2026

REVISIONS:

NO.	DESCRIPTION	DATE
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BID SET - NOT FOR
CONSTRUCTION

DRAWN BY:

CHG

CHECKED BY:

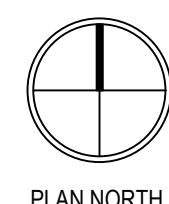
KJY

DEMOLITION PLAN

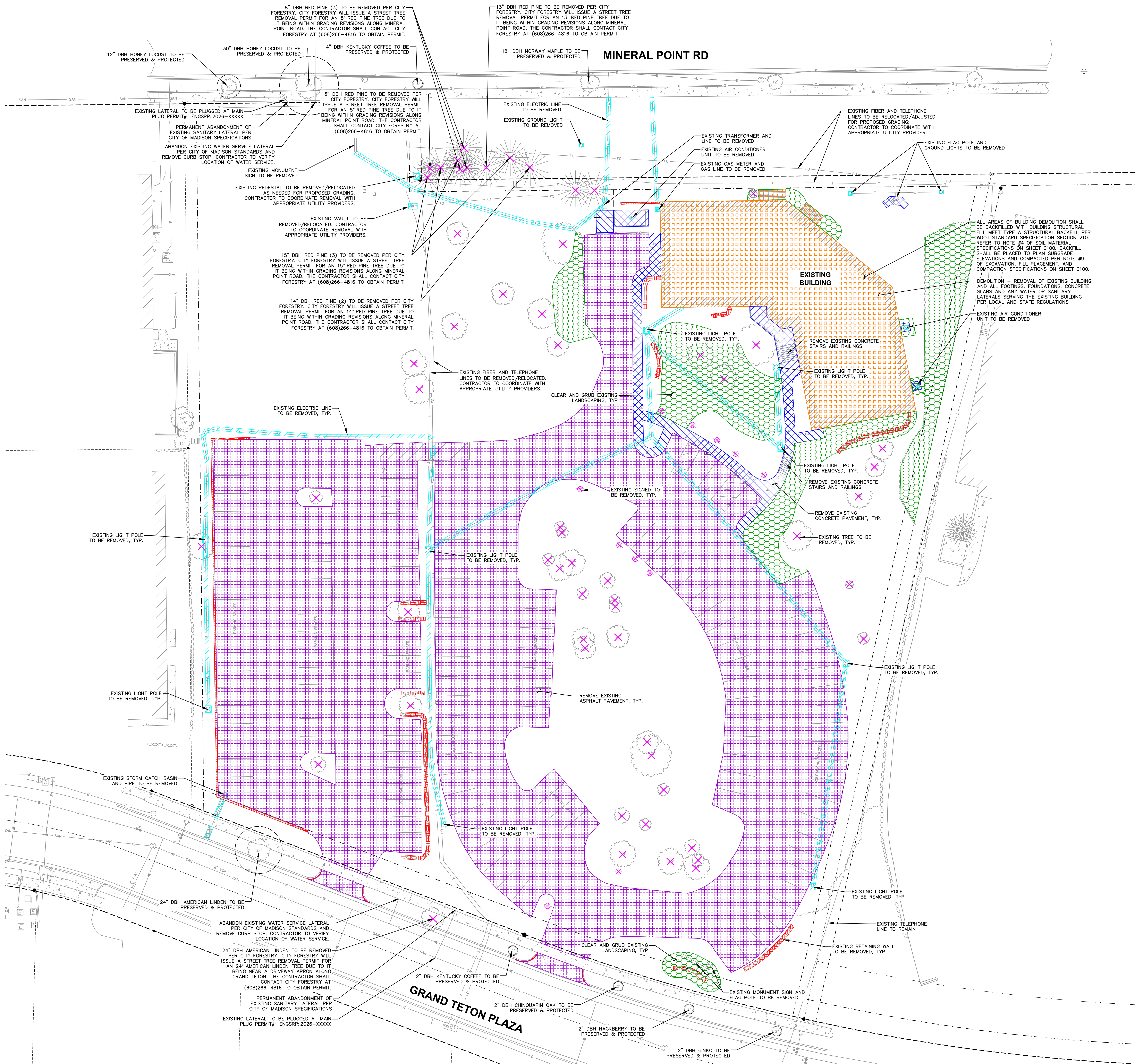
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SCALE IN FEET
30' 0 30'



C200



6522 GRAND TETON PLAZA

MULTIFAMILY HOUSING - SITE PLAN

6518 & 6526 GRAND TETON PLAZA
MADISON, WI 53719

OWNER

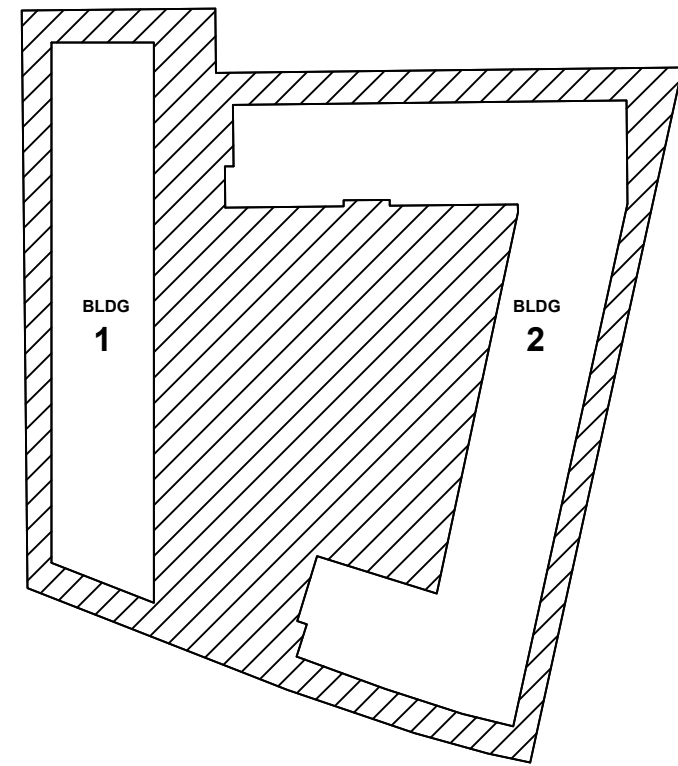
BEAR DEVELOPMENT
4011 80TH STREET
KENOSHA, WI 53142

PROJECT NUMBER: 253875.00

SITE INFORMATION BLOCK	
SITE ADDRESS	6518 & 6526 GRAND TETON PLAZA
PROPERTY ACREAGE	3.29 ACRES
BUILDING 1 (6526 GRAND TETON PLAZA)	
NUMBER OF BUILDING STORIES	5
TOTAL BUILDING SQUARE FOOTAGE	21,776
BUILDING 2 (6518 GRAND TETON PLAZA)	
NUMBER OF BUILDING STORIES	5
TOTAL BUILDING SQUARE FOOTAGE	40,558
NUMBER OF PARKING STALLS	
SURFACE	
LARGE	68
ACCESSIBLE	6
TOTAL SURFACE	74
UNDERGROUND - BUILDING 1	
LARGE	43
ACCESSIBLE	3
TOTAL UNDERGROUND	46
UNDERGROUND - BUILDING 2	
LARGE	97
ACCESSIBLE	5
TOTAL UNDERGROUND	102
NUMBER OF EV STALLS REQUIRED TO BE INSTALLED:	
NUMBER OF EV STALLS TO BE INSTALLED (SURFACE):	9
NUMBER OF EV-READY STALLS REQUIRED:	
NUMBER OF EV-READY STALLS (SURFACE):	0
NUMBER OF EV-READY STALLS (UNDERGROUND):	45
NUMBER OF BICYCLE STALLS REQUIRED:	
BUILDING 1 UNDERGROUND BICYCLE STALLS:	110
BUILDING 2 UNDERGROUND BICYCLE STALLS:	192
EXTERIOR BICYCLE STALLS:	36
EXISTING VS. PROPOSED SITE COVERAGE	
EXISTING IMPERVIOUS SURFACE AREA	64,189 SF
EXISTING PERVIOUS SURFACE AREA	79,030 SF
EXISTING IMPERVIOUS SURFACE AREA RATIO	0.45
PROPOSED IMPERVIOUS SURFACE AREA	107,566 SF
PROPOSED PERVIOUS SURFACE AREA	35,653 SF
PROPOSED IMPERVIOUS SURFACE AREA RATIO	0.75

KEY NOTES

1. CONCRETE SIDEWALK
2. 18" CURB AND GUTTER (STANDARD)
3. 18" CURB AND GUTTER (REJECT)
4. THICKENED EDGE SIDEWALK
5. THICKENED EDGE SIDEWALK - FLUSH
6. ADA ACCESSIBLE RAMP WITH TRUNCATED DOMES
7. HEAVY DUTY ASPHALT PAVEMENT
8. REINFORCED CONCRETE PAVEMENT
9. CONCRETE STAIRS AND RAILING (REFER TO ARCHITECTURAL)
10. CONCRETE RAMP WITH RAILING (REFER TO ARCHITECTURAL)
11. AMENITY PATIO (REFER TO LANDSCAPE)
12. BIKE RACK
13. ADA PARKING SIGN
14. AREA WELL (REFER TO ARCHITECTURAL)
15. CONCRETE RETAINING WALL (REFER TO ARCHITECTURAL/STRUCTURAL)
16. MG&E TRANSFORMER PAD (CONTRACTOR TO COORDINATE WITH MG&E ON FINAL PLACEMENT. ANY PLACEMENT MODIFICATIONS FROM THE CONTRACT DOCUMENTS TO BE BROUGHT TO THE ATTENTION OF THE CIVIL ENGINEER.)
17. PAVEMENT STRIPING (4" WIDE), TYP
18. ADA STALL PAVEMENT STRIPING, TYP
19. TYPE R1-1 STOP SIGN
20. 2'-0" BICYCLE OVERHANG
21. TREE PROTECTION
22. CONCRETE BOLLARD, TYP
23. 4' TALL, BLACK, VINYL COATED CHAIN LINK FENCE AND GATES
24. ARTIFICIAL TURF (REFER TO LANDSCAPE)
25. PLAYGROUND
26. UTILITY TRENCH PATCH TYPE III PER CITY OF MADISON
27. EV PARKING CHARGING STATION WITH CONCRETE BOLLARDS (REFER TO ELECTRICAL)
28. CONCRETE SEAT WALL
29. CONCRETE WHEEL STOP
30. ARTIFICIAL TURF AND EDGING (REFER TO LANDSCAPE)
31. LIGHT POLE (REFER TO PHOTOMETRIC)
32. MEDIUM RIP RAP
33. PROPOSED STREET TREES (REFER TO CITY OF MADISON DEPARTMENT OF FORESTRY PLANS)
34. TERRACE EXCAVATION FOR STREET TREE PLANTING TO BE COMPLETED BY CONTRACTOR (REFER TO CITY OF MADISON DEPARTMENT OF FORESTRY PLANS)



