



# AMERICAN EXCHANGE DEVELOPMENT

**VALERIO  
DEWALT  
TRAIN**

URBAN DESIGN COMMISSION AUGUST 12, 2020



# VALERIO DEWALT TRAIN

500 North Dearborn Street  
Suite 900  
Chicago, Illinois 60654

312.260.7300

Developer



Urban Land Interests

Project Name

**AMERICAN EXCHANGE DEVELOPMENT**

Project Address

A Portion of Block 101  
in the City of Madison,  
Wisconsin

Project Number

18038.00

Date

08/12/20

Sheet Name

**VICINITY MAP**

Sheet Number

**0-02**

CAPITOL HILL APARTMENTS

WAKELEY GILES BUILDING

BARTELL THEATER

YWCA BUILDING

OLD FASHIONED / HARVEST

PROJECT BOUNDARY

CAPITOL SQUARE

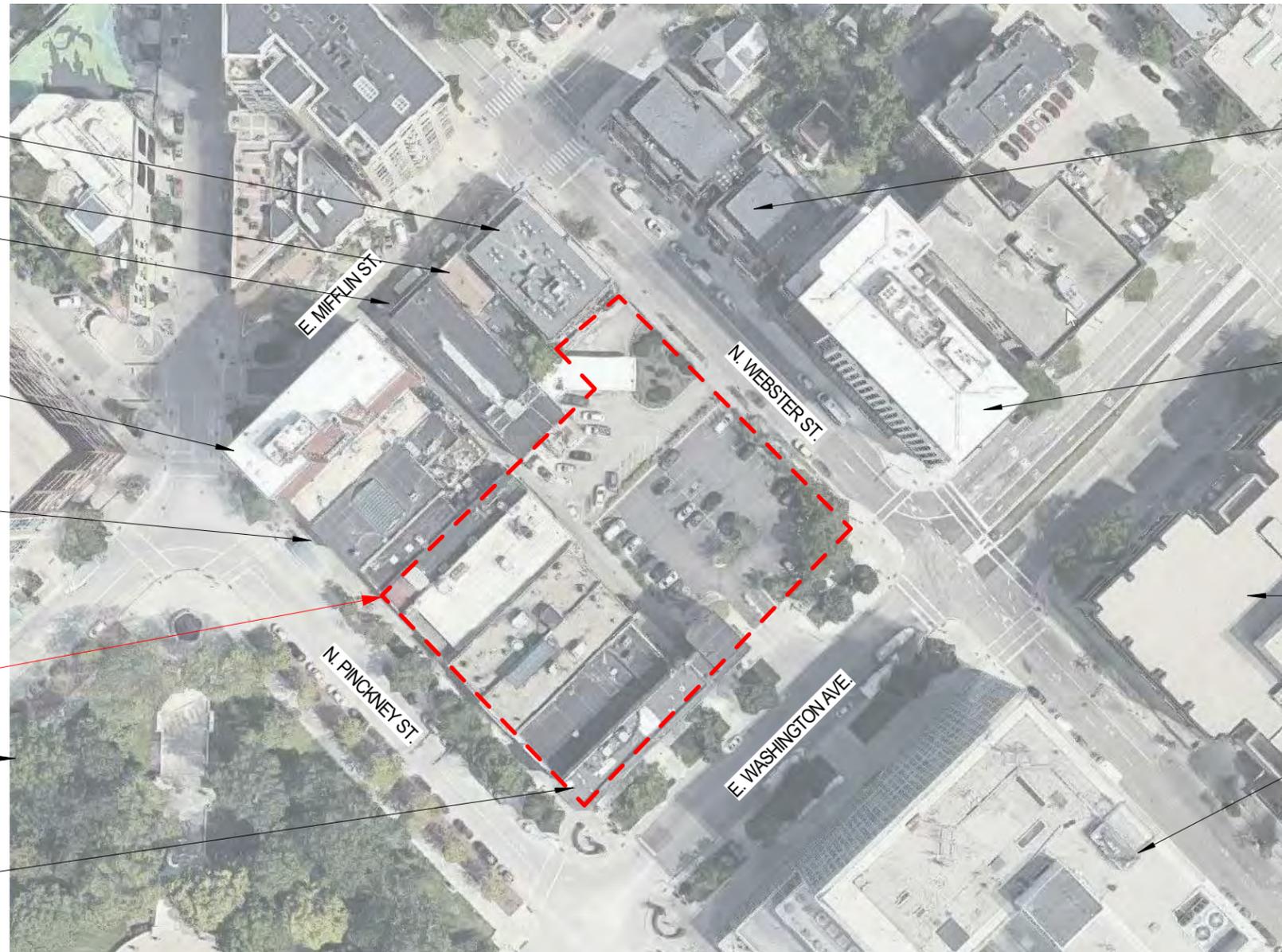
AMERICAN EXCHANGE  
BANK BUILDING

CAPITOL'S EDGE  
APARTMENTS

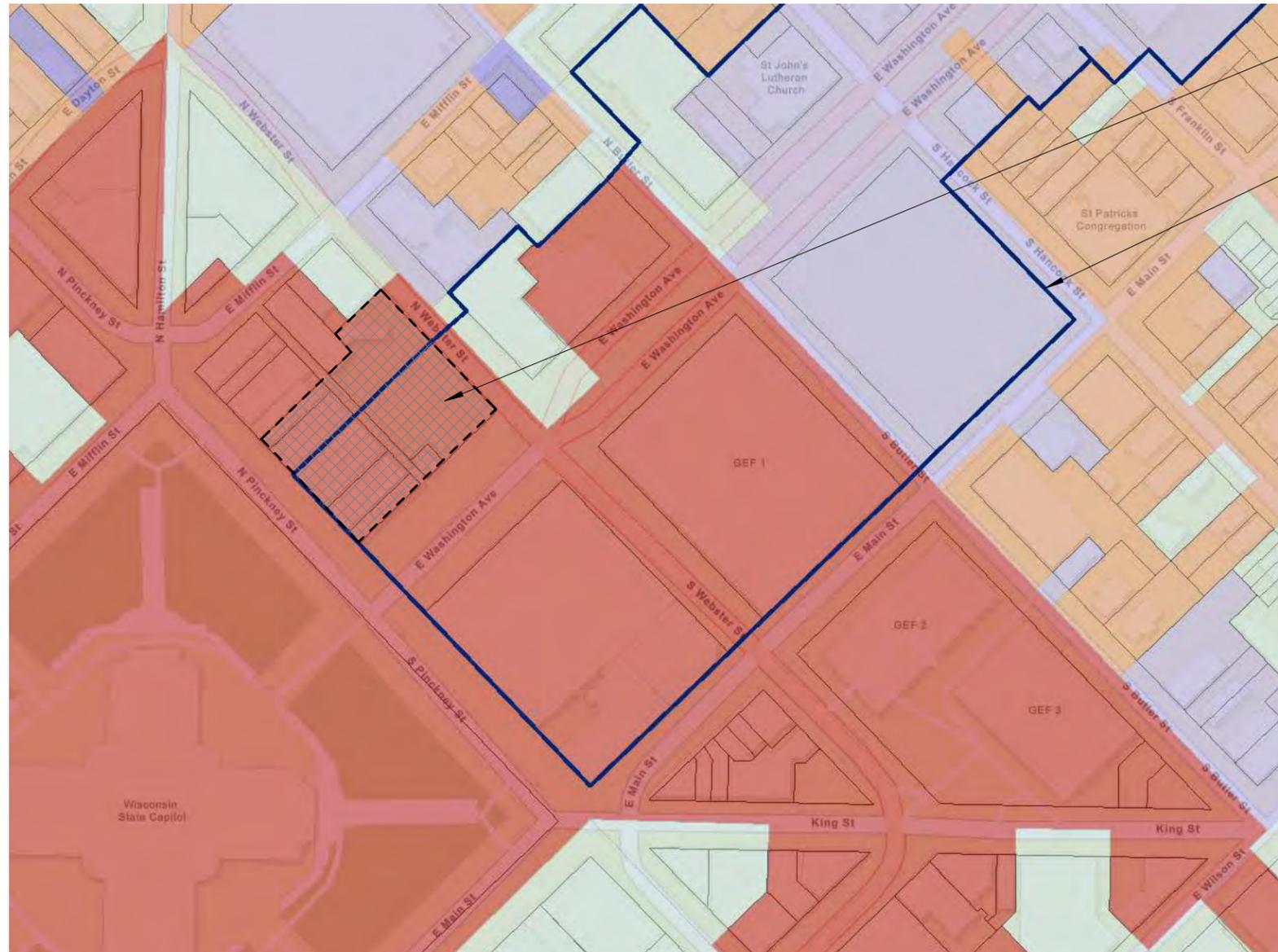
AC HOTEL

WISCONSIN DEPT. OF  
WORKFORCE DEVELOPMENT /  
WISCONSIN DEPT OF  
CHILDREN AND FAMILIES

US BANK PLAZA



**BLOCK 101 VICINITY MAP**



PROJECT SITE ZONING  
CURRENT: DOWNTOWN CORE DISTRICT (DC)  
PROPOSED: PLANNED DEVELOPMENT (PD)

URBAN DESIGN DISTRICT  
4 BOUNDARY

### Zoning Districts

|   |   |                                     |                                     |
|---|---|-------------------------------------|-------------------------------------|
| <b>Residential Districts</b>              |   | <b>Employment Districts</b>         |                                     |
| SR-C1                                     | Suburban Residential - Consistent District 1    | TE                                  | Traditional Employment District     |
| SR-C2                                     | Suburban Residential - Consistent District 2    | SE                                  | Suburban Employment District        |
| SR-C3                                     | Suburban Residential - Consistent District 3    | SEC                                 | Suburban Employment Center District |
| SR-V1                                     | Suburban Residential - Varied District 1        | EC                                  | Employment Campus District          |
| SR-V2                                     | Suburban Residential - Varied District 2        | IL                                  | Industrial - Limited District       |
| TR-C1                                     | Traditional Residential - Consistent District 1 | IG                                  | Industrial - General District       |
| TR-C2                                     | Traditional Residential - Consistent District 2 | <b>Downtown and Urban Districts</b> |                                     |
