



City of Madison

Conditional Use

Location
214 Waubesa Street

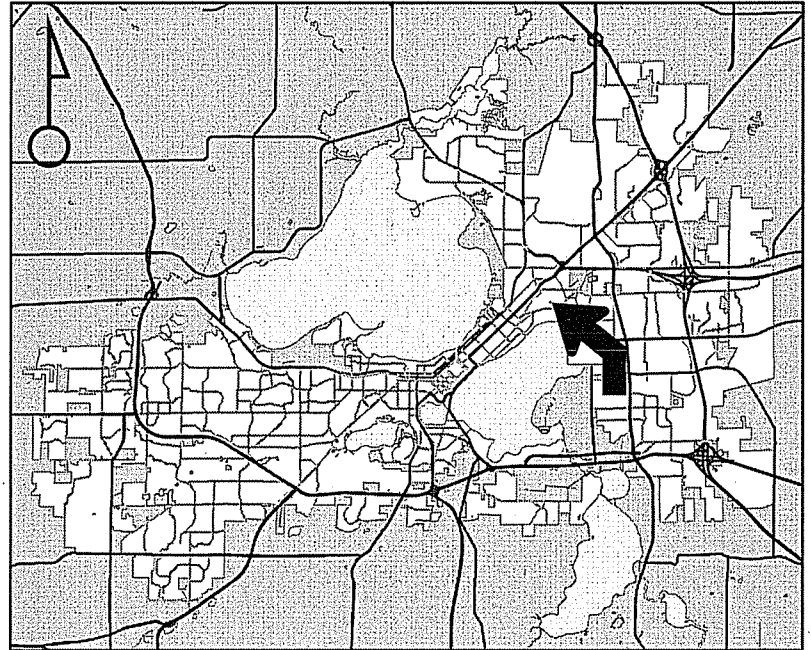
Project Name
Brass Works Renovation

Applicant
Becky Steinhoff, Goodman
Community Center / Cliff
Goodhart, Eppstein Uhen Architects

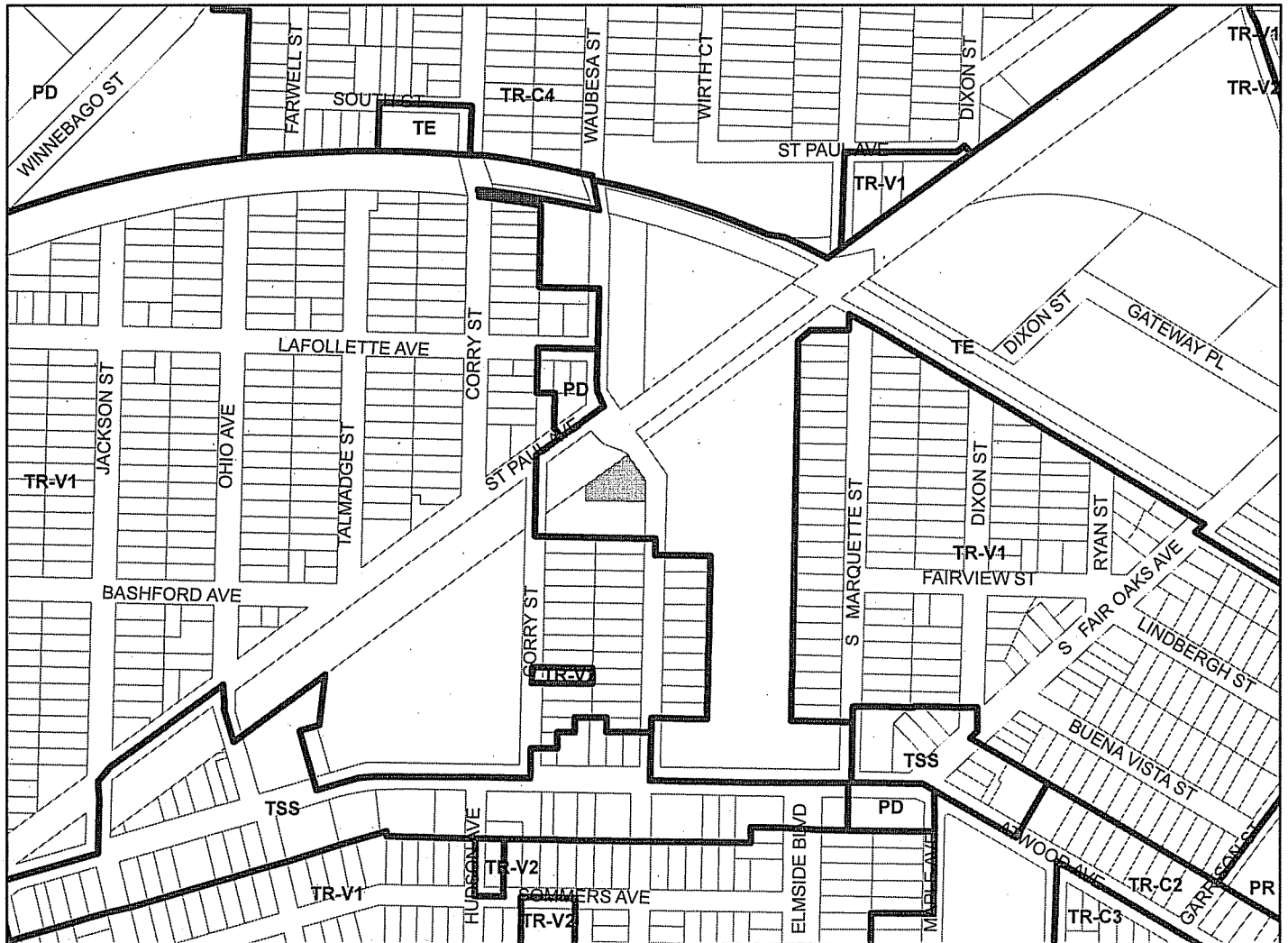
Existing Use
Factory

Proposed Use
Consider parking reduction to allow
existing commercial building to be
converted into community center

Public Hearing Date
Plan Commission
08 May 2017

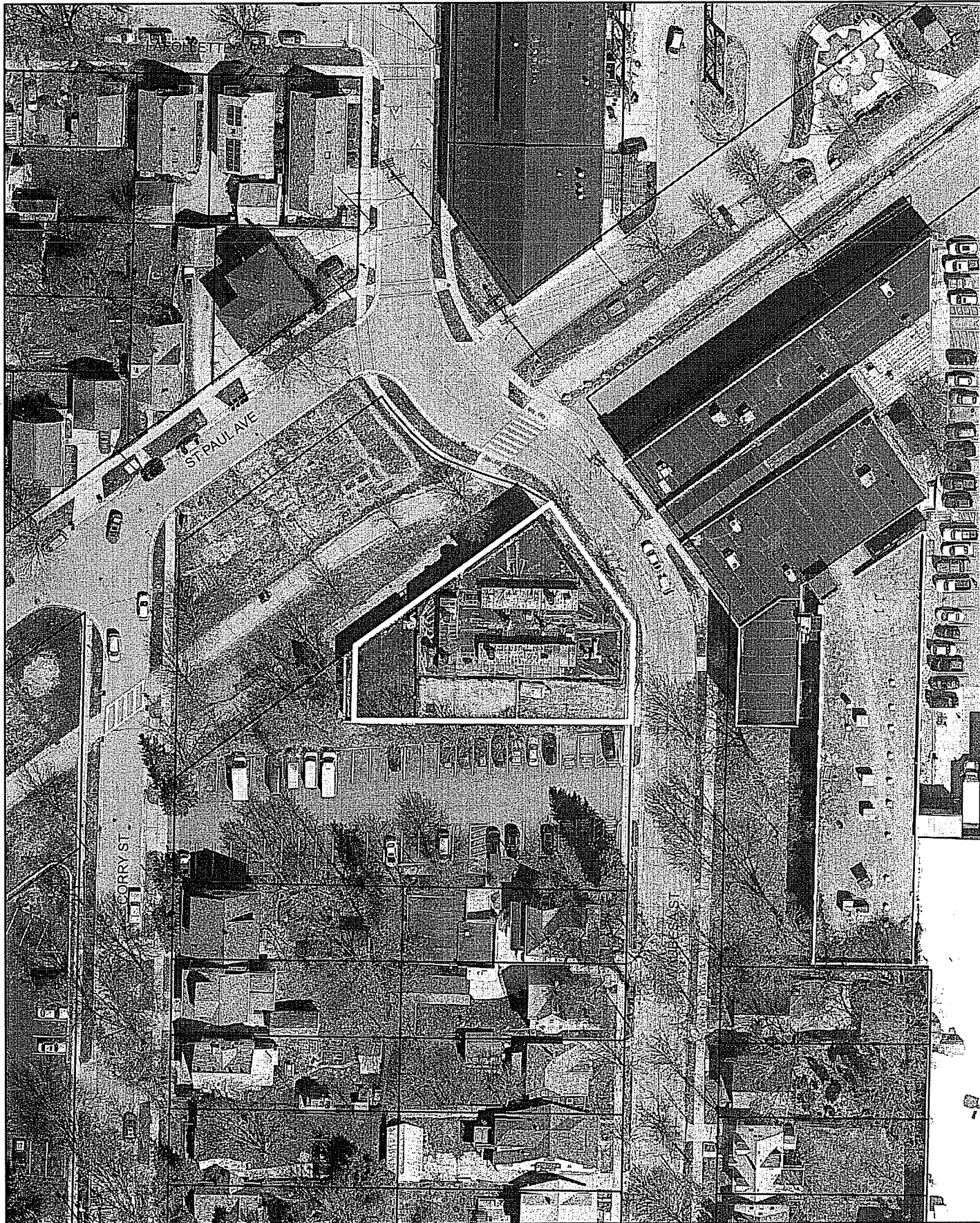


For Questions Contact: Chris Wells at: 261-9135 or cwells@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'

5



LAND USE APPLICATION

LND-B

City of Madison
Planning Division
126 S. Hamilton St.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635



FOR OFFICE USE ONLY:

Paid -0- ^{PER} 28.206 Receipt # _____

Date received 3/22/17

Received by [Signature]

Parcel # 0710-053-0735-3

Aldermanic district 6 - Rummel

Zoning district TE

Special requirements RR FRONTAGE

Review required by _____

UDC PC

Common Council Other _____

Reviewed By _____

All Land Use Applications must be filed with the Zoning Office at the above address.

This completed form is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application found on the City's web site.

1. Project Information

Address: 214 Waubesa Street

Title: Goodman Community Center - Brass Works

2. This is an application for (check all that apply)

- Zoning Map Amendment (rezoning) from _____ to _____
- Major Amendment to an Approved Planned Development-General Development Plan (PD-GDP) Zoning
- Major Amendment to an Approved Planned Development-Specific Implementation Plan (PD-SIP)
- Review of Alteration to Planned Development (PD) (by Plan Commission)
- Conditional Use or Major Alteration to an Approved Conditional Use - Off Street Parking Reduction
- Demolition Permit
- Other requests

3. Applicant, Agent and Property Owner Information

Applicant name Cliff Goodhart Company Eppstein Uhen Architects

Street address 309 West Johnson Street City/State/Zip Madison, WI 53703

Telephone 442-6684 Email cliffg@eua.com

Project contact person See above Company _____

Street address _____ City/State/Zip _____

Telephone _____ Email _____

Property owner (if not applicant) Becky Steinhoff - Goodman Community Center

Street address 149 Waubesa Street City/State/Zip Madison, WI 53704

Telephone 204-8025 Email Becky@Goodmancenter.org

UN

4. Project Description

Provide a brief description of the project and all proposed uses of the site:

Renovation and expansion of vacant manufacturing building for community center use. Project is related to new CSM application for 214 Waubesa Street and 201 Corry Street

Scheduled start date July, 2017 Planned completion date September, 2018

5. Required Submittal Materials

Refer to the Land Use Application Checklist for detailed submittal requirements.

- Checkboxes for: Filing fee, Land Use Application, Letter of intent, Legal description, Pre-application notification, Vicinity map, Survey or existing conditions site plan, Development plans, Land Use Application Checklist (LND-C), Supplemental Requirements, Electronic Submittal*

*Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to pcapplications@cityofmadison.com.

For concurrent UDC applications a separate pre-application meeting with the UDC Secretary is required prior to submittal. Following the pre-application meeting, a complete UDC Application form and all other submittal requirements must be submitted to the UDC Secretary.

6. Applicant Declarations

Pre-application meeting with staff. Prior to preparation of this application, the applicant is strongly encouraged to discuss the proposed development and review process with Zoning and Planning Division staff. Note staff persons and date.

Planning staff Chris Wells Date February 7, 2017
Zoning staff Jenny Kirchgatter Date February 7, 2017

- Demolition Listserv
Public subsidy is being requested (indicate in letter of intent)

Pre-application notification: The zoning code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than 30 days prior to FILING this request. List the alderperson, neighborhood association(s), business association(s), AND the dates you sent the notices: Met with Alder February 12, 2017, official notification sent to alder February 14, Met with SASY neighborhood association March 1, 2017.

The alderperson and the Director of Planning & Community & Economic Development may reduce the 30-day requirement or waive the pre-application notification requirement altogether. Evidence of the pre-application notification is required as part of the application materials. A copy of the notification letters or any correspondence granting a waiver is required as part of the application materials.

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of applicant Cliff Goodhart Relationship to property Architect

Authorizing signature of property owner [Signature] Date March 22, 2017

5



March 22, 2017

Plan Commission:

In December 2015, the Goodman Community Center (GCC) purchased the former Madison Brass Works building, located at 214 Waubesa Street, which is located across from their present Iron Works building (149 Waubesa Street). GCC intends to rehabilitate much of the historic building while expanding its area with new construction. In order to accommodate an expanded footprint, GCC is working with Madison Kipp Corporation to acquire additional property immediately south of the building (where Kipp's surface parking lot is located). A realignment of the parking lot will enable Kipp to maintain a Private Parking Facility while providing approximately 5,300 additional square feet of property for GCC.

