

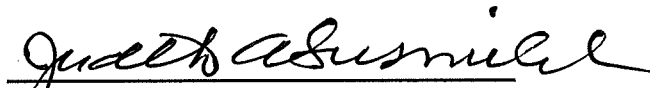
**PROTEST AGAINST PROPOSED ZONING AMENDMENT
PURSUANT TO WIS. STAT. § 62.23(7)(d)2m.a and MGO § 28.182(5)(c)**

Re: Proposed City of Madison Zoning Ordinance and Map Amendment relating to the application for rezoning to Planned Development - General Development Plan-Specific Implementation Plan (PD(GDP-SIP)) for the real property located at 7933 Tree Lane, 9th Aldermanic District, City of Madison, Dane County, Wisconsin, which is legally described on Exhibit A attached hereto and incorporated by reference herein, filed by the City of Madison.

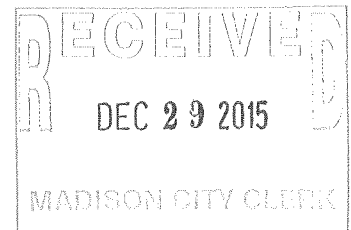
The undersigned are the joint owners of Parcel Number 251/0708-233-0901-2, located at 7944 Tree Lane, City of Madison, Dane County, Wisconsin, which constitutes 20% or more of the land directly opposite and extending 100 feet from the street frontage of the land located at 7933 Tree Lane, City of Madison, Dane County, Wisconsin, Parcel Number - 251/0708-233-0809-8, which is the subject of the above-referenced City of Madison Zoning Ordinance and Map Amendment. Pursuant to the provisions of Wis. Stat. § 62.23(7)(d)2m.a. and Madison General Ordinance § 28.182(5)(c), the undersigned hereby protest the proposed amendment to the City of Madison zoning map relating to the Planned Development - General Development Plan-Specific Implementation Plan (PD(GDP-SIP)), filed by Heartland Housing, Inc., for the above referenced property, which property is legally described on Exhibit A hereto and incorporated by reference herein. As a consequence of the filing of this Petition, the foregoing proposed ordinance amendment shall not be effective unless approved by a favorable vote of three-fourths (3/4) of the members of the Common Council voting on the proposed change.

Dated this 29th day of December, 2015.

ORC LLC



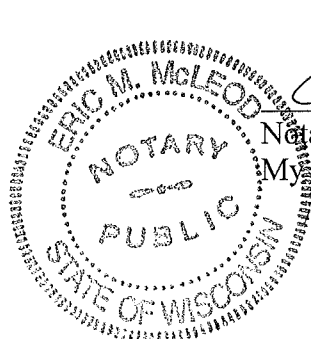
ORC LLC




By: Judith A. Susmilch, President, Dakota-Stone, Inc., authorized agent for ORC LLC

STATE OF WISCONSIN)
) ss.
COUNTY OF DANE)

Signed before me on this 29th day of December 2015, by Judith A. Susmilch





Notary Public, State of Wisconsin
My Commission expires: permanent

DABIDA LLC

Judith A. Susmilch
DABIDA LLC

By: Judith A. Susmilch, President, Dakota-Stone, Inc., authorized agent for DABIDA LLC

STATE OF WISCONSIN)
) ss.
COUNTY OF DANE)

Signed before me on this 29th day of December 2015, by Judith A. Susmilch

[Signature]
Notary Public, State of Wisconsin
My Commission expires: permanent

GMAIN LLC

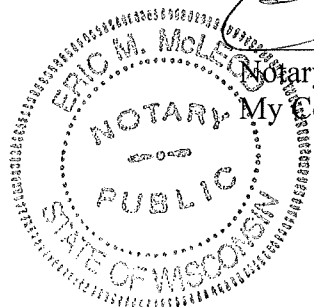
Judith A. Susmilch
GMAIN LLC

By: Judith A. Susmilch, President, Dakota-Stone, Inc., authorized agent for GMAIN LLC

STATE OF WISCONSIN)
) ss.
COUNTY OF DANE)

Signed before me on this 29th day of December 2015, by Judith A. Susmilch

[Signature]
Notary Public, State of Wisconsin
My Commission expires: permanent



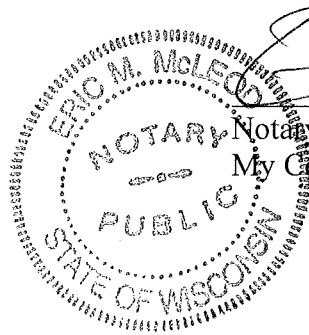
RMAIN LLCLLC

Judith A. Susmilch
RMAIN LLC

By: Judith A. Susmilch, President, Dakota-Stone, Inc., authorized agent for RMAIN LLC

STATE OF WISCONSIN)
) ss.
COUNTY OF DANE)

Signed before me on this 29th day of December 2015, by Judith A. Susmilch



Eric M. McLeod
Notary Public, State of Wisconsin
My Commission expires: permanent



City of Madison

Proposed Rezoning

Location
7933 Tree Lane

Applicant
Michael Goldberg-Heartland Housing/
David Jennerjahn-Valerio Dewalt Train

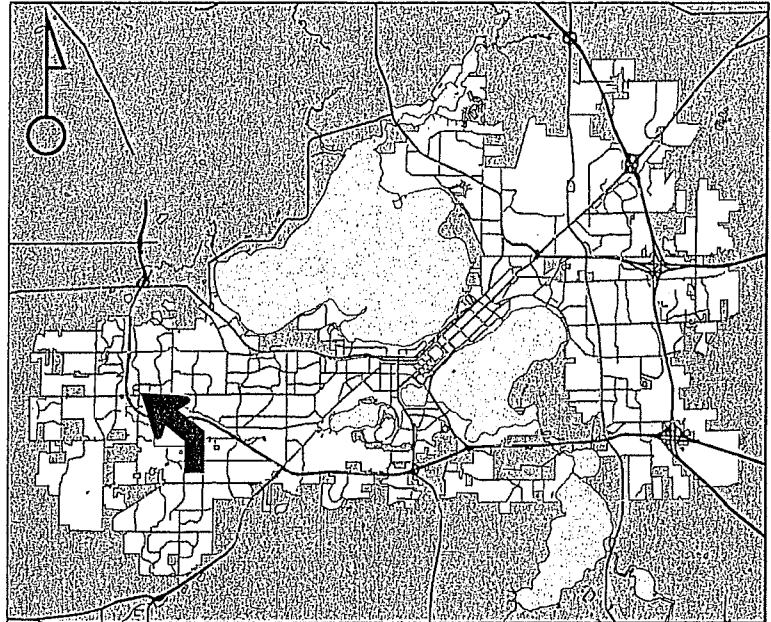
From: CC To: PD(GDP-SIP)

Existing Use
Surface parking lot and vacant land

Proposed Use
Construct 45-unit apartment building

Public Hearing Date
Plan Commission
07 December 2015

Common Council
05 January 2015



For Questions Contact: Heather Stouder at: 266-5974 or hstouder@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 30 November 2015



October 6, 2015

Heather Stouder, AICP
City of Madison
Department of Planning & Community & Economic Development
215 Martin Luther King, Jr. Blvd
Madison, WI 53701

RE: Land Use Application: PD-GDP-SIP
7933 Tree Lane

Dear Ms. Stouder,

Heartland Housing, Inc. is pleased to submit this Land Use Application for PD-GDP-SIP for review and approval by the City of Madison for our family permanent supportive housing development planned for 7933 Tree Lane (the "Development").

In fall 2014, an advisory group formed by the City of Madison's Community Development Authority (CDA) chose Heartland Housing, Inc. to serve as developer and property manager of a permanent supportive housing development that will contribute to the City's effort to end chronic homelessness. The Development will follow Heartland's proven housing model of maintaining affordability while providing on-site supportive services and property management.

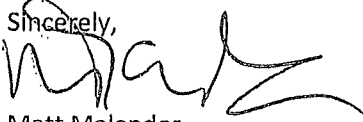
We hope to receive Planned Development approval at the January 5, 2016 common council meeting. We will be submitting this Development for application to the Wisconsin Housing Economic Development Authority (WHEDA) in late January of 2016 and hope to receive an award of low-income housing tax credits in the second quarter of 2016.

Enclosed please find the Land Use Application and Letter of Intent, the Land Use Supplemental Requirements and narrative, 7 copies of full sized plan set, 25 copies of the plan set reduced to fit onto 11 X 17-inch paper, 1 copy of the plan set reduced to fit onto 8 ½ X 11-inch paper and a CD containing electronic copies of this submittal.

Please note that an application to the Urban Design Commission for Initial and Final Approval have been submitted separately from this PD-GDP-SIP submittal.

We look forward to working with the City of Madison on this important supportive housing development. Please contact me at 414-207-4442 if any addition information would be helpful.

Sincerely,


Matt Melendes
Heartland Housing, Inc.



LAND USE APPLICATION

CITY OF MADISON

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- All Land Use Applications should be filed with the Zoning Administrator at the above address.
- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application.
- This form may also be completed online at:
www.cityofmadison.com/developmentcenter/landdevelopment

| FOR OFFICE USE ONLY: | |
|--|--|
| Amt. Paid _____ | Receipt No. _____ |
| Date Received _____ | |
| Received By _____ | |
| Parcel No. _____ | |
| Aldermanic District _____ | |
| Zoning District _____ | |
| Special Requirements _____ | |
| Review Required By: | |
| <input type="checkbox"/> Urban Design Commission | <input type="checkbox"/> Plan Commission |
| <input type="checkbox"/> Common Council | <input type="checkbox"/> Other: _____ |

Form Effective: February 21, 2013

1. **Project Address:** 7933 Tree Lane
Project Title (if any): _____

2. **This is an application for (Check all that apply to your Land Use Application):**

- Zoning Map Amendment from CC to PD-GDP-SIP
- Major Amendment to Approved PD-GDP Zoning Major Amendment to Approved PD-SIP Zoning
- Review of Alteration to Planned Development (By Plan Commission)
- Conditional Use, or Major Alteration to an Approved Conditional Use
- Demolition Permit
- Other Requests: _____

3. **Applicant, Agent & Property Owner Information:**

Applicant Name: Michael Goldberg **Company:** Heartland Housing, Inc.
Street Address: 320 East Center Street **City/State:** Milwaukee, Wisconsin **Zip:** 53212
Telephone: (414) 207-4443 **Fax:** () **Email:** mmelendes@heartlandalliance.org

Project Contact Person: David Jennerjahn **Company:** Valerio Dewalt Train Associates, Inc.
Street Address: 500 North Dearborn Street Suite 900 **City/State:** Chicago, Illinois **Zip:** 60654
Telephone: (312) 260-7300 **Fax:** () **Email:** djennerjahn@bulldordle.com

Property Owner (if not applicant): _____
Street Address: _____ **City/State:** _____ **Zip:** _____

4. **Project Information:**

Provide a brief description of the project and all proposed uses of the site: New 60,000 GSF development of 45 supportive family residential units in a 4-story building to include two, three and four bedroom units, amenity spaces and administrative offices.

Development Schedule: Commencement Spring 2017 Completion Spring 2018

5. Required Submittal Information

All Land Use applications are required to include the following:

Project Plans including:*

- Site Plans (fully dimensioned plans depicting project details including all lot lines and property setbacks to buildings; demolished/proposed/altered buildings; parking stalls, driveways, sidewalks, location of existing/proposed signage; HVAC/Utility location and screening details; useable open space; and other physical improvements on a property)
- Grading and Utility Plans (existing and proposed)
- Landscape Plan (including planting schedule depicting species name and planting size)
- Building Elevation Drawings (fully dimensioned drawings for all building sides, labeling primary exterior materials)
- Floor Plans (fully dimensioned plans including interior wall and room location)

Provide collated project plan sets as follows:

- **Seven (7) copies** of a full-sized plan set drawn to a scale of 1 Inch = 20 feet (folded or rolled and stapled)
- **Twenty Five (25) copies** of the plan set reduced to fit onto 11 X 17-inch paper (folded and stapled)
- **One (1) copy** of the plan set reduced to fit onto 8 ½ X 11-inch paper

* For projects requiring review by the **Urban Design Commission**, provide **Fourteen (14) additional 11x17 copies** of the plan set. In addition to the above information, all plan sets should also include: 1) Colored elevation drawings with shadow lines and a list of exterior building materials/colors; 2) Existing/proposed lighting with photometric plan & fixture cutsheet; and 3) Contextual site plan information including photographs and layout of adjacent buildings and structures. The applicant shall bring samples of exterior building materials and color scheme to the Urban Design Commission meeting.

Letter of Intent: Provide one (1) Copy per Plan Set describing this application in detail including, but not limited to:

- | | | |
|---|---|--|
| • Project Team | • Building Square Footage | • Value of Land |
| • Existing Conditions | • Number of Dwelling Units | • Estimated Project Cost |
| • Project Schedule | • Auto and Bike Parking Stalls | • Number of Construction & Full-Time Equivalent Jobs Created |
| • Proposed Uses (and ft ² of each) | • Lot Coverage & Usable Open Space Calculations | • Public Subsidy Requested |
| • Hours of Operation | | |

Filing Fee: Refer to the Land Use Application Instructions & Fee Schedule. Make checks payable to: *City Treasurer*.

Electronic Submittal: All applicants are required to submit copies of all items submitted in hard copy with their application as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or by e-mail to pcapplications@cityofmadison.com.

Additional Information may be required, depending on application. Refer to the Supplemental Submittal Requirements.

6. Applicant Declarations


Pre-application Notification: The Zoning Code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than **30 days prior to FILING this request**. List the alderperson, neighborhood association(s), and business association(s) AND the dates you sent the notices:
Notice to District 9 Alder made on 9/1/2015.

→ If a waiver has been granted to this requirement, please attach any correspondence to this effect to this form.

Pre-application Meeting with Staff: Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

Planning Staff: DAT Date: 8-6-2015 Zoning Staff: DAT Date: 8-6-2015

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of Applicant Michael Goldberg Relationship to Property: Developer & Option to Purchase Agreement Assignee
Authorizing Signature of Property Owner  Date 10/5/2015

**HEARTLAND
ALLIANCE**
HOUSING

Heartland Housing, Inc.
208 South LaSalle Street
Suite 1818
Chicago, IL 60604

P 312.660.1300
F 312.660.1500
heartlandalliance.org

October 6, 2015

Heather Stouder, AICP
City of Madison
Department of Planning & Community & Economic Development
215 Martin Luther King, Jr. Blvd
Madison, WI 53701

Re **Letter of Intent**
7933 Tree Lane
Madison, WI 53717
PD-GDP-SIP

Dear Ms. Stouder,

Please accept this Letter of Intent, application and attachments as our formal request for a PD-GDP-SIP review and approval by the City of Madison for the Madison Family Supportive Housing project at 7933 Tree Lane which is detailed below.