| TR-C3                                     | Traditional Residential - Consistent District 3 | DC                                  | Downtown Core District              |
| TR-C4                                     | Traditional Residential - Consistent District 4 | UOR                                 | Urban Office Residential District   |
| TR-U1                                     | Traditional Residential - Urban District 1      | UMX                                 | Urban Mixed Use District            |
| TR-U2                                     | Traditional Residential - Urban District 2      | DRI                                 | Downtown Residential 1              |
| TR-V1                                     | Traditional Residential - Varied District 1     | DR2                                 | Downtown Residential 2              |
| TR-V2                                     | Traditional Residential - Varied District 2     | <b>Special Districts</b>            |                                     |
| TR-R                                      | Traditional Residential - Rustic District       | A                                   | Agricultural District               |
| TR-P                                      | Traditional Residential - Planned District      | UA                                  | Urban Agricultural District         |
| <b>Commercial and Mixed-Use Districts</b> |   | CN                                  | Conservancy District                |
| LMX                                       | Limited Mixed Use District                      | PR                                  | Parks and Recreation District       |
| NMX                                       | Neighborhood Mixed Use District                 | AP                                  | Airport District                    |
| TSS                                       | Traditional Shopping Street District            | CI                                  | Campus Institutional District       |
| MXC                                       | Mixed-Use Center District                       | PD                                  | Planned Development District        |
| CC-T                                      | Commercial Corridor - Transitional District     | PMHP                                | Planned Mobile Home Park District   |
| CC  | Commercial Center District                      |                                     |                                     |



Prepared by the City of Madison Planning Division and Zoning Staff | January 2015

CITY OF MADISON ZONING DISTRICTS

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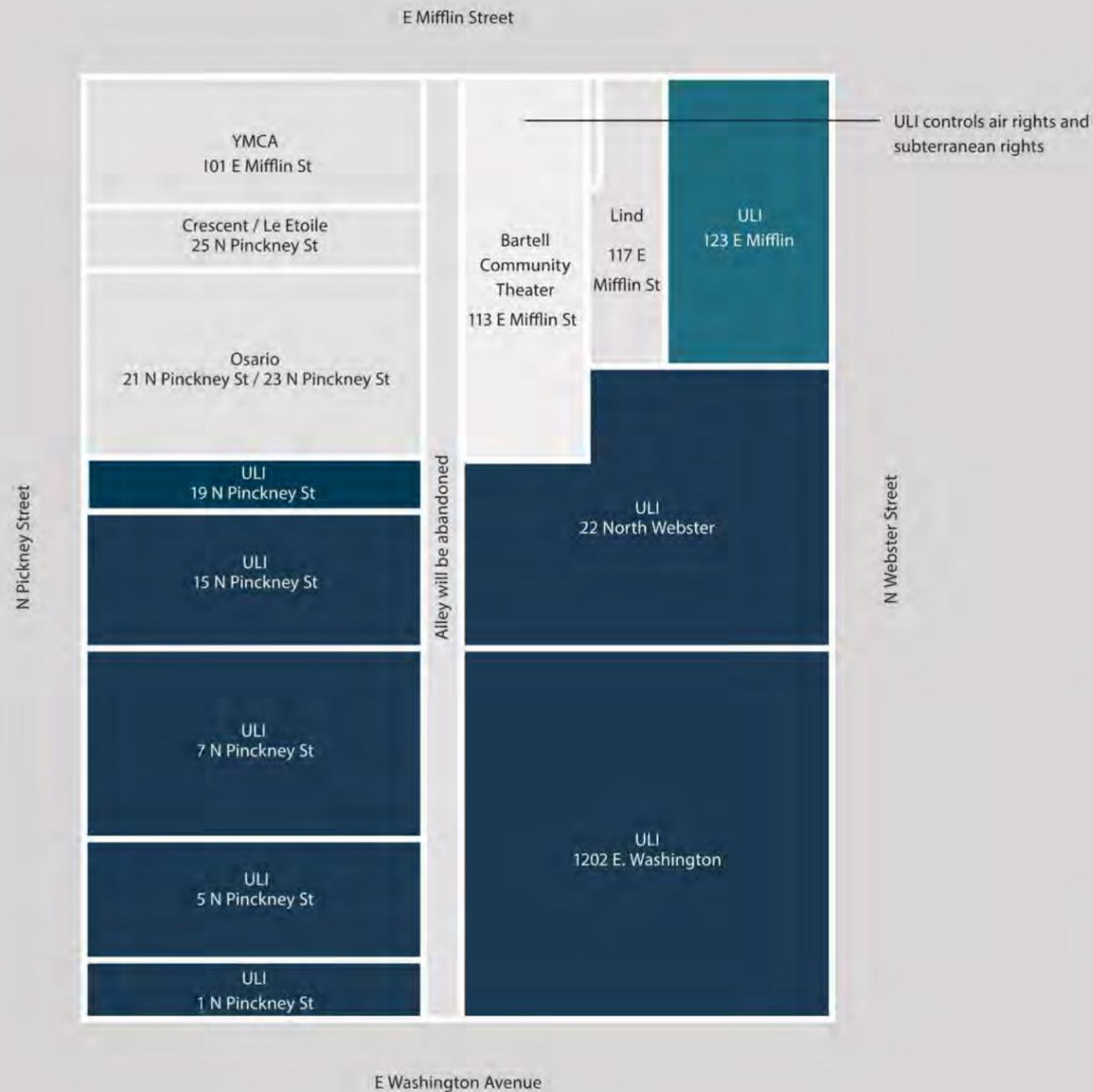
08/12/20

