

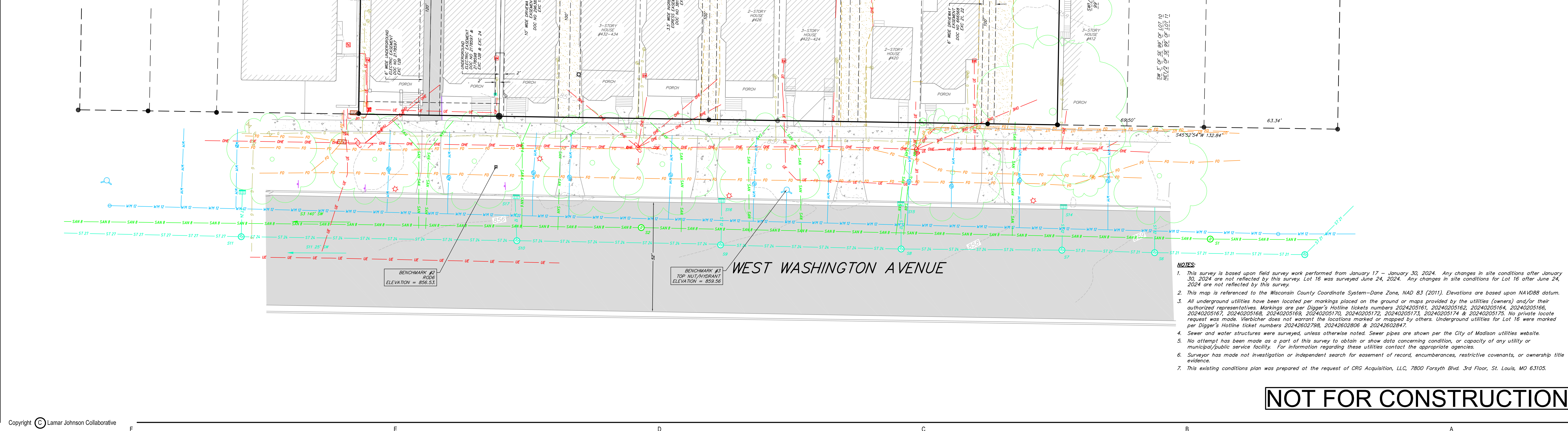
- TOPOGRAPHIC LINWORK LEGEND**
- FO — FO — EXISTING FIBER OPTIC LINE
  - UT — UT — EXISTING UNDERGROUND TELEPHONE
  - O — O — EXISTING CHAIN LINK FENCE
  - \* — \* — EXISTING WROUGHT IRON
  - D — D — EXISTING WOOD FENCE
  - G — G — EXISTING GAS LINE
  - UE — UE — EXISTING UNDERGROUND ELECTRIC LINE
  - OHE — OHE — EXISTING OVERHEAD ELECTRIC LINE
  - OGU — OGU — EXISTING OVERHEAD GENERAL UTILITIES
  - SAN — SAN — EXISTING SANITARY SEWER LINE (SIZE NOTED)
  - ST — ST — EXISTING STORM SEWER LINE (SIZE NOTED)
  - WH — WH — EXISTING EDGE OF TREES
  - WH — WH — EXISTING WATER MAIN (SIZE NOTED)
  - 855 — 855 — EXISTING MAJOR CONTOUR
  - 856 — 856 — EXISTING MINOR CONTOUR
  - — — EXISTING EDGE OF PAVEMENT
  - — — EXISTING EDGE OF GRAVEL
  - EXISTING GRAVEL SURFACE
  - EXISTING CONCRETE SURFACE
  - EXISTING ASPHALT SURFACE

- SURVEY LEGEND**
- ✕ FOUND CHISELED "X"
  - FOUND 1" Ø IRON PIPE
  - FOUND 2" Ø IRON PIPE
  - FOUND 3/4" Ø IRON ROD
  - ✕ SET 3/4" Ø IRON ROD
  - ( ) RECORDED AS INFORMATION

EXISTING SANITARY STRUCTURE TABLE				
NAME	TYPE	RIM	INVERT	DIRECTION
S1	SMH	859.59	850.19	NE
S2	SMH	856.48	848.53	NE
S3	SMH	855.55	847.29	NE
S4	SMH	855.15	846.34	NE
S5	SMH	857.43	844.65	SW