PROJECT TEAM:

Developer:

Heartland Housing, Inc.
208 S. LaSalle St., Suite 1300
Chicago, IL 60604
Contact: Matt Melendes
Phone: (414) 207-4443
Fax: (414) 208-4952
Email: mmelendes@heartlandalliance.org

Architect:

Valerio Dewalt Train Associates (VDTA)
500 N. Dearborn St., Suite 900
Chicago, IL 60654
Contact: David Jennerjahn AIA
Phone: (312) 260-7336
Fax: (312) 260-7301
Email: djennerjahn@buildordie.com

Civil Engineer:

Ayres Associates Inc.
101 East Badger Road
Madison, WI 53713
Contact: Marcus Fink, P.E.
Phone: (608) 441-4598
Email: FinkM@AyresAssociates.com

Landscape Architect:

Ayres Associates Inc.
101 East Badger Road
Madison, WI 53713
Contact: Jacob Blue
Phone: (608) 441-3564
Email: BlueJ@AyresAssociates.com

PROJECT OVERVIEW

In fall of 2014, an advisory group formed by the City of Madison's Community Development Authority (CDA) chose Heartland Housing, Inc. to serve as developer and property manager of a family permanent supportive housing development that will contribute to the City's effort to increase the amount of affordable housing and to end chronic homelessness. The development will follow Heartland Housing, Inc.'s proven housing model of maintaining affordability while providing on-site professional supportive services and property management. On-site supportive services will be provided by the YWCA of Madison.

The Development will be located in the city of Madison on the west side at the addresses of 7933 Tree Lane. The residential development will consist of a four-story building of approximately 60,000 square feet. The development has been designed to include and must have 45 apartments in order to achieve the onsite property management and supportive service programming necessary to make this permanent supportive housing development successfully operate. The building will include: 45 residential units; non-residential accessory use on the ground floor, which includes offices for service providers, a multi-purpose room, a business center and library; and bike parking and storage in the basement.

The Development is unable to meet the requirements of a conventional zoning district and will need a PD-GPD-SIP approval due to the unusual shape of the parcel, the bordering wetlands and in order to preserve the traffic circulation to the South. The parcel is irregularly shaped; the northern boundary is mostly a curving arc that terminates at the point to the east. The Tree Lane frontage is only 75 feet, the overall east-west dimension, measured diagonally from the Northwest corner at Tree Lane to the eastern point measures approximately 482 feet. The north-south dimension measures approximately 185 feet at its widest point. Meeting the street frontage requirement is not financially and logistically feasible given the very narrow and long parcel when combined with the requirements of providing fire lane accessibility and preserving traffic circulation. Including true commercial space in the development would require the loss of indoor amenity spaces for the residents and on site office space for supportive services.

EXISTING CONDITIONS:

The project site is 57,495 SF or 1.32 acres consisting of a paved driveway, a parking lot and overgrown green space with wetland to the north, retail to the south and west, and residential to the east. According to the City of Madison zoning districts, the project site is located within the Commercial Corridor District (CC). The maximum height and number of stories for this district are 68' and 5 stories. The project site is contained within District 9.

**HEARTLAND
ALLIANCE**
HOUSING

Heartland Housing, Inc.
208 South LaSalle Street
Suite 1818
Chicago, IL 60604

P 312.660.1300
F 312.660.1500
heartlandalliance.org

PROJECT SCHEDULE:

The project is currently scheduled to begin construction in Spring 2017 with completion in Winter 2017.

PROPOSED USES:

The building contains residential, office, and community serving space. The building will include 45 residential 2-bedroom, 3-bedroom and 4-bedroom apartment units on the first through fourth floors. In addition, the first floor will include a 1,400 SF lobby/reception, a 1,000 SF multi-purpose room, 230 SF business center, and 220 SF library room. It will also contain approximately 1,000 SF of office and meeting space for the provision of professional property management and supportive services. The basement will include 1,600 SF of residential storage lockers and 1,800 SF of bike storage (60 bike spaces).

HOURS OF OPERATION:

Residential occupancy: 24 hours per day, 7 days per week. The Development will have a total of between 5 to 6 property management and supportive service staff.

BUILDING SQUARE FOOTAGE:

Approximately 52,715 SF not including 7,451 SF of basement.

NUMBER OF DWELLING UNITS:

The building will include 45 residential 2-bedroom, 3-bedroom and 4-bedroom apartment units. The approximate unit sizes for a 2-bedroom, 3-bedroom and 4-bedroom will be 750 SF, 1,000 SF and 1,200 SF respectively. There will be a mix of standard units and accessible units. There are 9 units on the ground floor, 12 units on the second, third and fourth floors.

AUTO AND BIKE PARKING STALLS:

Auto Parking:

There will be 27 on site surface parking stalls which will include 4 handicap stalls for vehicles. Most families will rely on public transportation and will not have a vehicle.

Bike Parking:

There will be 60 resident bike parking spaces located in the basement. Public bike parking is provided on site as there are 7 bike racks, with each rack providing accommodations for 2 bikes, for a total of 14 exterior spaces.

LOT COVERAGE AND OPEN SPACE:

More than 50% of the site is preserved as open space including approximately 4,592 SF of usable open space featuring a tot lot to the West and a yard to the East for families to utilize. The development has been positioned to meet the constraints of the irregularly shaped parcel including the wetland to the north, the wetland to the east which includes storm water detention facility and the utility easement to the south, while preserving traffic circulation and providing fire lane accessibility.

NEIGHBORHOOD INPUT:

There have been two neighborhood meetings (January and September) to answer questions and receive neighborhood input about the project. A third neighborhood meeting is scheduled for late October. The project was presented to the Development Assistance Team on August 6 and the project was presented at the Urban Design Commission (for informational purposes) on September 16.

VALUE OF LAND:

The site is currently owned by the City of Madison and therefore has not been assessed. It was acquired in 1997 for \$250,000.

ESTIMATED PROJECT COST:

The total development costs are approximately \$12,000,000

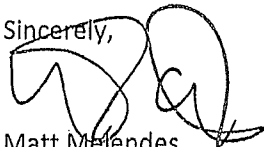
NUMBER OF CONSTRUCTION & FULL-TIME EQUIVALENT JOBS CREATED:

It is estimated that the project will create between 12 to 15 construction jobs during the building period and 6 new positions on the operating side including 3 in property management and 3 in social services.

PUBLIC SUBSIDY REQUESTED:

The developer is applying to the Wisconsin Housing and Economic Development Authority (WHEDA) for Low Income Housing Tax Credits and has requested grant and loan funding as well as project based rental assistance from the City of Madison and Dane County.

Sincerely,



Matt Melendes

Copied: Nadia Underhill, James Lewis, David Jennerjahn, Jacob Blue



LAND USE APPLICATION - SUPPLEMENTAL REQUIREMENTS

Certain land use applications require supplemental submittal information or process steps. Please contact Planning or Zoning Staff at 608.266.4635 to schedule a pre-application meeting to discuss your application.

Applications for all Zoning Map Amendments

In addition to items required for all land use applications, the following is required for all proposed zoning map amendments.

- Legal description of the property, complete with the proposed zoning districts in square feet and acres, in MS Word format. When multiple zoning districts are requested, a map showing those districts on the site is required. Unless comprised of whole platted lots, a metes and bounds description prepared by a Registered Land Surveyor in the State of Wisconsin must be included.

Applications for Zoning Map Amendments to Planned Development (PD) District

In addition to items required for all land use applications and zoning map amendments, the following items are required for all proposed Planned Developments, as per MGO Section 28.098.

Prior to Filing an Application

- Pre-Design Conference with Planning and Zoning staff to discuss the site, its context, potential impacts of the project, and initial design direction
- Concept Presentation to Urban Design Commission for informational purposes, including contextual information such as topography, photos of the site and surrounding properties, and a discussion of the initial design direction (the Commission may request additional materials if necessary)

General Development Plan Submittal

- Compelling documentation demonstrating why the available conventional zoning districts cannot accommodate this or a substantially similar proposal
- Zoning Text, including a list of proposed permitted and conditional uses, dimensions, bulk, height, scale and massing of buildings, family definition, and other relevant standards
- Accurate map of the project area including its relationship to surrounding properties, existing topography, and key features, including existing buildings and structures
- A plan of the proposed project showing the placement of buildings and structures, density, height, floor area, and dimensional requirements for lots, a phasing plan, if applicable, and sufficient detail to make possible the evaluation of the standards for approval (continued above)

General Development Plan Submittal continued:

- Proposed circulation systems (pedestrian, bicycle, auto, transit) by type, and how they relate to the existing network outside of this site
- Analysis of potential economic impacts to the community, including cost of municipal services and any additional infrastructure

Specific Implementation Plan Submittal

- Accurate map of the area covered by the plan including the relationship to the general development plan
- Pattern of public and private streets, driveways, walkways, and parking facilities; traffic projections and mitigation measures
- Detailed lot layout and subdivision plat, where required
- Arrangement of building groups, other than single-family residences, and their architectural character
- Location and treatment of open space areas and recreational or other special amenities (Note: at least 20% of the project area excluding public right of way shall be preserved as open space, unless waived by the Common Council, as per MGO Sec. 28.098(4)(e))
- Location and description of any areas to be dedicated to the public
- Lighting photometrics and fixture cut sheets
- Signage detail

Demolition Permits

In addition to items required for all land use applications, the following items are required for all proposed demolitions, as per MGO Section 28.185.

- Prior to the filing of an application, the applicant or his/her agent is required to notify a list of interested persons registered with the City 30 days prior to filing their application using the online notification tool found at <https://www.cityofmadison.com/developmentCenter/demolitionNotification/>.
 - Photos of the exterior and interior of the building shall be submitted with the application materials.
 - Approval of a **Reuse and Recycling Plan** by the City's Recycling Coordinator is required prior to issuance of permits, pursuant to MGO Section 28.185(7)(a)5. Recycling Coordinator George Dreckmann can be reached at 608-267-2626 or gdreckmann@cityofmadison.com.
 - Within 60 days of the completion of demolition activity, the applicant shall submit documentation showing compliance with the approved Reuse and Recycling Plan, pursuant to MGO Section 28.185(10).
-

Lakefront Development (Conditional Use Application)

In addition to items required for all land use applications, the following items are required for proposed lakefront development, as per MGO Section 28.138.

- Complete inventory of shoreline vegetation in any area proposed for building, filling, grading, or excavating
 - Any trees and shrubs to be removed as a result of the proposed development (limit of 30% clearing of trees and shrubs within 35 feet of the Ordinary High Water Mark (OHWM))
 - Measurement of the lot coverage within 35 feet of the OHWM (limit of 20%, with the exception of public paths within this area)
 - Detailed plans for site grading, filling, and any retaining walls
 - Contextual information related to the height and bulk of the five buildings on either side or within 300 feet on either side of the subject property (whichever is less)
 - If utilizing as-built data from nearby properties to determine the lakefront yard, a survey completed by a Registered Land Surveyor in the State of Wisconsin showing the pertinent principal building setbacks of nearby properties must be included. The required minimum lakefront yard may be either:
 - The average distance between the OHWM and the principal buildings on the two adjoining lots, assuming these distances are within 20' of one another.
 - OR
 - The median setback of the principal building on the five (5) developed lots or 300 feet on either side (whichever is less). If this method is utilized, the established setback must be no less than 30% of the lot depth of the subject property, and could be more, based on the placement of buildings as measured to establish the median.
-

Outdoor Eating Areas (Conditional Use Application)

In addition to items required for all land use applications, the following items are required for outdoor eating area requests.

- Seating plan showing entrance and exit locations
- Operational details, including hours of operation, total proposed occupancy (seated and standing, inside and outside), and a description of how the area will be separated from parking areas or sidewalks

NOTE: The applicant should also contact the City Clerk regarding any changes to alcohol service permit.

Development Adjacent to Public Parks (Conditional Use Application)

In addition to items required for all land use applications, the following items are required for requests for non-residential development within 200 feet of a City-owned public park, as per MGO Section 28.139.

- Complete inventory of vegetation in any area proposed for development within 100 feet of a park boundary
 - Any proposed removal of trees and other vegetation within 100 feet of the park boundary (removal of vegetation within 35 feet of the park boundary may be limited)
 - Detailed grading and drainage plan for the area within 35 feet of the park boundary
-

Telecommunication Facilities and Antennas (Conditional Use Application)

In addition to items required for all land use applications, the following items are required for telecommunication facilities and antennas requests, as per MGO Section 28.143.

- Identity and legal status of the registrant, including any affiliates
 - Name, address, and telephone number of the officer, agent, or employee responsible for the accuracy of the registration statement
 - Narrative and map description of the registrant's existing telecommunication facilities within the City, adjacent cities, villages, and townships
 - Basic tower and building design
 - If less than three antenna arrays are proposed, documentation explaining why collocation is not possible
 - If a new facility is proposed within ¼ mile of an existing facility, evidence of clear need for tower and infeasibility of co-location on an existing site
 - Alternatives analysis
 - Visual analysis (including photo simulations) identifying the potential visual impacts, design capacity of the proposed facility, and any mitigation measures
-

Development within Downtown Core (DC) and Urban Mixed Use (UMX) District

Qualified development within the Downtown Core District and Urban Mixed-Use District are required to address how the proposal relates to the adopted Downtown Urban Design Guidelines. This information should be provided along with all copies of the other application materials.

Land Use Application – Supplemental Requirements

Applications for all Zoning Map Amendments

- Please see separate MS Word document entitled “Legal Description”.
- Legal Description: Lot 2, Certified Survey Map No. 8493, as recorded on February 25, 1997 with the Dane County Register of Deeds, Volume 46 of Certified Surveys, pages 193-198, as Document No. 2834147, in the City of Madison, Dane County, Wisconsin.
- 57,495 SF or 1.32 acres

Prior to Filing Application

- Pre-Design Conference was held at the August 6, 2015 Development Assistance Team meeting.
- Concept Presentation to the Urban Design Commission (Informational Meeting) was held on September 16, 2015.

General Development Plan Submittal

- The Development is unable to meet the requirements of a conventional zoning district and will need a PD-GPD-SIP approval due to the unusual shape of the parcel, the bordering wetlands and in order to preserve the traffic circulation to the South. The parcel is irregularly shaped; the northern boundary is mostly a curving arc that terminates at the point to the east. The Tree Lane frontage is only 75 feet, the overall east-west dimension, measured diagonally from the Northwest corner at Tree Lane to the eastern point measures approximately 482 feet. The north-south dimension measures approximately 185 feet at its widest point. Meeting the street frontage requirement is not financially and logistically feasible given the very narrow and long parcel when combined with the requirements of providing fire lane accessibility and preserving traffic circulation. Including true commercial space in the development would require the loss of indoor amenity spaces for the residents and on site office space for supportive services.
- Zoning Text
 - Please see “Zoning Text” attachment and MS Word document entitled “Zoning Text”.
- Accurate Map of the Project Area
 - Please see submitted plans.
- Plan of Proposed Project
 - Please see submitted plans.
- Proposed Circulation Systems
 - Please see submitted plans.
- Analysis of Potential Economic Impacts
 - Research indicates that Permanent Supportive Housing provides housing stability which results in long term cost savings and reduction of usage of homeless shelters and emergency healthcare services. Heartland Housing, Inc. does not anticipate increased municipal infrastructure to complete the development.

Specific Implementation Plan Submittal

- Accurate Map of Area Covered by the Plan
– Please see submitted plans.
- Pattern of Public & Private Streets
– Not Applicable
- Detailed Lot Layout & Subdivision Plat
– Not Applicable
- Arrangement of Building Groups
– Not Applicable
- Location and Treatment of Open Space Areas
– Please see submitted plans.
- Location and Description of any Areas to be Dedicated to the Public
– Not Applicable
- Lighting Photometrics and Fixture Cut Sheets
– Please see submitted plans.
- Signage Detail
- Signage plan will be submitted as a separate application and will be consistent with Chapter 31 of the Code.