Sheet Name

ZONING MAP

Sheet Number

0-03



**55% of current site area consists of surface parking.**

Lot Areas

|                  |                  |
|------------------|------------------|
| 1 N Pinckney St  | 2,762 SF         |
| 5 N Pinckney St  | 5,280 SF         |
| 7 N Pinckney St  | 7,920 SF         |
| 15 N Pinckney St | 5,640 SF         |
| 19 N Pinckney    | 2,280 SF         |
| Am Ex Lot        | 16,302 SF        |
| US Bank Drive Up | 11,616 SF        |
| Cap Hill         | 6,138 SF         |
| <b>Total</b>     | <b>56,658 SF</b> |



**EXISTING CONDITIONS**

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**EXISTING CONDITIONS**

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**0-05**



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**EXISTING CONDITIONS**

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**0-06**



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## EXISTING CONDITIONS

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**0-07**

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**EXISTING CONDITIONS - OUTER LOOP**

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**EXISTING CONDITIONS  
- OUTER LOOP**

Sheet Number

**0-08**

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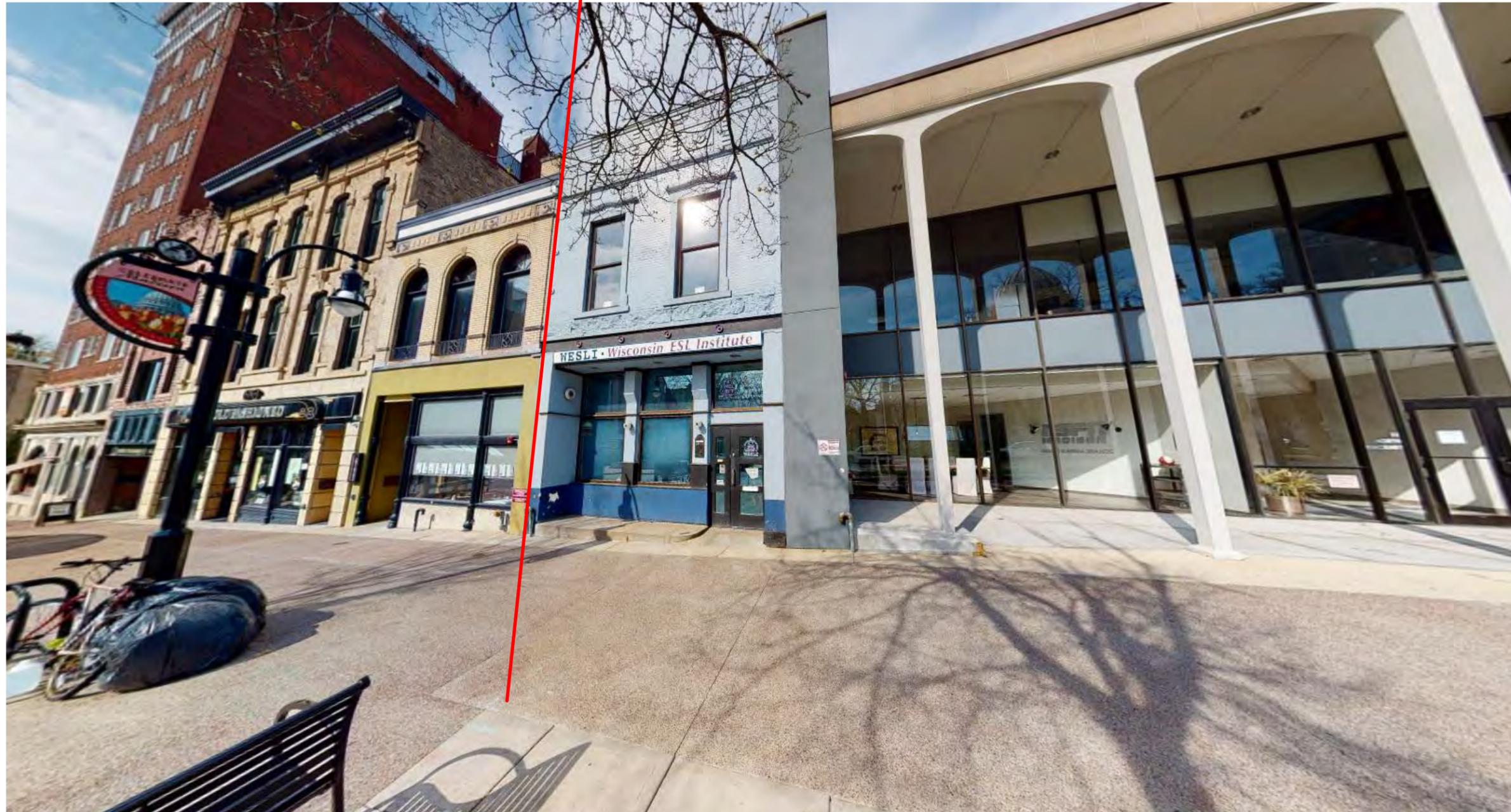
Developer



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21-23 N. PINCKNEY, LANDMARK  
EXISTING TO REMAIN