The renovated Brass Works building will provide nearly 30,000 gross square feet of program, office, storage and facility rental space. Construction is anticipated to begin during the summer of 2017 with completion the following year, coinciding with the building's 100th anniversary and 10 years since GCC moved into the Iron Works building. This Conditional Use application is to develop the site without offsite parking. We believe that the parking reduction request can be justified as follows:

- *This project will support and expand Youth programs presently taking place at the Iron Works building, resulting in no additional parking demand at the building*
- *Most of our present administrative staff will be relocating to the second floor of this building – presently staff do not have use of our off-street parking lot during normal business hours*
- *Facility space for group rentals will take place mostly during evenings and weekends, when shared parking becomes available as follows --*
 - *St. Bernard's Church (2450 Atwood avenue) is making 50 parking stalls available to GCC – this lot is directly across Cory Street from the Brass Works Building*
 - *Madison Kipp Corp. will continue to permit GCC to use 41 parking stalls at its 201 Corry Street lot after 4:30 PM during weekdays and on weekends*
 - *Madison Kipp Corp. also has a large surface parking lot behind their main Waubesa Street plant that can be reserved by GCC for special occasions*
- *Vacated space in the Iron Works building will be backfilled with childcare space that is presently grown into the gymnasium space, which inhibits our ability to support physical fitness activities.*

Sincerely,

Becky Steinhoff,
Executive Director



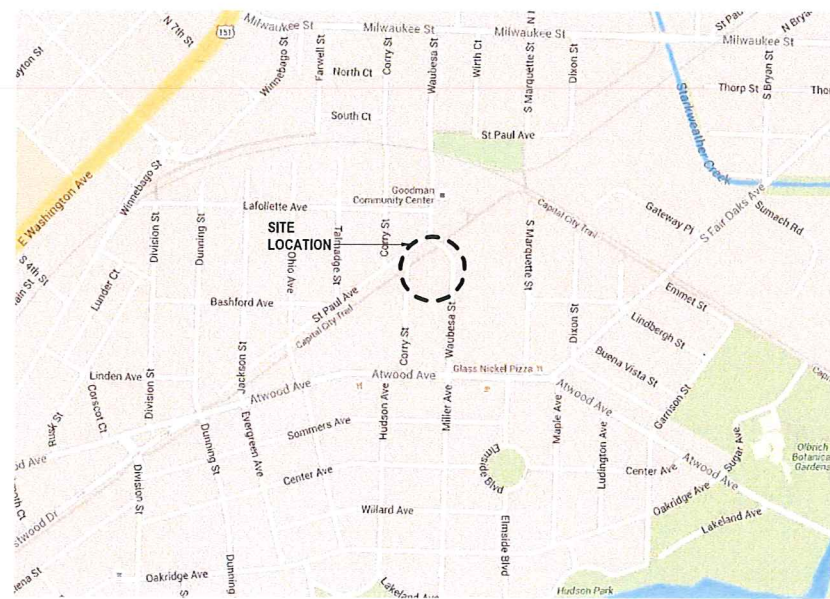
Goodman
Community Center

GOODMAN COMMUNITY CENTER - BRASS WORKS

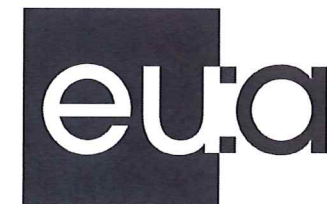
214 WAUBESA STREET, MADISON, WI

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VICINITY MAP



epstein uhen : architects

PLAN COMMISSION SUBMITTAL

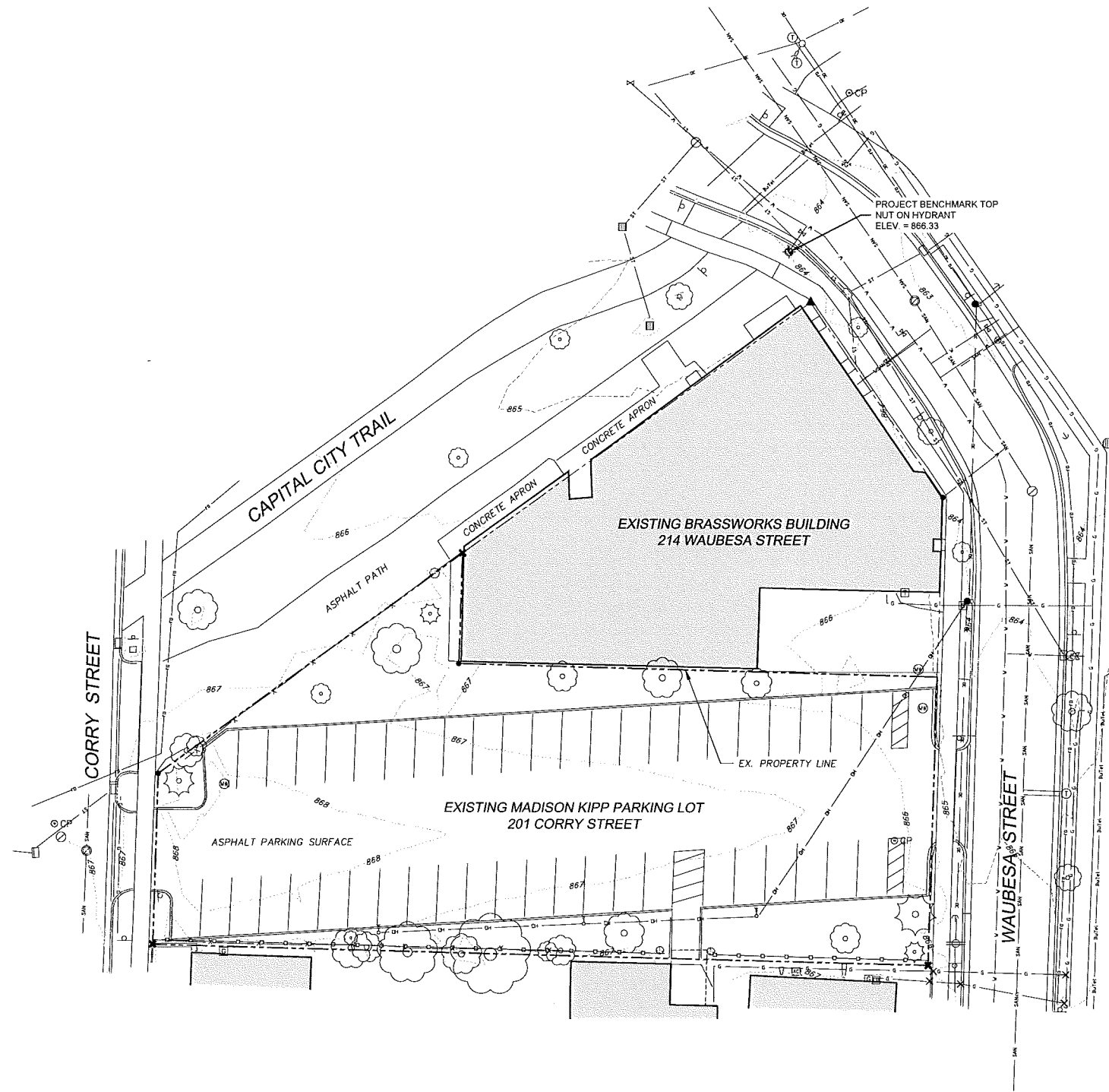
03/22/2017

PROJECT NUMBER: 716140-01

LEGEND

- S1 - S1 ST - STORM SEWER LINE
- W - W - WATER MAIN LINE
- SAN - SAN - SANITARY SEWER LINE
- OH - OH - OVERHEAD UTILITY LINE
- G - G - BURIED GAS LINE
- TEL - TEL - BURIED TELEPHONE LINE
- E - E - BURIED ELECTRIC LINE
- CATV - CATV - BURIED CABLE TV LINE
- FO - FO - BURIED FIBER OPTIC LINE
- X - X - FENCE LINE
- (Symbol) DECIDUOUS SHRUB
- (Symbol) CONIFEROUS SHRUB
- (Symbol) DECIDUOUS TREE (SIZE VARIES)
- (Symbol) CONIFEROUS TREE (SIZE VARIES)
- (Symbol) BENCH MARK
- (Symbol) UTILITY POLE W/LIGHT
- (Symbol) AIR CONDITIONER
- (Symbol) STORM SEWER MANHOLE
- (Symbol) ELECTRIC BOX
- (Symbol) ELECTRIC TRANSFORMER
- (Symbol) TELEPHONE JUNCTION BOX
- (Symbol) GAS METER
- (Symbol) CABLE TV BOX
- (Symbol) MONITORING WELL
- (Symbol) SQUARE INTAKE/W/LET
- (Symbol) TRAFFIC SIGN

TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
WS. STATUTE 182.0175 (1974) REQUIRES 30% OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE



GENERAL NOTES

- A. CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS PRIOR TO COMMENCING WORK ON SITE
- B. CONTRACTOR SHALL CALL FOR UTILITY LOCATIONS PRIOR TO COMMENCING WORK ON SITE
- C. EXISTING SITE CONDITIONS BASED ON SURVEY BY DESIGN ENGINEER.
- D. CONTRACTOR SHALL PROVIDE ALL NECESSARY EROSION CONTROL MEASURES PER CITY SPECIFICATIONS. ALL MEASURES ARE TO BE IN PLACE PRIOR TO COMMENCING WORK ON SITE. ALL MEASURES SHALL BE MAINTAINED UNTIL SITE SOILS ARE STABILIZED.
- E. CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS FOR DEMOLITION AND CONSTRUCTION PRIOR TO COMMENCING ANY WORK ON SITE.

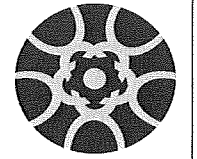


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 milwaukee 333 East Chicago Street
 Milwaukee, Wisconsin 53202
 telephone 414.271.5350
 madison 309 West Johnson Street, Suite 202
 Madison, Wisconsin 53703
 telephone 608.442.5350

PROJECT INFORMATION

**GOODMAN
 COMMUNITY
 CENTER -
 BRASS WORKS**

214 Waubesa Street
 Madison, WI



**Goodman
 Community Center**

ISSUANCE AND REVISIONS

**PLAN COMMISSION
 SUBMITTAL**

#	DATE	DESCRIPTION

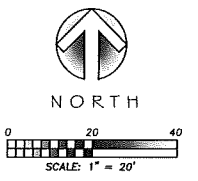


SHEET INFORMATION

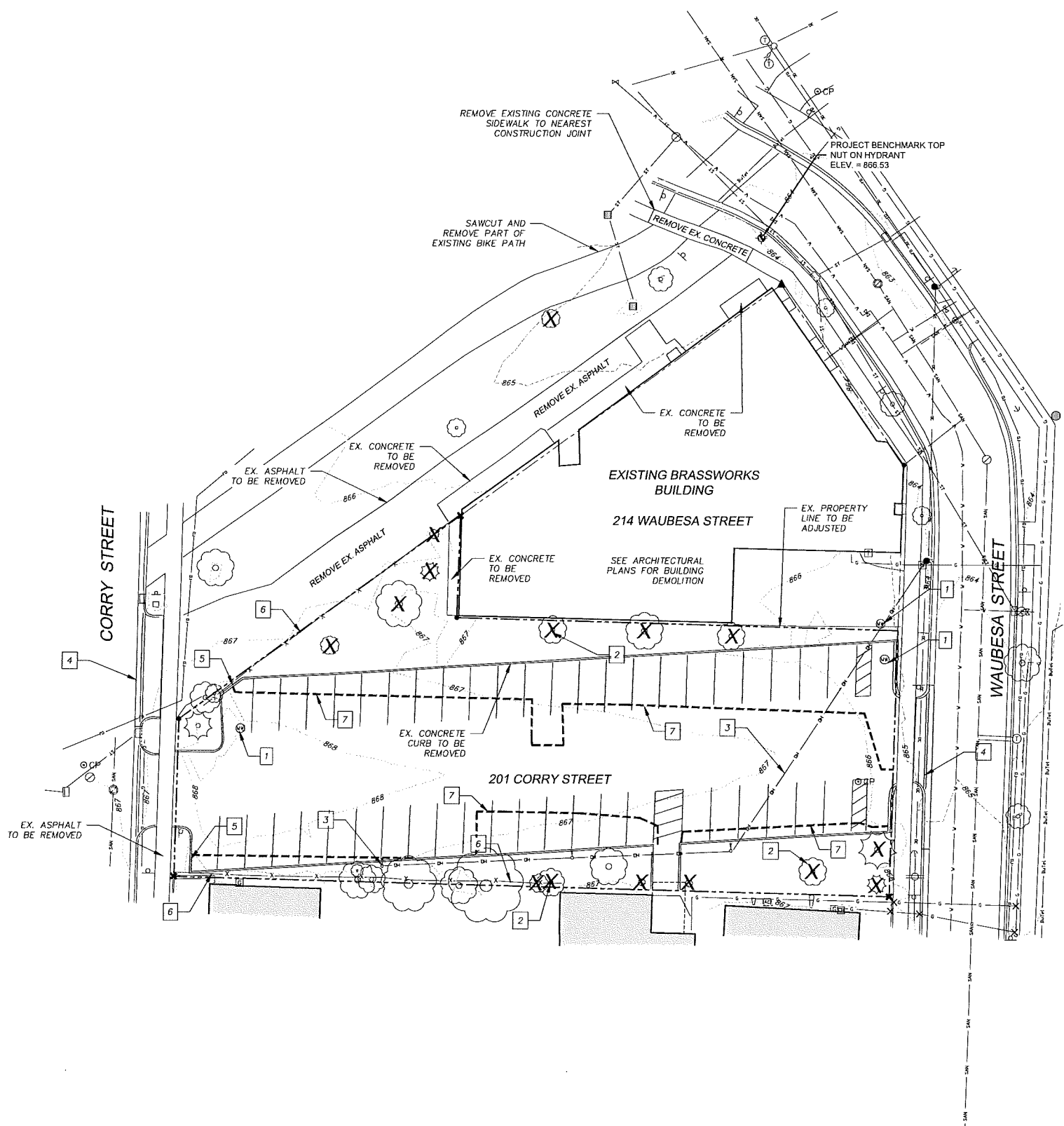
PROJECT MANAGER CG
 PROJECT NUMBER 716140-01
 DATE 03/22/2017

**EXISTING
 SITE PLAN**

C100




 TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
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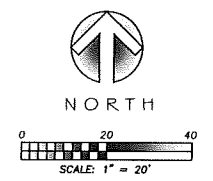


KEY NOTES

1. PROTECT MONITORING WELL DURING CONSTRUCTION. ADJUST MONITORING WELL CASTING TO NEW GRADE.
2. REMOVE TREE AND ROOT BALL FOR NEW CONSTRUCTION.
3. REMOVE OVERHEAD LINES AND POLES WITHIN PROJECT LIMITS. COORDINATE LOCATION OF NEW PARKING LOT LIGHT POLES AND ELECTRIC SUPPLY FOR SUCH.
4. REMOVE EXISTING DRIVEWAY APRON AND CORRESPONDING CURB & GUTTER. CONTRACTOR SHALL SAWCUT ALL EDGES OF PAVEMENT AS NEEDED TO REMOVE CONCRETE AS NOTED. ANY ASPHALT PATCHING IN CORRY OR WAUBESA STREET SHALL FOLLOW CITY OF MADISON CRITERIA.
5. BEGIN CURB & GUTTER REMOVAL.
6. EXISTING FENCE TO BE REMOVED.
7. APPROXIMATE SAWCUT LIMITS.

