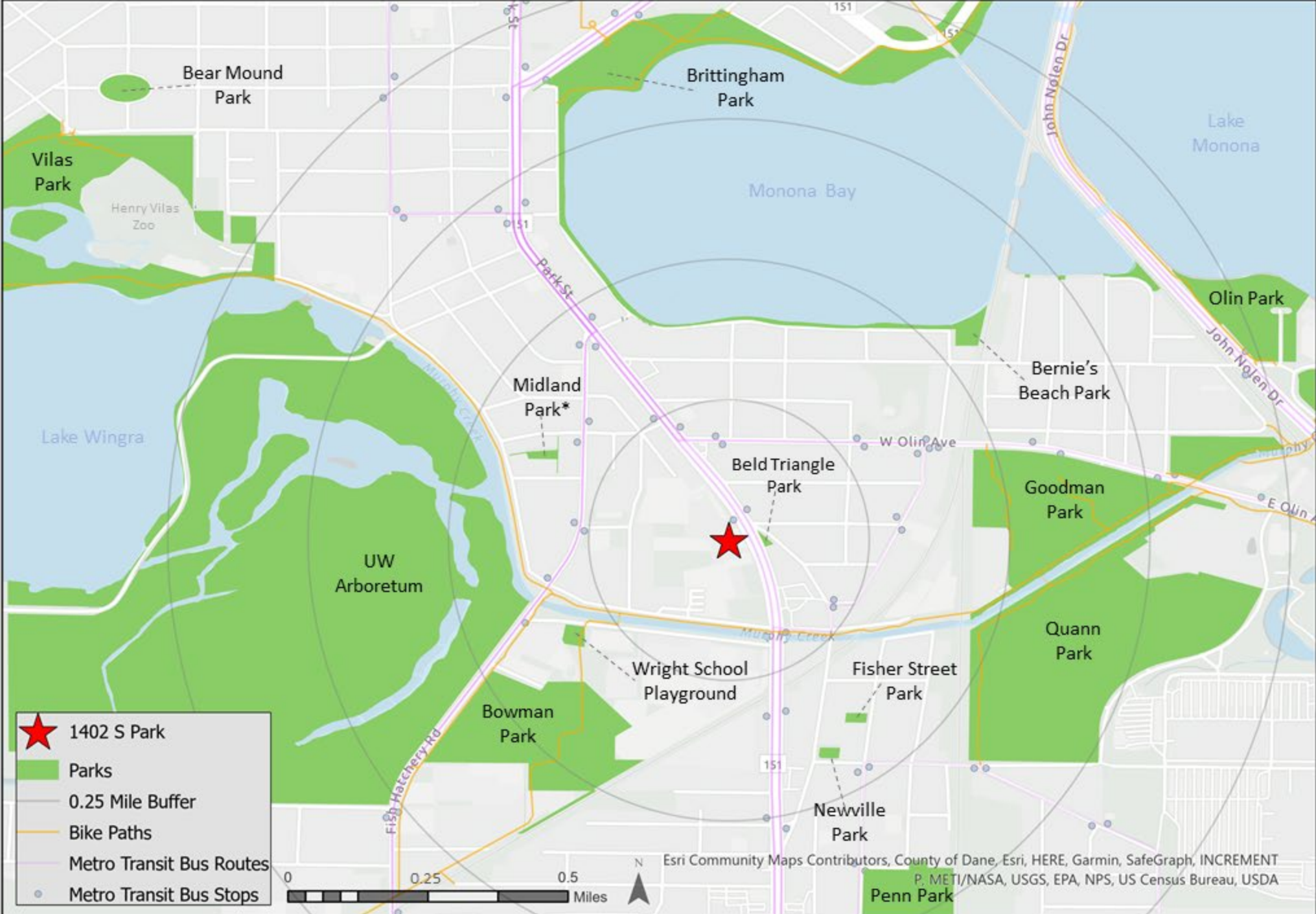










# Fourteen02 On Park

Mixed-Use Development

PLAN COMMISSION/UDC PRESENTATION  
1/11/21 & 1/13/21 RESPECTIVELY



-  1402 S Park
-  Parks
-  0.25 Mile Buffer
-  Bike Paths
-  Metro Transit Bus Routes
-  Metro Transit Bus Stops



Esri Community Maps Contributors, County of Dane, Esri, HERE, Garmin, SafeGraph, INCREMENT P, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA

# Community Engagement

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- **Steering Committee** – *4 meetings*
- **Neighborhood Meetings** – *4 meetings*
- **Community Survey** (online & physical copies in multiple languages) – *430 respondents*
- **Weekly discussions with City staff, including alders**
- **Project Website** – [www.trumanolson.com](http://www.trumanolson.com)
- **Updated plans posted at Cargo Coffee on Park Street**
- **Collaboration with partner organizations**
  - Including: SSM Health, Urban League, NAACP

# Development Team

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# Development Team

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Two collaborative mission-based development firms that historically bring people and housing solutions together in ways that help create inclusive communities and equitable housing opportunities.

## Rule Enterprises

- Community-building at the forefront of development, with ALL work rooted in equity, equality, and dignity.
- Proven ability to study the cultural context within a particular neighborhood and incorporate those findings into an innovative, functional design.

## Movin' Out

- 25-year-old non-profit with a mission of providing affordable, integrated housing options to individuals with disabilities and their families.
- Focus on strategic partnership to further that mission and help ensure access to housing and furthering equity goals.
- Goal of the project is to bring affordable housing and grocery to South Park neighborhoods to ensure all residents have access to safe, decent, affordable housing choices in a rapidly redeveloping community.