ZONING TEXT
7933 Tree Lane
PD-GDP-SIP

Legal Description: Lot 2, Certified Survey Map No. 8493, as recorded on February 25, 1997 with the Dane County Register of Deeds, Volume 46 of Certified Surveys, pages 193-198, as Document No. 2834147, in the City of Madison, Dane County, Wisconsin.

- A. Statement of Purpose: This zoning district is established to allow the construction of a residential development with 45 dwelling units.
- B. Permitted Uses: Following are permitted uses:
 - 1. Multifamily residential uses as allowed in the TR-U2 zoning district.
 - 2. Accessory uses including but not limited to:
 - a. Accessory uses directly associated with those permitted uses including parking for residents and guests.
 - b. Temporary buildings for storage of building materials and equipment for construction purposes when on the same lot as a principal use for a period not to exceed the duration of such construction.
- C. Lot Area: As shown on the approved plans.
- D. Height Regulations: As shown on the approved plans.
- E. Yard Regulations: As shown on the approved plans.
- F. Landscaping: Site landscaping will be provided as shown on the approved plans.
- G. Usable Open Space Requirements: Usable open space will be provided as shown on the approved plans.
- H. Parking & Loading: Off-street parking and loading shall be provided as shown on the approved plans.
- I. Family Definition: The family definition shall coincide with the definition given in M.G.O. for the TR-U2 zoning district.
- J. Signage: Signage for the residential building will be allowed as provided by M.G.O. and is further regulated for the TR-U2 zoning district, with signage as approved by the Urban Design Commission and Zoning Administrator.
- K. Alterations and Revisions: No alteration or revision of this Planned Unit Development shall be permitted unless approved by the City Planning Commission, however the Zoning Administrator may issue permits for minor alterations or additions which are approved by the Director of Planning and Development and the alderperson of the district and are compatible with the concept approved by the City Planning Commission.

PROJECT NAME
**HEARTLAND
ALLIANCE**
PROJECT ADDRESS
MADISON, WI

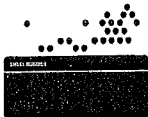


ARCHITECT
VALERIO DEWALT TRAMAN ASSOCIATES, INC.
200 S. EASTMAN STREET
MADISON, WI 53702
WWW.VDTRAMAN.COM
PROJECT TEAM ARCHITECT BYLINE

CONULTANT
AVRES
ASSOCIATES
501 E. KENNA ROAD
MADISON, WI 53717
WWW.AVRES.COM
CONSULTANT PROJECT NUMBER

| SCALE | | | |
|-------|----------|-------------|------------|
| NO. | REVISION | DESCRIPTION | DATE |
| 1 | | 01/14/2010 | 14/10/2010 |

© 2010 VALERIO DEWALT TRAMAN ASSOCIATES, INC.
5-4171-1111
COVER SHEET



7933 TREE LANE MADISON, WI

HEARTLAND ALLIANCE HOUSING
LAND USE SUBMISSION



ADMITTED
 DESIGNER: TRAM KENNEDY & ASSOCIATES, INC.
 101 E. WASHINGTON, 17TH FLOOR
 MADISON, WISCONSIN 53703
 608.261.8800
PROJECT TEAM ADMITTED STAMP

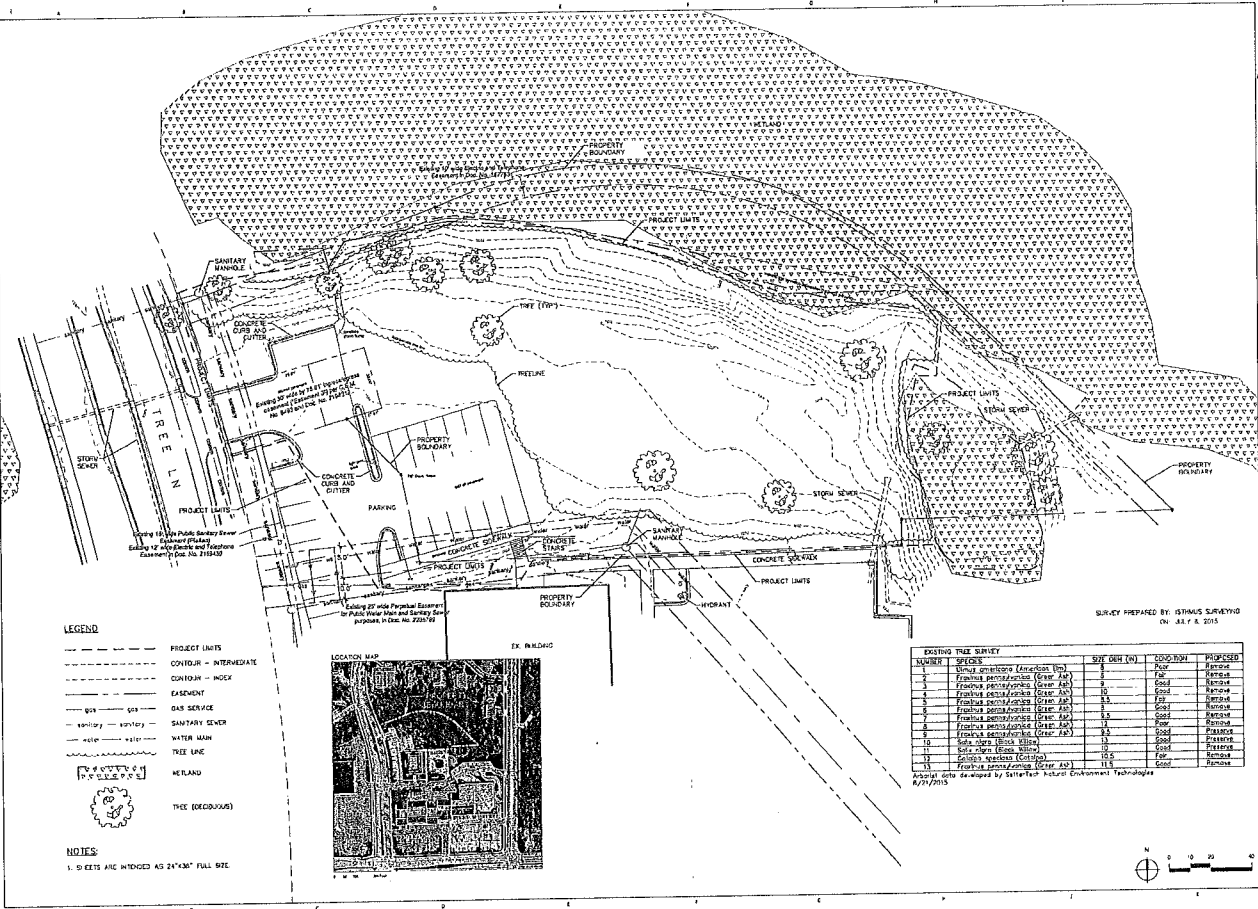
DATE PROJECT DRAWN
 CONSULTANT
AVRES ASSOCIATES
 101 E. WASHINGTON
 MADISON, WISCONSIN 53703
 608.261.8800
 WWW.AVRES.COM
 CONSULTANT PROJECT NUMBER
 10-1118

| NO. | REVISION DESCRIBED | DATE |
|-----|--------------------|------------|
| 1 | ISSUED FOR PERMIT | 07/15/2015 |

© 2015 AVRES ASSOCIATES, INC.
 SHEET NO.
Existing Conditions

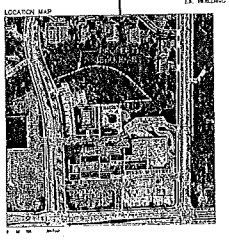


C-001



- LEGEND**
- PROJECT LIMITS
 - - - - - CONTOUR - INTERMEDIATE
 - - - - - CONTOUR - INDEX
 - EASEMENT
 - SANITARY SEWER
 - STORM SEWER
 - WATER MAIN
 - TREE LINE
 - MEADOW
 - TREE (REGULOUS)

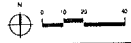
NOTES
 1. SHEETS ARE INTRODUCED AS 24"x36" FULL SIZE

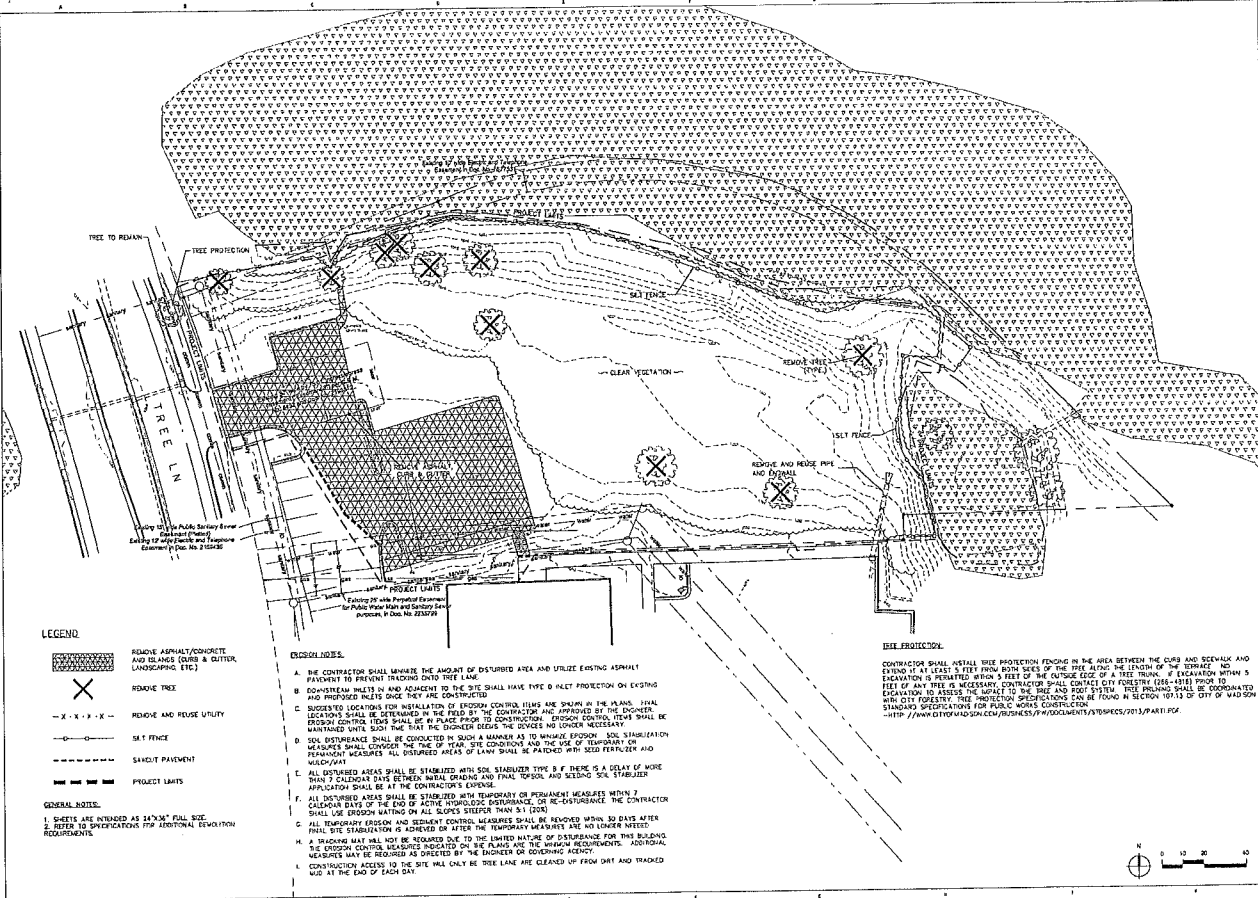


EXISTING TREE SURVEY

| NUMBER | SPECIES | DBH (IN) | HEIGHT (FT) | CONDITION | REMARKS |
|--------|------------------------------------|----------|-------------|-----------|---------|
| 1 | Fraxinus pennsylvanica (Green Ash) | 8 | 12 | Good | Remove |
| 2 | Fraxinus pennsylvanica (Green Ash) | 8 | 12 | Good | Remove |
| 3 | Fraxinus pennsylvanica (Green Ash) | 8 | 12 | Good | Remove |
| 4 | Fraxinus pennsylvanica (Green Ash) | 8 | 12 | Good | Remove |
| 5 | Fraxinus pennsylvanica (Green Ash) | 8 | 12 | Good | Remove |
| 6 | Fraxinus pennsylvanica (Green Ash) | 8 | 12 | Good | Remove |
| 7 | Fraxinus pennsylvanica (Green Ash) | 8 | 12 | Good | Remove |
| 8 | Fraxinus pennsylvanica (Green Ash) | 8 | 12 | Good | Remove |
| 9 | Fraxinus pennsylvanica (Green Ash) | 8 | 12 | Good | Remove |
| 10 | Salix nigra (Black Willow) | 10 | 15 | Good | Remove |
| 11 | Salix nigra (Black Willow) | 10 | 15 | Good | Remove |
| 12 | Salix nigra (Black Willow) | 10 | 15 | Good | Remove |
| 13 | Salix nigra (Black Willow) | 10 | 15 | Good | Remove |
| 14 | Fraxinus pennsylvanica (Green Ash) | 11.5 | 18 | Good | Remove |

Aspen data developed by SiteTech Natural Environment Technologies 8/19/2015





LEGEND

- REMOVE ASPHALT/CONCRETE AND ISLANDS CURBS & GUTTER (LANDSCAPING ETC.)
- REMOVE TREE
- REMOVE AND REUSE UTILITY
- SILT FENCE
- SLOTTED PAVEMENT
- PROJECT LIMITS

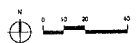
GENERAL NOTES:
 1. SHEETS ARE INTENDED AS 24"X36" FULL SIZE.
 2. REFER TO SPECIFICATIONS FOR ADDITIONAL EROSION CONTROL REQUIREMENTS.

EROSION CONTROL

- A. THE CONTRACTOR SHALL MINIMIZE THE AMOUNT OF DISTURBED AREA AND UTILIZE EXISTING ASPHALT PAVEMENT TO PREVENT TRACKING ONTO TREE LANE.
- B. EROSION CONTROL MATS IN AND ADJACENT TO THE SITE SHALL HAVE TYPE D SILT PROTECTION ON EXISTING AND PROPOSED PAVED SURFACES DURING CONSTRUCTION.
- C. SUGGESTED LOCATIONS FOR INSTALLATION OF EROSION CONTROL ITEMS ARE SHOWN IN THE PLANS. FINAL LOCATIONS SHALL BE DETERMINED BY THE FIELD BY THE CONTRACTOR AND APPROVED BY THE ENGINEER. EROSION CONTROL ITEMS SHALL BE MAINTAINED UNTIL SUCH TIME AS THE ENGINEER DEEMS THEM NO LONGER NECESSARY.
- D. SOIL PERFORMANCE SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. SOIL STABILIZATION MEASURES SHALL COVER THE TIME OF FROM SITE CONDITIONS AND THE USE OF TEMPORARY OR PERMANENT MEASURES TO DISTURBED AREAS OF LAWN SHALL BE PATTERNS WITH SEED FERTILIZER AND MULCH/APPLY.
- E. ALL DISTURBED AREAS SHALL BE STABILIZED WITH SOIL STABILIZER TYPE B IF THERE IS A DELAY OF MORE THAN 7 CALENDAR DAYS BETWEEN INITIAL GRADING AND FINAL TOPSOIL AND SEEDING. SOIL STABILIZER APPLICATION SHALL BE AT THE CONTRACTOR'S EXPENSE.
- F. ALL DISTURBED AREAS SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN 7 CALENDAR DAYS OF THE END OF ACTIVE HYDROLOGICAL DISTURBANCE, OR BE EQUIVALENT. THE CONTRACTOR SHALL USE EROSION MATTING ON ALL SLOPES STEEPER THAN 5:1 (20%).
- G. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
- H. TRACKING SHALL NOT BE REQUIRED DUE TO THE LIMITED NATURE OF DISTURBANCE FOR THIS BUILDING. IF EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS, ADDITIONAL MEASURES MAY BE REQUIRED AS DIRECTED BY THE ENGINEER OR GOVERNING AGENCY.
- I. CONSTRUCTION ACCESS TO THE SITE SHALL ONLY BE TREE LANE ARE CLEANED UP FROM DIRT AND TRACKED MUD AT THE END OF EACH DAY.