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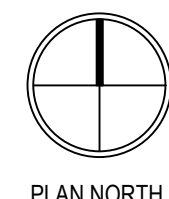
KJY

SITE PLAN - ANNOTATED

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SCALE IN FEET
20' 0 20'



C300

6522 GRAND TETON PLAZA
MULTIFAMILY HOUSING - SITE PLAN

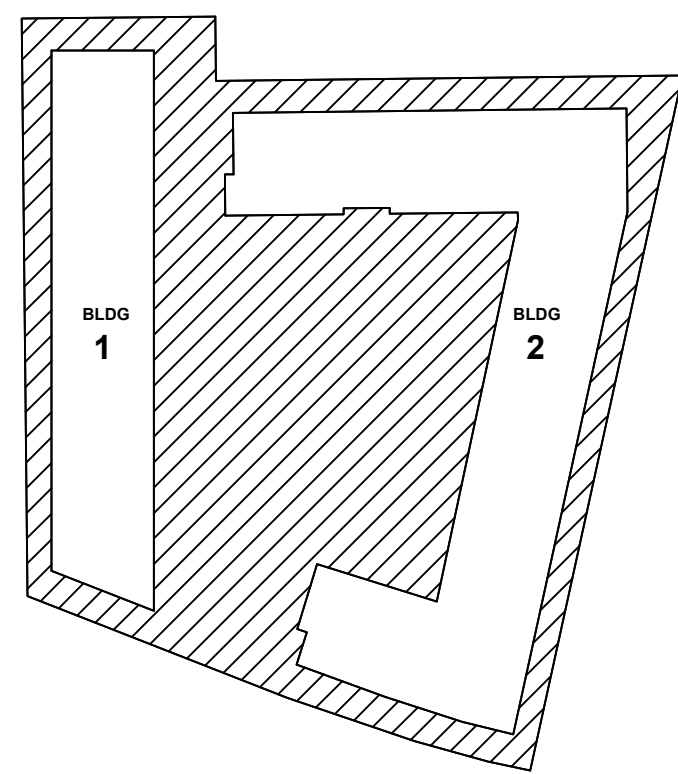
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MADISON, WI 53719

OWNER

BEAR DEVELOPMENT
4011 80TH STREET
KENOSHA, WI 53142

PROJECT NUMBER:

253875.00



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CHECKED BY:

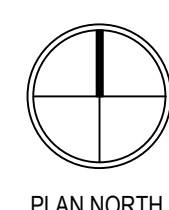
KJY

SITE PLAN - DIMENSIONED

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SCALE IN FEET
20' 0 20'



C301

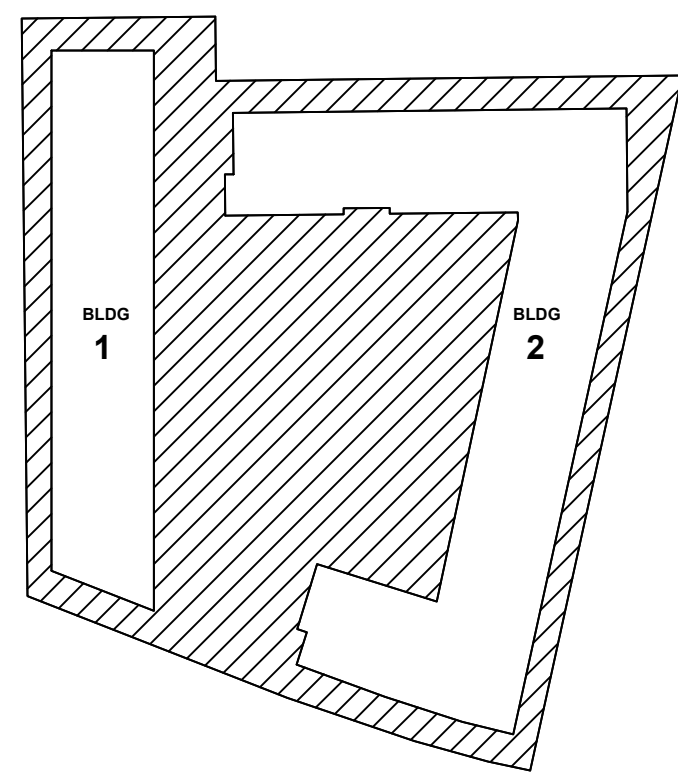
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DRAWN BY: CHG
CHECKED BY: KJY

GRADING & EROSION
CONTROL PLAN

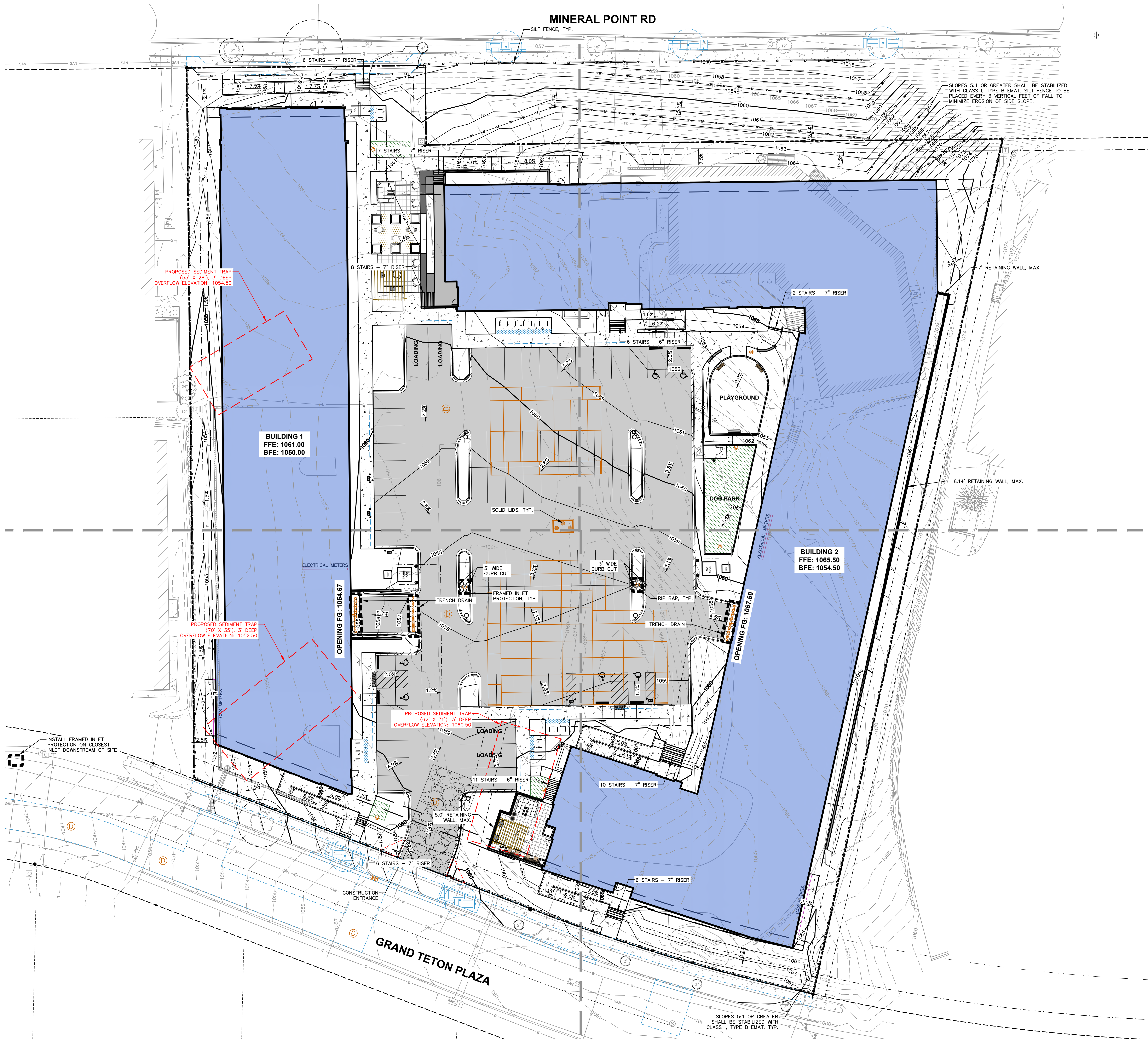
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SCALE IN FEET
20' 0 20'



C400



6522 GRAND TETON PLAZA

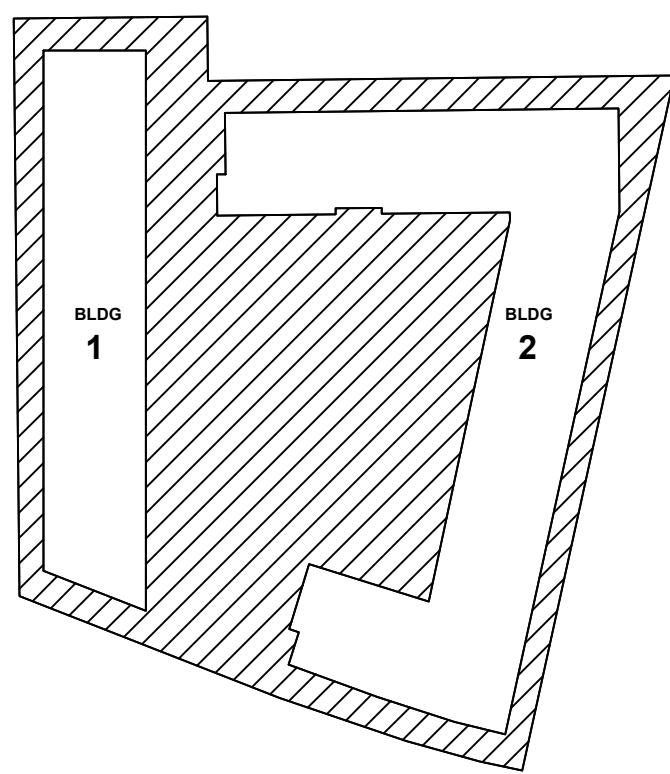
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MADISON, WI 53719

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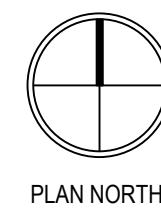
CHECKED BY: KJY