# Project Overview

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- 179,800 square feet of residential housing, including 150 one, two, three-bedroom units.
  - 65 one-bedroom, 55 two-bedroom, 30 three-bedroom
  - 30 units for individuals or families with a member living with a disability
  - 24 units with direct access
- 24,000 square feet of first floor commercial retail space for grocery store and flexible community meeting space, centered around access to food.
- 54,000 square feet of open structured parking
  - 155 automobile (6 ADA) and 134 bicycle stalls (in addition to 34 exterior bicycles stalls)
- 10,200 square feet of tenant amenity space, including community, fitness, child play area and homework nooks

# Community within a Community

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- Site location with exceptional proximity to public transit and essential services
- Direct access to grocery store
- Community areas:
  - Homework nooks and youth lounge on every floor
  - Community room
  - Community roof deck with children's area
  - Indoor play space
  - Indoor fitness area (adjacent to play space with visibility into kids' area)
- Resident service coordination for empowerment services: financial literacy, youth education, and employment
- Universally designed buildings with "beyond compliance" accessibility features
- Potential third-party service partners:
  - Urban League of Greater Madison
  - SSM – Center for Social Determinants of Health

# Grocery

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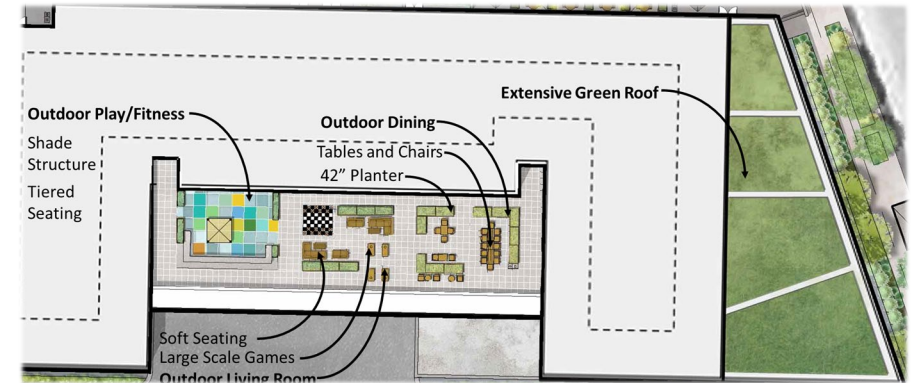
- 24,000 sq. ft. full-service grocery store with structured vehicle parking, bike parking, café, plaza, and community space for patrons
- Luna's mission: integrate food, education and community through a neighborhood grocery store
- Efficient, accessible layout with contemporary services and technology features
- Concerted effort for inventory to reflect neighborhood needs through targeted engagement
- Business model that has a positive impact on its community





# Resident Amenities

- Direct access to grocery store and structured residential parking
- Usable open spaces
  - Northwest triangle green space
  - Roof deck
  - Plaza in front of Luna's grocery store
  - Residential units walk-out balconies
- Community areas:
  - Homework nooks and youth lounge on every floor
  - Community room
  - Community roof deck with children's area
  - Indoor play space
  - Indoor fitness area (adjacent to play space with visibility into kids' area)
- On-site resident empowerment services: financial literacy, youth education, and employment



# Parking

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## Resident parking

- 95 covered spaces (6 ADA)

## Grocery store parking

- 60 covered spaces allocated
- ADA accessible spaces
- On-street parking spaces proposed for *new* Cedar Street

## Bike parking

- 134 interior bike rack stalls and 34 exterior bike racks
- Secure bike storage area for residents

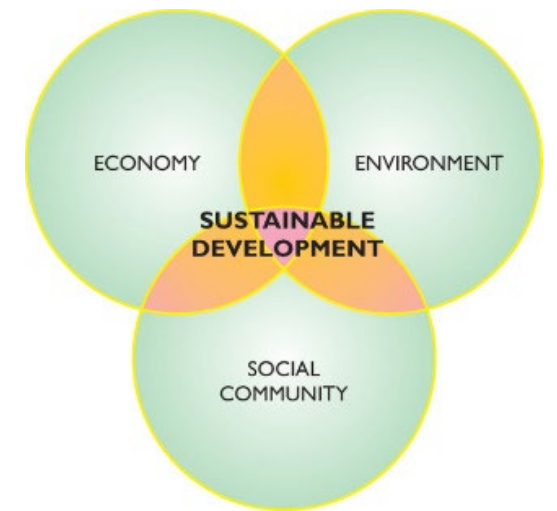


Rendered image of proposed parking entrance

# Sustainability

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- Stormwater management system designed to meet current City of Madison ordinance standards
- Universally designed site “beyond compliance”
- Compact, sustainable architecture to use resilient building materials
- WI Environmental Initiative Green Built Home structure
- Green roof
- Solar-ready functionality
- Contemporary technologies and utilities
- Transit-oriented development



# Stormwater Management

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- Advantageous use of grade change/topography in stormwater management strategy.
- Bioretention basin at northwest corner of site designed to capture most runoff from rooftop.
- Service drive runoff will be captured within a storm sewer system that will drain into an underground storage facility.
- Project provides a 15% reduction in peak runoff rates as compared to the existing site conditions, reducing total runoff volumes from the site by 5%.
- Green infrastructure designed to capture at least the first half inch of rainfall. The overall site stormwater management practices achieve providing an 80% reduction in total suspended solids relative to existing conditions.
- Offsite runoff from the west will generally be bypassed to the north and picked up in a public storm sewer system.