SILT PROTECTION

CONTRACTOR SHALL INSTALL SILT PROTECTION FENCING IN THE AREA BETWEEN THE CURB AND SIDEWALK AND EXTEND IT AT LEAST 5 FEET FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE DRIVEWAY. NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE OUTSIDE EDGE OF A TREE TRUNK. IF EXCAVATION WITHIN 5 FEET OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTRY (364-5411) PRIOR TO EXCAVATION TO OBTAIN THE NECESSARY PERMITS AND APPROVALS. TREE PROTECTION SHALL BE COORDINATED WITH CITY FORESTRY. TREE PROTECTION SPECIFICATIONS CAN BE FOUND IN SECTION 10-12 OF CITY OF WADSWORTH STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. <http://www.cityofwadsworth.com/business/pw/documents/10-12%20P&A%2011.PDF>



PROJECT NAME
HEARTLAND ALLIANCE
PROJECT ADDRESS
MADISON, WI



ARCHITECT
 WALTER BEHNKE TRAM ARCHITECT, INC.
 2000 W. MICHIGAN AVENUE
 CHICAGO, ILLINOIS 60604
 www.btkarch.com
 PROJECT TEAM ARCHITECT LEADER

CONSULTANT
AVRES ASSOCIATES
 1000 W. MICHIGAN AVENUE
 CHICAGO, ILLINOIS 60604
 www.avres.com
 CONSULTANT PROJECT NUMBER
 17-101

| NO. | DATE | REVISION |
|-----|----------|-------------------|
| 1 | 08/21/13 | ISSUE FOR PERMITS |

© 2013 WALTER BEHNKE TRAM ARCHITECT, INC.
PROJECT TITLE
Demolition and Erosion Control



SHEET NUMBER
C-100



CLIENT
 VALDESIGN PARTNERSHIP INC.
 500 N. MICHIGAN STREET
 CHICAGO, IL 60610
 (312) 467-1000
 www.valdesign.com

DESIGN TEAM
 ANDREW DAVIS

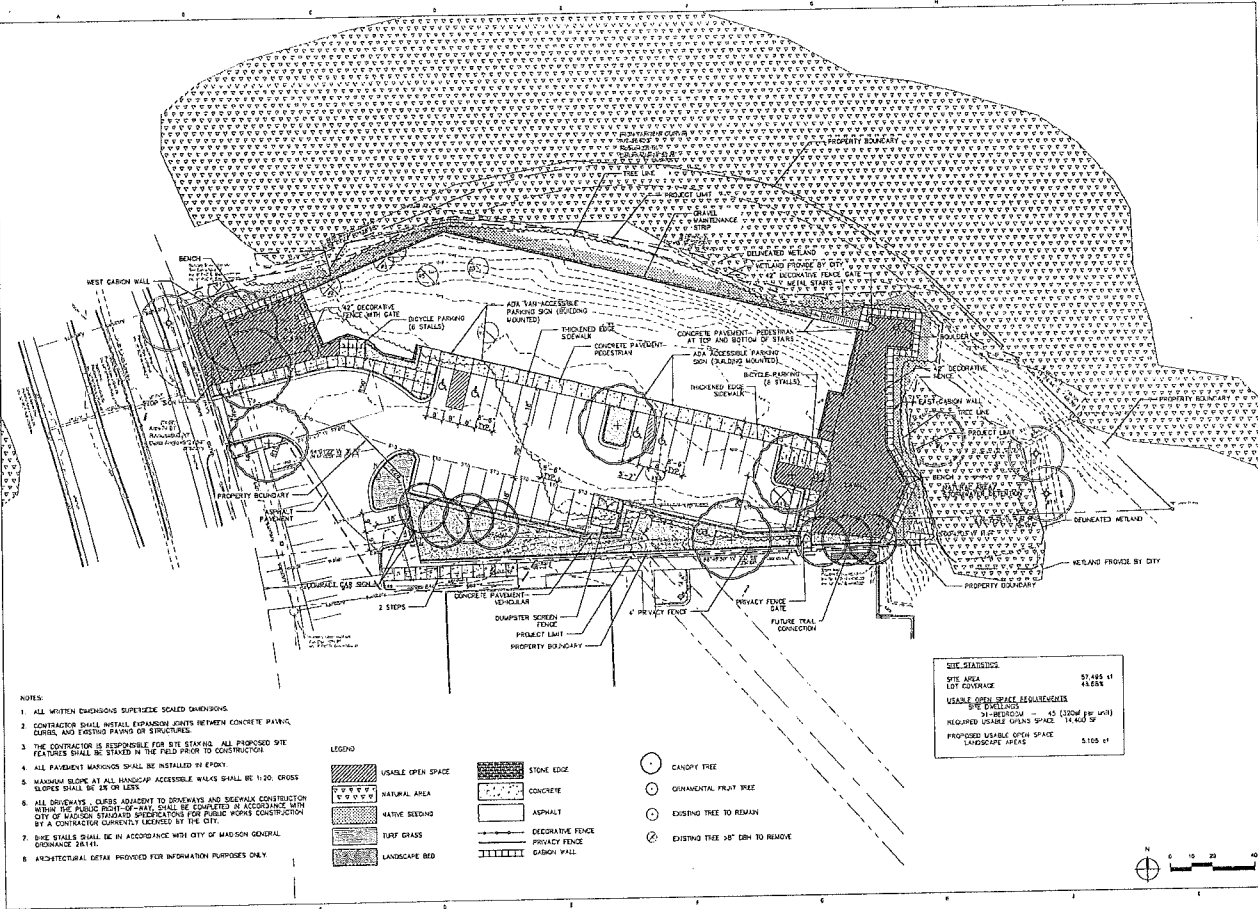
CONTRACTOR
AVRES ASSOCIATES
 211 E. MAIN ST.
 MADISON, WI 53703
 (608) 261-1111
 www.avres.com

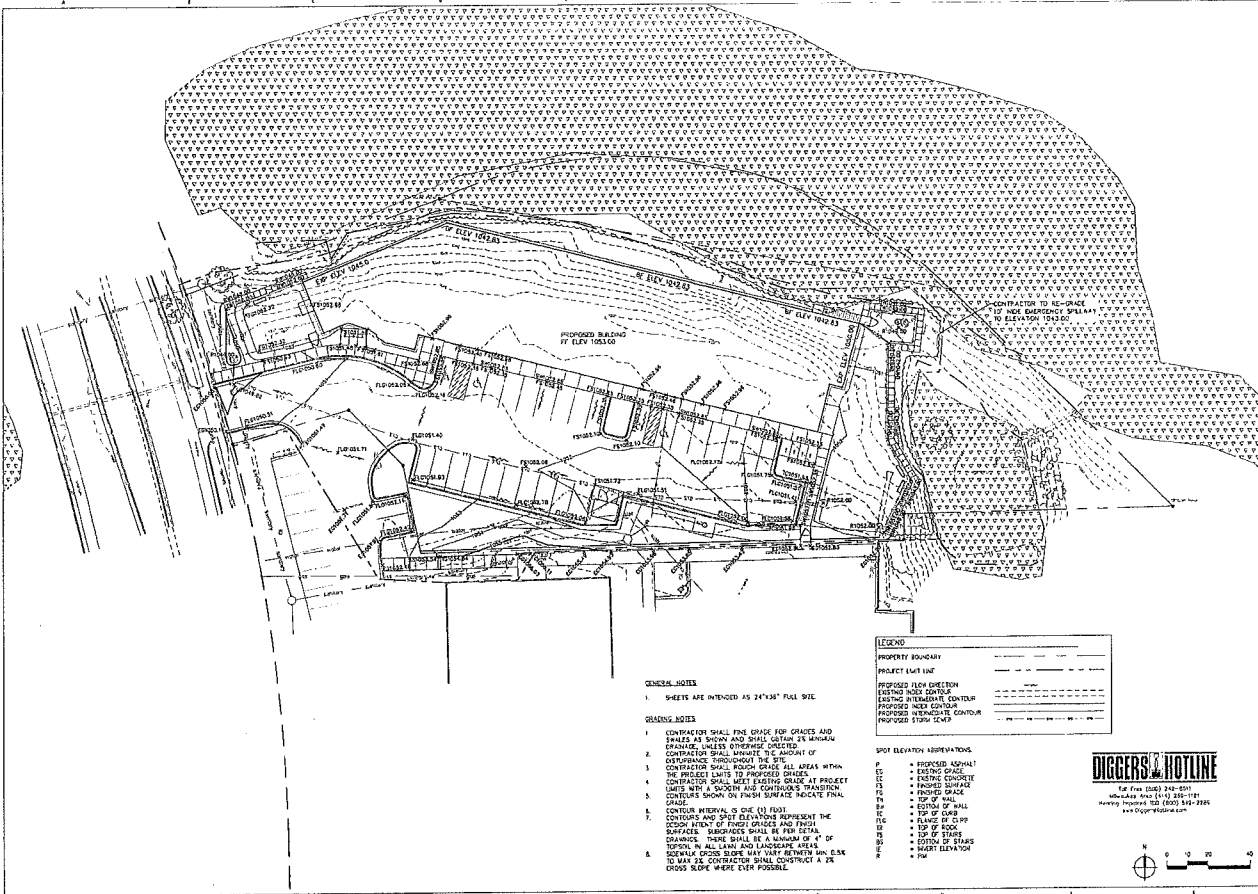
CONSULTANT PROJECT NUMBER
 17-011

| NO. | REVISION/DESCRIPTION | DATE |
|-----|----------------------|------------|
| 1 | REVISED PER COMMENTS | 08-20-2011 |

© 2011 VALDESIGN PARTNERSHIP INC.
 ALL RIGHTS RESERVED

Site Plan





- GENERAL NOTES**
1. SHEETS ARE INTENDED AS 24"x36" FULL SIZE.
- GRADING NOTES**
1. CONTRACTOR SHALL FINISH GRADE FOR GRASSES AND SHALL BE SHOWN AND SHALL OBTAIN 1% MINIMUM DRAINAGE, UNLESS OTHERWISE SPECIFIED.
 2. CONTRACTOR SHALL MAINTAIN THE AMOUNT OF DISTURBANCE THROUGHOUT THE SITE.
 3. CONTRACTOR SHALL PROTECT EXISTING UTILITIES WITHIN THE PROJECT LIMITS TO PROPOSED GRADING.
 4. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS, UTILITIES, AND ELEVATIONS AND CONFORM TO THE DRAWING. CONDITIONS SHOWN ON FINISH SURFACES INDICATE FINAL GRADES.
 5. CONTOUR INTERVAL IS ONE (1) FOOT.
 6. CONTOURS AND SPOT ELEVATIONS REPRESENT THE DESIGN INTENT OF FINISH GRADES AND FINISH SURFACES. SURFACES SHALL BE PER LOCAL, STATE, AND FEDERAL REGULATIONS. THERE SHALL BE A MINIMUM OF 4" OF TOPSOIL IN ALL LAWN AND LANDSCAPE AREAS.
 7. SLOPES SHALL BE MAINTAINED AS MUCH AS POSSIBLE. CONTRACTOR SHALL CONSTRUCT A 2% CROSS SLOPE WHERE EVER POSSIBLE.

LEGEND

| | |
|-----|-------------------------------|
| --- | PROPERTY BOUNDARY |
| --- | PROJECT LIMIT LINE |
| --- | PROPOSED FLOW DIRECTION |
| --- | EXISTING HOSE ELEVATION |
| --- | EXISTING INTERMEDIATE CONTOUR |
| --- | PROPOSED HOSE ELEVATION |
| --- | PROPOSED INTERMEDIATE CONTOUR |
| --- | PROPOSED FINISH GRADE |

- SPOT ELEVATION ABBREVIATIONS**
- P = PROPOSED ASPHALT
 - CC = EXISTING CONCRETE
 - IC = FINISHED CONCRETE
 - FS = FINISHED GRADE
 - TS = TOP OF SOIL
 - BF = BOTTOM OF FOOTING
 - IC = TOP OF CONCRETE
 - IS = TOP OF IRON
 - TS = TOP OF TRUSS
 - ES = BOTTOM OF STRIPS
 - E = ROOF ELEVATION
 - FW = FINISH WOOD

DIGGERS & HOTLINE
 2011-2012
 1000 N. MONROE ST. SUITE 100
 MADISON, WI 53703
 TEL: 608.261.1111
 FAX: 608.261.1112
 WWW.DIGGERSANDHOTLINE.COM