UTILITY PLAN

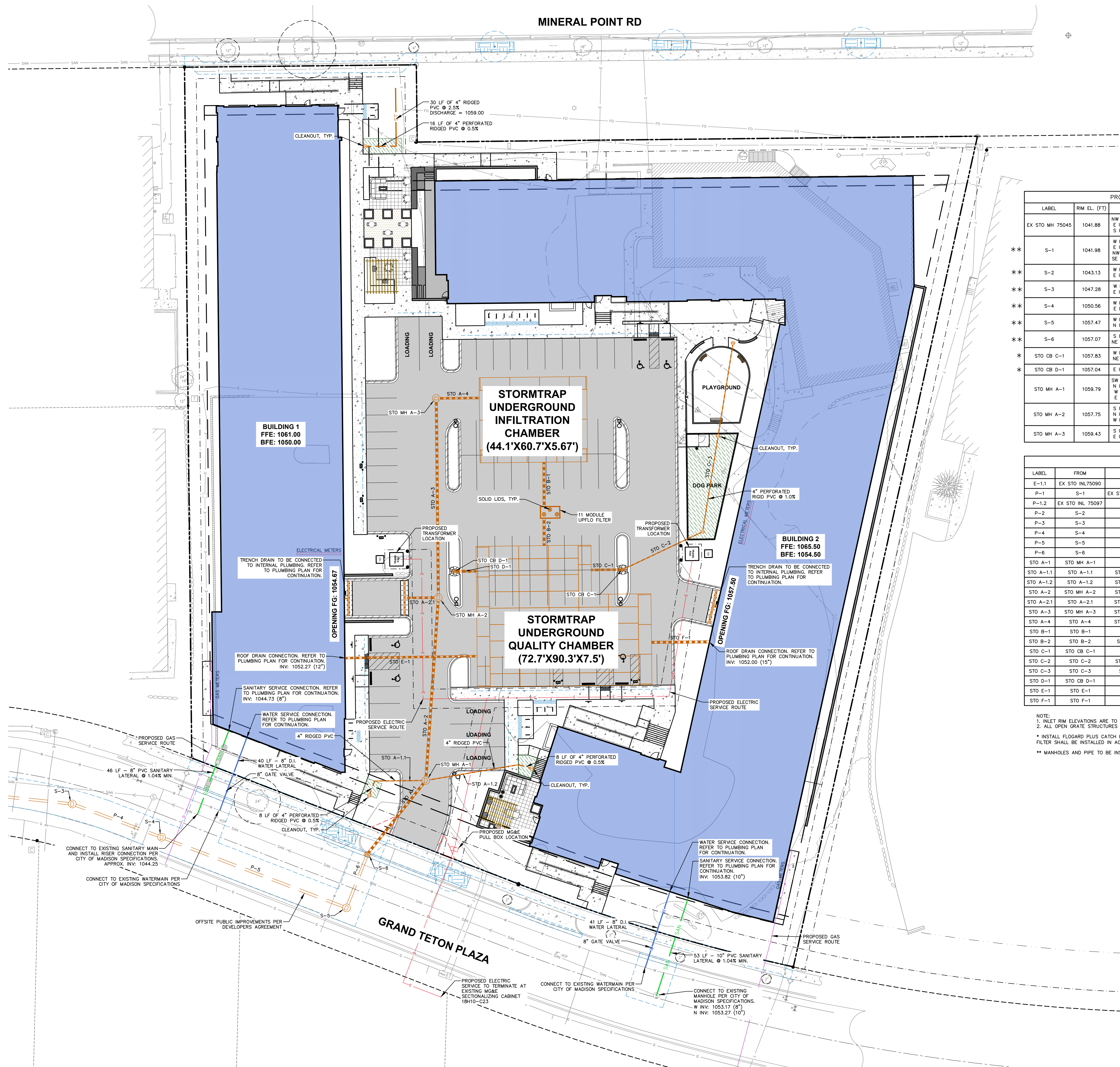
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SCALE IN FEET
20' 0 20'



C500



PROPOSED STORM SEWER STRUCTURE TABLE					
LABEL	RIM EL. (FT)	INVERT EL. (FT)	DEPTH (FT)	STRUCTURE DESC.	FRAME & GRATE
EX STO MH 75045	1041.88	NW INV: 1038.41 (15") E INV: 1038.69 (15") S INV: 1038.45 (12")	3.5	48 IN MH (FLAT)	R-1550 SOLID LID
** S-1	1041.98	W INV: 1038.88 (15") E INV: 1038.98 (15") NW INV: 1039.63 (8") SE INV: 1039.38 (12")	3.1	48 IN MH (FLAT)	R-1550 SOLID LID
** S-2	1043.13	W INV: 1039.56 (15") E INV: 1039.66 (15")	3.6	48 IN MH (FLAT)	R-1550 SOLID LID
** S-3	1047.28	W INV: 1040.14 (15") E INV: 1040.24 (15")	7.1	48 IN MH (FLAT)	R-1550 SOLID LID
** S-4	1050.56	W INV: 1040.49 (15") E INV: 1043.12 (15")	10.1	48 IN MH (FLAT)	R-1550 SOLID LID
** S-5	1057.47	W INV: 1043.63 (15") N INV: 1043.78 (15")	13.7	48 IN MH (FLAT)	R-1550 SOLID LID
** S-6	1057.07	S INV: 1043.93 (15") NE INV: 1048.03 (15")	13.1	2 x 3 INLET	R-3067-7009 TYPE L
* STO CB C-1	1057.83	W INV: 1053.33 (12") NE INV: 1055.26 (4")	4.5	36 IN MH (FLAT)	AFINITAS CONE GRATE C036TM
* STO CB D-1	1057.04	E INV: 1053.28 (15")	3.8	36 IN MH (FLAT)	AFINITAS CONE GRATE C036TM
STO MH A-1	1059.79	SW INV: 1048.27 (15") N INV: 1048.37 (15") W INV: 1057.50 (4") E INV: 1057.50 (4")	11.5	48 IN MH (FLAT)	R-1550 SOLID LID
STO MH A-2	1057.75	S INV: 1048.84 (15") N INV: 1048.94 (15") W INV: 1053.66 (12")	8.9	48 IN MH (FLAT)	R-1550 SOLID LID
STO MH A-3	1059.43	S INV: 1049.46 (15") E INV: 1049.56 (12")	10.0	48 IN MH (FLAT)	R-1550 SOLID LID

PROPOSED STORM SEWER PIPE TABLE							
LABEL	FROM	TO	LENGTH	INVERT EL. (FT)	DISCHARGE EL. (FT)	SLOPE	SIZE & MATERIAL
E-1.1	EX STO INL75090	S-1	33'	1039.75	1039.63	0.37%	8 IN PVC
P-1.1	S-1	EX STO MH 75045	38'	1038.88	1038.69	0.50%	15 IN RCP
P-1.2	EX STO INL 75097	S-1	10'	1039.59	1039.38	2.00%	12 IN RCP
P-2	S-2	S-1	116'	1039.56	1038.98	0.50%	15 IN RCP
P-3	S-3	S-2	95'	1040.14	1039.66	0.50%	15 IN RCP
P-4	S-4	S-3	49'	1040.49	1040.24	0.50%	15 IN RCP
P-5	S-5	S-4	102'	1043.63	1043.12	0.50%	15 IN RCP
P-6	S-6	S-5	30'	1043.93	1043.78	0.50%	15 IN RCP
STO A-1	STO MH A-1	S-6	48'	1048.27	1048.03	0.50%	15 IN RCP
STO A-1.1	STO A-1.1	STO MH A-1	28'	1058.82	1057.50	5.00%	4 IN PVC
STO A-1.2	STO A-1.2	STO MH A-1	49'	1058.47	1057.50	2.00%	4 IN PVC
STO A-2	STO MH A-2	STO MH A-1	95'	1048.84	1048.37	0.50%	15 IN HDPE
STO A-2.1	STO A-2.1	STO MH A-2	17'	1054.00	1053.66	2.00%	12 IN HDPE
STO A-3	STO MH A-3	STO MH A-2	103'	1049.46	1048.94	0.50%	15 IN HDPE
STO A-4	STO A-4	STO MH A-3	22'	1050.00	1049.56	2.00%	12 IN HDPE
STO B-1	STO B-1	STO B	23'	1050.23	1050.00	1.00%	15 IN HDPE
STO B-2	STO B-2	STO B-2.0	14'	1051.00	1050.86	1.00%	15 IN HDPE
STO C-1	STO CB C-1	STO C	16'	1053.33	1053.00	2.00%	12 IN HDPE
STO C-2	STO C-2	STO CB C-1	46'	1058.01	1055.26	6.00%	4 IN PVC
STO C-3	STO C-3	STO C-2	99'	1059.10	1058.11	1.00%	4 IN PVC
STO D-1	STO CB D-1	STO D	11'	1053.28	1053.00	2.50%	15 IN HDPE
STO E-1	STO E-1	STO E	68'	1052.27	1051.25	1.50%	12 IN HDPE
STO F-1	STO F-1	STO F	30'	1052.00	1051.50	1.68%	15 IN HDPE

NOTE:
1. INLET RIM ELEVATIONS ARE TO FLOW LINE.
2. ALL OPEN GRATE STRUCTURES ARE TO RECEIVE INLET PROTECTION AFTER INSTALLATION.
* INSTALL FLOODGATE PLUS CATCH BASIN FILTER INSERT AS MANUFACTURED BY KRISTAR ENTERPRISES, INC. OR EQUIVALENT.
FILTER SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS, RECOMMENDATIONS AND SPECIFICATIONS.
** MANHOLES AND PIPE TO BE INSTALLED AS PART OF THE PUBLIC IMPROVEMENTS FOR THE CITY OF MADISON.

GENERAL NOTES

1.

REFER TO THE EXISTING CONDITIONS SURVEY IN PRIVATE DEVELOPMENT PLAN SETS FOR EXISTING CONDITIONS NOTES AND LEGENDS.
2.

ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE MOST CURRENT CITY OF MADISON STANDARD SPECIFICATIONS.
3.

EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
4.

NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.
5.

JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

CONSTRUCTION SITE DEWATERING NOTES

1.

CONSTRUCTION SITE DEWATERING PRACTICES:

1.1.

ALL CONSTRUCTION SITE DEWATERING PRACTICES SHALL BE IN ACCORDANCE WITH THE MATERIALS MANAGEMENT PLAN (MMP), ISSUED BY THE PROJECT ENVIRONMENTAL CONSULTANT. CONTRACTOR SHALL REQUEST A COPY OF THE MMP FROM THE DEVELOPER AND/OR ENVIRONMENTAL CONSULTANT.

1.2.

CONTRACTOR SHALL BE RESPONSIBLE FOR CONSULTING WITH THE PROJECT ENVIRONMENTAL CONSULTANT AND OBTAIN THE NECESSARY DEWATERING PERMITS WITH LOCAL, STATE, AND FEDERAL JURISDICTIONS. ALL DEWATERING PRACTICES SHALL BE IN ACCORDANCE WITH THE APPROVED PERMIT CONDITIONS.