GENERAL NOTES

- A. ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND SHALL BE FIELD VERIFIED PRIOR TO THE START OF CONSTRUCTION.
- B. CONTRACTOR SHALL OBTAIN PERMIT TO WORK IN RIGHT OF WAY FROM THE CITY OF MADISON PRIOR TO THE START OF WORK.
- C. EROSION CONTROL SHALL BE INSTALLED PRIOR TO THE START OF WORK ON DEMOLITION ACTIVITIES.



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 Madison, Wisconsin 53703
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PROJECT INFORMATION

**GOODMAN
 COMMUNITY
 CENTER -
 BRASS WORKS**

214 Waubesa Street
 Madison, WI



**Goodman
 Community Center**

ISSUANCE AND REVISIONS

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**SNYDER
 & ASSOCIATES**

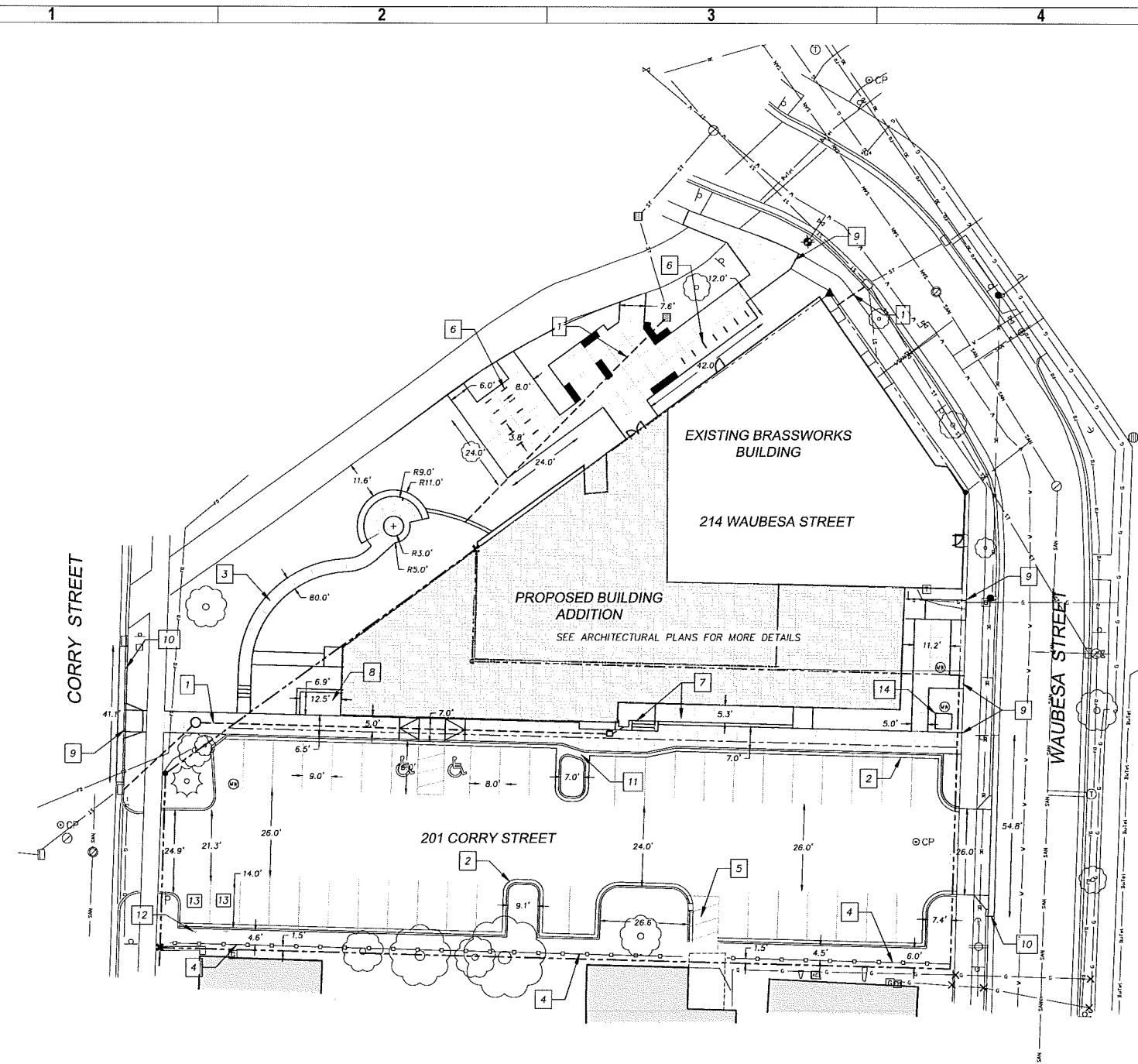
SHEET INFORMATION

PROJECT MANAGER CG
 PROJECT NUMBER 716140-01
 DATE 03/22/2017

DEMOLITION PLAN

C101

TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
 WIS. STATUTE 182.0175 (1974) REQUIRES 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.



214 WAUBESA STREET SITE DATA	201 CORRY STREET SITE DATA
ZONING DISTRICT: TE - TRADITIONAL EMPLOYMENT DISTRICT	ZONING DISTRICT: TE - TRADITIONAL EMPLOYMENT DISTRICT
TOTAL SITE AREA: 10,754 SF	TOTAL SITE AREA: 15,959 SF
NON OPEN SPACE: 14,187 SF (84.6%) (LOT COVERAGE)	PRO. IMPERVIOUS: 13,493 SF (84.6%) (LOT COVERAGE)
OPEN SPACE: 2,567 SF (15.3%)	PRO. PERVIOUS: 2,466 SF (15.4%)
PARKING REQUIREMENTS: PARKING REQUIRED - DETERMINED BY ZONING ADMINISTRATOR PARKING PROVIDED - 0	PARKING REQUIREMENTS: PARKING REQUIRED - 0 PARKING PROVIDED - 43
BUILDING HEIGHTS: 30' MAXIMUM	BUILDING HEIGHTS: NO BUILDINGS
BUILDING SETBACKS: FRONT = NONE REAR = 20' SIDE YARD = NONE TWO STORY 6' MAX LOT COVERAGE = 85%	BUILDING SETBACKS: FRONT = NONE REAR = 20' SIDE YARD = NONE AT NORTH, AS REQUIRED BY RESIDENTIAL DISTRICT ON SOUTH
	PER CODE, FOR 26-50 TOTAL PARKING STALLS 2 HANDICAP PARKING STALLS MUST BE PROVIDED 2 HANDICAP PARKING STALLS ARE SHOWN ON PLAN
	MAX LOT COVERAGE = 85%
	PAVED AREA: 13,493 SF (84.6%) BUILDING AREA: 0 SF (0.0%) PAVED PERVIOUS: 2,466 SF (15.4%)

UTILITY COMPANY INFORMATION

ELECTRICITY - ALLIANT - 608-233-2014
 NATURAL GAS - MGE - 608-252-7373
 PHONE - AT&T - 800-778-9140
 COMMUNICATIONS - CHARTER - 877-906-9121
 SANITARY SEWER - CITY OF MADISON - 608-266-4430
 WATER SERVICE - CITY OF MADISON - 608-266-4651

NOTE:

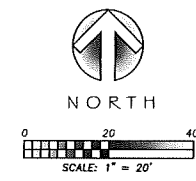
CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES ON AND ADJACENT TO THE SITE PRIOR TO THE START OF THE PROJECT.

FIRE LANE:

WAUBESA STREET WILL ACT AS THE FIRE LANE ACCESS TO THE EAST SIDE OF THE BUILDING.
 THE PARKING LOT AREA OFF OF CORRY STREET AND WAUBESA STREET WILL BE THE FIRE LANE ACCESS TO THE SOUTH OF THE BUILDING.

KEY NOTES

1. PROPOSED STORM SEWER LINE.
2. PROPOSED 18" CONCRETE CURB & GUTTER.
3. PROPOSED CONCRETE SIDEWALK.
4. PROPOSED 6' HIGH WOODEN FENCE.
5. MAINTAIN ACCESS TO EXISTING ONE STALL CARPORT.
6. CITY OF MADISON APPROVED BIKE RACK, TYP.
7. RAMP DOWN & STAIRS TO PROPOSED NEW DOORWAY
8. PROPOSED TRASH ENCLOSURE
9. CONNECT TO CITY SIDEWALK
10. REMOVE EXISTING DRIVEWAY CUT, ADD NEW 30" CURB & GUTTER THAT MATCHES IN PLACE CURB. ALL SAWCUT AND PATCHING SHALL IN STREET SHALL FOLLOW CITY OF MADISON STANDARDS FOR SUCH.
11. PASS THRU CURB & GUTTER FOR TREE ISLAND
12. SIGN STATING "COMPACT CAR PARKING ONLY"
13. COMPACT PARKING STALLS
14. PROPOSED TRANSFORMER LOCATION



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 madison 309 West Johnson Street, Suite 202
 Madison, Wisconsin 53703
 telephone 608.442.5350

PROJECT INFORMATION

**GOODMAN
 COMMUNITY
 CENTER -
 BRASS WORKS**

214 Waubesa Street
 Madison, WI



ISSUANCE AND REVISIONS

**PLAN COMMISSION
 SUBMITTAL**

#	DATE	DESCRIPTION



SHEET INFORMATION

PROJECT MANAGER CG
 PROJECT NUMBER 716140-01
 DATE 03/22/2017

**PROPOSED SITE
 PLAN**

C200

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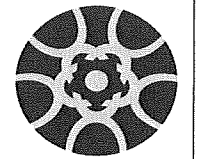


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 & ASSOCIATES**

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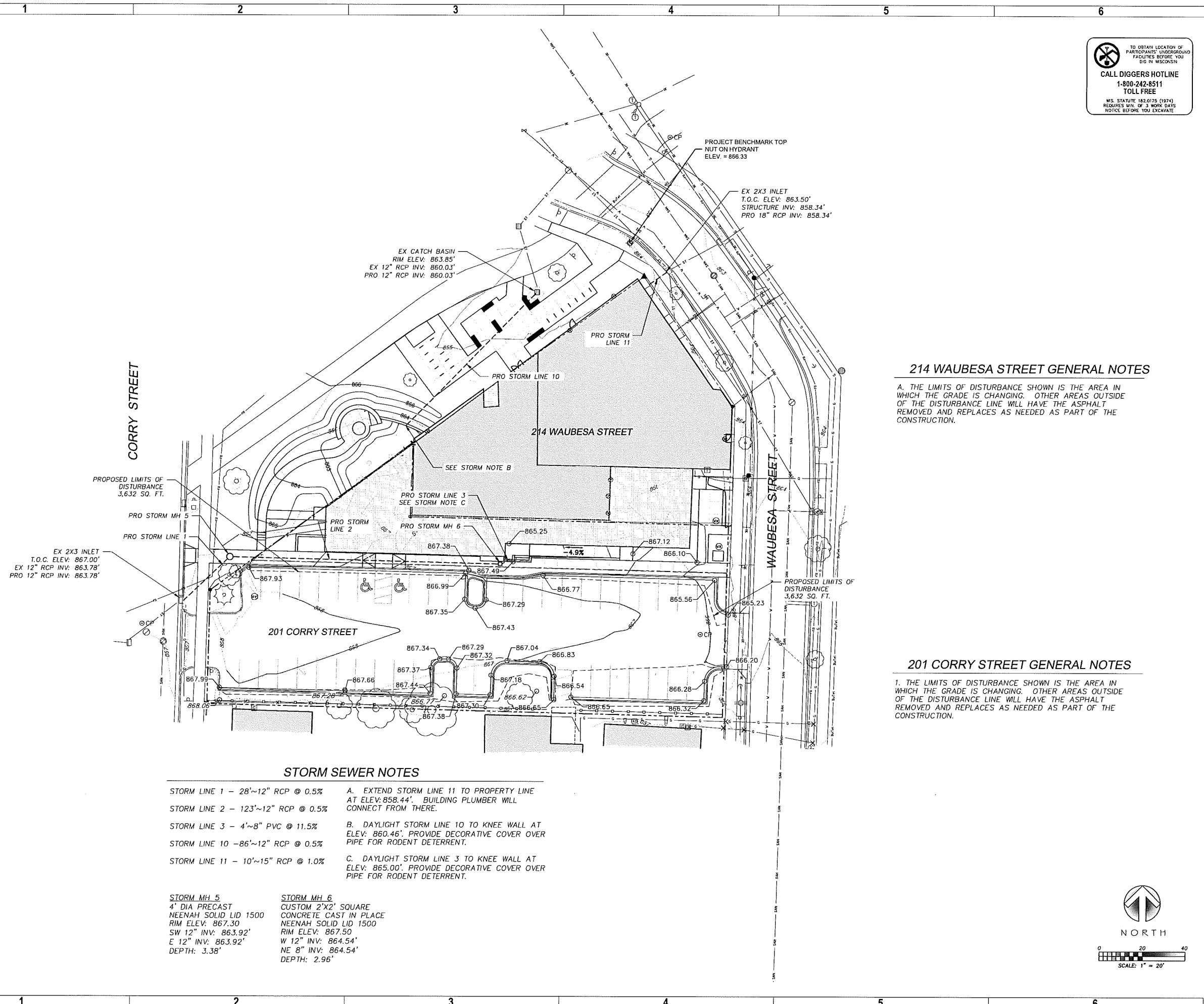
PROJECT MANAGER CG

PROJECT NUMBER 716140-01

DATE 03/22/2017

**GRADING & UTILITY
 PLAN**

C300



214 WAUBESA STREET GENERAL NOTES

A. THE LIMITS OF DISTURBANCE SHOWN IS THE AREA IN WHICH THE GRADE IS CHANGING. OTHER AREAS OUTSIDE OF THE DISTURBANCE LINE WILL HAVE THE ASPHALT REMOVED AND REPLACES AS NEEDED AS PART OF THE CONSTRUCTION.