PROJECT NAME
HEARTLAND ALLIANCE

PROJECT ADDRESS
MADISON, WI



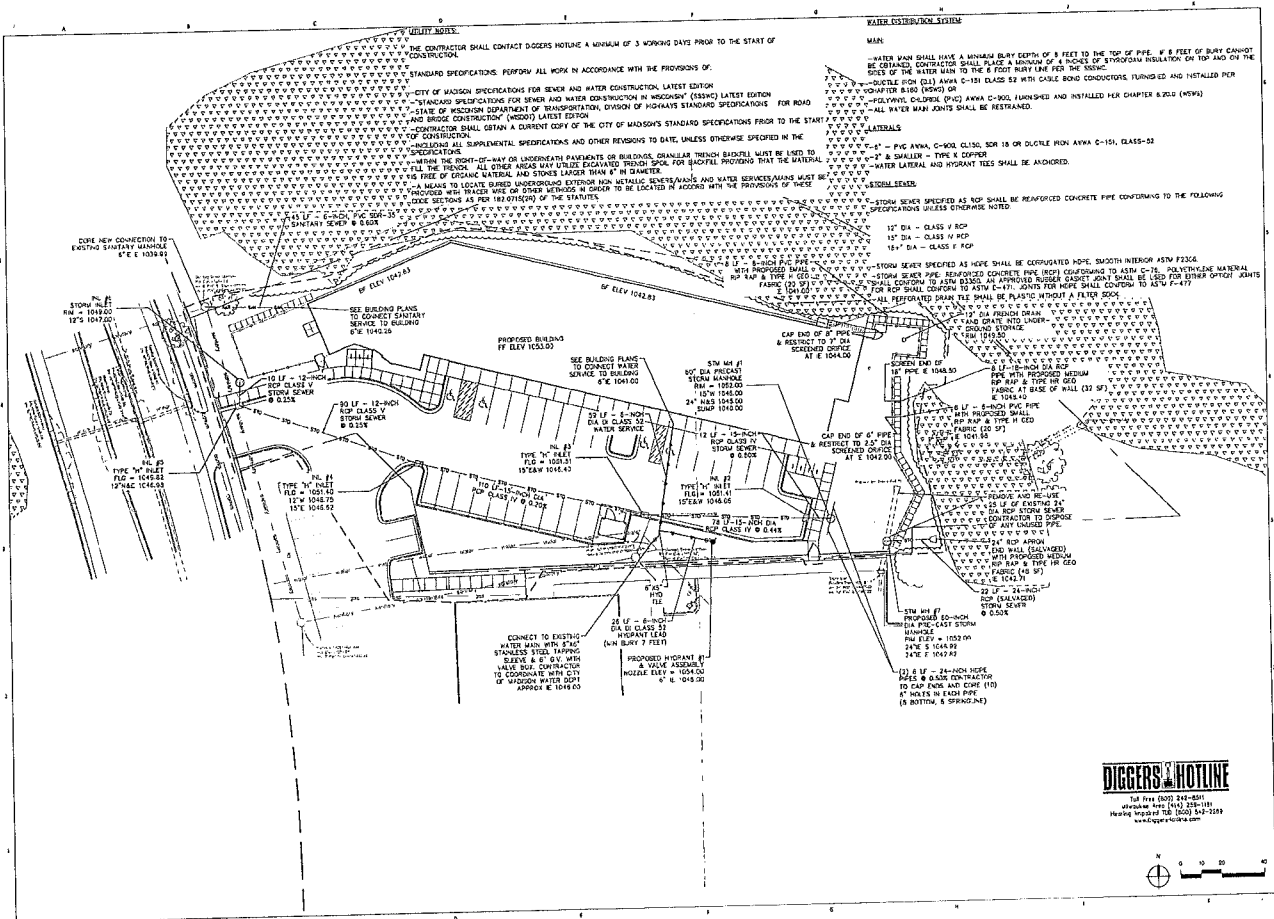
ARCHITECT
 HOFFER ENGINEERING ARCHITECTS INC.
 100 N. CLAYTON ST. SUITE 200
 MADISON, WI 53703
 TEL: 608.261.1111
 WWW.HOFFER.COM

CONTRACTOR
AVRES ASSOCIATES
 100 N. CLAYTON ST. SUITE 200
 MADISON, WI 53703
 TEL: 608.261.1111
 WWW.AVRES.COM

| NO. | REVISION/DESCRIPTION | DATE |
|-----|----------------------|----------|
| 1 | ISSUE FOR PERMIT | 08-15-12 |

© 2011 VALERIO DEVALVE FOR M ASSOCIATES INC.
 Site Grading & Drainage Plan

C-300



HEARFLAND ALLIANCE
PROJECT ADDRESS
MADISON, WI



ADDRESS
VALDESERAIN TRAM ASSOCIATES, INC.
500 S. MONROE, 11TH FLOOR
MADISON, WI 53703
608.261.8800
www.valdeserain.com

PROJECT TEAM
ARCHITECT
ADRIAN SMITH + PARTNERS

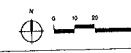
CONSULTANT
AVRES ASSOCIATES
515 S. MONROE, 11TH FLOOR
MADISON, WI 53703
608.261.8800
www.avres.com

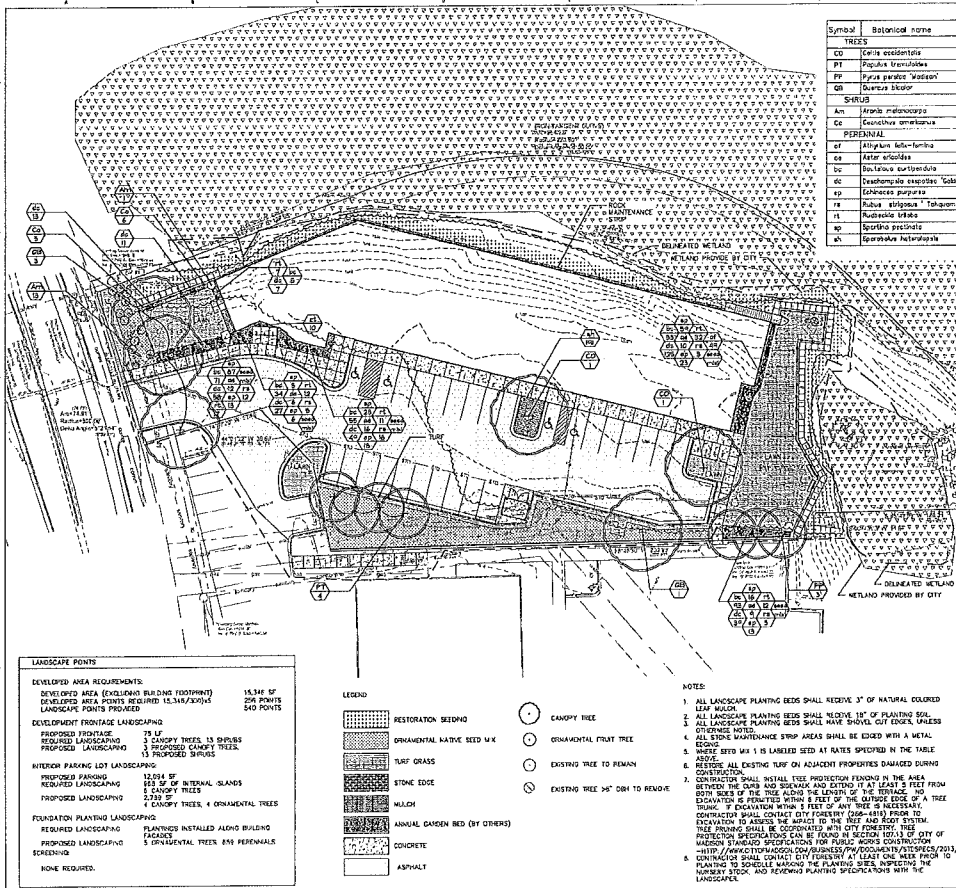
| NO. | REVISION/DESCRIPTION | DATE |
|-----|----------------------|----------|
| 1 | CITY UTILITIES | 11.22.20 |

© 2011 VALDESERAIN TRAM ASSOCIATES, INC.
Site Utility Plan

C-400

DIGGERS & HOTLINE
Tel: 608.261.8800
Fax: 608.261.8801
www.diggersandhotline.com





| Symbol | Botanical Name | Common Name | Size | Root | Quantity | Spacing |
|-------------------|------------------------------|-----------------|--------|-------|----------|---------|
| TREES | | | | | | |
| CO | <i>Quercus occidentalis</i> | Common Hickory | 2-1/2" | B&B | 2 | 10' |
| PT | <i>Populus tremuloides</i> | Quaking Aspen | 1" | B&B | 2 | 10' |
| PP | <i>Prunus pennsylvanica</i> | Madison Peach | 1" | B&B | 3 | 10' |
| OR | <i>Quercus bicolor</i> | Swamp White Oak | 2-1/2" | Cont. | 4 | 10' |
| SHRUBS | | | | | | |
| AM | <i>Hamamelis virginica</i> | Witch Hamamelis | 3" | Cont. | 11 | 3'-4' |
| CC | <i>Cornus amomum</i> | Wineberry | 3" | Cont. | 11 | 3' |
| PERENNIALS | | | | | | |
| AS | <i>Asplenium platyneuron</i> | Wetland Fern | 3" | Cont. | 49 | 12" |
| AS | <i>Asplenium platyneuron</i> | Wetland Fern | 3" | Cont. | 55 | 12" |
| AS | <i>Asplenium platyneuron</i> | Wetland Fern | 3" | Cont. | 291 | 12" |
| AS | <i>Asplenium platyneuron</i> | Wetland Fern | 3" | Cont. | 304 | 12" |
| AS | <i>Asplenium platyneuron</i> | Wetland Fern | 3" | Cont. | 72 | 12" |
| AS | <i>Asplenium platyneuron</i> | Wetland Fern | 3" | Cont. | 41 | 12" |
| AS | <i>Asplenium platyneuron</i> | Wetland Fern | 3" | Cont. | 101 | 12" |
| AS | <i>Asplenium platyneuron</i> | Wetland Fern | 3" | Cont. | 115 | 12" |
| AS | <i>Asplenium platyneuron</i> | Wetland Fern | 3" | Cont. | 181 | 12" |

| Botanical Name | Common Name | Pounds / AC | % of MIX |
|--------------------------------|--------------------------|-------------|----------|
| <i>Monarda fistulosa</i> | Wild Bergamot | 0.2 | 40.0% |
| <i>Tradescantia virginiana</i> | Ohio Spiderwort | 0.3 | 60.0% |
| RESTORATION SEEDING MIX | | | |
| <i>Bouteloua aristata</i> | White Dots Daisy | 8.3 | 18.0% |
| <i>Cymus verticillatus</i> | White Wild Rose | 1.4 | 4.0% |
| <i>Lobelia cardinalis</i> | Cardinal Flower | 0.4 | 1.0% |
| <i>Lobelia spicata</i> | Great Blue Lobelia | 0.3 | 1.0% |
| <i>Monarda fistulosa</i> | Wild Bergamot | 3.5 | 10.0% |
| <i>Parthenocissus vitacea</i> | Swamp Grape | 10.5 | 30.0% |
| <i>Pyrola asarifolia</i> | Slender Mountain Mint | 0.3 | 1.0% |
| <i>Rudbeckia hirta</i> | Brown-eyed Susan | 1.8 | 5.0% |
| <i>Schizanthus luteus</i> | Little Busselton | 10.6 | 30.0% |
| MEADOW MIX | | | |
| <i>Andropogon gerardii</i> | Big Bluestem | 5.0 | 16.5% |
| <i>Bouteloua aristata</i> | White Dots Daisy | 2.8 | 8.2% |
| <i>Bouteloua curtipendula</i> | Sideoats Gramma | 1.3 | 3.7% |
| <i>Carex debilis</i> | Bob's Sedge | 1.3 | 3.7% |
| <i>Carex lasiocarpa</i> | Beckman's Sedge | 0.3 | 1.0% |
| <i>Carex lasiocarpa</i> | June Grass | 5.0 | 14.3% |
| <i>Monarda fistulosa</i> | Wild Bergamot | 0.3 | 1.0% |
| <i>Pyrola asarifolia</i> | American Mountain Mint | 0.7 | 2.0% |
| <i>Rudbeckia hirta</i> | Cul-leaf Coneflower | 0.2 | 0.5% |
| <i>Rudbeckia hirta</i> | Brown-eyed Susan | 1.0 | 3.0% |
| <i>Schizanthus luteus</i> | Little Busselton | 5.0 | 14.3% |
| <i>Sorghastrum nutans</i> | Indian Grass | 10.0 | 28.5% |
| <i>Symphoricarpos racemosa</i> | New England Aster | 0.7 | 2.0% |
| <i>Symphoricarpos racemosa</i> | Heath Aster | 0.4 | 1.0% |
| <i>Tradescantia virginiana</i> | Ohio Spiderwort | 0.2 | 0.5% |
| TURF MIX, W DOT MIX 40 | | | |
| <i>Festuca spp.</i> | Flora perovskii ryegrass | 4.18 | 23.0% |
| <i>Festuca ovina</i> | Hoar fescue | 3.35 | 20.0% |
| <i>Festuca rubra</i> | Red fescue | 3.35 | 20.0% |
| <i>Poa pratensis</i> | Kentucky Bluegrass | 5.86 | 33.0% |

LANDSCAPE POINTS

DEVELOPED AREA REQUIREMENTS:
 DEVELOPED AREA (EXCLUDING BUILDING FOOTPRINT) 15.04 SF
 DEVELOPED AREA POINTS REQUIRED 15.04/2004
 LANDSCAPE POINTS PROVIDED 540 POINTS

DEVELOPMENT FRONTAGE LANDSCAPING:
 PROPOSED FRONTAGE 79 LF
 REQUIRED LANDSCAPING 3 CANOPY TREES, 13 SHRUBS
 PROPOSED LANDSCAPING 3 PROPOSED CANOPY TREES, 13 PROPOSED SHRUBS

INTERIOR PARKING LOT LANDSCAPING:
 PROPOSED PARKING 12,034 SF
 REQUIRED LANDSCAPING 601 SF OF INTERNAL ISLANDS
 PROPOSED LANDSCAPING 5 CANOPY TREES
 7,238 SF

FOUNDATION PLANTING LANDSCAPING:
 PLANTINGS INSTALLED ALONG BUILDING FACADES
 REQUIRED LANDSCAPING 5 ENVIRONMENTAL TREES, 895 PERENNIALS
 PROPOSED LANDSCAPING 5 ENVIRONMENTAL TREES, 895 PERENNIALS
 SCREENING

NOTE REQUIRED:

- LEGEND**
- RESTORATION SEEDING
 - ORNAMENTAL NATIVE SEED MIX
 - TURF GRASS
 - STONE EDGE
 - MULCH
 - ANNUAL GARDEN BED (BY OTHERS)
 - CONCRETE
 - ASPHALT
- NOTES:**
- ALL LANDSCAPE PLANTING BEDS SHALL RECEIVE 3" OF NATURAL COLORED LEAF MULCH.
 - ALL LANDSCAPE PLANTING BEDS SHALL RECEIVE 18" OF PLANTING SOIL.
 - ALL LANDSCAPE PLANTING BEDS SHALL HAVE THICKER OAK DOCKS, UNLESS OTHERWISE NOTED.
 - ALL EXISTING MAINTENANCE STRIP AREAS SHALL BE EDED WITH A METAL EDGER.
 - EXISTING TURF IS LAMINATED SEED AT RATES SPECIFIED IN THE TABLE ABOVE.
 - CONTRACTOR SHALL CONTACT CITY FORESTER (360-4414) PRIOR TO EXCAVATION TO ADDRESS THE ADJUST TO THE TREE AND ROOT SYSTEM. THE EXCAVATION SHALL BE OCCUPIED WITH CITY FORESTER. THIS PROJECT SPECIFICATIONS CAN BE FOUND IN SECTION 05110 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION - (HTTP://WWW.CITYOFMADISON.COM/RESOURCES/PROJECTS/2013/PART1/PDF) CONTRACTOR SHALL CONTACT CITY FORESTER AT LEAST ONE WEEK PRIOR TO PLANTING TO SCHEDULE MAINTENANCE OF THE PLANTING SITES, IMPROVING THE NURSERY STOCK, AND REVIEWING PLANTING SPECIFICATIONS WITH THE LANDSCAPE.

HEARTLAND ALLIANCE
 PROJECT ADDRESS
 MADISON, WI

ARCHITECT
 VALERIO COMPANY TEAM ARCHITECTS, INC.
 1015 SOUTH BROADWAY
 MADISON, WI 53713
 WWW.VAARCHITECTS.COM
 CONTACT/PROJECT NUMBER
 31334

ARCHITECT PLANNING

LANDSCAPE ARCHITECT
 AVRES ASSOCIATES
 1015 SOUTH BROADWAY
 MADISON, WI 53713
 WWW.AVRESASSOCIATES.COM
 CONTACT/PROJECT NUMBER
 31334

DATE
 11/11/2013

NO. REVISION DESCRIPTION DATE

1. CITY APPROVAL 11/22/2013

© 2013 VALERIO COMPANY TEAM ARCHITECTS, INC.