# Project Updates

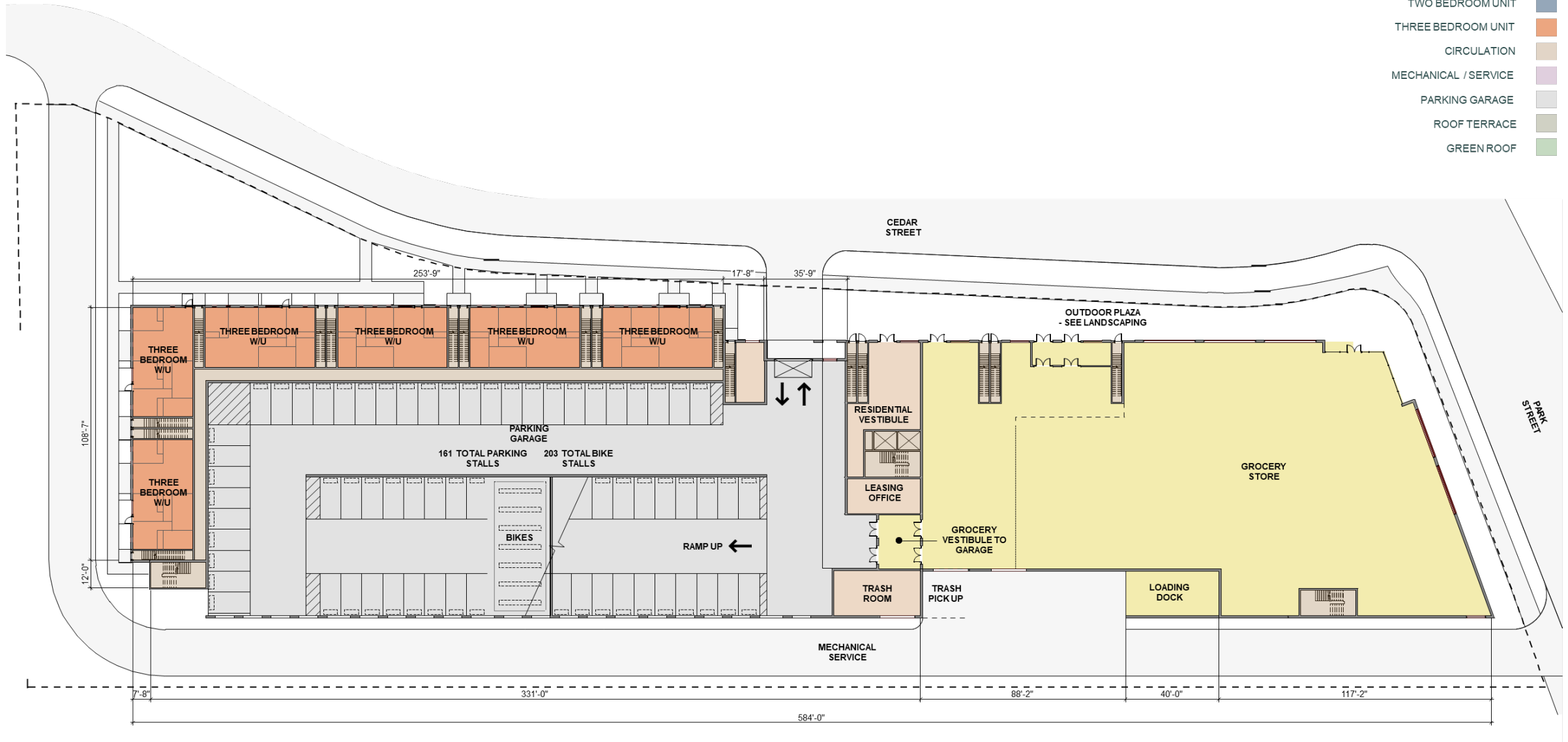
Per December 2020 UDC recommendations

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- Massing and articulation changes
- Modification to color scheme
- Creative stormwater solutions, including underground holding solution
- Additional open space
  - Roof deck terrace
  - Triangle space with seating
  - Community room
  - Homework/youth lounge areas on every floor
  - Separate adult and kids' outdoor fellowship space
- Parking ramp and adjacency to units
- Changes to south-facing units for increased equity
- Green roof
- Solar
- Additional bike parking
- Bird-safe glazing
- String lights as a feature

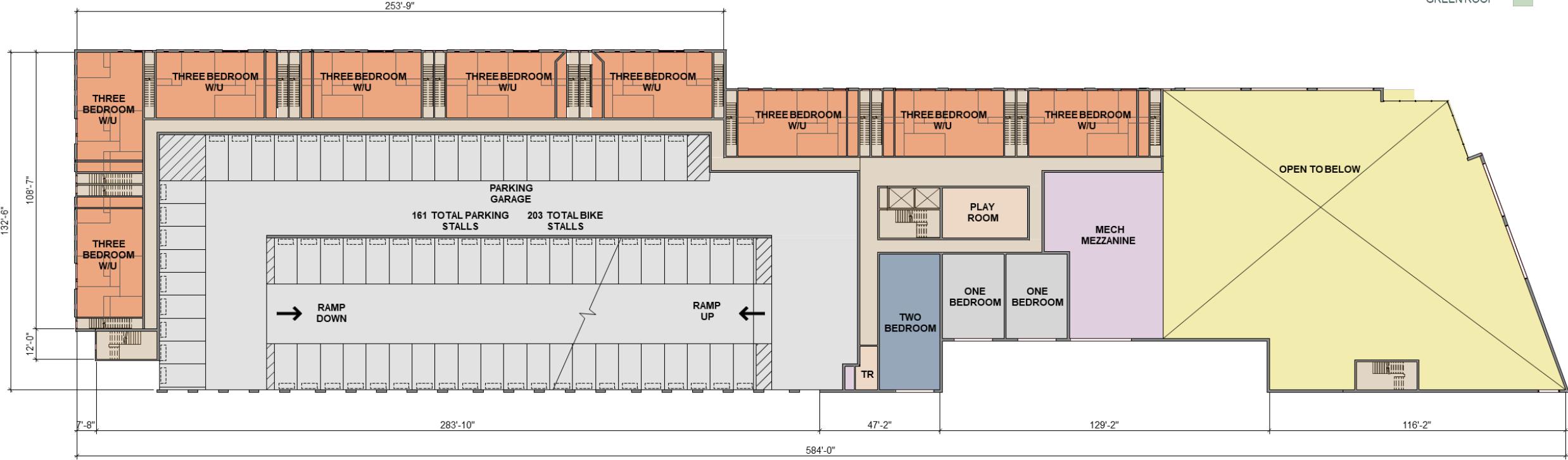
# First Floor Plan

- GROCERY STORE
- COMMON SPACE
- ONE BEDROOM UNIT
- TWO BEDROOM UNIT
- THREE BEDROOM UNIT
- CIRCULATION
- MECHANICAL / SERVICE
- PARKING GARAGE
- ROOF TERRACE
- GREEN ROOF