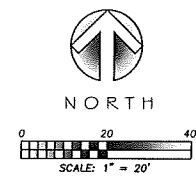
201 CORRY STREET GENERAL NOTES

1. THE LIMITS OF DISTURBANCE SHOWN IS THE AREA IN WHICH THE GRADE IS CHANGING. OTHER AREAS OUTSIDE OF THE DISTURBANCE LINE WILL HAVE THE ASPHALT REMOVED AND REPLACES AS NEEDED AS PART OF THE CONSTRUCTION.

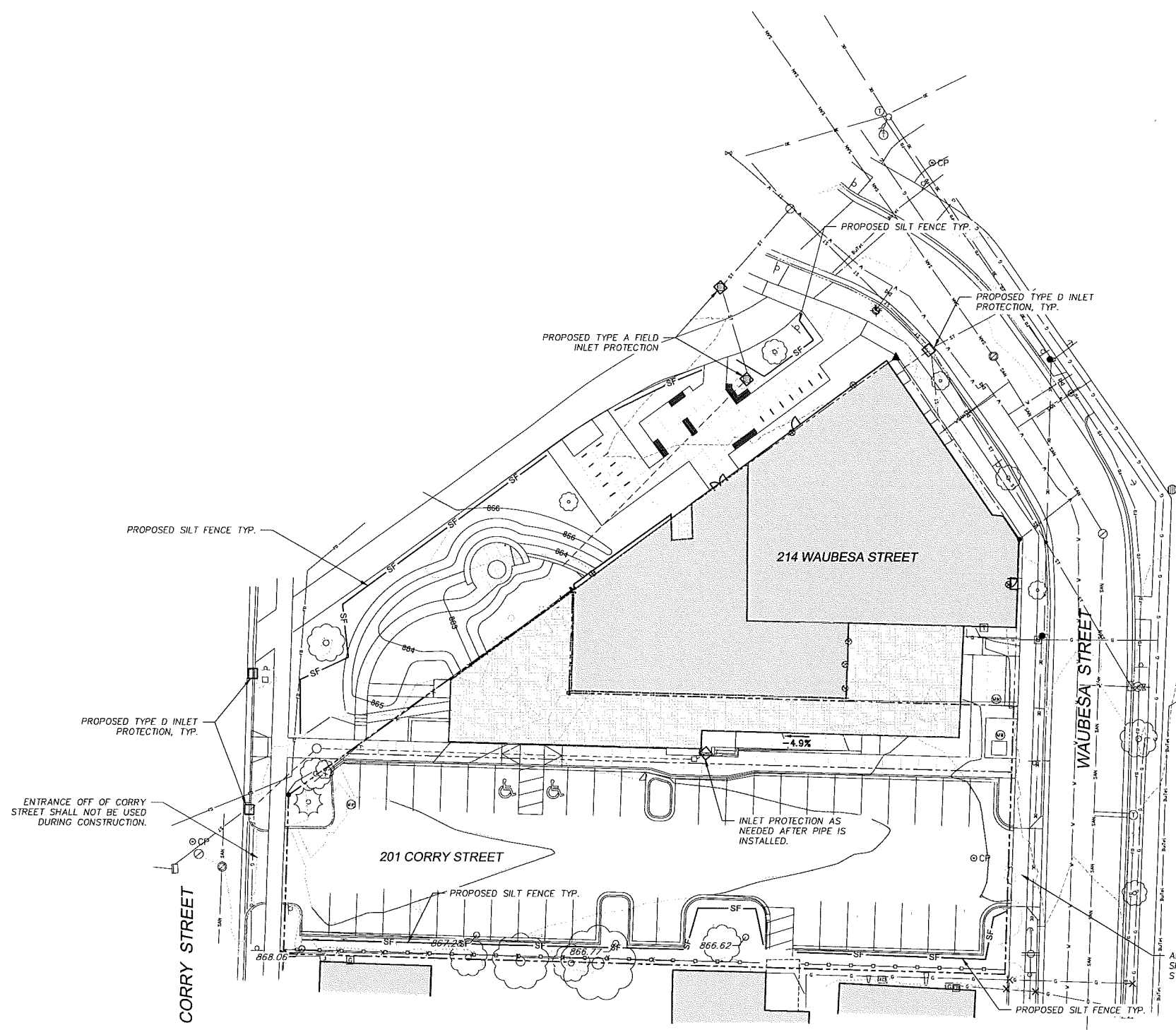
STORM SEWER NOTES

- | | |
|------------------------------------|---|
| STORM LINE 1 - 28'~12" RCP @ 0.5% | A. EXTEND STORM LINE 11 TO PROPERTY LINE AT ELEV: 858.44'. BUILDING PLUMBER WILL CONNECT FROM THERE. |
| STORM LINE 2 - 123'~12" RCP @ 0.5% | |
| STORM LINE 3 - 4'~8" PVC @ 11.5% | B. DAYLIGHT STORM LINE 10 TO KNEE WALL AT ELEV: 860.46'. PROVIDE DECORATIVE COVER OVER PIPE FOR RODENT DETERRENT. |
| STORM LINE 10 - 86'~12" RCP @ 0.5% | |
| STORM LINE 11 - 10'~15" RCP @ 1.0% | C. DAYLIGHT STORM LINE 3 TO KNEE WALL AT ELEV: 865.00'. PROVIDE DECORATIVE COVER OVER PIPE FOR RODENT DETERRENT. |

- | | |
|--|--|
| STORM MH 5
4' DIA PRECAST
NEENAH SOLID LID 1500
RIM ELEV: 867.30
SW 12" INV: 863.92'
E 12" INV: 863.92'
DEPTH: 3.38' | STORM MH 6
CUSTOM 2'X2' SQUARE
CONCRETE CAST IN PLACE
NEENAH SOLID LID 1500
RIM ELEV: 867.50
W 12" INV: 864.54'
NE 8" INV: 864.54'
DEPTH: 2.96' |
|--|--|





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EROSION CONTROL NOTES

- ALL SILT FENCE MUST BE INSTALLED BY THE CONTRACTOR AND INSPECTED BY THE CITY PRIOR TO ANY SITE WORK.
- SITE EROSION CONTROL MEASURES MUST BE IN PLACE AT ALL TIMES. SHOULD DEVICES BE REMOVED FOR WORK ACCESS, THEY SHALL BE REINSTALLED AT THE END OF EACH WORK DAY UNTIL PAVEMENTS HAVE BEEN INSTALLED AND ALL LANDSCAPE AREAS HAVE BEEN MULCHED AND SODDED. SEEDED AREAS MUST EXHIBIT MINIMUM OF 70% SOIL COVERAGE.
- CONSTRUCTION TRAFFIC SHALL USE THE WAUBESA STREET ENTRANCE ONLY. THE CORRY STREET ENTRANCE SHALL NOT BE USED DURING CONSTRUCTION.
- WAUBESA STREET SHALL BE SWEEPED ON A AS NEEDED BASIS.


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PROJECT INFORMATION
GOODMAN COMMUNITY CENTER - BRASS WORKS

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ISSUANCE AND REVISIONS
PLAN COMMISSION SUBMITTAL

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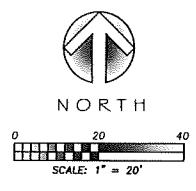


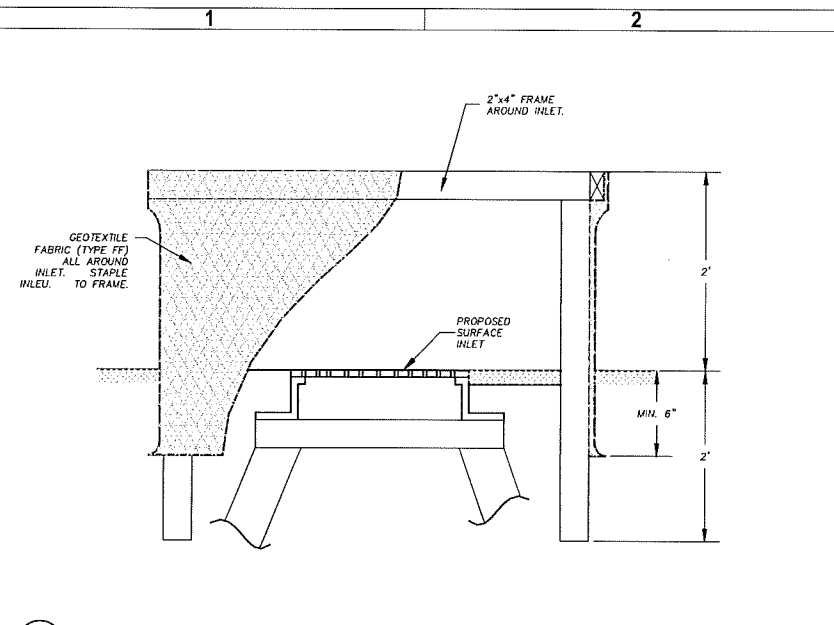
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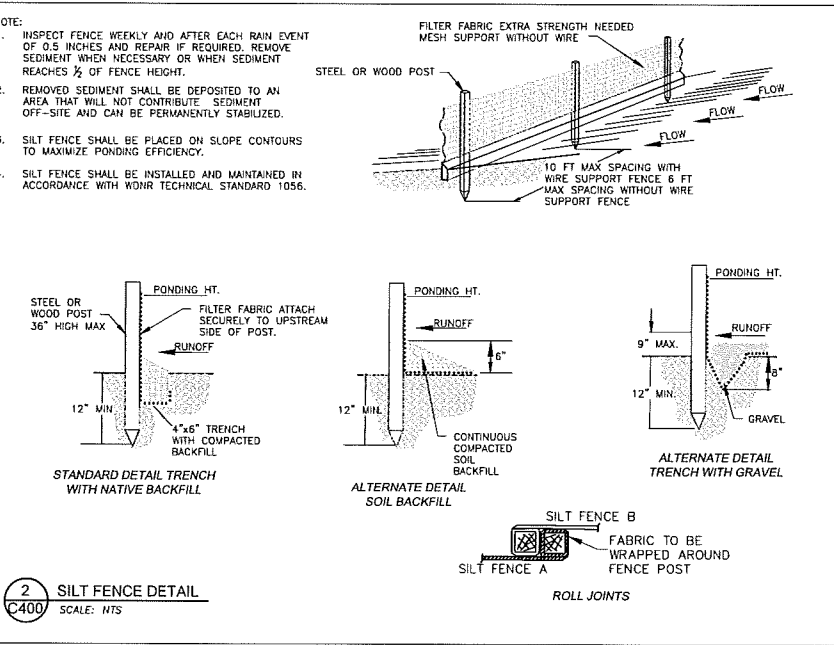
EROSION CONTROL PLAN

C301

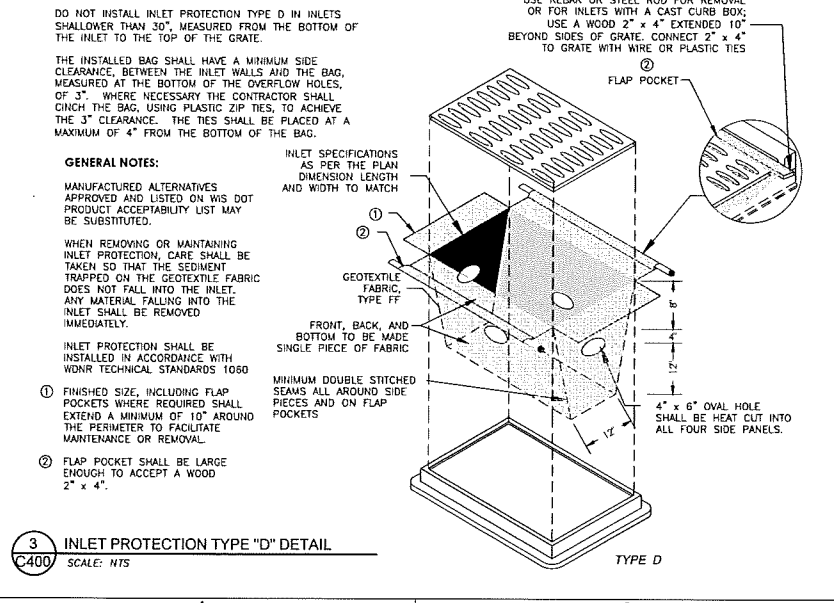




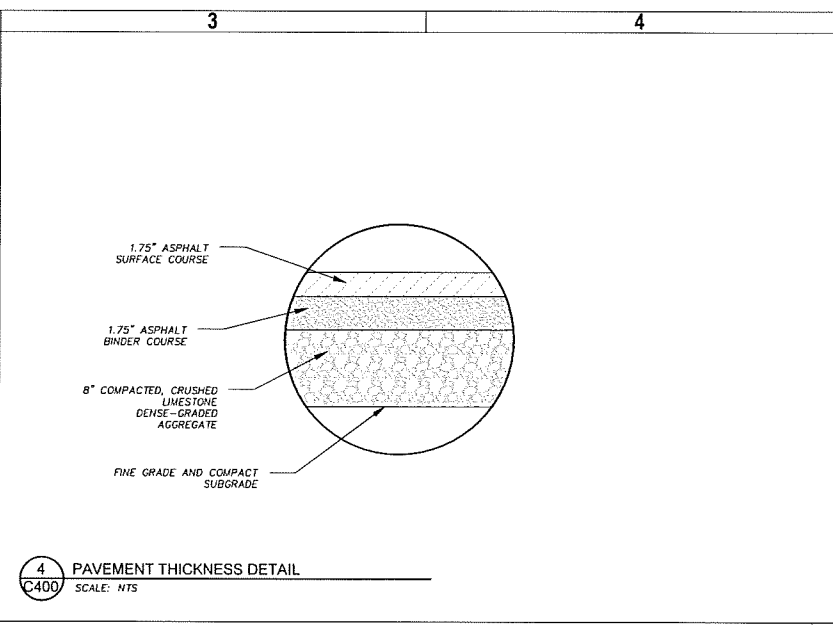
1 INLET PROTECTION TYPE "A" DETAIL
SCALE: NTS