1.3.

IN THE EVENT OF DIRTY/UNCLEAR DISCHARGE OF TREATED/FILTERED DEWATERING DISCHARGES, CONTRACTOR SHALL HALT PUMPING OPERATIONS AND EVALUATE THE DEWATERING SYSTEM.
- 1.4.

IN THE EVENT CONTRACTOR FINDS SIGNS OF CONTAMINATION IN THE GROUNDWATER OR SITE SOILS, ALL DEWATERING PRACTICES SHALL BE HALTED AND CONTAMINATION SHALL BE EVALUATED BY THE PROJECT ENVIRONMENTAL CONSULTANT, AT THE CONTACT INFORMATION PROVIDED.

1.4.1.

IF DEWATERING PRACTICES CONTINUE WITH CONTAMINATED GROUNDWATER OR SOIL CONDITIONS, THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN A SANITARY SEWER DISCHARGE PERMIT FROM THE CITY OF MADISON TO DISCHARGE TO THE SANITARY SEWER. VISIT THE FOLLOWING CITY WEBSITE FOR DETAILS; (<https://www.cityofmadison.com/engineering/permits/sanitary-sewer-discharge-permit>)

1.4.2.

UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR DISCHARGE CONSTRUCTION SITE DEWATERING PRACTICES TO THE SANITARY SEWER WITHOUT AUTHORIZATION AND PERMIT APPROVALS FROM THE CITY.

UTILITY NOTES

1.

ALL EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATIONS OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. CONTRACTOR/OWNER SHALL CALL "DIGGER'S HOTLINE" PRIOR TO ANY CONSTRUCTION.
2.

PRIOR TO CONSTRUCTION, THE PRIME CONTRACTOR IS RESPONSIBLE FOR:

•

EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.

•

OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.

•

VERIFYING ALL ELEVATIONS, LOCATIONS AND SIZES OF SANITARY, WATER AND STORM LATERALS AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS. NOTIFY ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.

•

NOTIFYING ALL UTILITIES PRIOR TO INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.

•

NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.

•

COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
3.

ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE MOST CURRENT CITY OF MADISON STANDARD SPECIFICATIONS. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS AND CODES APPLY, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES.
4.

SPECIFICATIONS SHALL COMPLY WITH THE CITY OF MADISON SPECIAL PROVISIONS.
5.

LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
6.

CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
7.

CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED IN CONSTRUCTION SITES WHERE THE POTENTIAL FOR PEDESTRIAN INJURY EXISTS.
8.

CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT ALL UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE BOX COVERS, ETC.) TO MATCH THE FINISHED GRADES OF THE AREAS EFFECTED BY THE CONSTRUCTION.
9.

THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
10.

ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
11.

THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.



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CLIENT ADDRESS:

4011 80TH STREET
KENOSHA, WI 53142

PROJECT:

6522 GRAND TETON PLAZA

CITY PROJECT #: 16028; CONTRACT #: 9772

PROJECT LOCATION:

6522 GRAND TETON PLAZA
MADISON, WI 53719
Dane County

PLAN MODIFICATIONS:

#	Date:	Description:
1	04.24.2026	SCHEMATIC LAYOUTS
2	04.29.2026	IMPROVEMENT PLAN DESIGN
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Designed By: CHG
Reviewed By: JAW
Approved By: JAW

SHEET TITLE:

NOTES &
SPECIFICATIONS

SHEET NUMBER:

GI-1

JSD PROJECT NO:

25-15353-PUB

File: \\JSDINC\\projects\\2025\\2515353\\DWG\\Civil\\Sheets\\Public Plans\\U-1 SAN PP SHEETS.dwg Layout: GI-1 User: taryn.koharek Plotted: Apr 27, 2026 - 3:28pm Xref's:

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EROSION CONTROL NOTES

1.

CONTRACTOR IS RESPONSIBLE TO NOTIFY ENGINEER OF RECORD AND OFFICIALS OF ANY CHANGES TO THE EROSION CONTROL AND STORMWATER MANAGEMENT PLANS. ENGINEER OF RECORD AND APPROPRIATE CITY OF MADISON OFFICIALS MUST APPROVE ANY CHANGES PRIOR TO DEVIATION FROM THE APPROVED PLANS.
2.

ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) TECHNICAL STANDARDS (REFERRED TO AS BMP'S) AND CITY OF MADISON ORDINANCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL EROSION CONTROL MEASURES WHICH MAY BE NECESSARY TO MEET UNFORESEEN FIELD CONDITIONS.
3.

INSTALL PERIMETER EROSION CONTROL MEASURES (SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND EXISTING INLET PROTECTION) PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE COVER, AS SHOWN ON PLAN. MODIFICATIONS TO THE APPROVED EROSION CONTROL DESIGN IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS IS ALLOWED IF MODIFICATIONS CONFORM TO BMP'S. ALL DESIGN MODIFICATIONS MUST BE APPROVED BY THE CITY OF MADISON PRIOR TO DEVIATION OF THE APPROVED PLAN.
4.

ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, COUNTY INSPECTORS AND/OR ENGINEER OF RECORD SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
5.

INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
6.

ALL EROSION AND SEDIMENT CONTROL ITEMS SHALL BE INSPECTED WITHIN 24 HOURS OF ALL RAIN EVENTS EXCEEDING 0.5 INCHES. ANY DAMAGED EROSION CONTROL MEASURES SHALL BE REPAIRED OR REPLACED IMMEDIATELY UPON INSPECTION.
7.

CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS. ADDITIONAL LOCATIONS OTHER THAN AS SHOWN ON THE PLANS MUST BE PRIOR APPROVED BY THE MUNICIPALITY. CONSTRUCTION ENTRANCES SHALL BE 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE. CONSTRUCTION ENTRANCES SHALL BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED.
8.

PAVED SURFACES ADJACENT TO CONSTRUCTION SITE VEHICLE ACCESS SHALL BE SWEEPED AND/OR SCRAPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST AFTER THE END OF EACH WORK DAY AND AS REQUESTED BY THE CITY OF MADISON.
9.

INLET PROTECTION SHALL BE IMMEDIATELY FITTED AT THE INLET OF ALL INSTALLED STORM SEWER AND SILT FENCE SHALL BE IMMEDIATELY FITTED AT ALL INSTALLED CULVERT INLETS TO PREVENT SEDIMENT DEPOSITION WITHIN STORM SEWER SYSTEMS.
10.

INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES. IF STOCKPILE REMAINS UNDISTURBED FOR MORE THAN SEVEN (7) DAYS, TEMPORARY SEEDING AND STABILIZATION IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES IS REQUIRED. IF DISTURBANCE OCCURS BETWEEN NOVEMBER 15TH AND MAY 15TH, THE MULCHING SHALL BE PERFORMED BY HYDRO-MULCHING WITH A "TACKIFIER."

11.

EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):

A.

PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.

B.

BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.

C.

DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD NO. 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
13.

ALL SLOPES 4:1 OR GREATER SHALL BE STABILIZED WITH CLASS I, TYPE B URBAN EROSION MATTING OR APPLICATION OF A WISCONSIN DEPARTMENT OF TRANSPORTATION (WisDOT) APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED WITHIN 7 DAYS OF REACHING FINAL GRADE AND/OR AS SOON AS CONDITIONS ALLOW. DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING. MATTING AND/OR NETTING USED ONSITE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES AND WDNR TECHNICAL STANDARDS 1052 AND 1053.
14.

CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO WDNR TECHNICAL STANDARD 1068.
15.

EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY AT THE SITE HAS BEEN COMPLETED AND THAT A UNIFORM PERENNIAL VEGETATIVE COVER HAS BEEN ESTABLISHED WITH A DENSITY OF AT LEAST 70% FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES OR THAT EMPLOY EQUIVALENT PERMANENT STABILIZATION MEASURES.
16.

CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON COMPLETION OF THE PROJECT IN ACCORDANCE WITH WDNR REQUIREMENTS AND/OR PROPERTY SALE IN ACCORDANCE WITH WDNR REQUIREMENTS.
17.

STABILIZATION PRACTICES:

17.1.

STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. NO MORE THAN SEVEN (7) DAYS SHALL PASS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS CEASED UNLESS:

17.2.

THE INITIATION STABILIZATION MEASURES BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS CEASED IS PRECLUDED BY SNOW COVER. IN THAT EVENT, STABILIZATION SHALL BE INITIATED AS SOON AS PRACTICABLE.

17.3.

CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN FOURTEEN (14) DAYS FROM WHEN ACTIVITY CEASED, (I.E. THE TOTAL TIME PERIOD THAT THE CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN FOURTEEN (14) DAYS. IN THAT EVENT, STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED.

17.4.

STABILIZATION MEASURES SHALL BE DETERMINED BASED ON SITE CONDITIONS AT THE TIME OF CONSTRUCTION ACTIVITY HAS CEASED, INCLUDING BUT NOT LIMITED TO WEATHER CONDITIONS AND LENGTH OF TIME MEASURE MUST BE EFFECTIVE. THE FOLLOWING ARE ACCEPTABLE STABILIZATION MEASURES:

•

PERMANENT SEEDING; IN ACCORDANCE WITH APPROVED CONSTRUCTION SPECIFICATION

•

TEMPORARY SEEDING; MAY CONSIST OF SPRING OATS(100LBS/ACRE) AND/OR WHEAT OR CEREAL RYE (150LB/ACRE)

•

HYDRO-MULCHING WITH A TACKIFIER

•

GEOTEXTILE EROSION MATTING

•

SODDING
18.

ALL EROSION CONTROL SHALL BE ORGANIC AND BIODEGRADABLE. PHOTOBIODEGRADABLE MATTING SHALL NOT BE ALLOWED.