# Second Floor Plan

- GROCERY STORE
- COMMON SPACE
- ONE BEDROOM UNIT
- TWO BEDROOM UNIT
- THREE BEDROOM UNIT
- CIRCULATION
- MECHANICAL / SERVICE
- PARKING GARAGE
- ROOF TERRACE
- GREEN ROOF



# Third Floor Plan

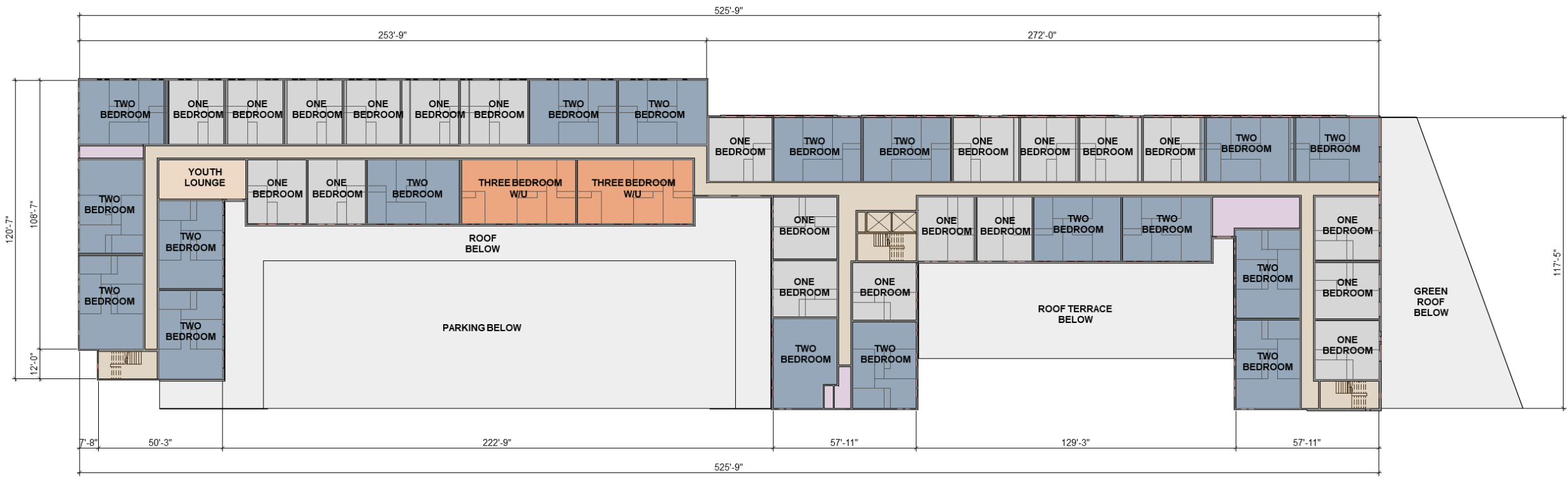
- GROCERY STORE
- COMMON SPACE
- ONE BEDROOM UNIT
- TWO BEDROOM UNIT
- THREE BEDROOM UNIT
- CIRCULATION
- MECHANICAL / SERVICE
- PARKING GARAGE
- ROOF TERRACE
- GREEN ROOF





# Fourth & Fifth Floor Plans

- GROCERY STORE
- COMMON SPACE
- ONE BEDROOM UNIT
- TWO BEDROOM UNIT
- THREE BEDROOM UNIT
- CIRCULATION
- MECHANICAL / SERVICE
- PARKING GARAGE
- ROOF TERRACE
- GREEN ROOF



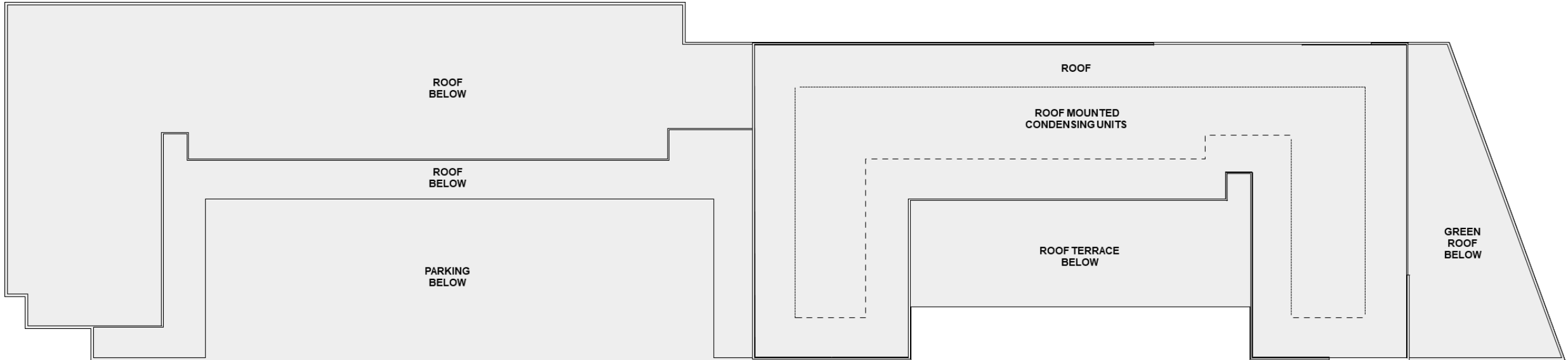
# Sixth Floor Plan

- GROCERY STORE
- COMMON SPACE
- ONE BEDROOM UNIT
- TWO BEDROOM UNIT
- THREE BEDROOM UNIT
- CIRCULATION
- MECHANICAL / SERVICE
- PARKING GARAGE
- ROOF TERRACE
- GREEN ROOF