PROJECT AREA →



EXISTING CONDITIONS - PINCKNEY STREET

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**EXISTING CONDITIONS  
- PINCKNEY STREET**

Sheet Number

**0-09**

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**EXISTING CONDITIONS  
- PINCKNEY STREET**

Sheet Number

**0-10**

← EXISTING TO REMAIN      PROJECT AREA →



EXISTING CONDITIONS - PINCKNEY STREET

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1 N. PINCKNEY, LANDMARK



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**EXISTING CONDITIONS  
- PINCKNEY STREET**

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**EXISTING CONDITIONS - PINCKNEY STREET**



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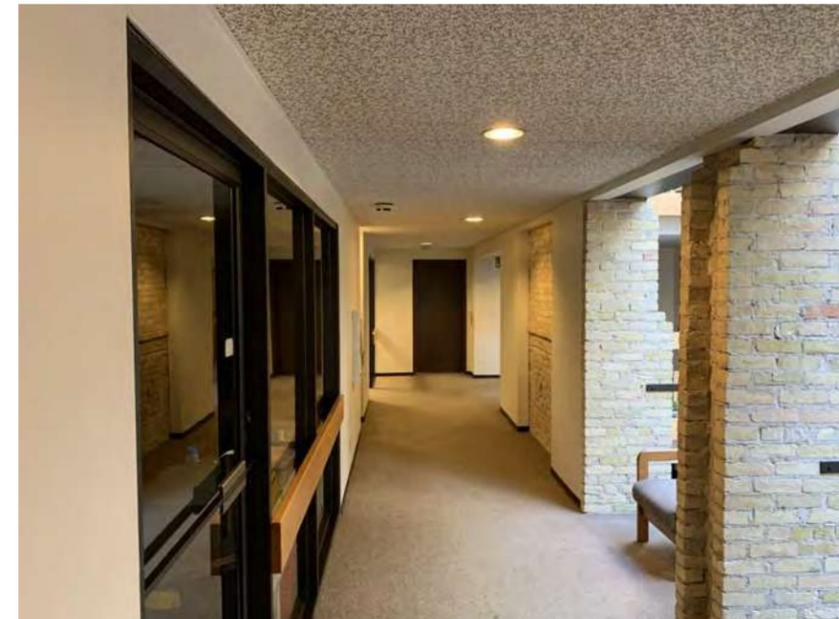
08/12/20

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### EXISTING CONDITIONS - 5 N. PINCKNEY

Sheet Number

**0-12**



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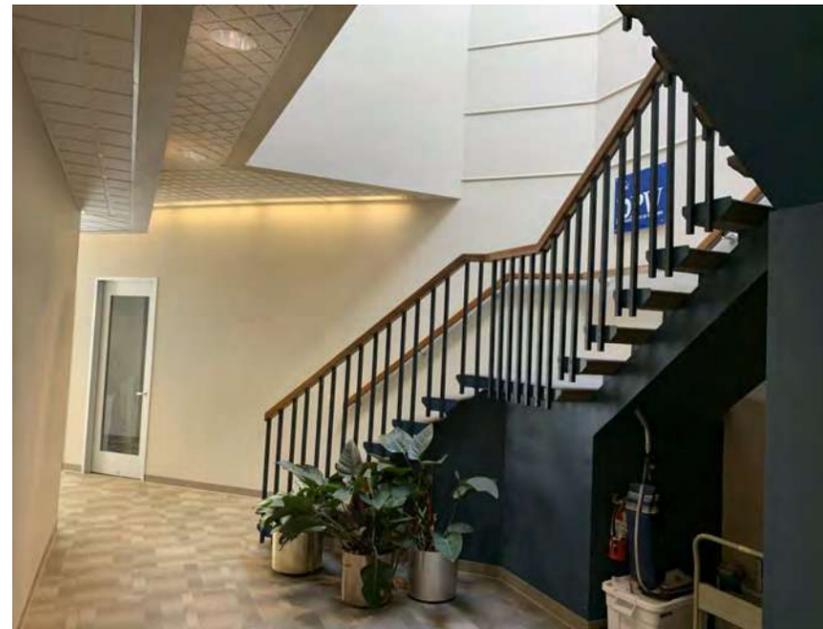
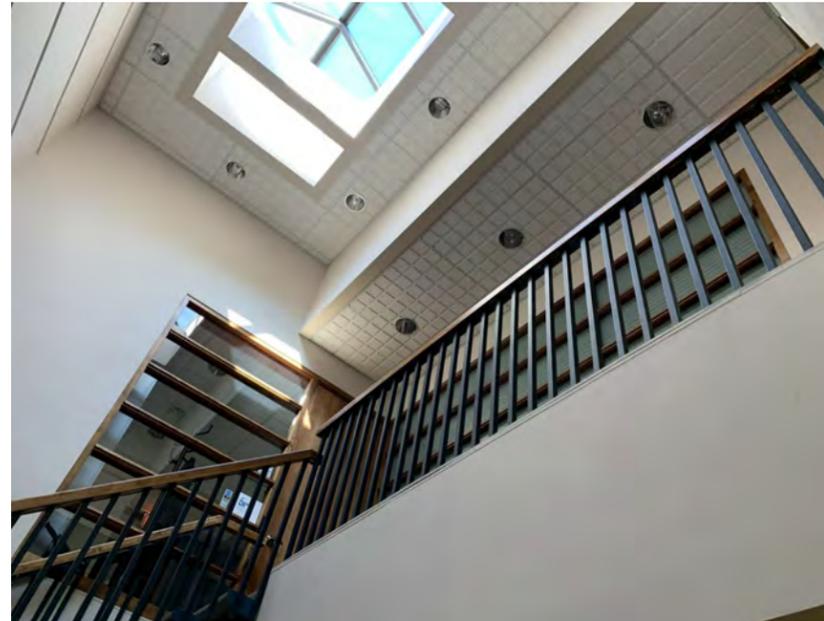
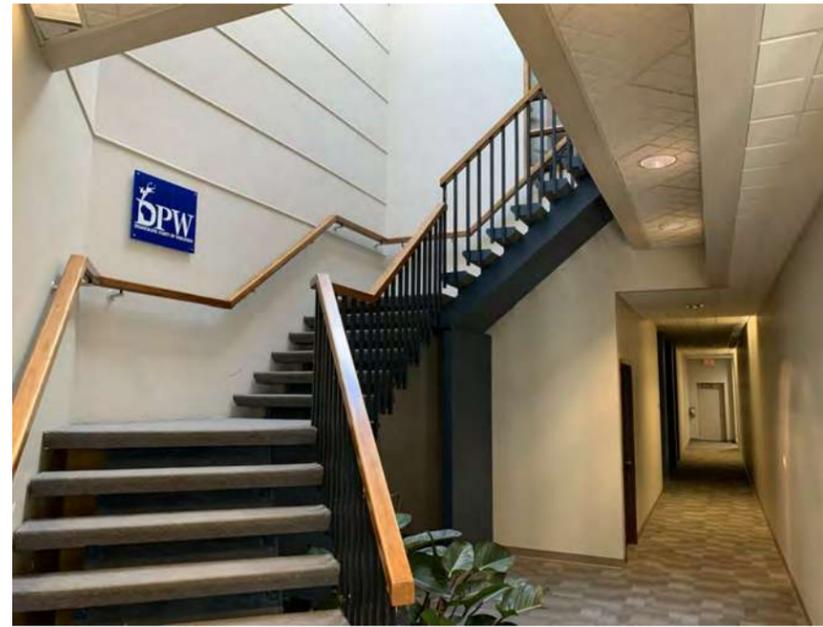
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Sheet Name