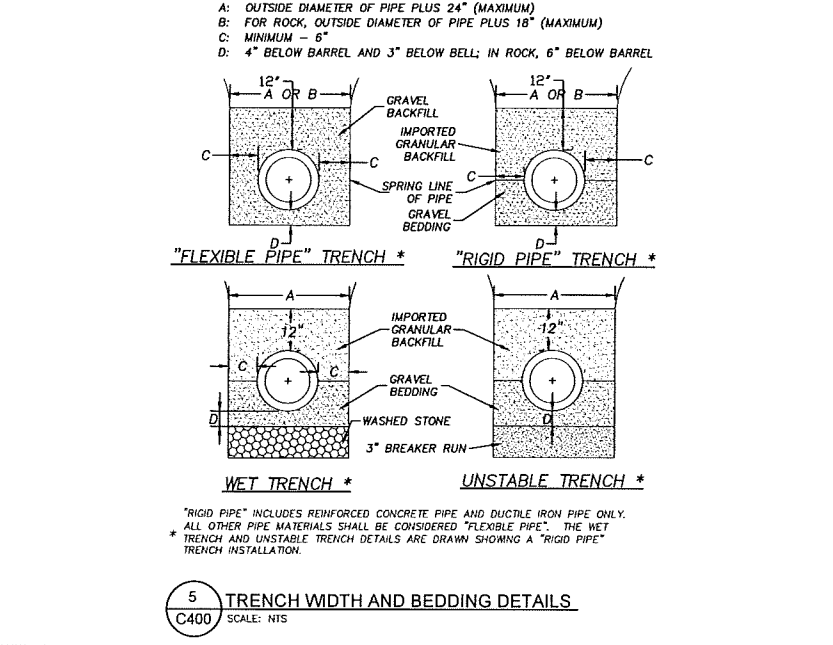
2 SILT FENCE DETAIL
SCALE: NTS



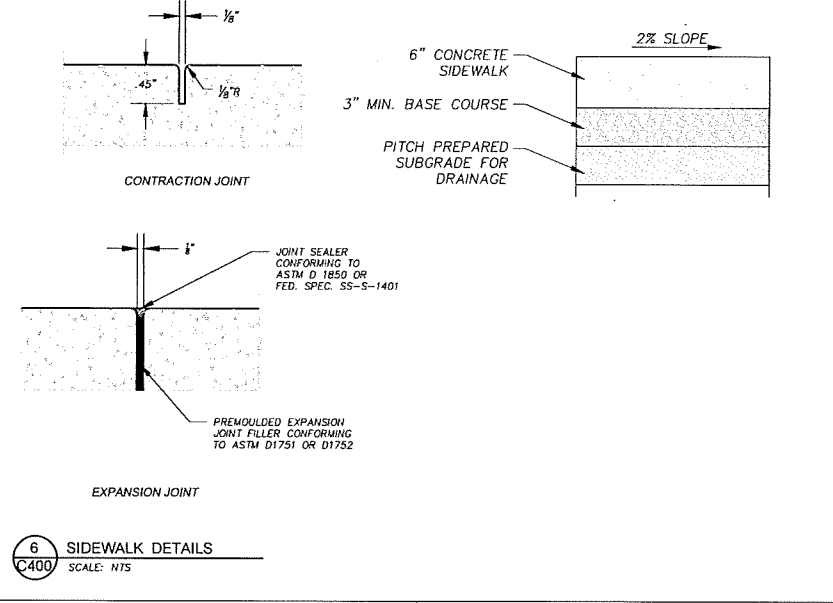
3 INLET PROTECTION TYPE "D" DETAIL
SCALE: NTS



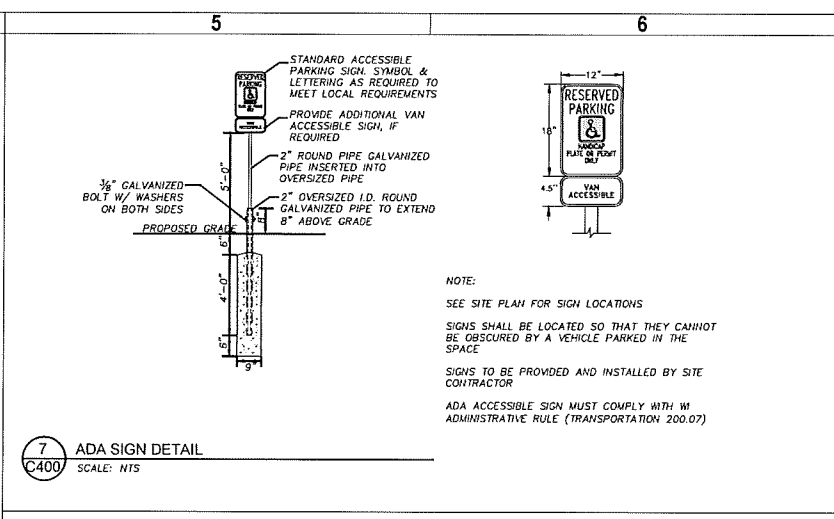
4 PAVEMENT THICKNESS DETAIL
SCALE: NTS



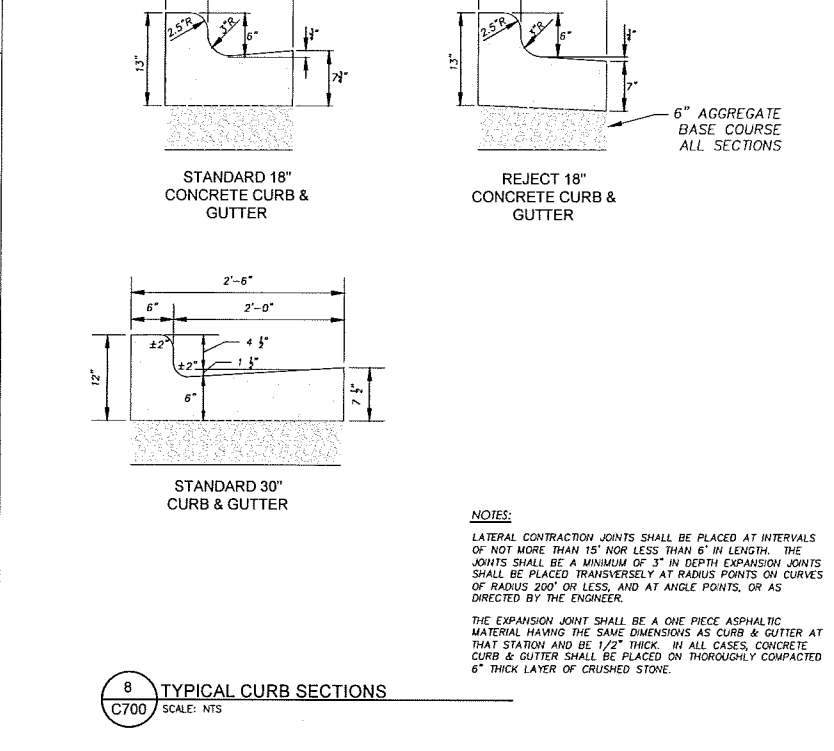
5 TRENCH WIDTH AND BEDDING DETAILS
SCALE: NTS



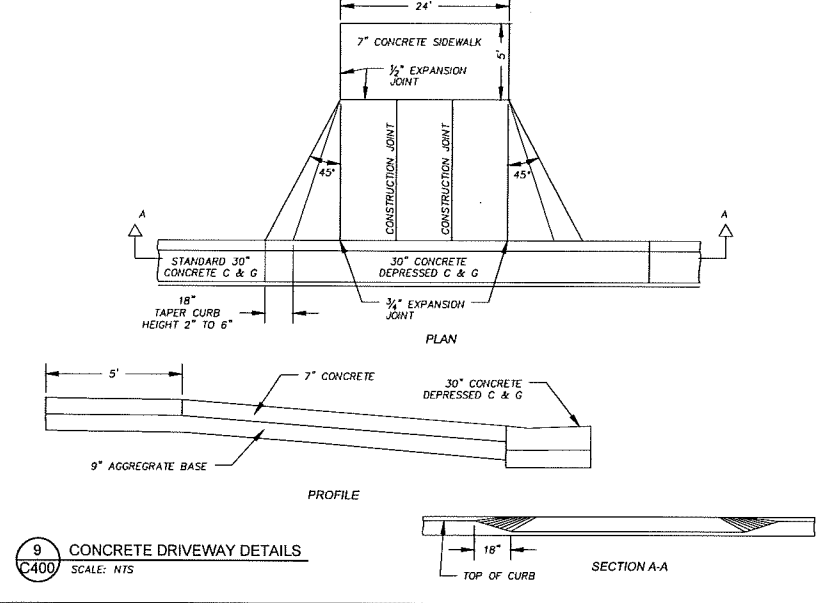
6 SIDEWALK DETAILS
SCALE: NTS



7 ADA SIGN DETAIL
SCALE: NTS



8 TYPICAL CURB SECTIONS
SCALE: NTS



9 CONCRETE DRIVEWAY DETAILS
SCALE: NTS



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MISC. DETAILS

C400



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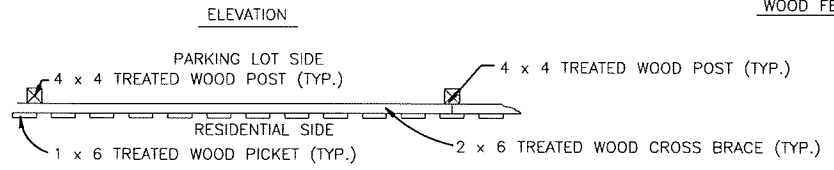
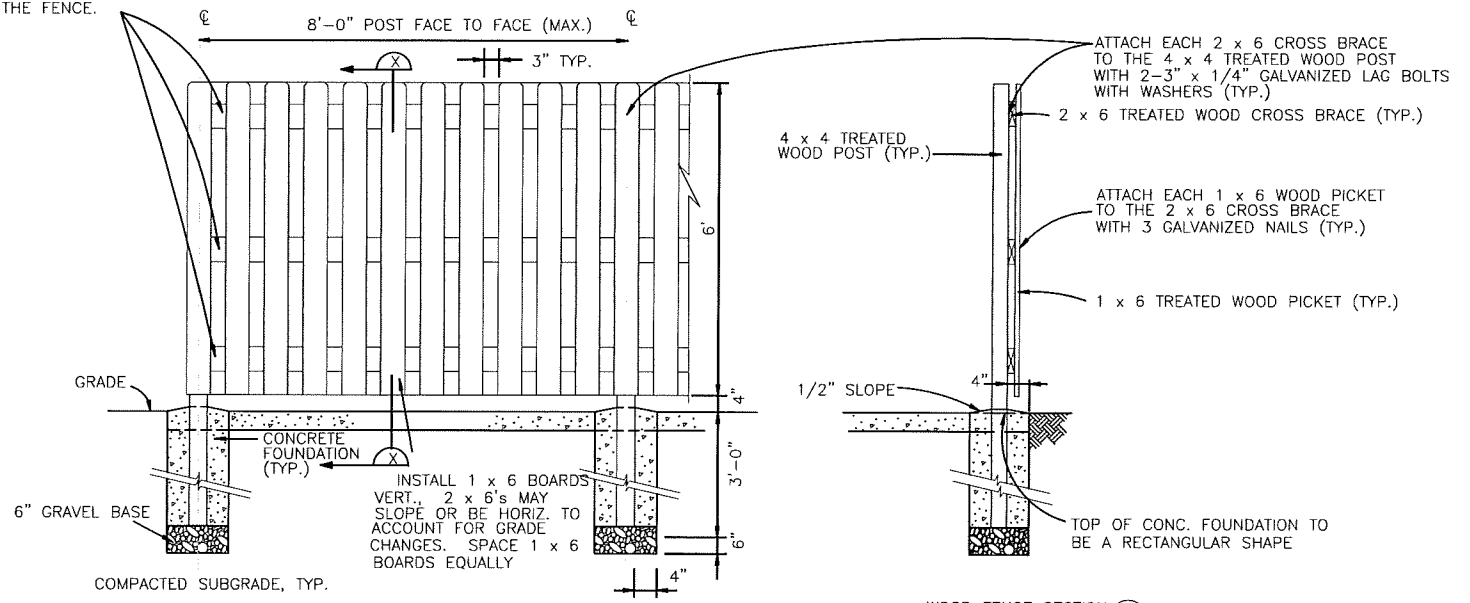
SHEET INFORMATION

PROJECT MANAGER CG
 PROJECT NUMBER 716140-01
 DATE 03/22/2017

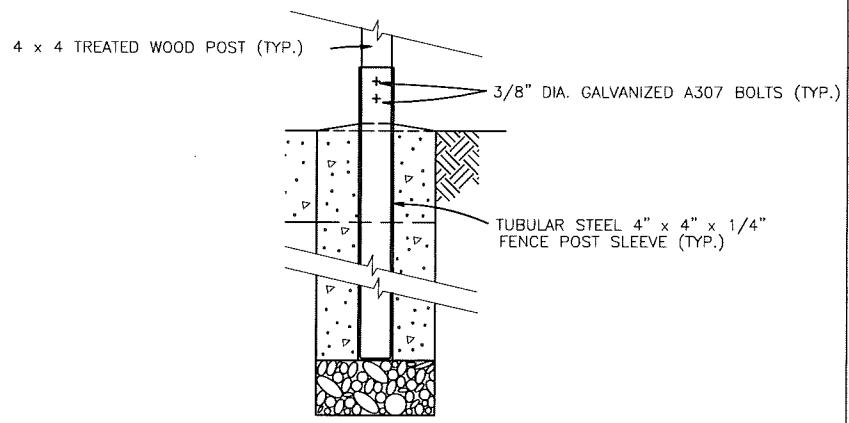
MISC. DETAILS

C401

THE TOP AND BOTTOM WOOD CROSS BRACES SHALL BE PLACED 6" FROM THE END OF THE WOOD PICKETS. THE MIDDLE BRACE SHALL BE CENTERED WITHIN THE FENCE.