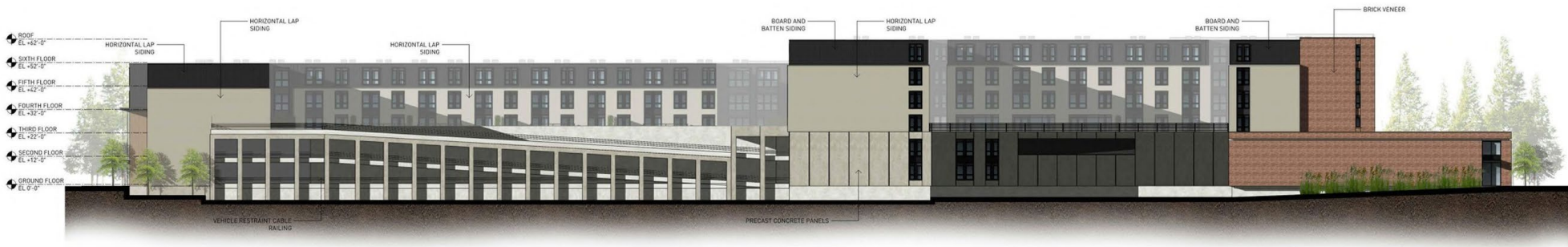
# Roof Plan

- GROCERY STORE
- COMMON SPACE
- ONE BEDROOM UNIT
- TWO BEDROOM UNIT
- THREE BEDROOM UNIT
- CIRCULATION
- MECHANICAL / SERVICE
- PARKING GARAGE
- ROOF TERRACE
- GREEN ROOF





**NORTH ELEVATION**  
SCALE = 1" = 20'-0"



**SOUTH ELEVATION**  
SCALE = 1" = 20'-0"



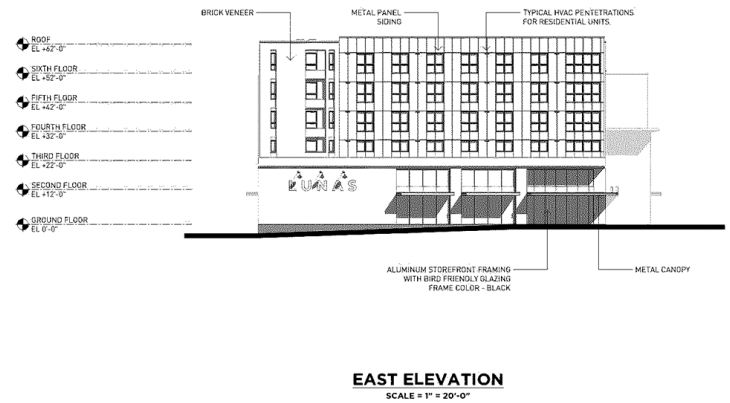
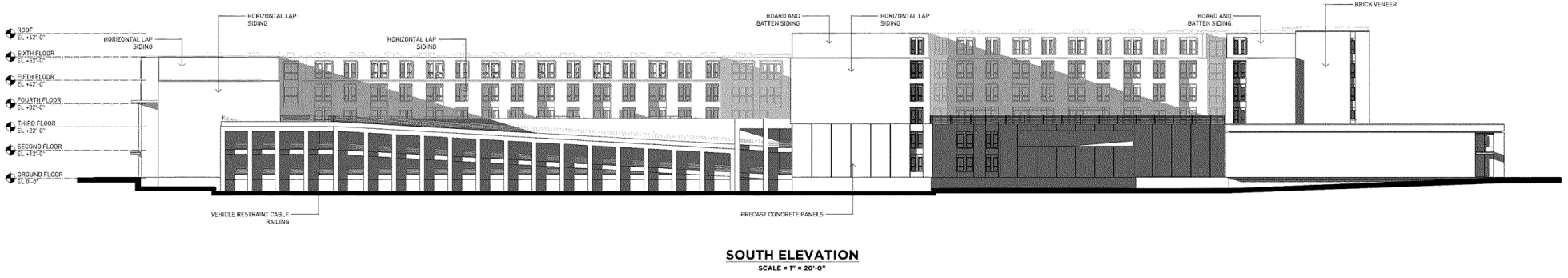
**WEST ELEVATION**  
SCALE = 1" = 20'-0"



**EAST ELEVATION**  
SCALE = 1" = 20'-0"







PARAPET  
EL +65'-0"

ROOF  
EL +62'-0"

SIXTH FLOOR  
EL +52'-0"

FIFTH FLOOR  
EL +42'-0"

FOURTH FLOOR  
EL +32'-0"

THIRD FLOOR  
EL +22'-0"

ALUMINUM STOREFRONT FRAMING  
WITH BIRD FRIENDLY GLAZING  
FRAME COLOR - BLACK

SECOND FLOOR  
EL +12'-0"

SIGNAGE - DESIGN AND COPY TO BE  
FINALIZED

METAL CANOPY  
COLOR - BLACK

GROUND FLOOR  
EL 0'-0"

METAL COPING/ROOF EDGE - COLOR  
TO MATCH ADJACENT BRICK

RESIDENTIAL HVAC VENTS

RECESSED BRICK PANEL BELOW  
WINDOWS TYPICAL

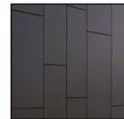
RESIDENTIAL WINDOW  
FRAME COLOR - BLACK



BOARD AND BATTEN SEAM  
COMPOSITE SIDING



BRICK VENEER PIER  
BOWERSTONE SHALE  
MODULAR RED F/R WIRECUT



METAL PANEL SIDING  
FIRESTONE OR EQUAL  
CHARCOAL COLOR







PARAPET  
EL +65'-0"

ROOF  
EL +62'-0"

BOARD AND BATTEN SEAM  
COMPOSITE SIDING

SIXTH FLOOR  
EL +52'-0"