LANDSCAPE PLAN

Sheet 0001

C-500



ARCHITECT
VALERIO DEHNETTAN ASSOCIATES PC
1215 E. WAVERLY BLVD.
MADISON, WI 53703
TEL: 608.261.1400
WWW.VADASSOCIATES.COM

PROJECT TEAM
ARCHITECT DEWALT

CONTRACTOR
AVRES ASSOCIATES
2115 E. WAVERLY BLVD.
MADISON, WI 53703
TEL: 608.261.1400
WWW.AVRESASSOCIATES.COM
CONTRACT PROJECT NUMBER
21-1019

| NO. | REVISION/REVISION | DATE |
|-----|-------------------|----------|
| 1 | REV. 02/15/19 | 02/15/19 |

© 2015 VALERIO DEHNETTAN ASSOCIATES PC
SHEET TITLE
Details

1 ASPHALT PAVEMENT
SCALE 1" = 1'-0"

2 CONCRETE PAVEMENT
SCALE 1" = 1'-0"

3 THICKENED EDGE WALK
SCALE 1" = 1'-0"

4 CURB TRANSITION
SCALE 1" = 1'-0"

5 ACCESSIBLE PARKING AND STRIPING
SCALE NTS

6 ADA ACCESSIBLE PARKING SIGN (BUILDING MOUNTED)
SCALE 1" = 1'-0"

7 SIGN POST ATTACHMENT
SCALE NTS

8 PARKING STRIPING
SCALE NTS

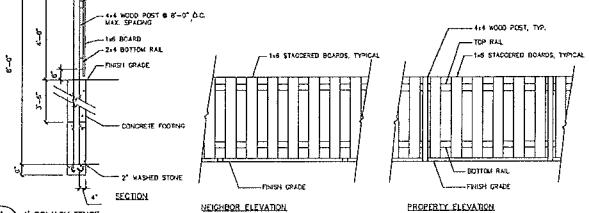
9 ACCESSIBLE PARKING PAVEMENT MARKING
SCALE 1" = 1'-0"

10 BIKE RACK SURFACE MOUNT PER MANUFACTURER RECOMMENDATIONS
SCALE NTS

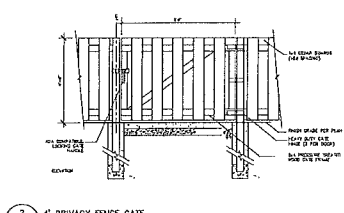
11 STOP SIGN
SCALE NTS

12 BICYCLE PARKING
SCALE 1" = 1'-0"

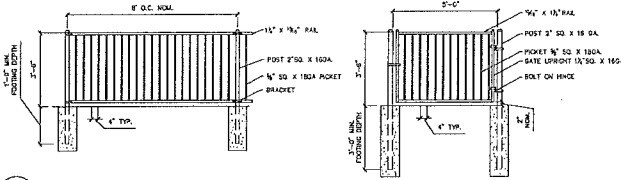
NOTES:
 1. ALL WOOD TO BE STAINED.
 2. ALL FASTENERS TO BE NON-CORROSIVE, CONCEALED AND SHALL BE INCLUDED WITH FENCE.
 3. STEP FENCE TO FOLLOW GRADE.



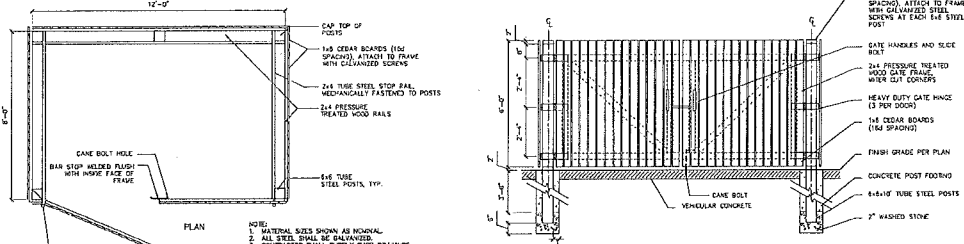
1 4' PRIVACY FENCE SCALE 1/2" = 1'-0"



2 4' PRIVACY FENCE GATE SCALE 1/2" = 1'-0"



3 42" DECORATIVE FENCE AND GATE SCALE 1/2" = 1'-0"



4 DUMPSTER SCREEN FENCE SCALE 1/2" = 1'-0"

NOTE:
 1. MATERIAL SIZES SHOWN AS NOMINAL.
 2. ALL STEEL SHALL BE GALVANIZED.
 3. CONTRACTOR SHALL SUPPLY CHIP DRUMS AND MECHANICAL TENSILETS. SHALL BE VANDAL AND CHEMISTRIE RESISTANT MATERIAL.
 4. CONTRACTOR SHALL FIELD LOCATE POSTS TO AVOID BELOW GRADE UTILITY LINES AND UTILITIES. POST SHALL NOT BE SPACED GREATER THAN THE MAXIMUM DISTANCE ESTABD IN THE DETAIL OR LESS THAN 2' O.C.

PROJECT NAME
HEARTLAND ALLIANCE
 PROJECT ADDRESS
(MADISON, WI)



ARCHITECT
 VANCE DEWALT TRAM ASSOCIATES, INC.
 200 S. DAVENPORT ST. #200
 CHICAGO, ILLINOIS 60604
 TEL: 312.467.7000
 WWW.VDTRAM.COM

CONSULTANT
AVRES ASSOCIATES
 8015 WILSON ROAD
 MADISON, WI 53717
 TEL: 608.261.1000
 CONSULTANT PROJECT NUMBER
 21-117

| NO. | REVISION/DESCRIPTION | DATE |
|-----|----------------------|------------|
| 1 | SYNOPSIS | 10/22/2015 |

© 2014 VANCE DEWALT TRAM ASSOCIATES, INC.
 SHEET NO.
Details

8015 WILSON ROAD
C-602

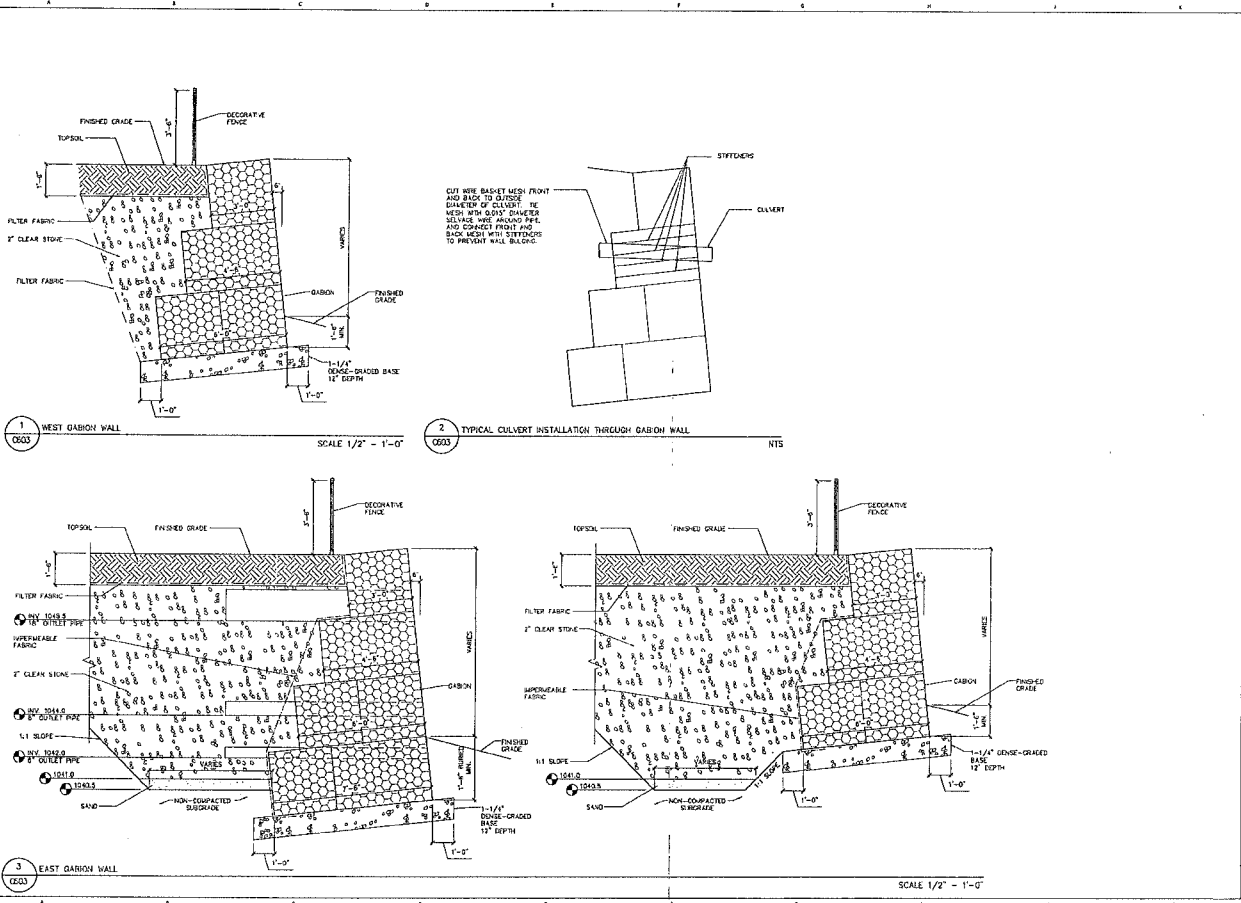


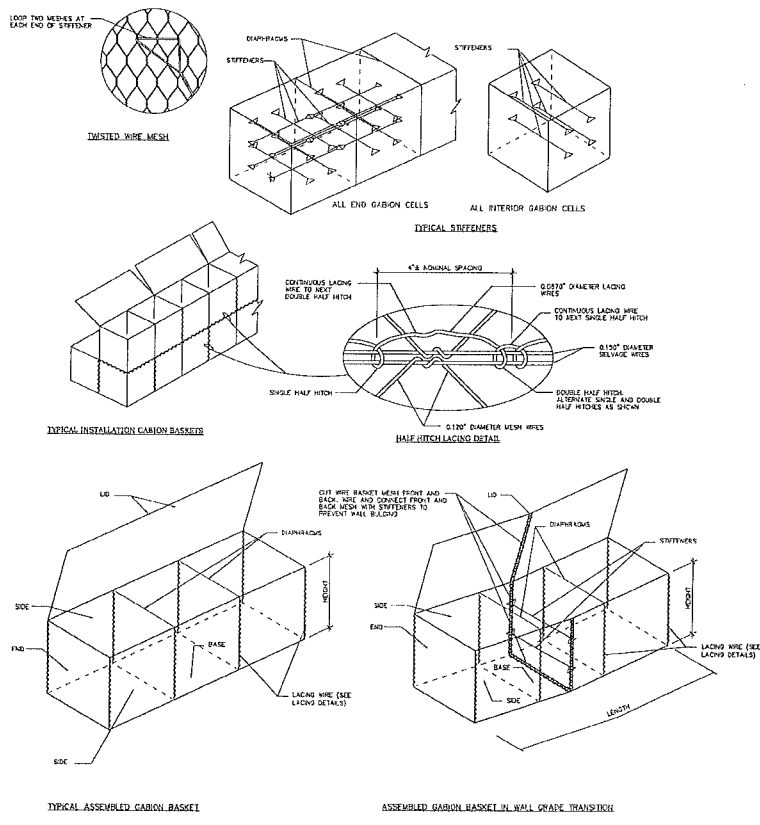
ARCHITECT
 VALENDI DREWITZ TRAN ASSOCIATES, INC.
 500 N. MENDOTA, 1ST FLOOR
 MADISON, WISCONSIN 53706
 (608) 263-8800
 www.valenditran.com
 PROJECT TEAM ARCHITECTS LEAD

VEGETATION MANAGER
 CONSULTANT
AVRES ASSOCIATES
 500 N. MENDOTA, 1ST FLOOR
 MADISON, WISCONSIN 53706
 (608) 263-8800
 www.avres.com
 CONSULTANT PROJECT MANAGER
 PROJECT NO.

| NO. | REVISION DESCRIPTION | DATE |
|-----|----------------------|----------|
| 1 | REV. 01/10/10 | 01/10/10 |

© 2010 VALENDI DREWITZ TRAN ASSOCIATES, INC.
 Details





1 CABINET BASKET - INSTALLATION
CG04

SCALE NTS

McGraw-Edison

Product: Model:

Quantity: Price:

Notes:

DESCRIPTION

The GLEON™ LED cabinet is a modern, minimalist design that is perfect for any office or home. It features a sleek, rectangular design with a brushed metal finish and a clear glass door. The cabinet is made of high-quality materials and is built to last. It is perfect for storing books, documents, and other office supplies. The cabinet is easy to install and is a great addition to any office or home.

FEATURES

- Sleek, rectangular design
- Brushed metal finish
- Clear glass door
- High-quality materials
- Built to last
- Perfect for storing books, documents, and other office supplies
- Easy to install
- Great addition to any office or home

INSTALLATION

The cabinet is easy to install. Simply follow the instructions provided in the manual. The cabinet is designed to be mounted on a wall. It is perfect for use in an office or home. The cabinet is a great addition to any office or home.

WARRANTY

The cabinet is covered by a 3-year warranty. This warranty covers all parts and labor. It is a great guarantee of quality. The cabinet is a great addition to any office or home.

CONTACT US

For more information, please contact us at 1-800-555-1234. We are happy to help you with any questions you may have. Our website is at www.mcgraw-edison.com.

GLEON™ LED

1 1/2" x 1 1/2" x 1 1/2"

SCALE NTS

2 WALL MOUNTED LIGHT
CG04

SCALE NTS

PROJECT NAME
HEARTLAND ALLIANCE

PROJECT ADDRESS
MADISON, WI

PROJECT TEAM

ARCHITECT: HANCOCK ROYALTY TEAM ARCHITECT, INC.
500 S. SHARON ST. #100
MADISON, WI 53705
www.hrtteam.com

ARCHITECT: [Blank]

PROJECT NUMBER

CONSULTANT

AVRES ASSOCIATES
516 W. WISCONSIN ST.
MADISON, WI 53703
www.avres.com
CONSULTANT PROJECT NUMBER: [Blank]

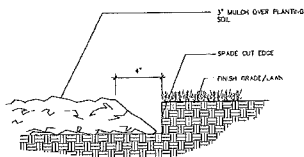
| NO. | REVISION/DESCRIPTION | DATE |
|-----|----------------------|----------|
| 1 | ISSUED FOR PERMIT | 07-18-13 |

© 2013 HANCOCK ROYALTY TEAM ARCHITECT, INC.