### EXISTING CONDITIONS - 7 N. PINCKNEY

Sheet Number

**0-17**



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## EXISTING CONDITIONS - 15 N. PINCKNEY

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**0-22**

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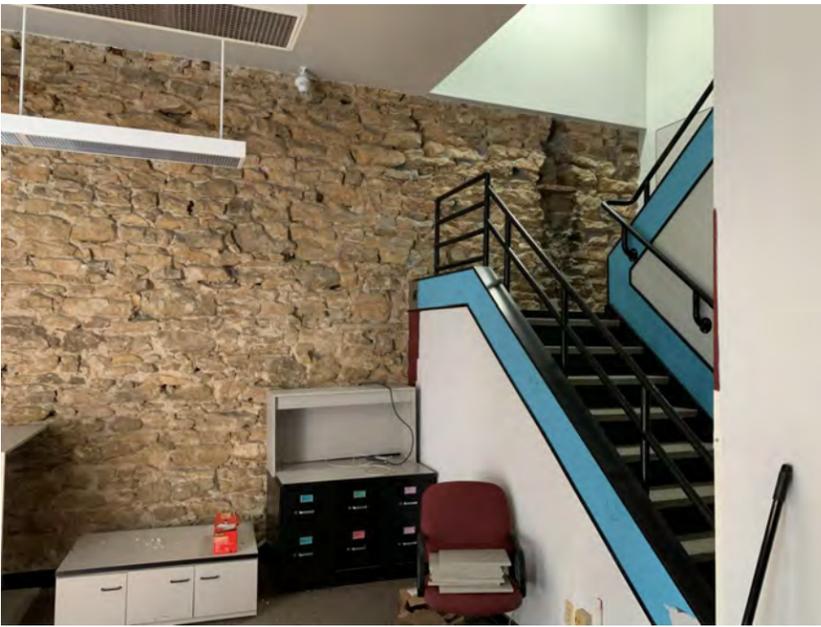
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### EXISTING CONDITIONS - 19 N. PINCKNEY

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**0-27**





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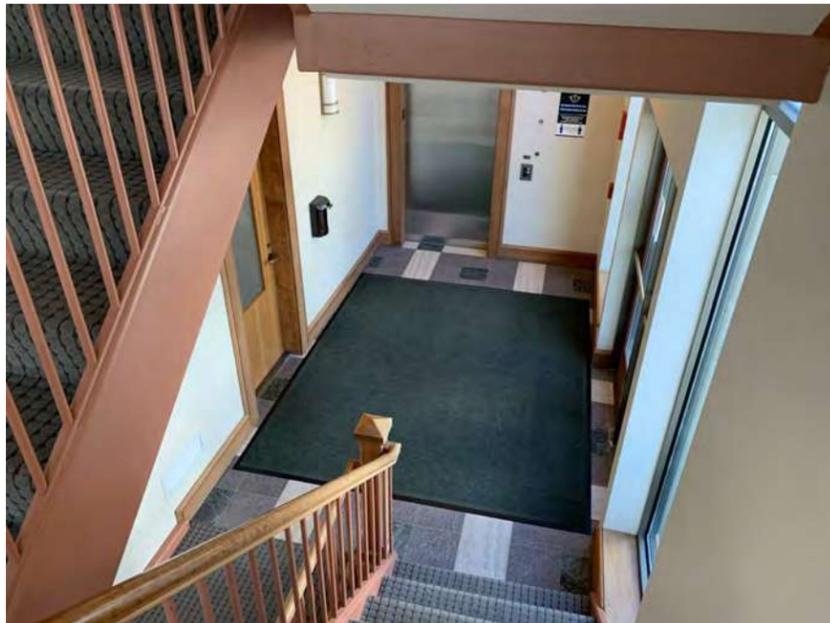
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## EXISTING CONDITIONS - 118 E. WASHINGTON

Sheet Number

**0-32**

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**HISTORIC  
PRESERVATION -  
AMERICAN EXCHANGE**

Sheet Number

**0-37**



The historic American Exchange Bank building, originally constructed in 1871, is situated at the most visible corner of the site. The building will be preserved and restored to ensure it will be the focal point of the new development. Urban Land Interests has engaged InSite Consulting Architects, a local historical preservation expert, to guide this process. The crumbling sandstone facade will be preserved while the historic finishes on the first floor maintained and incorporated into the completed project.





The City of Madison Landmarks Commission recently granted approval of ULI's variance request to allow for the demolition of the locally landmarked Centre7 building. Urban Land Interests intends to preserve the historic second floor windows in a reconstructed facade that more closely recalls the original structure.