FIFTH FLOOR  
EL +42'-0"

FIBER CEMENT HORIZONTAL LAP  
SIDING - COBBLESTONE COLOR

FOURTH FLOOR  
EL +32'-0"

THIRD FLOOR  
EL +22'-0"

CABLE VEHICLE RESTRAINTS

SECOND FLOOR  
EL +12'-0"

EXPOSED PARKING GARAGE  
STRUCTURE

GROUND FLOOR  
EL 0'-0"





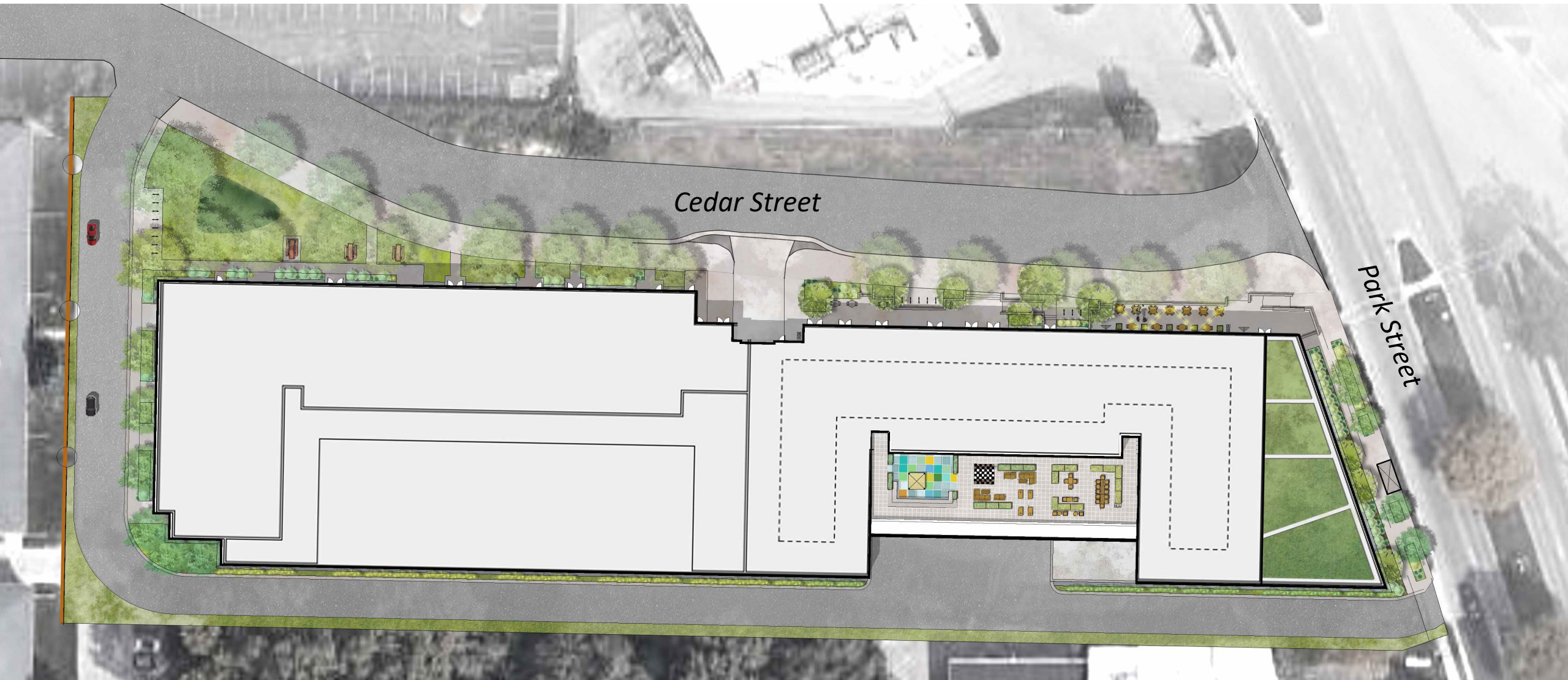






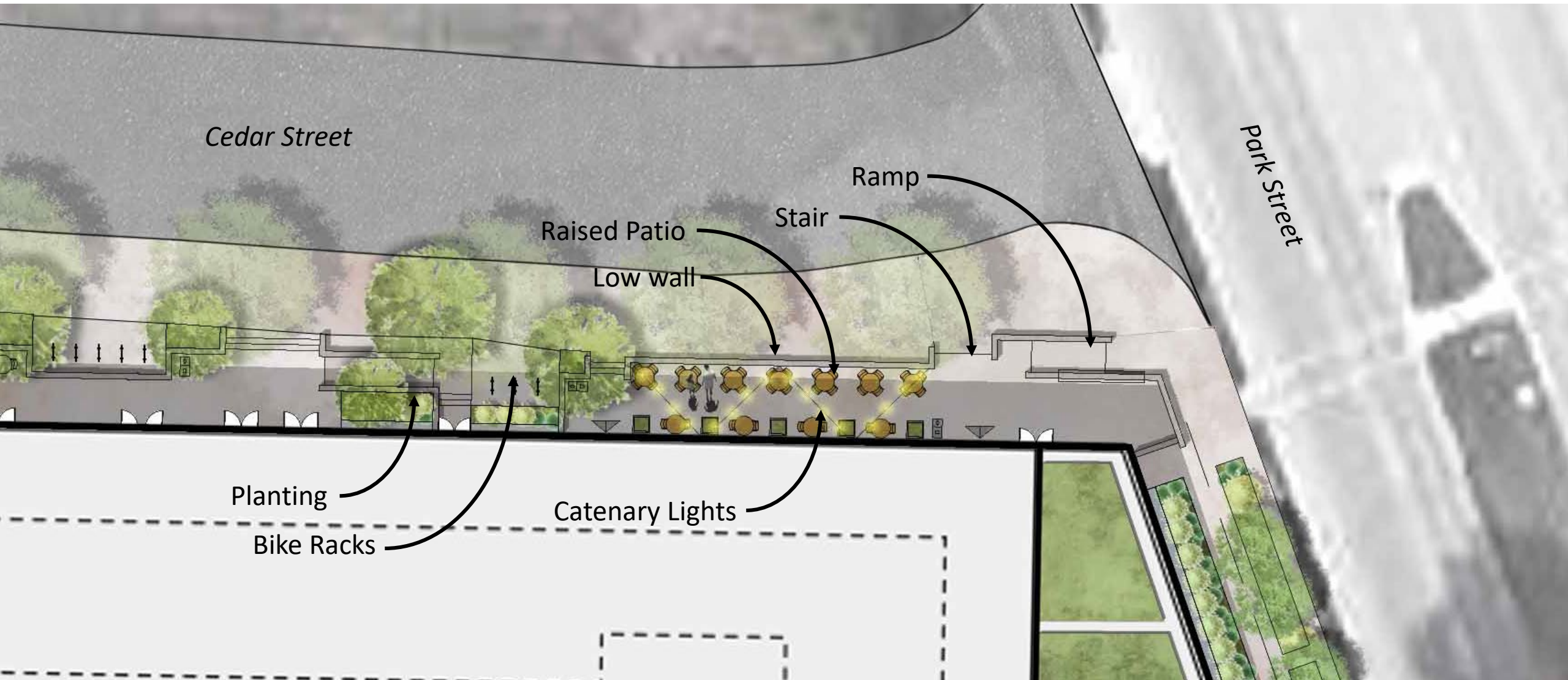