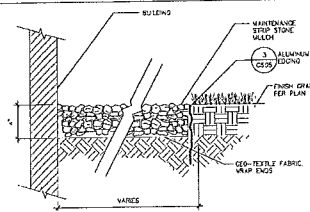
Details

CG04

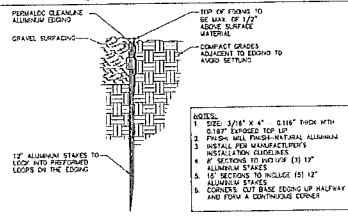
C-604



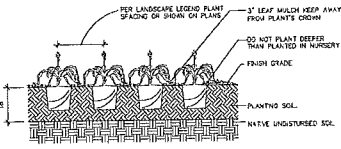
1 SHOVEL CUT EDGE NTS



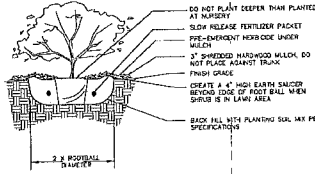
2 GRAVEL SURFACING NTS



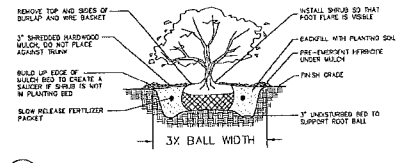
3 ALUMINUM EDGING NTS



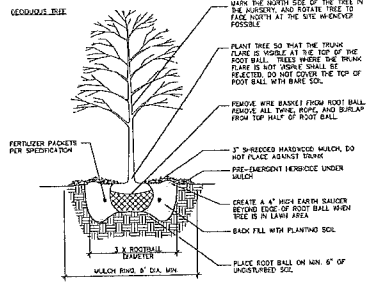
4 GROUND COVER/PERENNIAL/BULB PLANTING DETAIL NTS



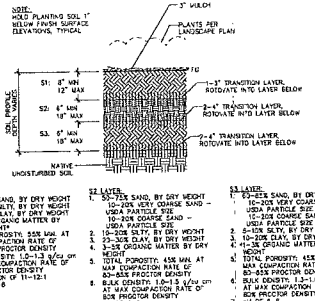
5 CONTAINER SHRUB PLANTING DETAIL NTS



6 B&B SHRUB PLANTING DETAIL NTS



7 B&B TREE PLANTING DETAILS NTS



8 PLANTING SOIL NTS



ARCHITECT
LANDSCAPE DESIGN TEAM ASSOCIATES INC.
160 N. BLANCKENHORN ST. HOUSTON, TEXAS 77002
713.865.1100
www.landscape.com

PROJECT TEAM ARCHITECT BUREAU

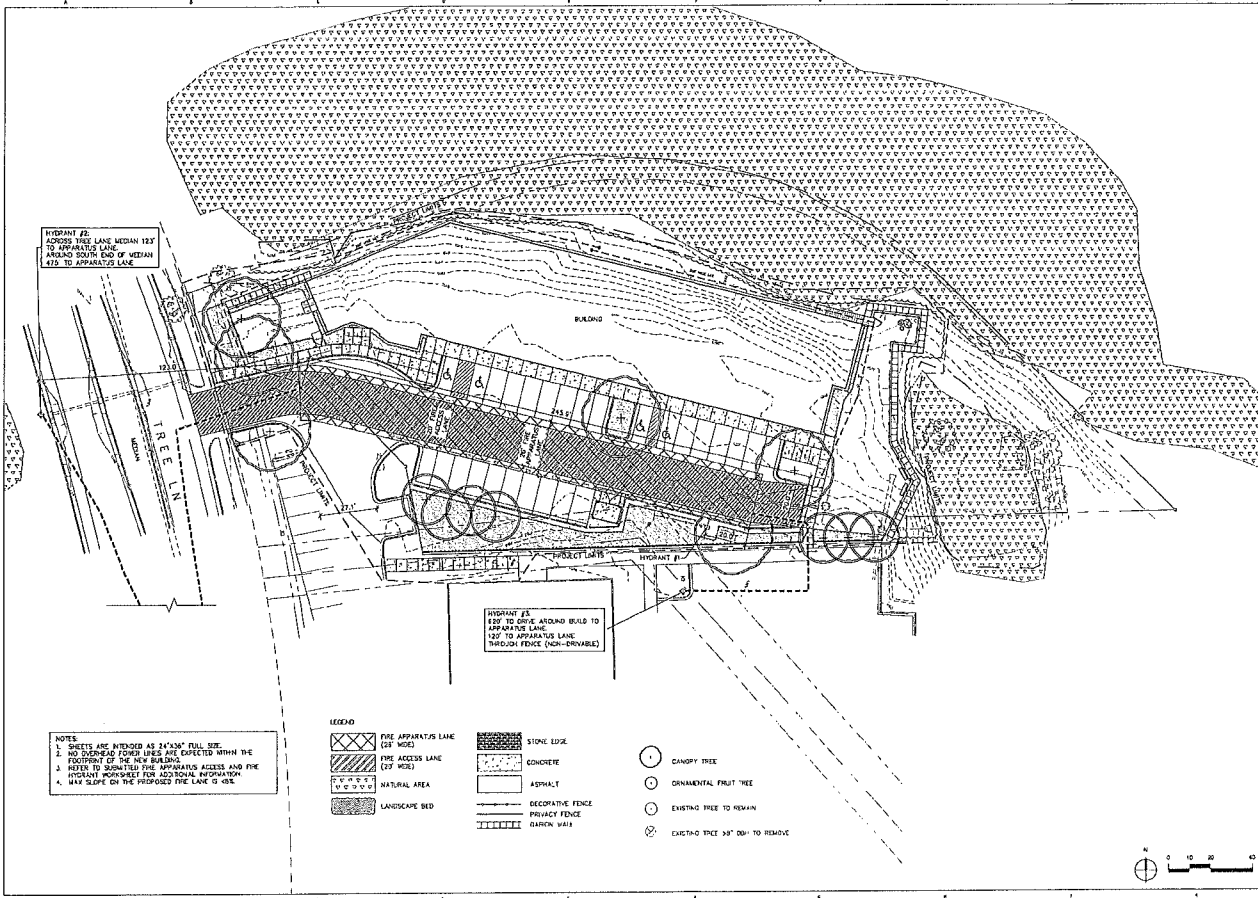
CONTRACTOR
AVRES ASSOCIATES
1115 S. BROADWAY
MADISON, WI 53703
608.261.8100
www.avres.com
CONSULTANT PROJECT NUMBER
DP-1119

| NO. | REVISION | DATE |
|-----|----------|------|
| | | |

© 2015 LANDSCAPE DESIGN TEAM ASSOCIATES INC.
MADISON, WI



C-605



PROJECT NAME
HEARTLAND ALLIANCE

PROJECT ADDRESS
MADISON, WI



ARCHITECT
VALERIO DEWALT TRUMAN ASSOCIATES INC.
ONE N. GERRARD, 8TH FLOOR
CHICAGO, IL 60611
312.321.7100
www.valeriodewalt.com

PROJECT TEAM ARCHITECT: ETWAK

CONSULTANT
AVRES ASSOCIATES
ONE MADISON ROAD
MADISON, WI 53713
608.261.1100
www.avres.com
CONSULTANT PROJECT NUMBER
PF-10-0

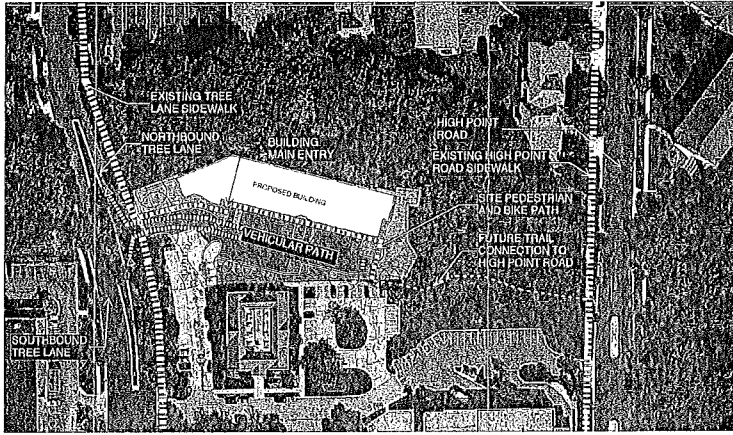
| SHEET | | |
|-------|--------------------|------------|
| NO. | SYMBOL DESCRIPTION | DATE |
| 1 | BY: [signature] | 10.02.2010 |

© 2010 VALERIO DEWALT TRUMAN ASSOCIATES, INC.

SHEET TITLE
FIRE ACCESS PLAN



SHEET NUMBER
C-700



SITE CIRCULATION DIAGRAM

CITY OF MADISON LANDSCAPE WORKSHEET
 Project Name: 2933 Tree Lane
 Project Address: 2933 Tree Lane
 Owner: Madison Apartment Housing
 Design: J. J. & J. J. ASSOCIATES LLC
 Contact Person: J. J. ASSOCIATES LLC
 Phone: 608-441-3564
 Email: j.j.associates@j.j.associates.com

LANDSCAPE
 The following information is to be used as a guide for the design and construction of the landscape. The landscape architect is responsible for the design and construction of the landscape. The landscape architect is not responsible for the design and construction of the building or the structure of the building. The landscape architect is not responsible for the design and construction of the building or the structure of the building. The landscape architect is not responsible for the design and construction of the building or the structure of the building.

LANDSCAPE CONSTRUCTION
 The landscape architect is responsible for the design and construction of the landscape. The landscape architect is not responsible for the design and construction of the building or the structure of the building. The landscape architect is not responsible for the design and construction of the building or the structure of the building. The landscape architect is not responsible for the design and construction of the building or the structure of the building.

LANDSCAPE MAINTENANCE
 The landscape architect is responsible for the design and construction of the landscape. The landscape architect is not responsible for the design and construction of the building or the structure of the building. The landscape architect is not responsible for the design and construction of the building or the structure of the building. The landscape architect is not responsible for the design and construction of the building or the structure of the building.

10203

10203.1

10203.2

10203.3

10203.4

10203.5

10203.6

10203.7

10203.8

10203.9

10203.10

10203.11

10203.12

10203.13

10203.14

10203.15

10203.16

10203.17

10203.18

10203.19

10203.20

10203.21

10203.22

10203.23

10203.24

10203.25

10203.26

10203.27

10203.28

10203.29

10203.30

10203.31

10203.32

10203.33

10203.34

10203.35

10203.36

10203.37

10203.38

10203.39

10203.40

10203.41

10203.42

10203.43

10203.44

10203.45

10203.46

10203.47

10203.48

10203.49

10203.50

10203.51

10203.52

10203.53

10203.54

10203.55

10203.56

10203.57

10203.58

10203.59

10203.60

10203.61

10203.62

10203.63

10203.64

10203.65

10203.66

10203.67

10203.68

10203.69

10203.70

10203.71

10203.72

10203.73

10203.74

10203.75

10203.76

10203.77

10203.78

10203.79

10203.80

10203.81

10203.82

10203.83

10203.84

10203.85

10203.86

10203.87

10203.88

10203.89

10203.90

10203.91

10203.92

10203.93

10203.94

10203.95

10203.96

10203.97

10203.98

10203.99

10203.100

CITY OF MADISON FIRE DEPARTMENT
 200 Independence St., Madison, WI 53703, Phone: 608-261-7800, Fax: 608-261-7810

FIRE SAFETY CHECKLIST FOR EXISTING WORKSHEET

| Item | Yes | No | NA |
|---|--------------------------|--------------------------|--------------------------|
| 1. Is the fire alarm system installed by an NFPA 72 listed fire alarm control panel? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 2. Is the fire alarm system installed by an NFPA 72 listed fire alarm control panel? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 3. Is the fire alarm system installed by an NFPA 72 listed fire alarm control panel? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 4. Is the fire alarm system installed by an NFPA 72 listed fire alarm control panel? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 5. Is the fire alarm system installed by an NFPA 72 listed fire alarm control panel? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 6. Is the fire alarm system installed by an NFPA 72 listed fire alarm control panel? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 7. Is the fire alarm system installed by an NFPA 72 listed fire alarm control panel? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 8. Is the fire alarm system installed by an NFPA 72 listed fire alarm control panel? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 9. Is the fire alarm system installed by an NFPA 72 listed fire alarm control panel? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 10. Is the fire alarm system installed by an NFPA 72 listed fire alarm control panel? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 11. Is the fire alarm system installed by an NFPA 72 listed fire alarm control panel? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 12. Is the fire alarm system installed by an NFPA 72 listed fire alarm control panel? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 13. Is the fire alarm system installed by an NFPA 72 listed fire alarm control panel? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 14. Is the fire alarm system installed by an NFPA 72 listed fire alarm control panel? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 15. Is the fire alarm system installed by an NFPA 72 listed fire alarm control panel? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 16. Is the fire alarm system installed by an NFPA 72 listed fire alarm control panel? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 17. Is the fire alarm system installed by an NFPA 72 listed fire alarm control panel? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 18. Is the fire alarm system installed by an NFPA 72 listed fire alarm control panel? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 19. Is the fire alarm system installed by an NFPA 72 listed fire alarm control panel? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 20. Is the fire alarm system installed by an NFPA 72 listed fire alarm control panel? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 21. Is the fire alarm system installed by an NFPA 72 listed fire alarm control panel? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 22. Is the fire alarm system installed by an NFPA 72 listed fire alarm control panel? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 23. Is the fire alarm system installed by an NFPA 72 listed fire alarm control panel? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 24. Is the fire alarm system installed by an NFPA 72 listed fire alarm control panel? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 25. Is the fire alarm system installed by an NFPA 72 listed fire alarm control panel? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 26. Is the fire alarm system installed by an NFPA 72 listed fire alarm control panel? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 27. Is the fire alarm system installed by an NFPA 72 listed fire alarm control panel? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 28. Is the fire alarm system installed by an NFPA 72 listed fire alarm control panel? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 29. Is the fire alarm system installed by an NFPA 72 listed fire alarm control panel? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 30. Is the fire alarm system installed by an NFPA 72 listed fire alarm control panel? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 31. Is the fire alarm system installed by an NFPA 72 listed fire alarm control panel? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 32. Is the fire alarm system installed by an NFPA 72 listed fire alarm control panel? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 33. Is the fire alarm system installed by an NFPA 72 listed fire alarm control panel? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 34. Is the fire alarm system installed by an NFPA 72 listed fire alarm control panel? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 35. Is the fire alarm system installed by an NFPA 72 listed fire alarm control panel? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 36. Is the fire alarm system installed by an NFPA 72 listed fire alarm control panel? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 37. Is the fire alarm system installed by an NFPA 72 listed fire alarm control panel? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 38. Is the fire alarm system installed by an NFPA 72 listed fire alarm control panel? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 39. Is the fire alarm system installed by an NFPA 72 listed fire alarm control panel? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 40. Is the fire alarm system installed by an NFPA 72 listed fire alarm control panel? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 41. Is the fire alarm system installed by an NFPA 72 listed fire alarm control panel? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 42. Is the fire alarm system installed by an NFPA 72 listed fire alarm control panel? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 43. Is the fire alarm system installed by an NFPA 72 listed fire alarm control panel? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 44. Is the fire alarm system installed by an NFPA 72 listed fire alarm control panel? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 45. Is the fire alarm system installed by an NFPA 72 listed fire alarm control panel? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 46. Is the fire alarm system installed by an NFPA 72 listed fire alarm control panel? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 47. Is the fire alarm system installed by an NFPA 72 listed fire alarm control panel? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 48. Is the fire alarm system installed by an NFPA 72 listed fire alarm control panel? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 49. Is the fire alarm system installed by an NFPA 72 listed fire alarm control panel? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 50. Is the fire alarm system installed by an NFPA 72 listed fire alarm control panel? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