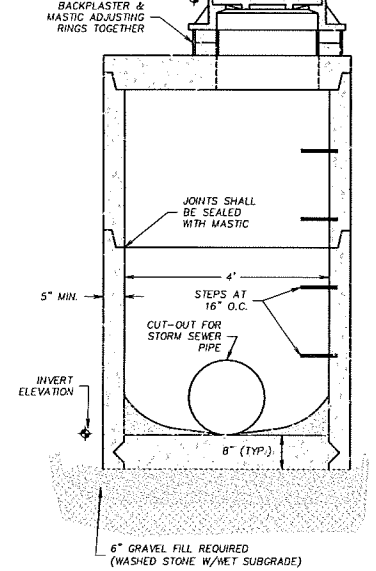


2 WOOD FENCE DETAILS
 SCALE: NTS



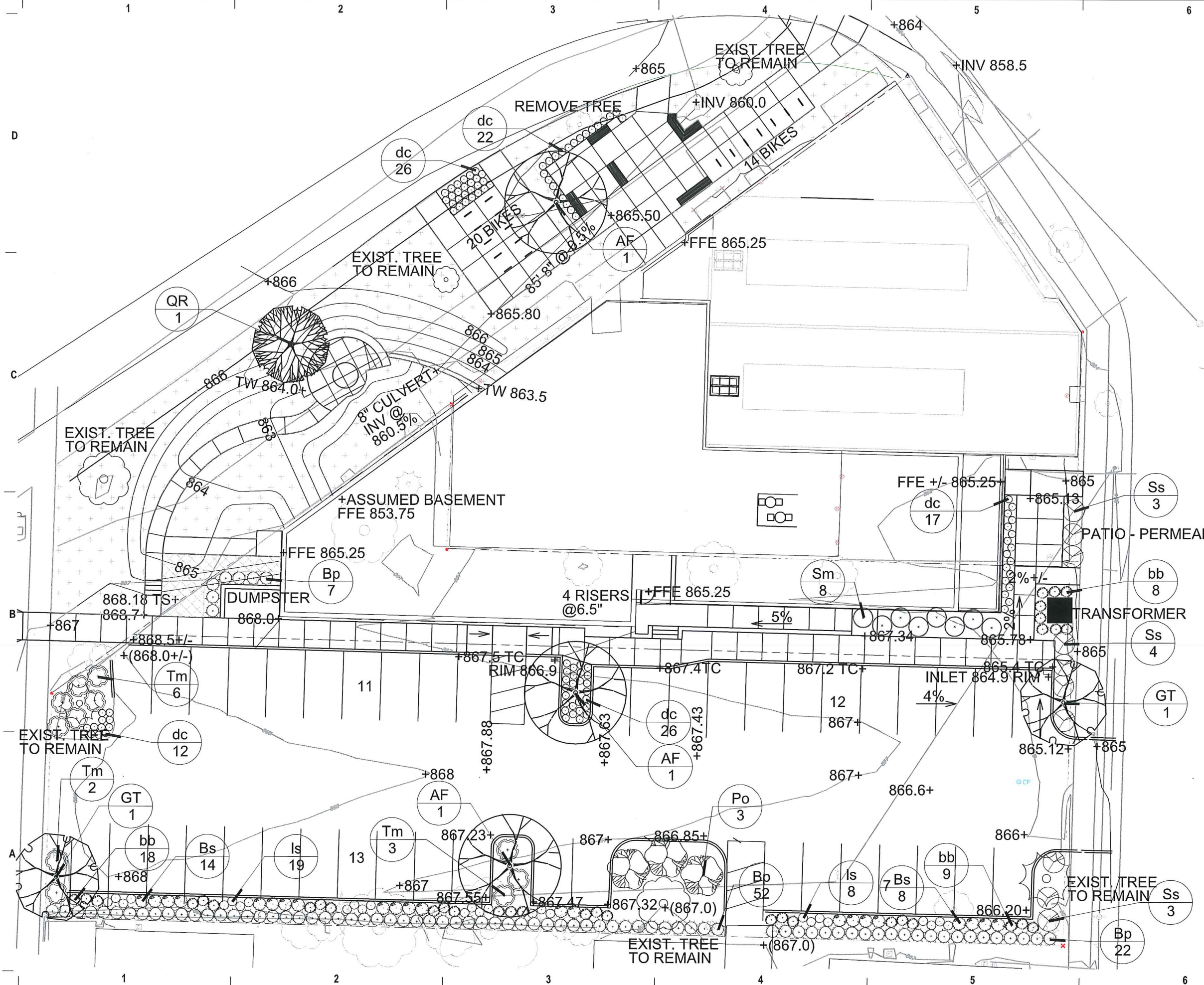
3 WOOD POST DETAILS
 SCALE: NTS

CASTING SHALL BE 3/4" BELOW FINISHED PAVEMENT OR AS ESTABLISHED BY THE ENGINEER.



NOTES:
 CONCRETE SHALL BE 4000 PSI, 28 DAY COMPRESSIVE STRENGTH, 6.5 BAG MIX WITH 1-2% AIR ENTRAINMENT.
 MANHOLE STEPS SHALL CONFORM TO ASTM-C478 & SHALL BE NEENAH FOUNDRY R-1981-N OR APPROVED EQUAL STEPS SHALL BE SPACED 16" ON CENTER.
 ADJUST FRAME TO GRADE WITH AT LEAST TWO PRECAST CONCRETE RINGS OF DIFFERENT THICKNESSES. RINGS SHALL BE REINFORCED WITH ONE NO.3 STEEL BAR CENTERED WITHIN EACH RING.
 A MINIMUM OF 3" TO A MAXIMUM OF 9" OF ADJUSTING RINGS SHALL BE USED TO ADJUST THE MANHOLE CASTING TO THE FINISHED GRADE. ALL RINGS SHALL BE SEALED TOGETHER USING MASTIC AND ALL JOINTS SHALL BE BACK PLASTERED INSIDE AND OUT WITH CEMENT MORTAR.
 MANHOLE CASTING SHALL BE HEAVY DUTY, NEENAH FOUNDRY R-1550-A WITH TYPE "B" NON-ROCKING LID, GASKET SEAL AND CONCEALED PICKHOLES.
 MANHOLE INLET CASTING SHALL BE NEENAH FOUNDRY R-2050 WITH TYPE "C" NON-ROCKING GRATE.
 MANHOLE-TYPE CURB INLET CASTING SHALL BE NEENAH FOUNDRY R-3067 WITH REVERSIBLE GRATES WHERE RUNOFF REACHES THE INLET FROM BOTH DIRECTIONS. WHERE RUNOFF REACHES THE INLET FROM ONE DIRECTION A NEENAH R-3067-L CASTING SHALL BE USED. DIRECTIONAL SLOTS TO BE LOCATED TO DIRECT THE FLOW INTO THE CURB INLET.
 A 2x3 LID OPENING IS REQUIRED FOR MANHOLE-TYPE CURB INLETS. ADJUSTING RINGS SHOULD THEN BE LIMITED TO 6" MAX.

1 STORM SEWER MANHOLE
 SCALE: NTS



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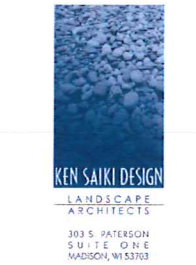


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SCHEMATIC DESIGN

#	DATE	DESCRIPTION



SHEET INFORMATION

PROJECT MANAGER

PROJECT NUMBER

DATE

LANDSCAPE PLAN

L100



City of Madison Fire Department

30 West Mifflin Street, 8th & 9th Floors, Madison, WI 53703-2579
Phone: 608-266-4420 • Fax: 608-267-1100 • E-mail: fire@cityofmadison.com

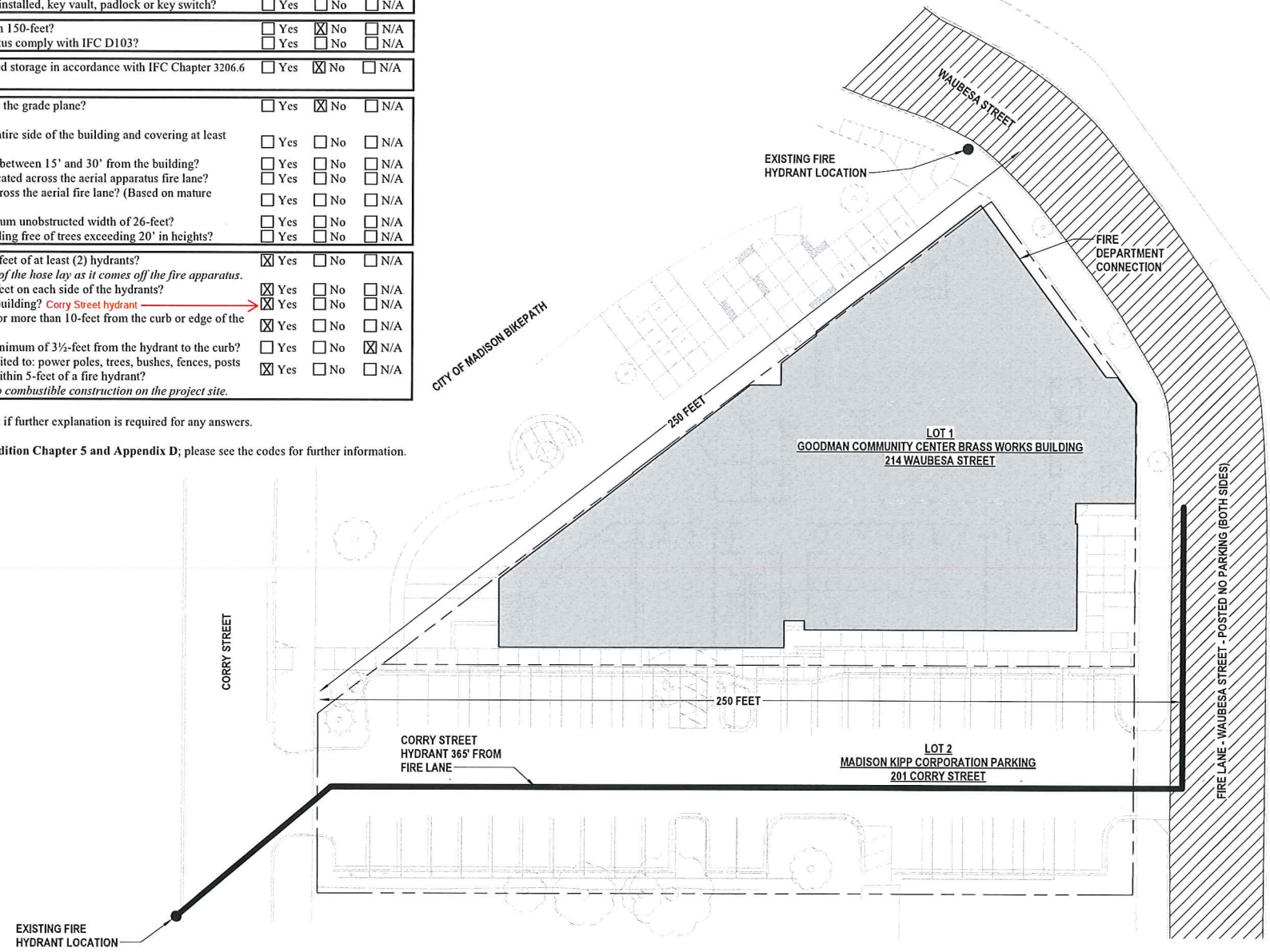
Project Address: 214 Waubesa Street
Contact Name & Phone #: Cliff Goodhart - 442-6684

FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system? If non-sprinklered, fire lanes extend to within 150-feet of all portions of the exterior wall? If sprinklered, fire lanes are within 250-feet of all portions of the exterior wall?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs? a) Is the fire lane a minimum unobstructed width of at least 20-feet? b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet? c) Is the minimum inside turning radius of the fire lane at least 28-feet? d) Is the grade of the fire lane not more than a slope of 8%? e) Is the fire lane posted as fire lane? (Provide detail of signage.) f) Is a roll-able curb used as part of the fire lane? (Provide detail of curb.) g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
3. Is the fire lane obstructed by security gates or barricades? If yes: a) Is the gate a minimum of 20-feet clear opening? b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
4. Is the Fire lane dead-ended with a length greater than 150-feet? If yes, does the area for turning around fire apparatus comply with IFC D103?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6 If yes, see IFC 3206.6 for further requirements.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A		
6. Is any part of the building greater than 30-feet above the grade plane? If yes, answer the following questions: a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter? b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building? c) Are there any overhead power or utility lines located across the aerial apparatus fire lane? d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species) e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet? f) Is the space between the aerial lane and the building free of trees exceeding 20' in heights?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants? Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus. a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants? b) Is there at least 40' between a hydrant and the building? <i>Corry Street hydrant</i> c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane? d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb? e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1½-feet, within 5-feet of a fire hydrant? Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A

Attach an additional sheet if further explanation is required for any answers.

This worksheet is based on MGO 34.503 and IFC 2012 Edition Chapter 5 and Appendix D; please see the codes for further information.