RED DASHED LINE INDICATES RELOCATED AND RESTORED 7 N. PINCKNEY FACADE

ADJACENT FACADES ECHO SIZE AND SCALE OF THE BUILDINGS THAT SURROUND THE CAPITOL BLOCK

BUILDING SIGNAGE

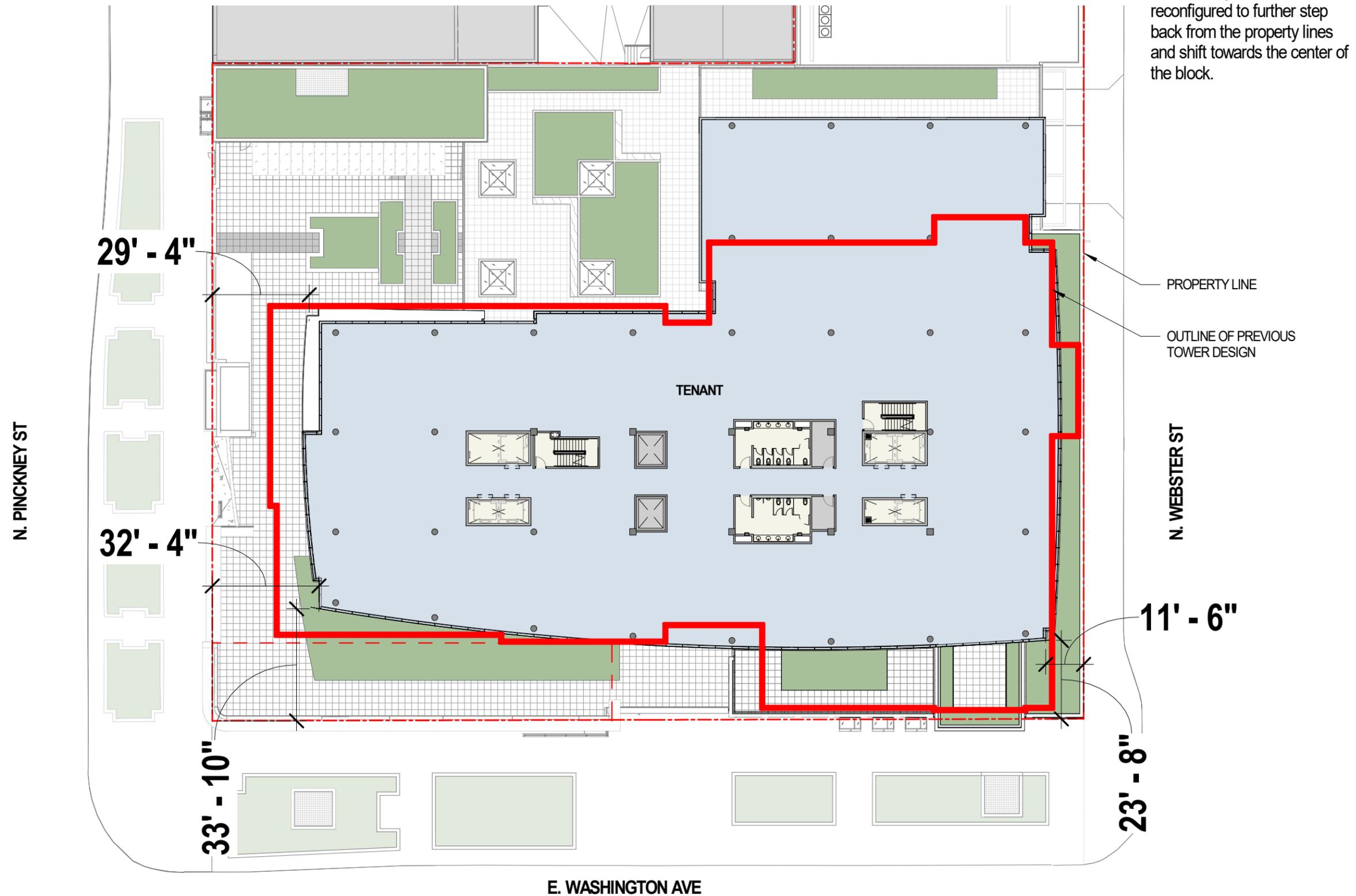
NEW TERRACOTTA TO MATCH HISTORIC TERRACOTTA

NEW ALUMINUM STOREFRONT REMINISCENT OF ORIGINAL HISTORIC BUILDING



# FOOTPRINT COMPARISON DIAGRAM

SCALE: 1/32" = 1'-0"



The building's tower was reconfigured to further step back from the property lines and shift towards the center of the block.

PROPERTY LINE

OUTLINE OF PREVIOUS TOWER DESIGN

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**FOOTPRINT COMPARISON**

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**0-39**

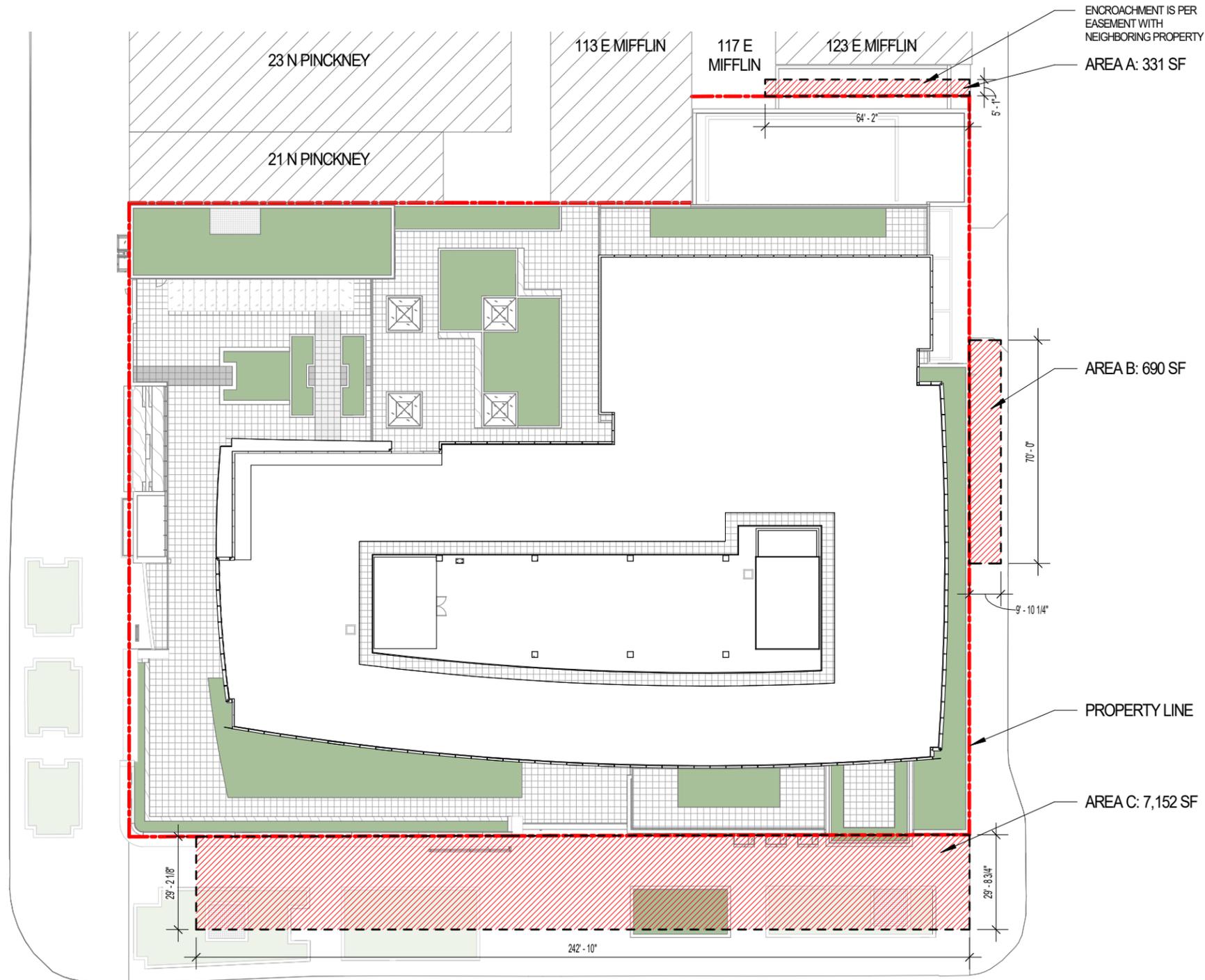
# SUBTERRANEAN ENCROACHMENT DIAGRAM

SCALE: 1" = 40'-0"