PROJECT NAME
 HEARTLAND ALLIANCE
 PROJECT ADDRESS
 MADISON, WI

CONTRACTOR
 AVRES ASSOCIATES
 511 E. BUCKLEY ROAD
 MADISON, WI 53713
 608.261.8800
 www.avres.com

DATE
 10/20/2010

BY
 J. J. ASSOCIATES

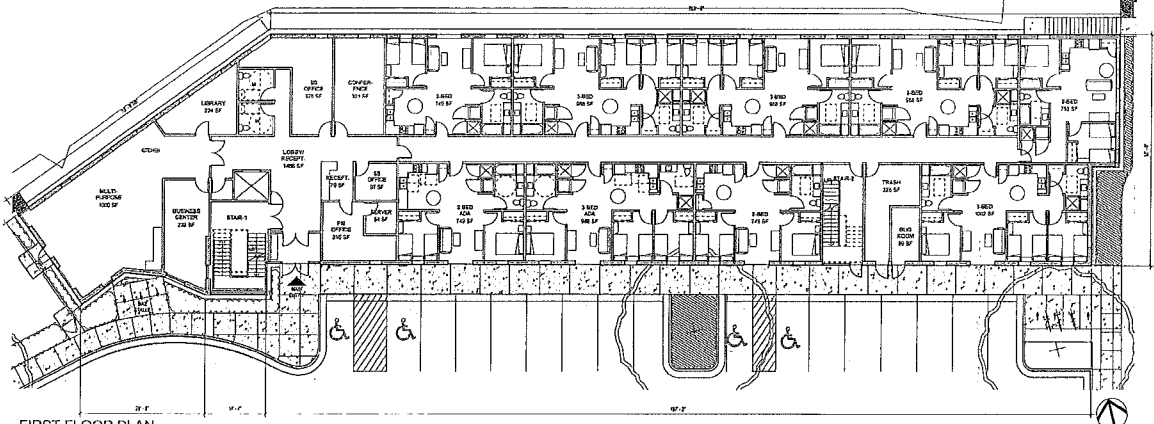
DATE
 10/20/2010

CONTRACTOR
 AVRES ASSOCIATES

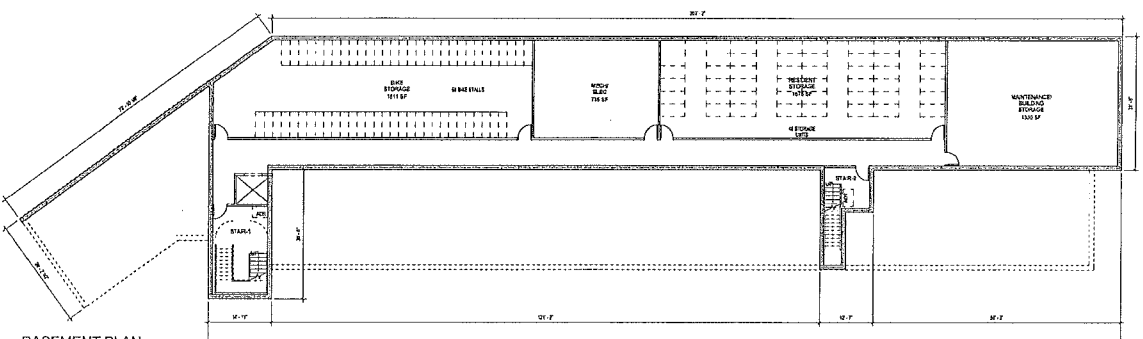
DATE
 10/20/2010

CONTRACTOR
 AVRES ASSOCIATES

DATE
 10/20/2010



FIRST FLOOR PLAN
SCALE: 1" = 10'-0"
FIRST FLOOR GROSS SF: 11,129



BASEMENT PLAN
SCALE: 1" = 10'-0"
BASEMENT GROSS SF: 1,411



PROJECT NAME
HEARTLAND ALLIANCE
PROJECT ADDRESS
MADISON, WI



CLIENT
HEARTLAND ALLIANCE, INC.
1000 WASHINGTON ST. 4TH FL.
MADISON, WI 53703
PROJECT TEAM ARCHITECT: [unreadable]

USIA PROJECT NUMBER
14210 30

CONSULTANT

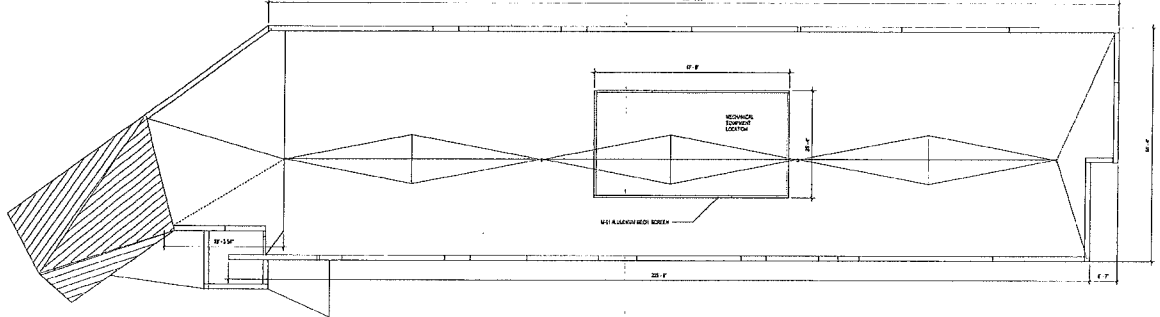
CONTRACT NUMBER

| NO. | DESCRIPTION | DATE |
|-----|-------------|----------|
| 1 | CONTRACT | 11/15/10 |

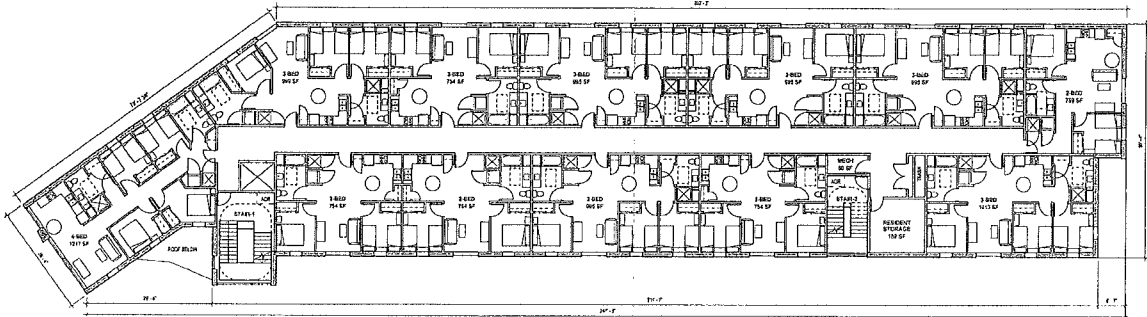
© 2010 WALTER ODEWALT TRAN ASSOCIATES, INC.
SHEET TITLE
FLOOR PLANS



SHEET NUMBER
A-33

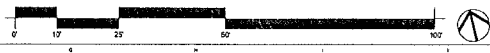


ROOF PLAN
SCALE: 1" = 10'-0"

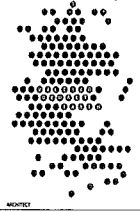


TYPICAL RESIDENTIAL FLOOR PLAN
SCALE: 1" = 12'-0"

NO. 393, 4TH FLOOR GR233 SF: 13,183



PROJECT NAME
HEARTLAND ALLIANCE
PROJECT ADDRESS
MADISON, WI



ARCHITECT
HARBO DESIGN TEAM ASSOCIATES, INC.
316 MARSHALL ST. 4TH FLOOR
CHICAGO, ILLINOIS 60611
TEL: 312.467.0000
WWW.HARBOTEAM.COM
PROJECT TEAM ARCHITECT LEAD

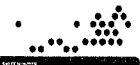
PHYSICAL NUMBER
18-000

EXCELLENT

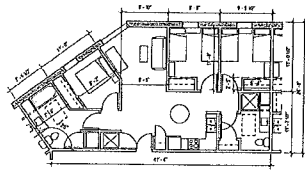
CONSULTANT PROJECT NUMBER

| | | |
|------|-------------|------------|
| 65-2 | | |
| NO. | DESCRIPTION | DATE |
| | REVISIONS | ELECTRICAL |

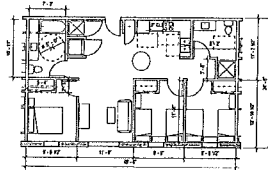
© 2015 HARBO DESIGN TEAM ASSOCIATES, INC.
SHEET TITLE
TYPICAL RESIDENTIAL FLOOR PLAN



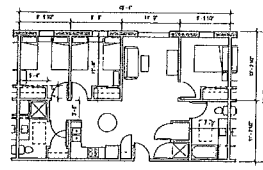
SHEET NUMBER
A-34



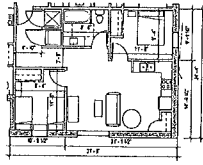
ATYPICAL 3 BED UNIT PLAN
SCALE 1/8" = 1'-0"



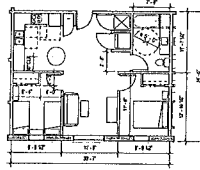
ADA 3 BED UNIT PLAN
SCALE 1/8" = 1'-0"



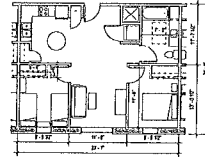
TYPICAL 3 BED UNIT PLAN
SCALE 1/8" = 1'-0"



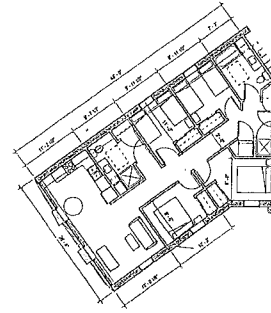
ATYPICAL 2 BED UNIT PLAN
SCALE 1/8" = 1'-0"



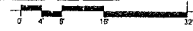
ADA 2 BED UNIT PLAN
SCALE 1/8" = 1'-0"



TYPICAL 2 BED UNIT PLAN
SCALE 1/8" = 1'-0"



TYPICAL 4 BED UNIT PLAN
SCALE 1/8" = 1'-0"



PROJECT NAME
HEARTLAND ALLIANCE
PROJECT ADDRESS
MADISON, WI



ARCHITECT
ENR GROUP ARCHITECTS, INC.
400 W. GARDNER, 8TH FLOOR
MILWAUKEE, WI 53233
312.261.7200
www.enrgroup.com

PROJECT TEAM ARCHITECT: ENR

UNIT PROJECT NUMBER

CONTRACT NUMBER

CONTRACT PROJECT NUMBER

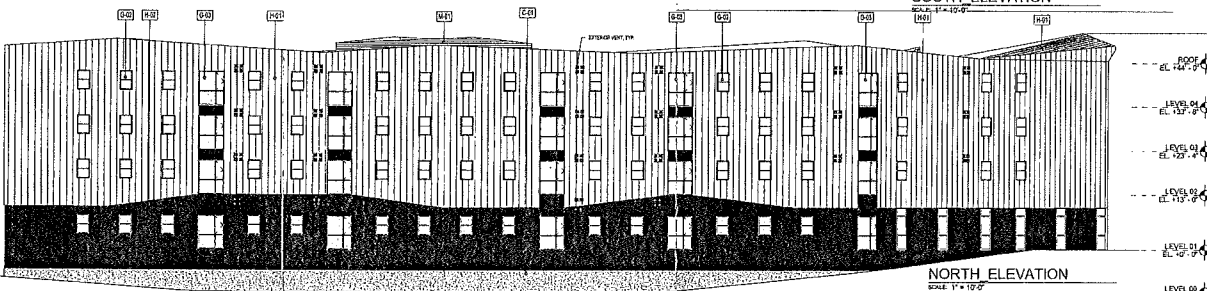
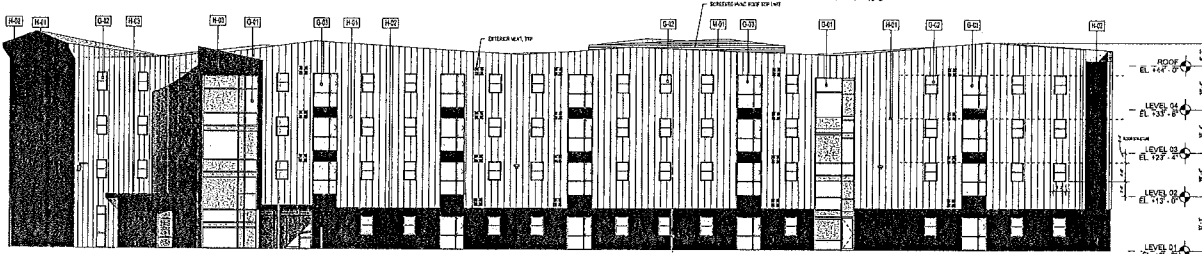
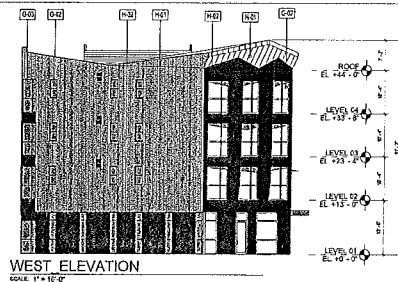
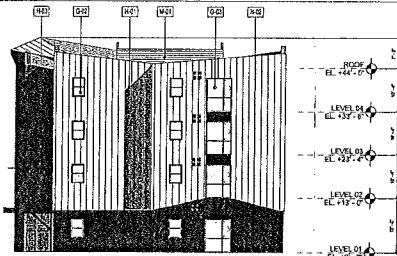
| REVISION | | | |
|----------|------------------|------------|----|
| NO. | DESCRIPTION | DATE | BY |
| 1 | ISSUE FOR PERMIT | 11.27.2018 | |

© 2018 ENR GROUP ARCHITECTS, INC.
UNITS 101A
ENLARGED UNIT PLANS



PROJECT NUMBER
A-35

| ENTER OR FINISH SCHEDULE | |
|--------------------------|---|
| MARK | DESCRIPTION |
| H-01 | HURDFACE WITH BATTENS |
| H-02 | HURDFACE SIDING |
| H-03 | COLOR GRD TREX/PA PANEL |
| H-04 | ALUMINUM WINDOW/SLY FULL FRAME STORHPROHT |
| H-05 | OPERABLE VINYL WINDOWS - TRIPLE GLAZED |
| H-06 | OPERABLE WINDOWS - TRIPLE GLAZED |
| C-01 | CONCRETE FOUNDATION WALL |
| M-01 | ALUMINUM MECHANICAL SCREEN |



PROJECT NAME
HEARTLAND ALLIANCE
PROJECT ADDRESS
MADISON, WI



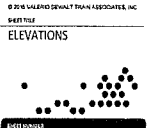
ARCHITECT
VALERIO DEWALT PLANNING ASSOCIATES, INC.
1600 W. GRAND AVENUE, SUITE 200
CHICAGO, ILLINOIS 60604
www.valeriodewalt.com

PROJECT TEAM
ARCHITECT: VALERIO DEWALT PLANNING ASSOCIATES, INC.
OWNER: HEARTLAND ALLIANCE
CONSULTANT: [blank]

DATE: 10/10/10
DRAWN BY: [blank]
CHECKED BY: [blank]

| NO. | REVISION DESCRIPTION | DATE |
|-----|----------------------|----------|
| 1 | CITY SUBMITTAL | 11/17/10 |

© 2010 VALERIO DEWALT PLANNING ASSOCIATES, INC.
SHEET TITLE
ELEVATIONS



SHEET NUMBER
A-36