A3 FIRE ACCESS PLAN
1" = 20'-0"



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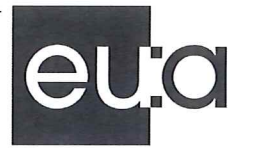
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FIRE DEPARTMENT
ACCESS PLAN

FD100

1 2 3 4 5 6



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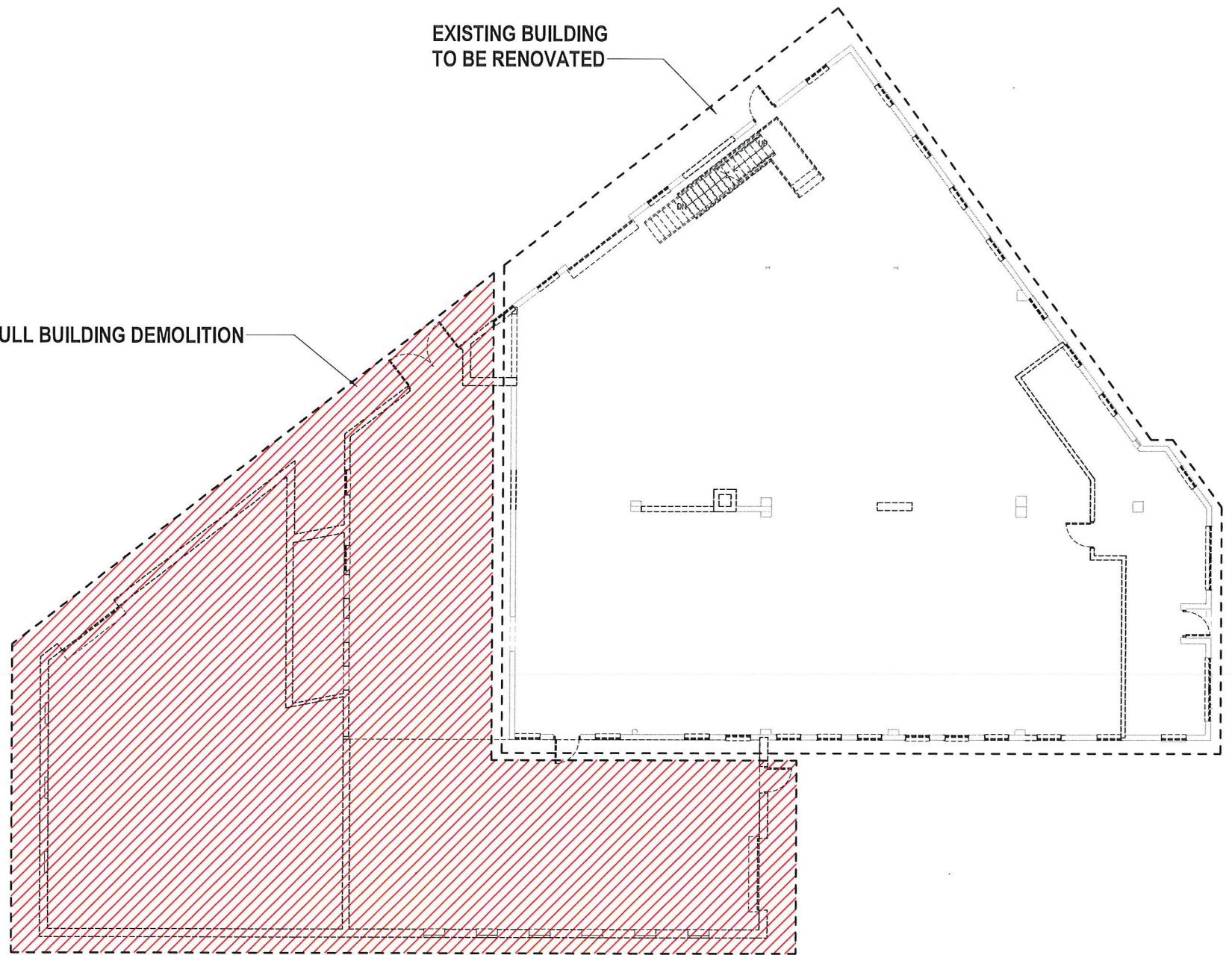
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D

D

EXISTING BUILDING
TO BE RENOVATED

FULL BUILDING DEMOLITION



C

C

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B



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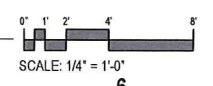
A

A

FIRST FLOOR
DEMOLITION PLAN

AD101

A1 FIRST FLOOR DEMOLITION PLAN
1/8" = 1'-0"



1 2 3 4 5 6



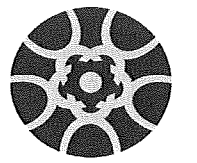
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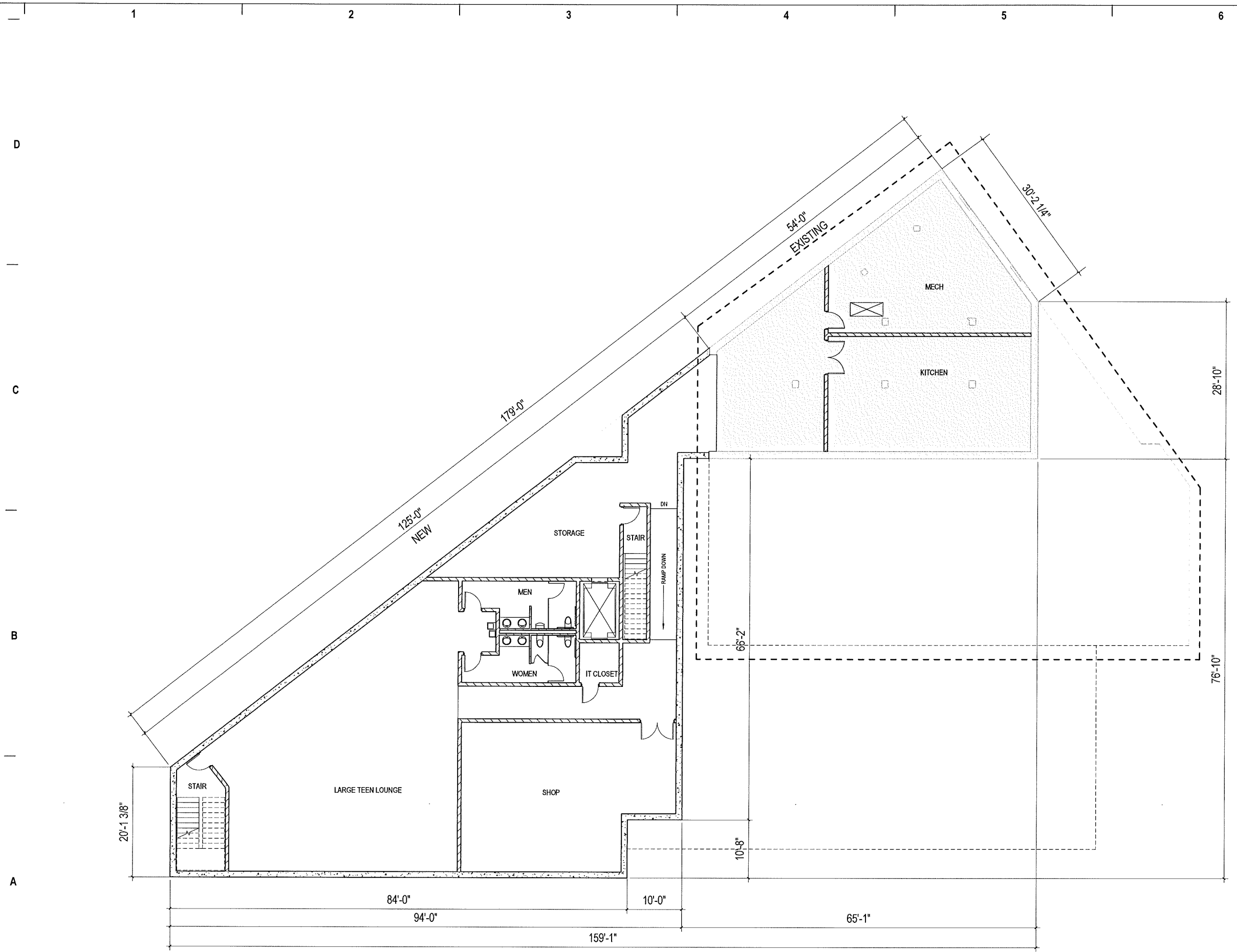
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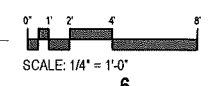
LOWER LEVEL
FLOOR PLAN

A100

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A1 LOWER LEVEL FLOOR PLAN
1/8" = 1'-0"





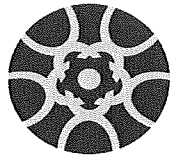
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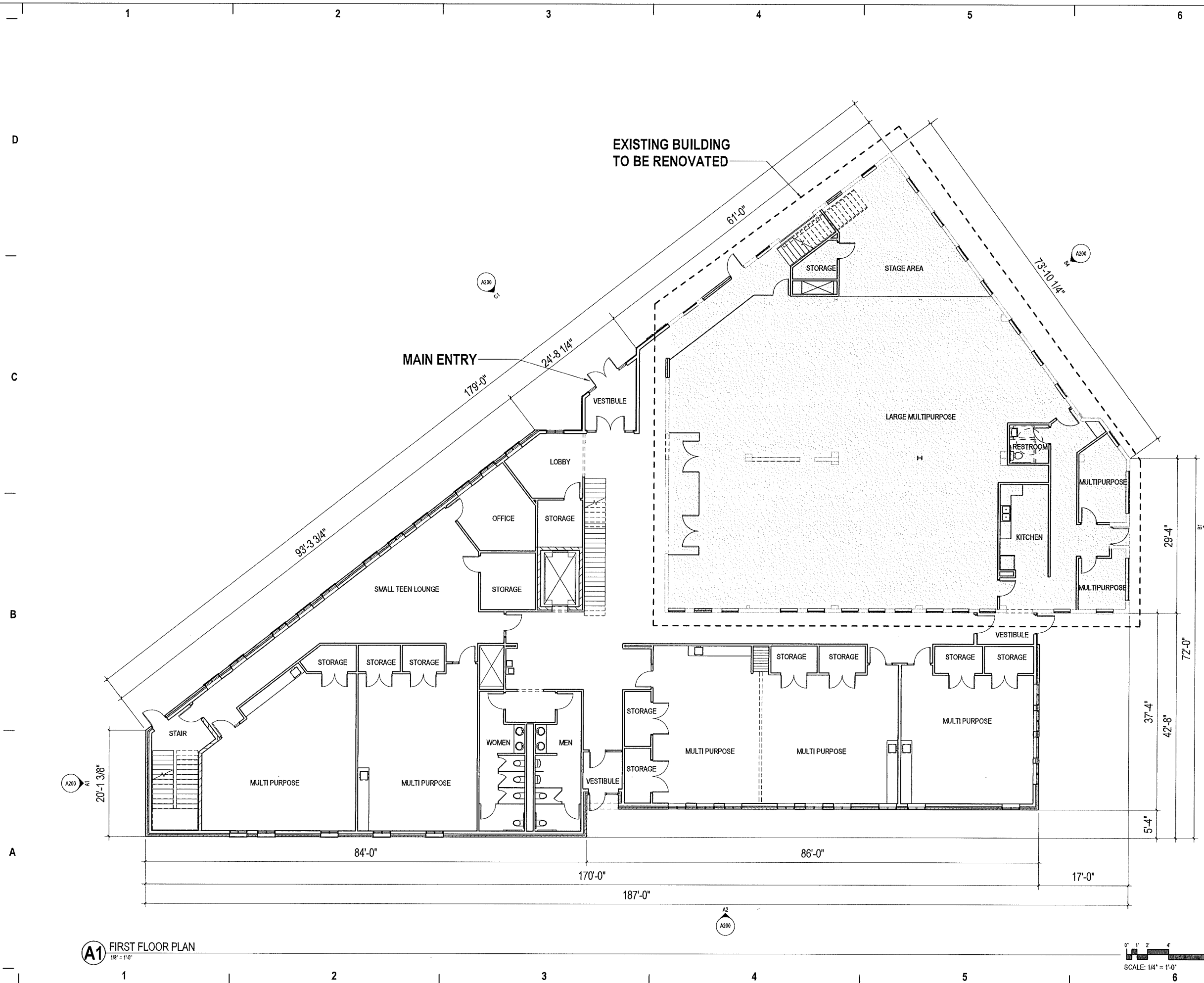
PROJECT NUMBER 716140-01

DATE 03/22/2017

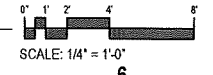
FIRST FLOOR PLAN

A101

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A1 FIRST FLOOR PLAN
1/8" = 1'-0"