## SUBTERRANEAN ENCROACHMENT AREA

|             |          |
|-------------|----------|
| AREA A:     | 331 SF   |
| AREA B:     | 690 SF   |
| AREA C:     | 7,152 SF |
| TOTAL AREA: | 8,173 SF |



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**SUBTERRANEAN ENCROACHMENT DIAGRAM**

Sheet Number

**0-40**

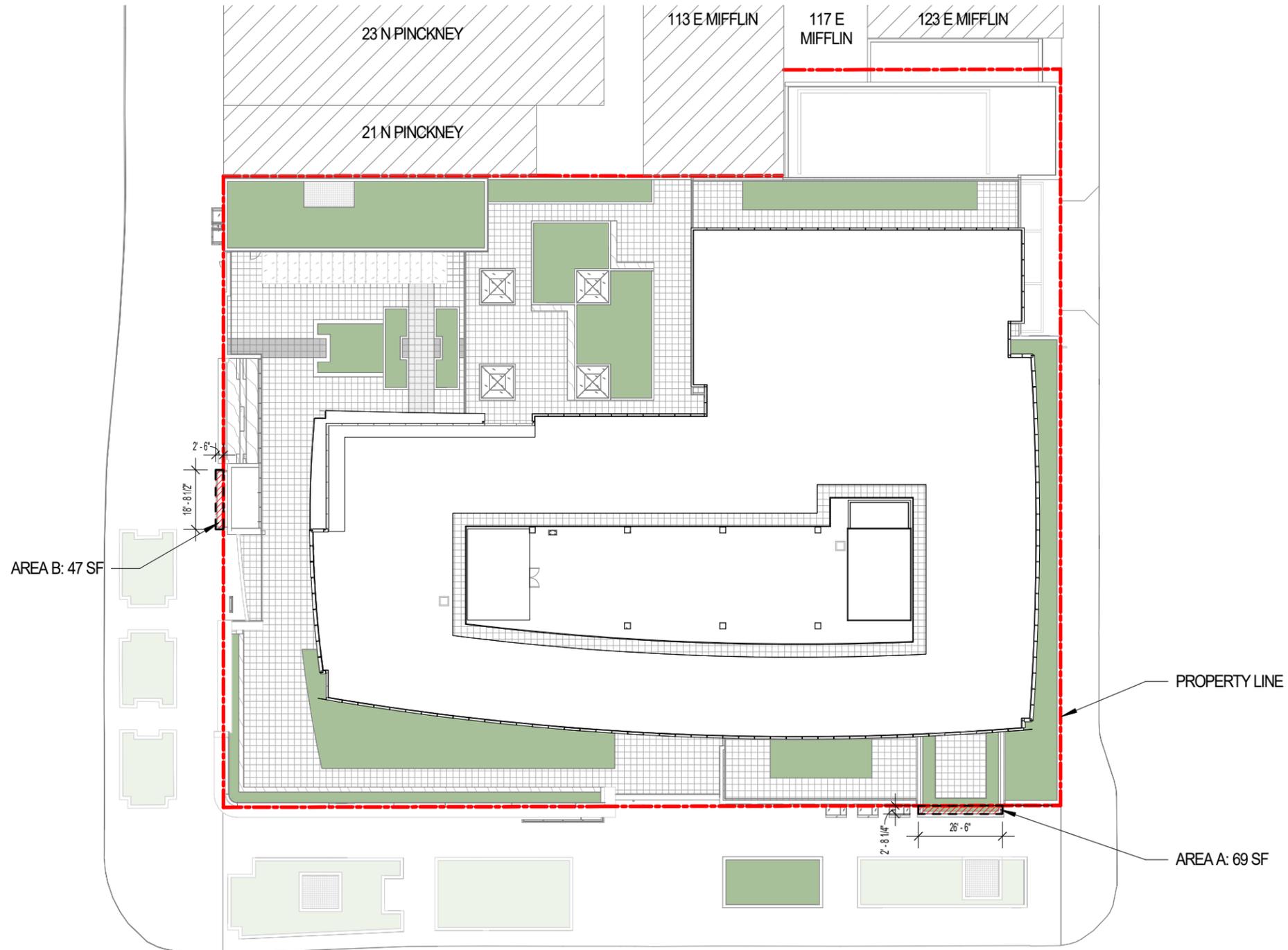
# ABOVE GRADE ENCROACHMENT DIAGRAM

SCALE: 1" = 40'-0"



## ABOVE GRADE ENCROACHMENT AREA

|             |        |
|-------------|--------|
| AREA A:     | 69 SF  |
| AREA B:     | 47 SF  |
| TOTAL AREA: | 116 SF |



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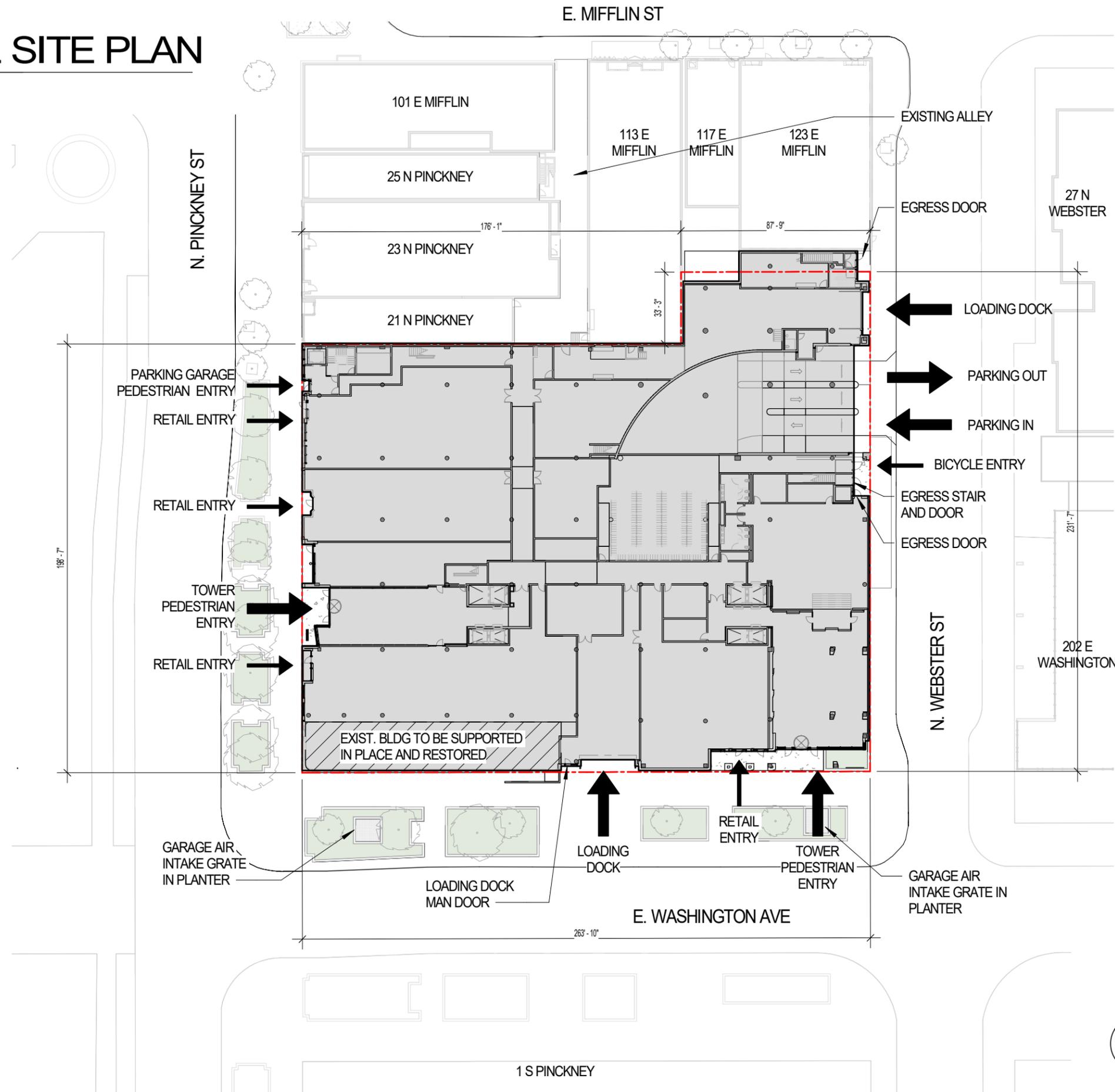
**ABOVE GRADE ENCROACHMENT DIAGRAM**