LEGEND

	PROPERTY LINE	
	RIGHT-OF-WAY	
	EASEMENT LINE	
	BUILDING OUTLINE	
	BUILDING OVERHANG	
	EDGE OF PAVEMENT	
	STANDARD CURB AND GUTTER	
	CONCRETE PAVEMENT	
	HEAVY DUTY CONCRETE PAVEMENT	

	CITY OF MADISON CURB AND GUTTER RESTORATION
	CITY OF MADISON UTILITY TRENCH PATCH
	CITY OF MADISON HEAVY DUTY CONCRETE PAVEMENT RESTORATION
	CITY OF MADISON CONCRETE PAVEMENT RESTORATION
	PROPOSED 1 FOOT CONTOUR
	PROPOSED 5 FOOT CONTOUR
	EXISTING 1 FOOT CONTOUR
	EXISTING 5 FOOT CONTOUR

	TREE REMOVAL
	SANITARY SEWER
	WATERMAIN
	STORM SEWER
	INLET PROTECTION



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KENOSHA, WI 53142

PROJECT:
6522 GRAND TETON PLAZA

CITY PROJECT #: 16028; CONTRACT #: 9772

PROJECT LOCATION:
6522 GRAND TETON PLAZA
MADISON, WI 53719
Dane County

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Designed By: CHG
Reviewed By: JAW
Approved By: JAW

SHEET TITLE:
NOTES & SPECIFICATIONS

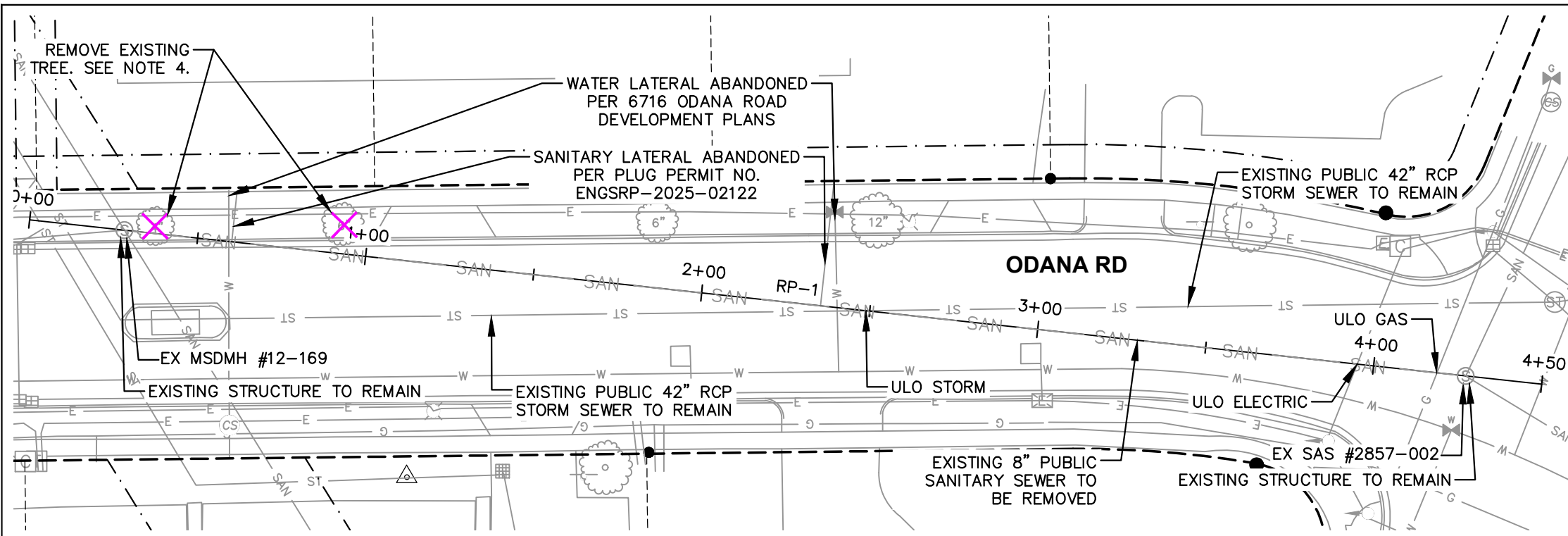
SHEET NUMBER:
GI-2
JSD PROJECT NO: 25-15353-PUB



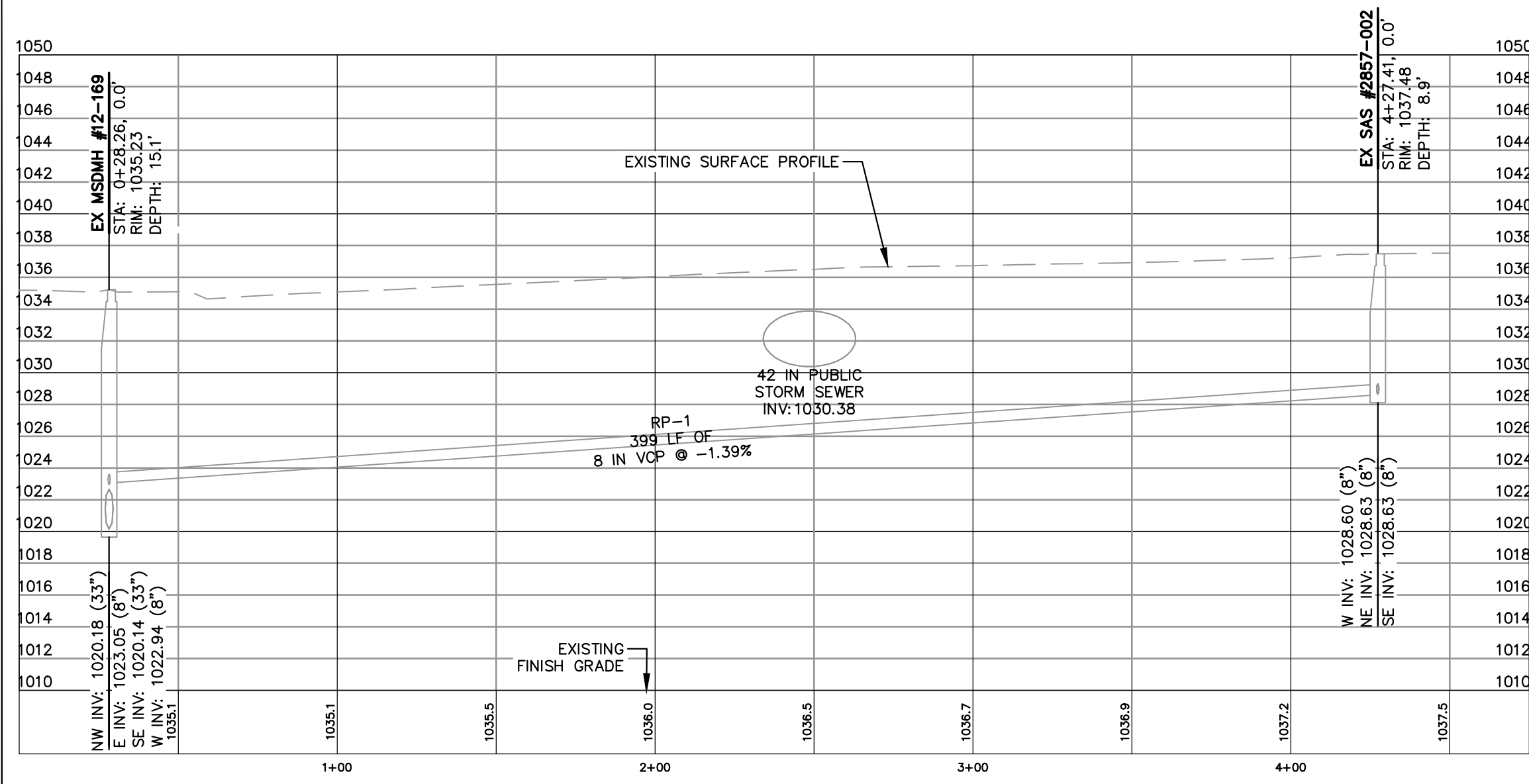
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- NOTES:
1. REMOVE AND REPLACE SIDEWALK AND CURB AS NEEDED TO INSTALL SANITARY SEWER IN ODANA ROAD.
 2. TRENCH PATCH TYPE III SHALL BY USED TO PATCH AREAS DISTURBED BY PUBLIC UTILITY INSTALLATION IN EXISTING ROADWAYS.
 3. REFER TO ARTICLE 409.1 OF THE STANDARD SPECIFICATIONS FOR THE REQUIRED PAVEMENT WATCH WIDTH AND LENGTH. FINAL EXTENTS OF ROADWAY PATCHING TO BE DETERMINED BY CITY ENGINEERING.
 4. PRIOR TO TREE REMOVALS IDENTIFIED, A TREE REMOVAL NOTICE PER CITY APM 6-2 AND MGO SECTION 10.101 SHALL BE SENT BY THE DEVELOPER TO ALL PROPERTY OWNERS WITHIN 100 FT OF THE PROPOSED TREE REMOVALS. CONTRACTOR TO CONFIRM NOTICE WAS SENT BY FIRST-CLASS MAIL A MINIMUM OF 10 DAYS PRIOR TO ANY TREE REMOVALS.

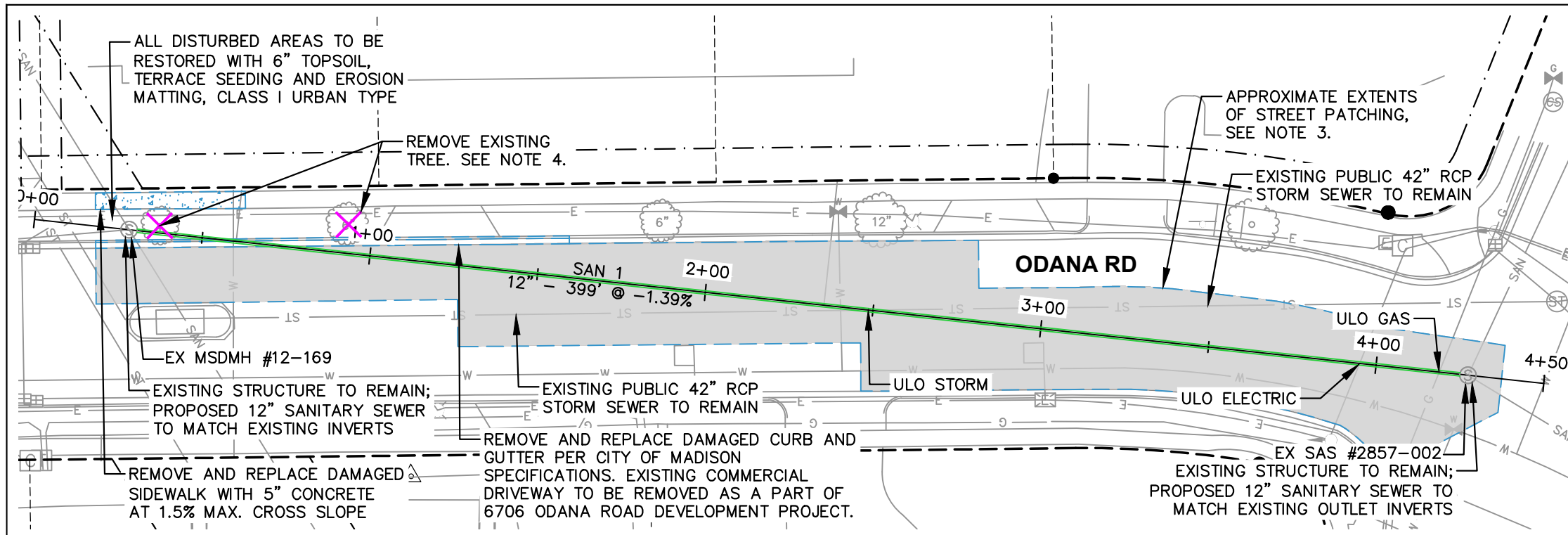


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PROJECT:
6522 GRAND TETON PLAZA
CITY PROJECT #: 16028; CONTRACT #: 9772
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6522 GRAND TETON PLAZA
MADISON, WI 53719
Dane County
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2 04.29.2026 IMPROVEMENT PLAN DESIGN
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Designed By: CHG
Reviewed By: JAW
Approved By: JAW
SHEET TITLE:
EXISTING SANITARY SEWER PLAN & PROFILE
SHEET NUMBER:
U-1
JSD PROJECT NO: 25-16353-PUB