1 2 3 4 5 6



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B



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SECOND FLOOR
PLAN

A102

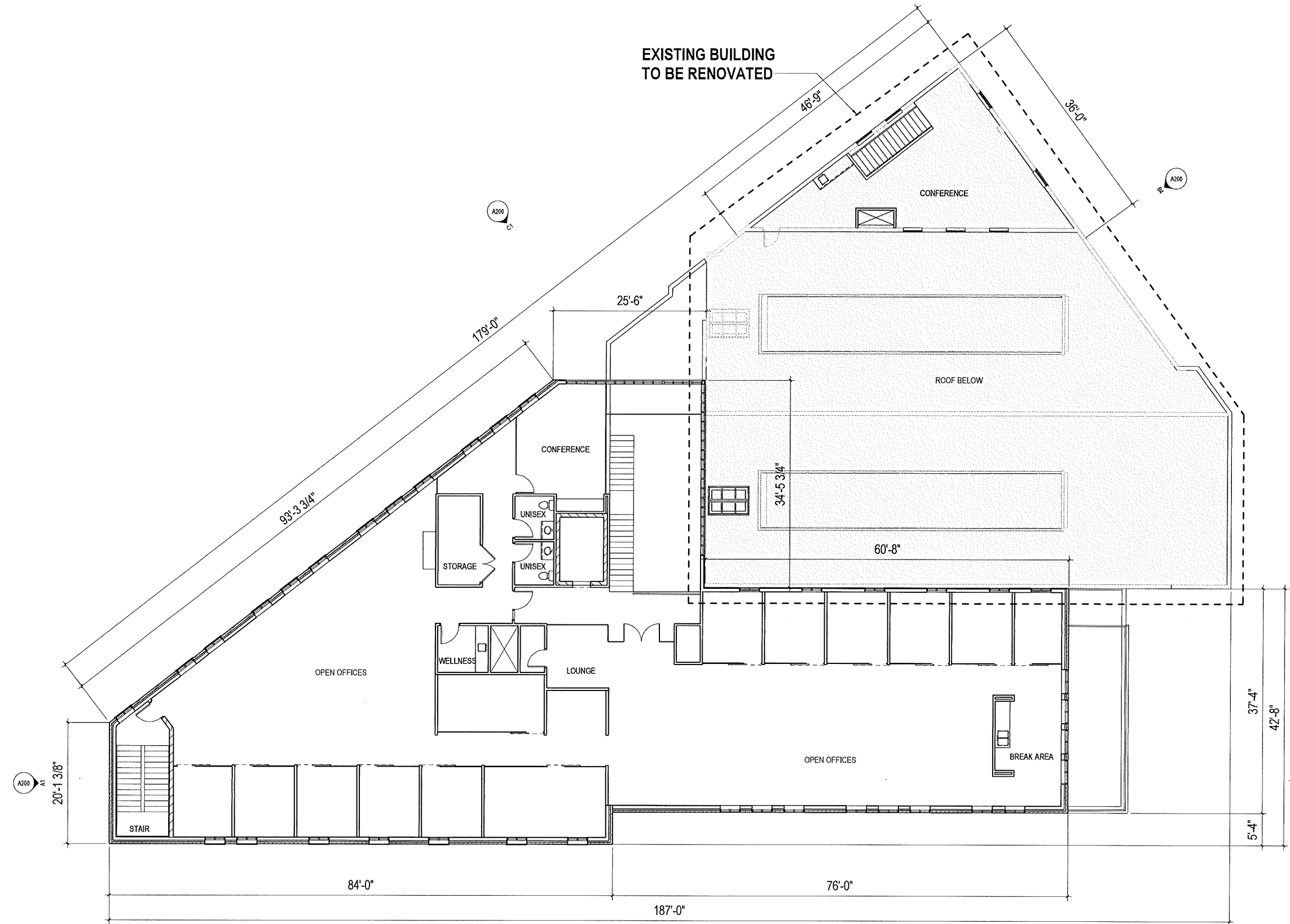
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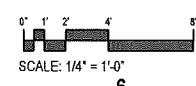
C

B

A



A1 SECOND FLOOR PLAN
1/8" = 1'-0"



1 2 3 4 5 6



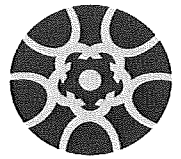
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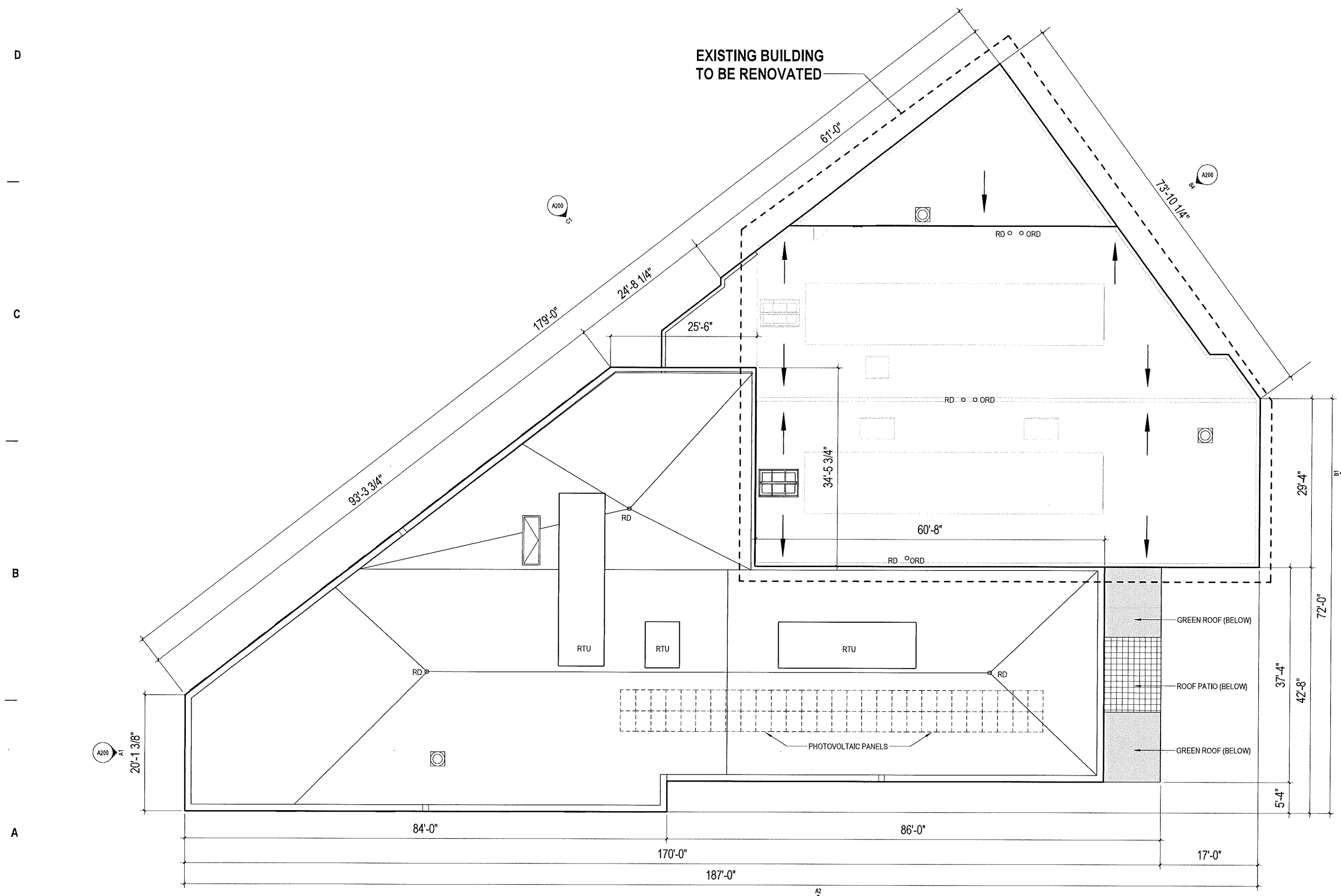
PROJECT NUMBER 716140-01

DATE 03/22/2017

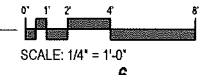
ROOF PLAN

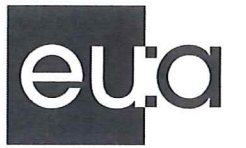
A103

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A1 ROOF PLAN
1/8" = 1'-0"





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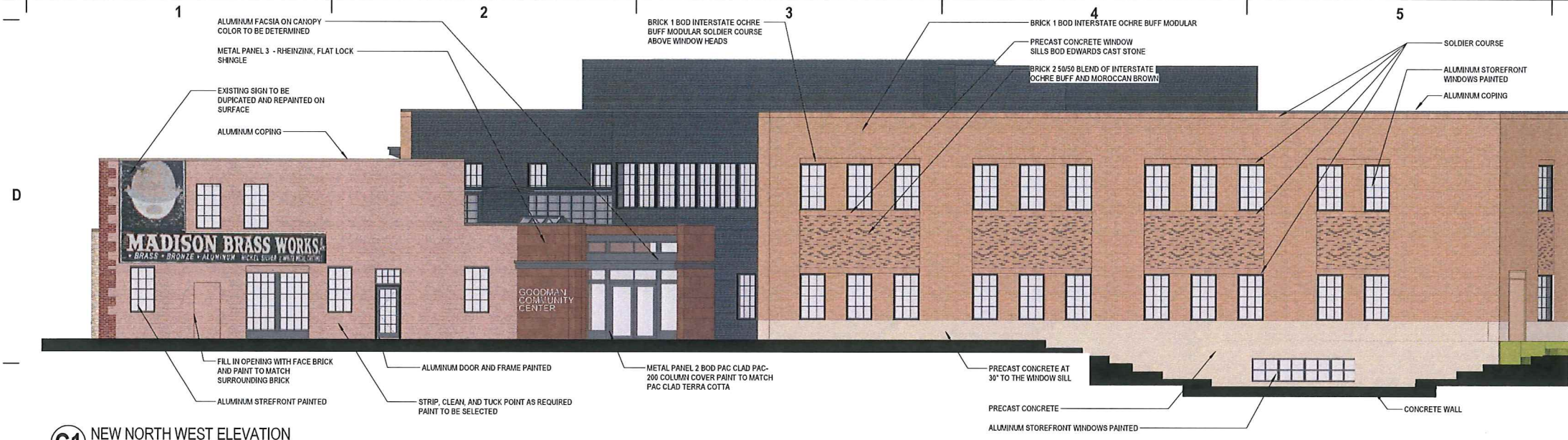
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SHEET NOTES - GENERAL

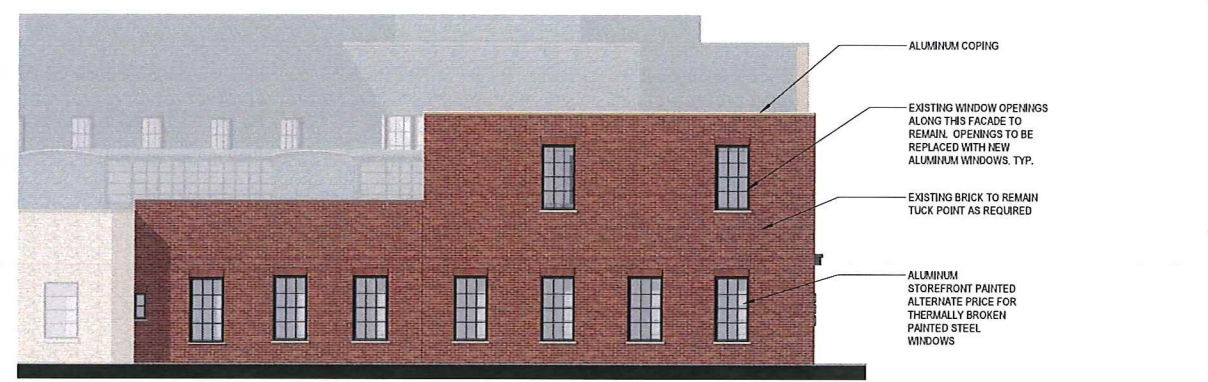
- BUILDING ELEVATIONS REPRESENT A VARIETY OF MATERIALS, COLORS AND TEXTURES THAT MAY BE POSSIBLE, BUT WILL BE FURTHER DEVELOPED AS THE PROJECT MOVES FORWARD.
- FINAL EXTERIOR BUILDING OPENINGS ARE TO BE DETERMINED AS INTERIOR SPACE PLANNING DEVELOPS AND MAY DICTATE EXTERIOR OPENING LOCATIONS.
- INTERIOR SPACE PLANNING IS STILL BEING DEVELOPED AS PROGRAMMING STUDIES CONTINUE.



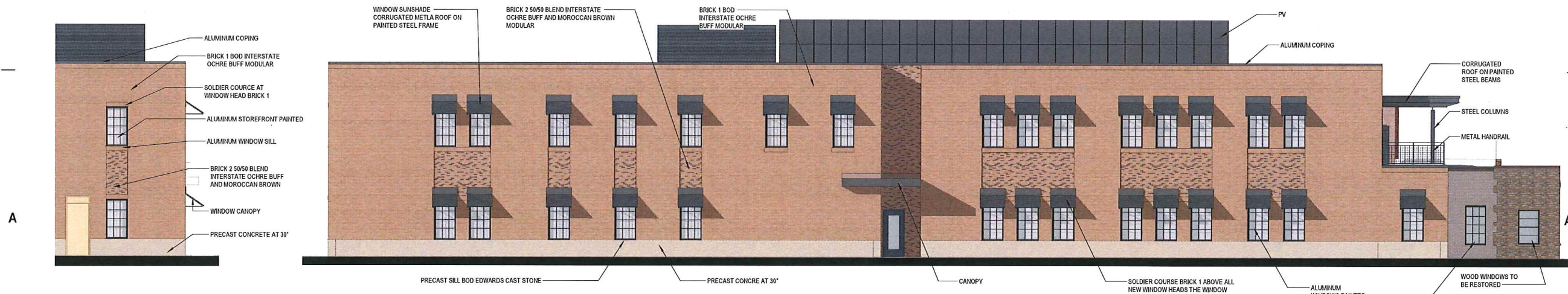
C1 NEW NORTH WEST ELEVATION
1/8" = 1'-0"



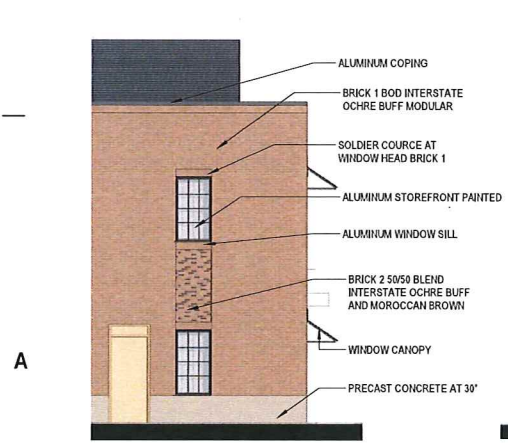
B
B1 NEW EAST ELEVATION
1/8" = 1'-0"



B4 NEW NORTH EAST ELEVATION
1/8" = 1'-0"



A2 NEW SOUTH ELEVATION
1/8" = 1'-0"



A1 NEW SOUTH WEST ELEVATION
1/8" = 1'-0"

SHEET INFORMATION

PROJECT MANAGER	CG
PROJECT NUMBER	716140-01
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EXTERIOR
ELEVATIONS

A200



D2 VIEW LOOKING SOUTHEAST 1
NTS



D4 VIEW LOOKING SOUTHEAST 2
NTS



B2 VIEW LOOKING NORTH
NTS



B4 VIEW LOOKING EAST
NTS



A4 VIEW LOOKING NORTHWEST
NTS



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EXTERIOR
PERSPECTIVES

A900