EXISTING STORM STRUCTURE TABLE				
NAME	TYPE	RIM	INVERT	DIRECTION
S6	STMH	859.21	853.61	NE
S7	STMH	858.53	853.43	NE
S8	STMH	857.67	852.92	NE
S9	STMH	856.96	852.47	NE
S10	STMH	856.30	851.97	NE
S11	STMH	855.44	850.93	NE
S12	STMH	855.68	850.23	CENTER
S13	STMH	856.77	851.27	CENTER
S14	CIN	858.44	855.30	SE
S15	CIN	857.40	854.76	SE
S16	CIN	856.84	854.16	SE
S17	CIN	856.11	853.43	SE
S18	CIN	855.92	853.27	NW
S19	CIN	855.86	852.40	SE
S20	CIN	SMH	SMH	SE

- TOPOGRAPHIC SYMBOL LEGEND**
- EXISTING POST
  - EXISTING SIGN
  - EXISTING CURB INLET
  - EXISTING ROOF DRAIN
  - EXISTING STORM MANHOLE
  - EXISTING SANITARY MANHOLE
  - EXISTING FIRE HYDRANT
  - EXISTING WATER MAIN VALVE
  - EXISTING CURB STOP
  - EXISTING GAS VALVE
  - EXISTING GAS METER
  - EXISTING DOWN GUY
  - EXISTING ELECTRIC PEDESTAL
  - EXISTING TRANSFORMER
  - EXISTING ELECTRIC METER
  - EXISTING LIGHT POLE
  - EXISTING UTILITY POLE
  - EXISTING TV PEDESTAL
  - EXISTING TELEPHONE PEDESTAL
  - EXISTING UNIDENTIFIED UTILITY VAULT
  - EXISTING CONIFEROUS TREE
  - EXISTING DECIDUOUS TREE



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**MIFFLIN CHAPTER**

CRG  
ADDRESS: LOTS 418-446 W WASHINGTON, AND 413-417 W MIFFLIN  
LAND USE APPLICATION / UDC SUBMISSION

DRAWING ISSUE		
#	DESCRIPTION	DATE
1	LUA SUBMISSION	9/23/24
1	UDC SUBMISSION	9/23/24

**BUILDING MAP**

AREA A  
AREA B  
AREA C

**DRAWING TITLE**  
EXISTING CONDITIONS PLAN

**DRAWING NO.**  
C1.0

**Job #**  
230390

**NOTES**

- This survey is based upon field survey work performed from January 17 – January 30, 2024. Any changes in site conditions after January 30, 2024 are not reflected by this survey. Lot 16 was surveyed June 24, 2024. Any changes in site conditions for Lot 16 after June 24, 2024 are not reflected by this survey.
- This map is referenced to the Wisconsin County Coordinate System—Dane Zone, NAD 83 (2011). Elevations are based upon NAVD83 datum.
- All underground utilities have been located per markings placed on the ground or maps provided by the utilities (owners) and/or their authorized representatives. Markings are per Digger's Hotline ticket numbers 20240205161, 20240205162, 20240205164, 20240205166, 20240205167, 20240205168, 20240205169, 20240205170, 20240205172, 20240205173, 20240205174 & 20240205175. No private locate request was made. Vierbicher does not warrant the locations marked or mapped by others. Underground utilities for Lot 16 were marked per Digger's Hotline ticket numbers 20242602798, 20242602806 & 20242602847.
- Sewer and water structures were surveyed, unless otherwise noted. Sewer pipes are shown per the City of Madison utilities website.
- No attempt has been made as a part of this survey to obtain or show data concerning condition, or capacity of any utility or municipal/public service facility. For information regarding these utilities contact the appropriate agencies.
- Surveyor has made no investigation or independent search for easement of record, encumbrances, restrictive covenants, or ownership title evidence.
- This existing conditions plan was prepared at the request of CRG Acquisition, LLC, 7800 Forsyth Blvd. 3rd Floor, St. Louis, MO 63105.

**NOT FOR CONSTRUCTION**