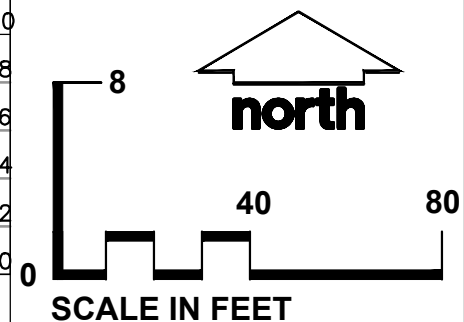
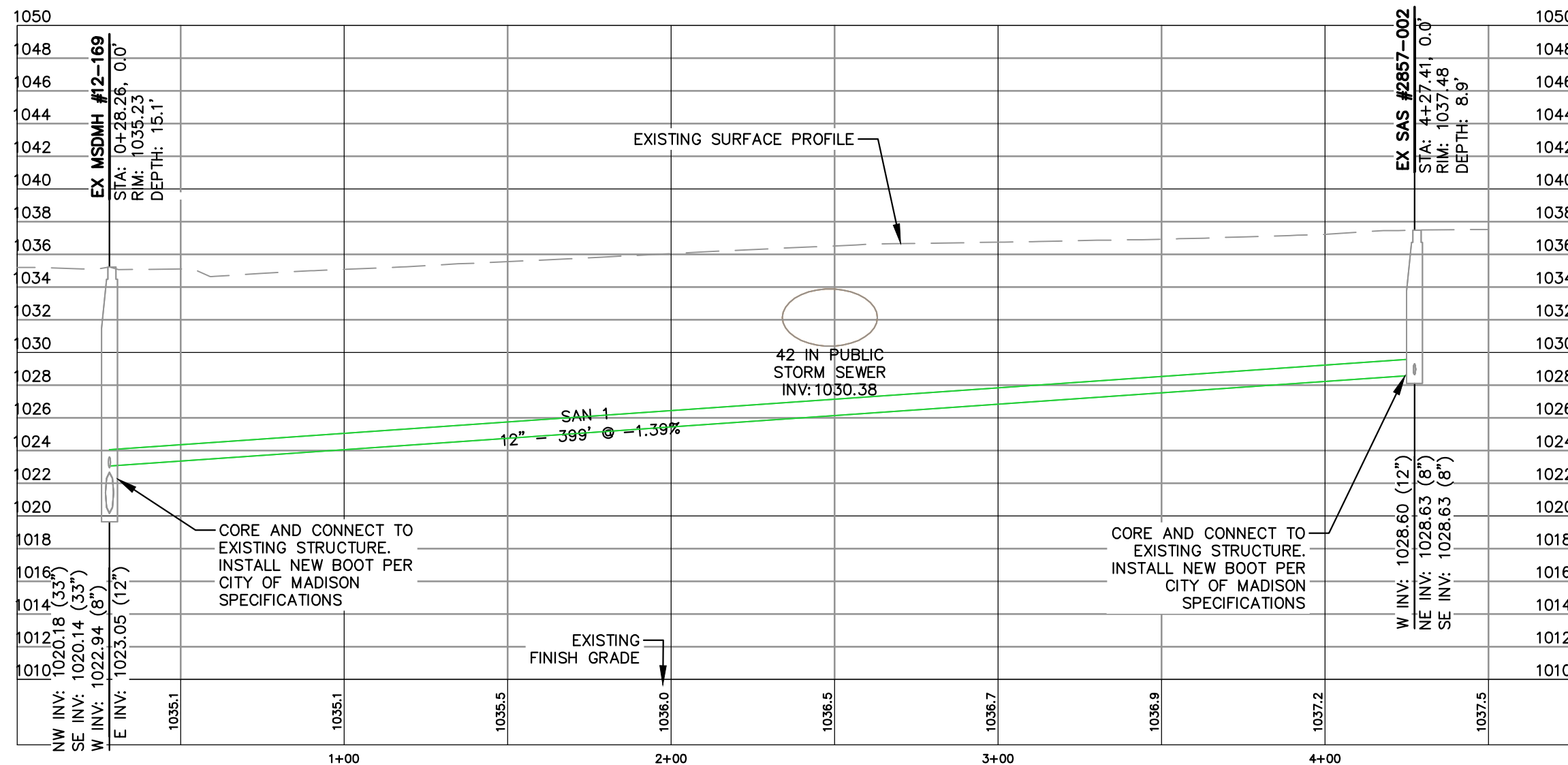
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1. REMOVE AND REPLACE SIDEWALK AND CURB AS NEEDED TO INSTALL SANITARY SEWER IN ODANA ROAD.
2. TRENCH PATCH TYPE III SHALL BY USED TO PATCH AREAS DISTURBED BY PUBLIC UTILITY INSTALLATION IN EXISTING ROADWAYS.
3. REFER TO ARTICLE 409.1 OF THE STANDARD SPECIFICATIONS FOR THE REQUIRED PAVEMENT WATCH WIDTH AND LENGTH. FINAL EXTENTS OF ROADWAY PATCHING TO BE DETERMINED BY CITY ENGINEERING.
4. PRIOR TO TREE REMOVALS IDENTIFIED, A TREE REMOVAL NOTICE PER CITY APM 6-2 AND MGO SECTION 10.101 SHALL BE SENT BY THE DEVELOPER TO ALL PROPERTY OWNERS WITHIN 100 FT OF THE PROPOSED TREE REMOVALS. CONTRACTOR TO CONFIRM NOTICE WAS SENT BY FIRST-CLASS MAIL A MINIMUM OF 10 DAYS PRIOR TO ANY TREE REMOVALS.
5. NO PROPOSED SANITARY SEWER WORK MAY PROCEED WITHOUT CONFIRMATION FROM THE CITY PROJECT MANAGER THAT THE SEWER EXTENSION PERMIT HAS BEEN OBTAINED FROM THE WDNR.



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4011 80TH STREET
KENOSHA, WI 53142

PROJECT:

6522 GRAND TETON PLAZA

CITY PROJECT #: 16028; CONTRACT #: 9772

PROJECT LOCATION:

6522 GRAND TETON PLAZA
MADISON, WI 53719
Dane County

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Designed By: CHG
Reviewed By: JAW
Approved By: JAW

SHEET TITLE:
SANITARY SEWER PLAN
& PROFILE

SHEET NUMBER:

U-2

JSD PROJECT NO:

25-15353-PUB

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PROPOSED SANITARY SEWER STRUCTURE TABLE					
LABEL	RIM EL. (FT)	INVERT EL. (FT)	DEPTH (FT)	STRUCTURE DESC.	FRAME & GRATE
EX MSDMH #12-169	1035.23	NW INV: 1020.18 (33") SE INV: 1020.14 (33") W INV: 1022.94 (8") E INV: 1023.05 (12")	15.1	48 IN MH	R-1550 SOLID LID
EX SAS #2857-002	1037.48	W INV: 1028.60 (12") NE INV: 1028.63 (8") SE INV: 1028.63 (8")	8.9	48 IN MH	R-1550 SOLID LID

STRUCTURE NOTES

- EX SAS #2857-002 & MSDMH # 12-169 SHALL REMAIN, THE PROPOSED SANITARY SEWER PIPE SHALL MATCH EXISTING INVERTS.
- CORE AND CONNECT TO EXISTING STRUCTURE. INSTALL NEW BOOT PER CITY OF MADISON SPECIFICATIONS

PROPOSED SANITARY SEWER PIPE TABLE							
LABEL	FROM	TO	LENGTH	DOWNSTREAM	UPSTREAM	SLOPE	SIZE & MATERIAL
SAN 1	EX MSDMH #12-169	EX SAS #2857-002	399'	1023.05	1028.60	1.39%	12 IN PVC

PIPE NOTES

- PIPE SAN 1 SHALL BE INSTALLED TO MATCH THE SLOPE AND INVERTS OF THE EXISTING 8" SANITARY SEWER.

REMOVE SANITARY PIPES				
LABEL	FROM	TO	LENGTH	SIZE & MATERIAL
RP-1	EX SAS #2857-002	EX MSDMH #12-169	399'	8 IN VCP

ULO SCHEDULE				
ULO NO.	STATION	OFFSET	TYPE	ELEVATION
ULO 1	2+48.53		STORM	
ULO 2	3+95.13		ELECTRIC	
ULO 3	4+18.86		GAS	



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PLAZA

CITY PROJECT #: 16028; CONTRACT #: 9772

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Reviewed By: JAW
Approved By: JAW

SHEET TITLE:

SANITARY SEWER
SCHEDULE

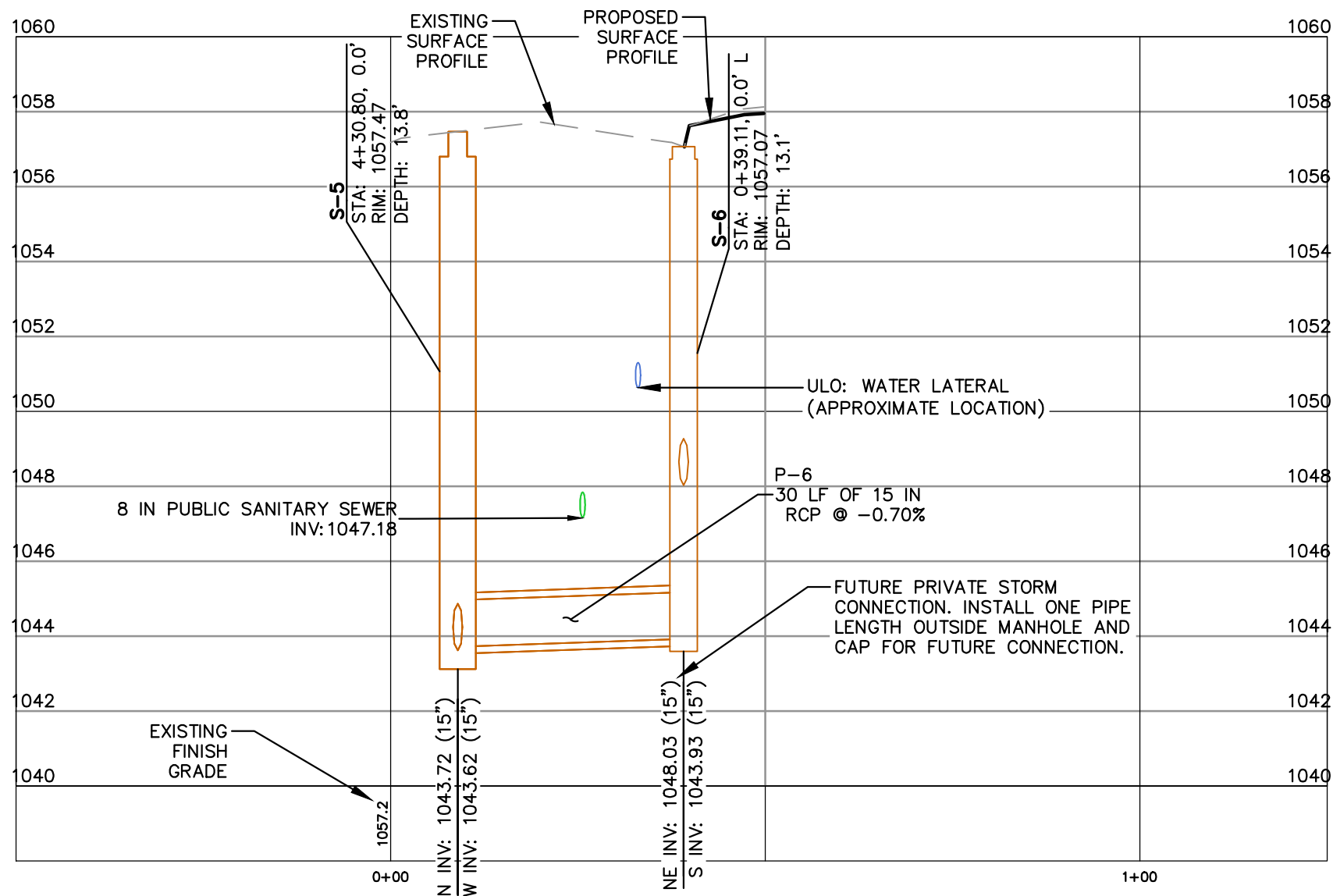
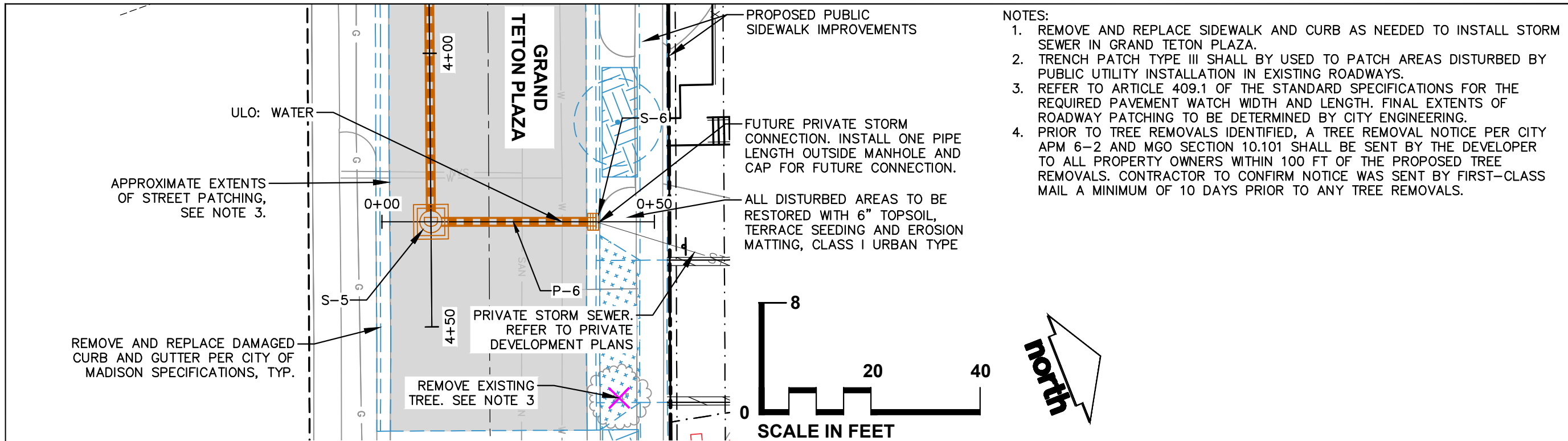
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Designed By: CHG
Reviewed By: JAW
Approved By: JAW

SHEET TITLE:
STORM SEWER PLAN & PROFILE - EAST

SHEET NUMBER:

U-6

JSD PROJECT NO: 25-16353-PUB

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PROPOSED STORM SEWER STRUCTURE TABLE							
LABEL	STATION	OFFSET	TYPE	RIM EL. (FT)	INVERT EL. (FT)	DEPTH (FT)	FRAME & GRATE
S-1	0+68.14	-0.00	3' X 3' FIELD POURED SAS	1041.98	W INV: 1039.02 (15 IN RCP) E INV: 1039.12 (15 IN RCP) NW INV: 1039.63 (8 IN PVC) SE INV: 1039.35 (12 IN RCP)	3.0	R-1550 SOLID LID
S-2	1+83.69	-0.00	3' X 3' FIELD POURED SAS	1043.13	W INV: 1039.93 (15 IN RCP) E INV: 1040.03 (15 IN RCP)	3.2	R-1550 SOLID LID
S-3	2+79.04	-0.00	3' X 3' FIELD POURED SAS	1047.28	W INV: 1040.70 (15 IN RCP) E INV: 1040.80 (15 IN RCP)	6.6	R-1550 SOLID LID
S-4	3+28.38	-0.00	3' X 3' FIELD POURED SAS	1050.56	W INV: 1041.15 (15 IN RCP) E INV: 1042.90 (15 IN RCP)	9.4	R-1550 SOLID LID
S-5	4+30.80	-0.00	3' X 3' FIELD POURED SAS	1057.47	W INV: 1043.62 (15 IN RCP) N INV: 1043.72 (15 IN RCP)	13.8	R-1550 SOLID LID
S-6	0+39.11	L-0.01	TYPE "H" INLET	1057.07	S INV: 1043.93 (15 IN RCP) NE INV: 1048.03 (15 IN RCP)	13.1	R-3067 TYPE R STANDARD

PROPOSED STORM SEWER PIPE TABLE							
LABEL	FROM	TO	LENGTH	DOWNSTEAM	UPSTREAM	SLOPE	SIZE & MATERIAL
P-1	EX STO MH 75045	S-1	38'	1038.45	1039.02	1.50%	15 IN RCP
P-1.2	S-1	EX STO INL 75097	10'	1039.35	1039.56	2.00%	12 IN RCP
P-2	S-1	S-2	116'	1039.12	1039.93	0.70%	15 IN RCP
P-3	S-2	S-3	95'	1040.03	1040.70	0.70%	15 IN RCP
P-4	S-3	S-4	49'	1040.80	1041.15	0.70%	15 IN RCP
P-5	S-4	S-5	102'	1042.90	1043.62	0.70%	15 IN RCP
P-6	S-5	S-6	30'	1043.72	1043.93	0.70%	15 IN RCP

STANDARD NOTES

1. ALL STORM SAS STRUCTURES TO BE FIELD POURED.
2. ALL REBAR FOR FIELD POURED STRUCTURES SHALL BE EPOXY COATED. ANY EXPOSED STEEL SHALL BE TOUCHED UP OR RECOATED PRIOR TO USE.
3. ALL FIELD POURED SAS STORM STRUCTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH STANDARD DETAIL DRAWING 5.7.3. ALL PRECAST SAS STORM STRUCTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH STANDARD DETAIL DRAWING 5.7.5.
4. ABBREVIATIONS:

4.1. RCP = REINFORCED CONCRETE PIPE

4.2. DNA = DOES NOT APPLY

4.3. SAS = SEWER ACCESS STRUCTURE

4.4. FP = FIELD POURED STRUCTURE
5. APPROXIMATE DISCHARGE E.I. GIVEN, ADJUST E.I. AND PIPE SLOPE IN THE FIELD.
6. TOP OF CASTING GRADE GIVEN IS THE FLOWLINE OF THE CLOSED CASTINGS FOR SASs.
7. TOP OF CONCRETE ROOF (TR) IS 1.25 BELOW TOP OF CASTING UNLESS OTHERWISE NOTED.
8. ALL REINFORCED CONCRETE PIPES TO BE CLASS III UNLESS OTHERWISE NOTED.
9. ALL STRUCTURES CALLED OUT AS FIELD POURED SHALL BE FIELD POURED. ALL OTHER STRUCTURES (NOT INDICATED AS FIELD POURED) SHALL BE SUBMITTED TO CITY ENGINEERING FOR APPROVAL IF PRECAST STRUCTURES ARE PREFERRED. CONTACT TIM TROESTER OF CITY ENGINEERING AT (608) 267-1995 FOR PRECAST APPROVALS, EMAIL SHOP DRAWINGS TO TTROESTER@CITYOFMADISON.COM

REMOVE STORM PIPES				
LABEL	FROM	TO	LENGTH	SIZE & MATERIAL
RP-1	EX STO INL 75097	EX STO MH 75045	45'	12 IN RCP
RP-2	END RP-2	EX STO INL 75097	10'	8 IN PVC

REMOVAL NOTES

1. RP-2 TO BE REMOVED FROM EX STO INL 75097 UP TO PROPOSED MANHOLE S-1.

ULO SCHEDULE				
ULO NO.	STATION	OFFSET	TYPE	ELEVATION
ULO 4	0+54.48		SANITARY MAIN	
ULO 5	0+31.51		ELECTRIC	
ULO 6	0+70.58		SANITARY LATERAL	
ULO 7	2+48.70		WATER LATERAL	
ULO 8	2+60.12		FIBER	
ULO 9	2+60.82		ELECTRIC	
ULO 10	2+66.18		ELECTRIC	
ULO 11	3+15.40		SANITARY LATERAL	
ULO 12	3+20.36		WATER LATERAL	
ULO 13	4+21.61		SANITARY LATERAL	
ULO 14	4+22.88		WATER LATERAL	
ULO 15	4+30.99	23.97' L	WATER MAIN	



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507 WEST VERONA AVENUE, SUITE 500
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
BEAR DEVELOPMENT