# Truman Olson Site Plan





# Cedar St Plaza

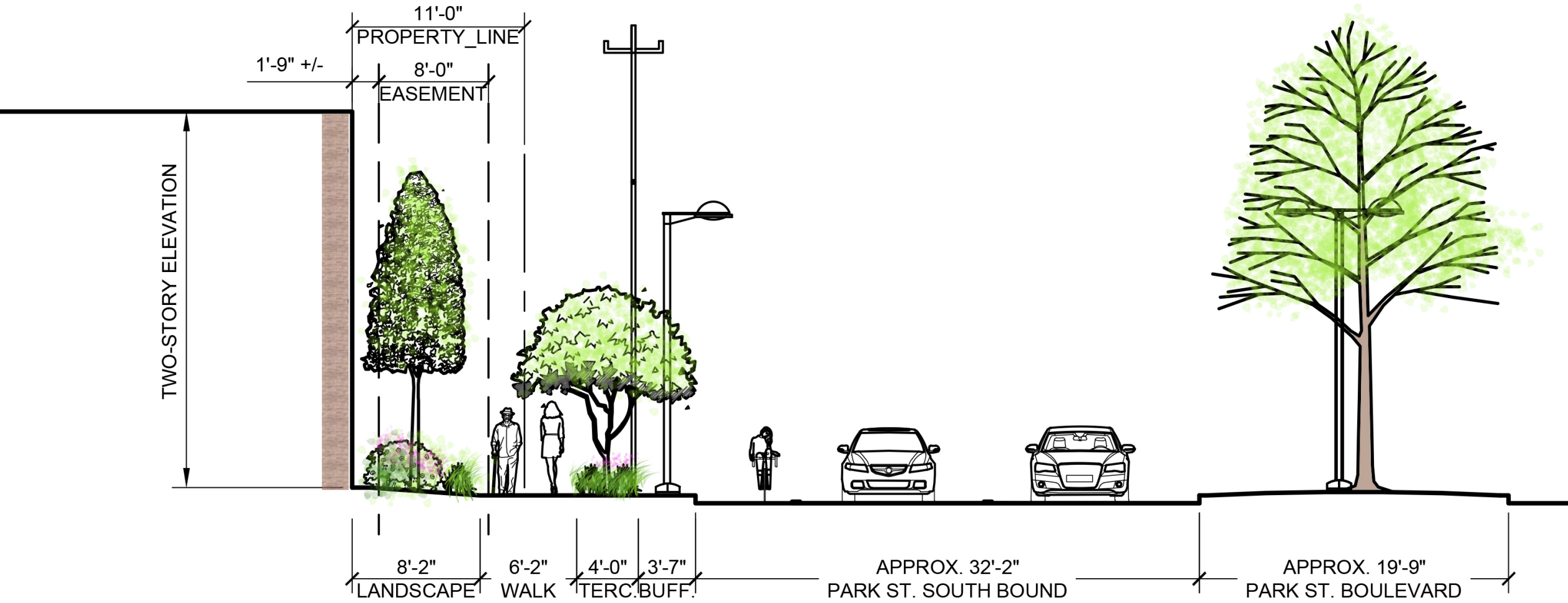




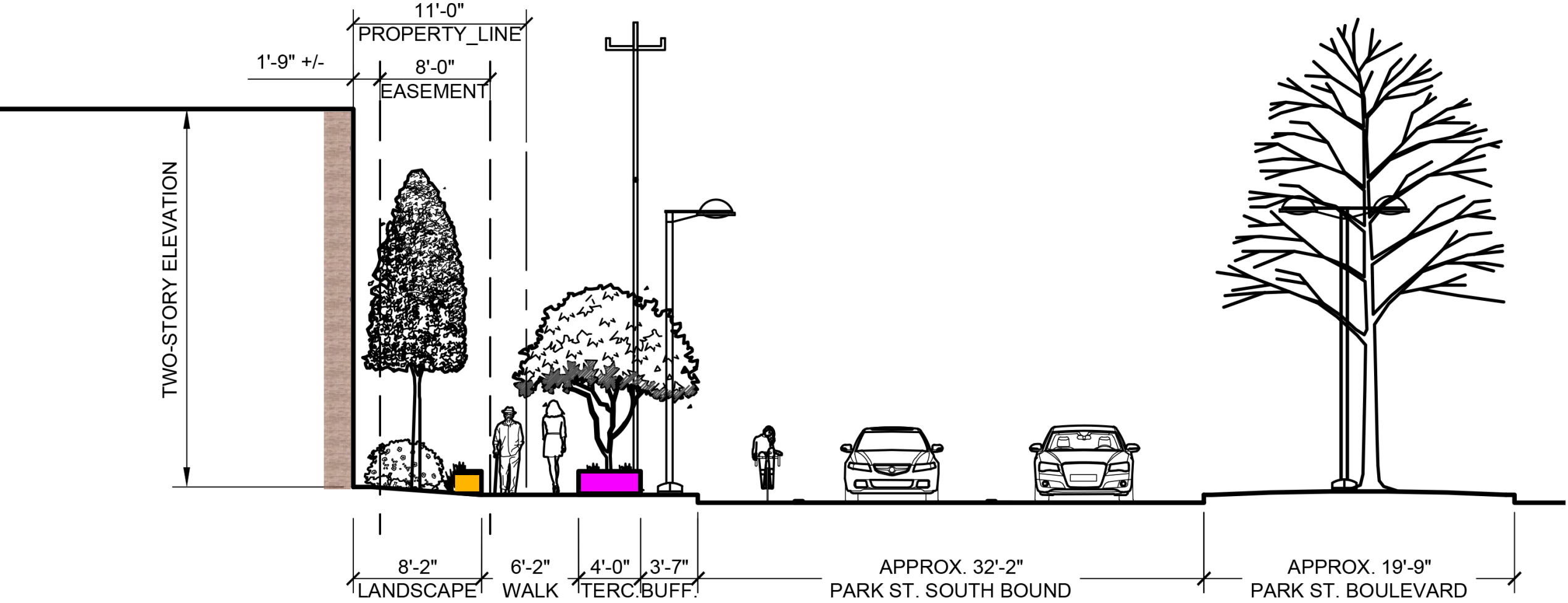
Inspiration Images –  
Cedar/Park St.



# Park Street Section



# Park Street Section with Benches

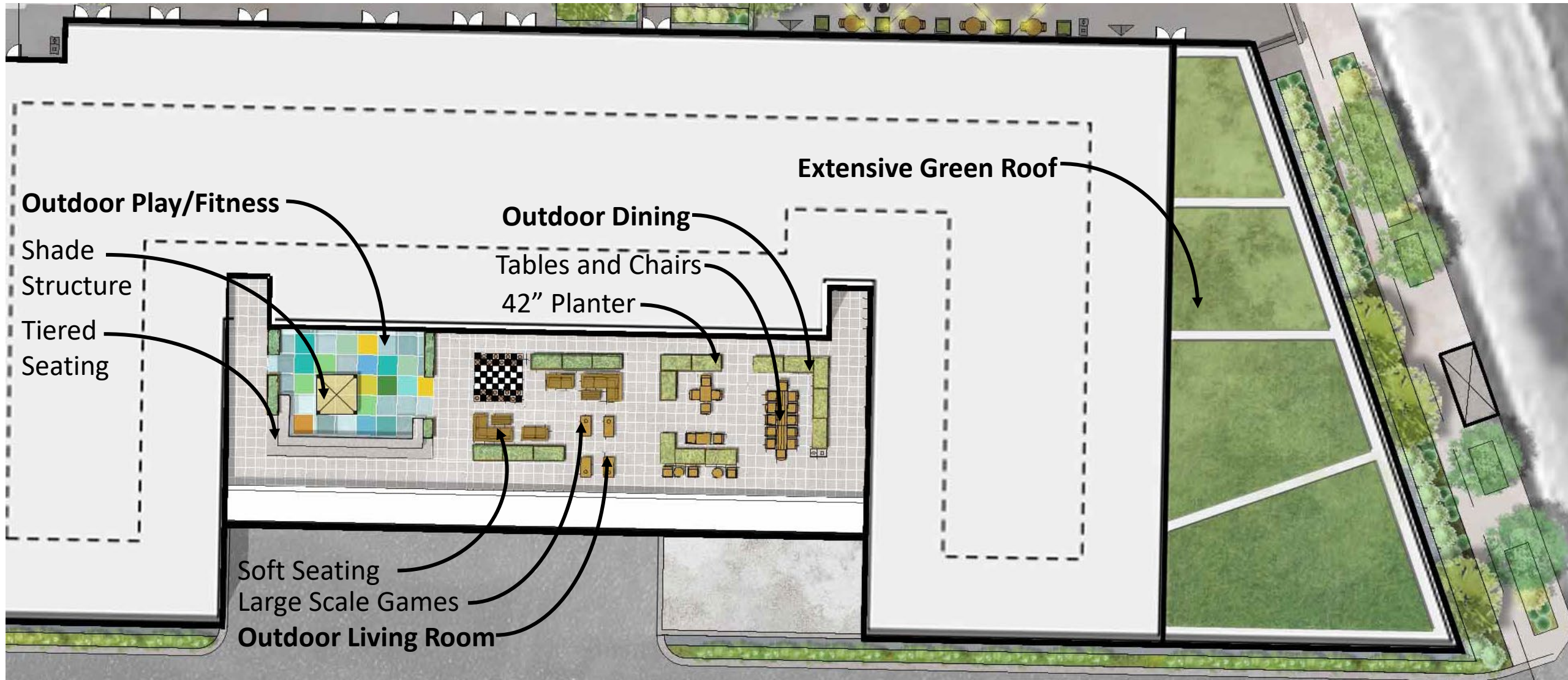




Inspiration Images –  
Park St.



# Roof Plan



**Outdoor Play/Fitness**

Shade Structure

Tiered Seating

**Outdoor Dining**

Tables and Chairs

42" Planter

Soft Seating  
Large Scale Games  
**Outdoor Living Room**

**Extensive Green Roof**



Inspiration Images –  
Rooftop



# THANK YOU!

Please visit the project website for more information:

[www.trumanolson.com](http://www.trumanolson.com)