CLIENT ADDRESS:
4011 80TH STREET
KENOSHA, WI 53142

PROJECT:
6522 GRAND TETON PLAZA

CITY PROJECT #: 16028; CONTRACT #: 9772

PROJECT LOCATION:
6522 GRAND TETON PLAZA
MADISON, WI 53719
Dane County

PLAN MODIFICATIONS:		
#	Date:	Description:
1	04.24.2026	SCHEMATIC LAYOUTS
2	04.29.2026	IMPROVEMENT PLAN DESIGN
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Designed By: CHG
Reviewed By: JAW
Approved By: JAW

SHEET TITLE:
STORM SEWER
SCHEDULE

SHEET NUMBER:
U-7

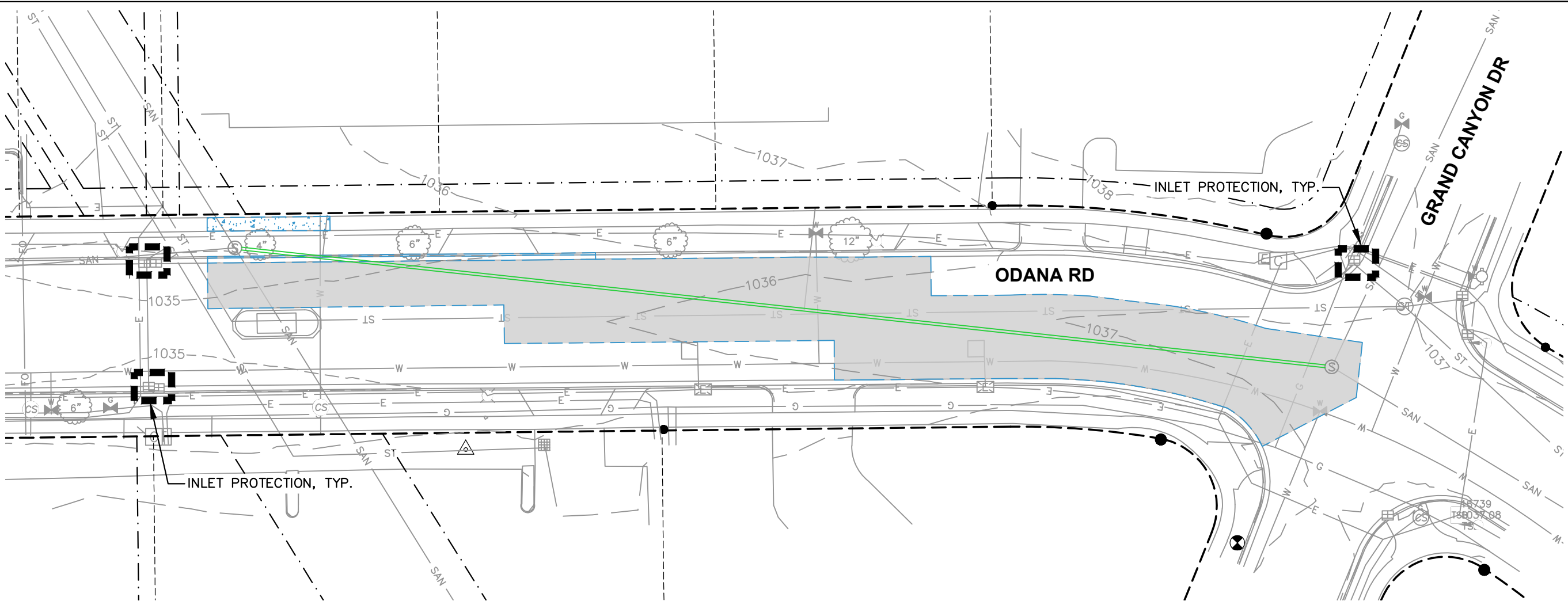
JSD PROJECT NO: 25-16353-PUB



Toll Free (800) 242-8511

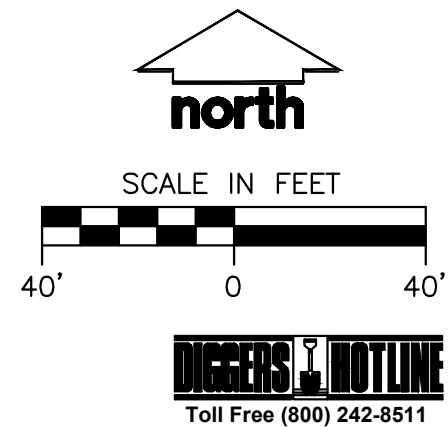
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LEGEND

	PROPERTY LINE
	RIGHT-OF-WAY
	EASEMENT LINE
	EDGE OF PAVEMENT
	CITY OF MADISON CURB AND GUTTER RESTORATION
	CITY OF MADISON CONCRETE PAVEMENT RESTORATION
	CITY OF MADISON UTILITY TRENCH PATCH
	EXISTING 1 FOOT CONTOUR
	EXISTING 5 FOOT CONTOUR
	INLET PROTECTION



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CLIENT:
BEAR DEVELOPMENT

CLIENT ADDRESS:
**4011 80TH STREET
KENOSHA, WI 53142**

PROJECT:
**6522 GRAND TETON
PLAZA**

CITY PROJECT #: 16028; CONTRACT #: 9772

PROJECT LOCATION:
**6522 GRAND TETON PLAZA
MADISON, WI 53719
Dane County**

PLAN MODIFICATIONS:

#	Date:	Description:
1	04.24.2026	SCHEMATIC LAYOUTS
2	04.29.2026	IMPROVEMENT PLAN DESIGN
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Designed By: CHG
Reviewed By: JAW
Approved By: JAW

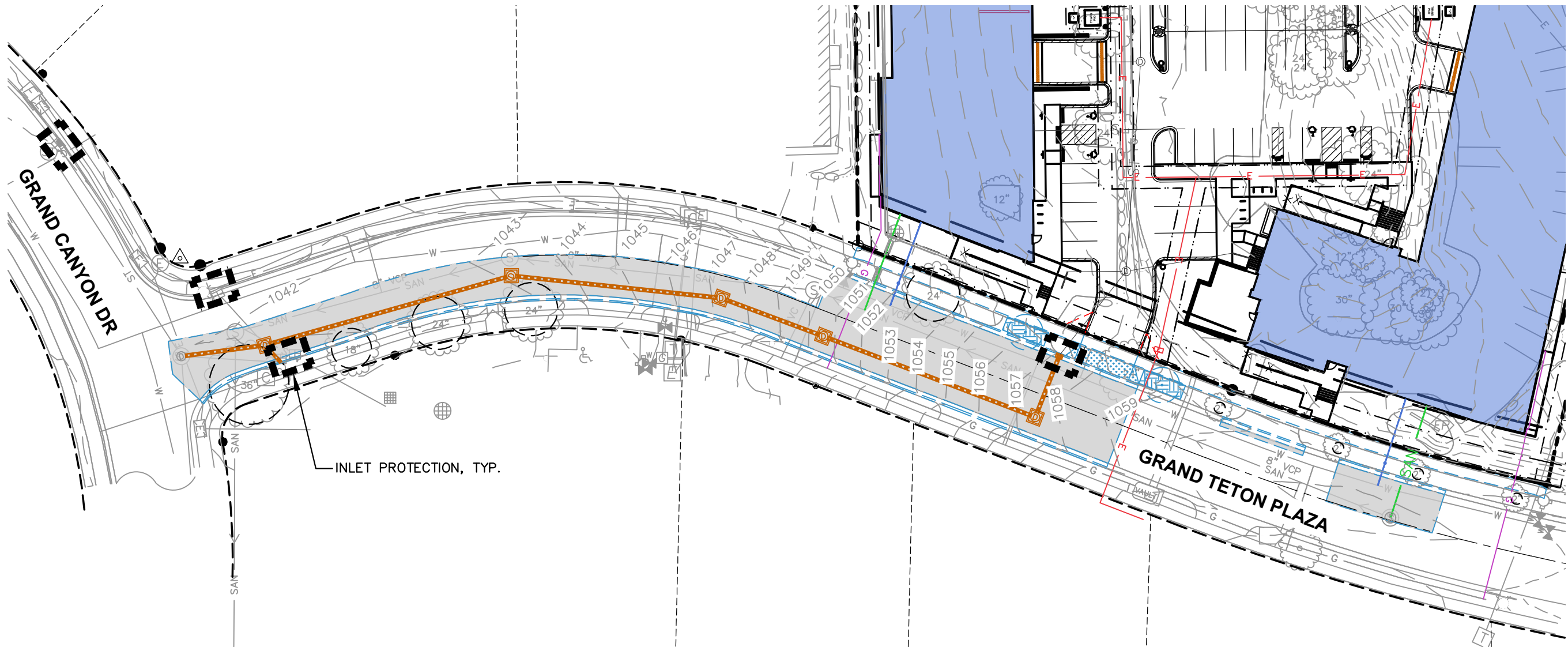
SHEET TITLE:
**PUBLIC SANITARY
ODANA RD EROSION
CONTROL PLAN**

SHEET NUMBER:
EC-1

JSD PROJECT NO: 25-16353-PUB

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LEGEND

	PROPERTY LINE		CITY OF MADISON CURB AND GUTTER RESTORATION
	RIGHT-OF-WAY		CITY OF MADISON HEAVY DUTY CONCRETE PAVEMENT RESTORATION
	EASEMENT LINE		CITY OF MADISON UTILITY TRENCH PATCH
	EDGE OF PAVEMENT		EXISTING 1 FOOT CONTOUR
	BUILDING OUTLINE		EXISTING 5 FOOT CONTOUR
	BUILDING OVERHANG		INLET PROTECTION
	STANDARD CURB AND GUTTER		
	REJECT CURB AND GUTTER		
	CONCRETE PAVEMENT		



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CLIENT:

BEAR DEVELOPMENT

CLIENT ADDRESS:

4011 80TH STREET
KENOSHA, WI 53142

PROJECT:

6522 GRAND TETON PLAZA

CITY PROJECT #: 16028; CONTRACT #: 9772

PROJECT LOCATION:

6522 GRAND TETON PLAZA
MADISON, WI 53719
Dane County

PLAN MODIFICATIONS:

#	Date:	Description:
1	04.24.2026	SCHEMATIC LAYOUTS
2	04.29.2026	IMPROVEMENT PLAN DESIGN
3		
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8		
9		
10		
11		
12		
13		
14		
15		

Designed By: CHG
Reviewed By: JAW
Approved By: JAW

SHEET TITLE:

PUBLIC STORMWATER
GRAND TETON PLAZA
EROSION CONTROL PLAN

SHEET NUMBER:

EC-2

JSD PROJECT NO: 25-16353-PUB

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STORM SEWER SIZING CALCULATIONS

Note: Runoff from STO A-4 is based on private development stormwater management design.