Sheet Number

**0-41**

# ARCHITECTURAL SITE PLAN

SCALE: 1" = 50'-0"



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## ARCHITECTURAL SITE PLAN

Sheet Number

1-00

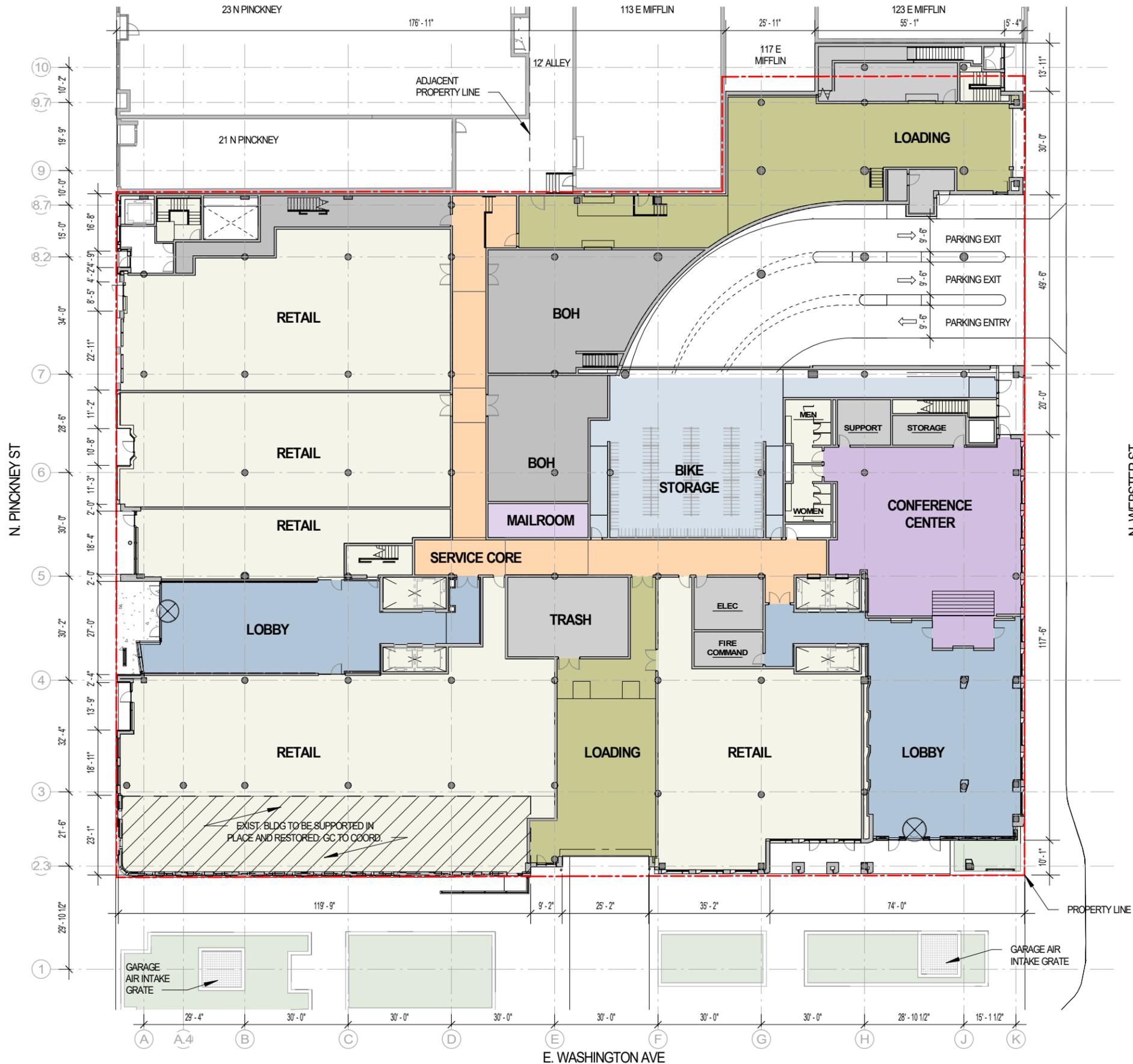


# LEVEL 01 - RETAIL AND LOBBY PLAN

SCALE: 1/32" = 1'-0"



| AREA SUMMARY |                          |                        |
|--------------|--------------------------|------------------------|
| LEVEL        | INTERIOR GROSS AREA (SF) | FLOOR USABLE AREA (SF) |
| LEVEL 01     | 48,007                   | 19,788                 |
| LEVEL 02     | 46,871                   | 37,016                 |
| LEVEL 03     | 52,691                   | 50,389                 |
| LEVEL 04     | 44,326                   | 37,465                 |
| LEVEL 05     | 33,476                   | 31,915                 |
| LEVEL 06     | 33,068                   | 31,715                 |
| LEVEL 07     | 31,594                   | 30,241                 |
| LEVEL 08     | 29,147                   | 27,794                 |
| LEVEL 09     | 28,477                   | 27,124                 |
| <b>TOTAL</b> | <b>347,657</b>           | <b>293,447</b>         |



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LEVEL 01 PLAN

Sheet Number

1-01

# LEVEL 02 - OFFICE PLAN

SCALE: 1/32" = 1'-0"



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**LEVEL 02 PLAN**

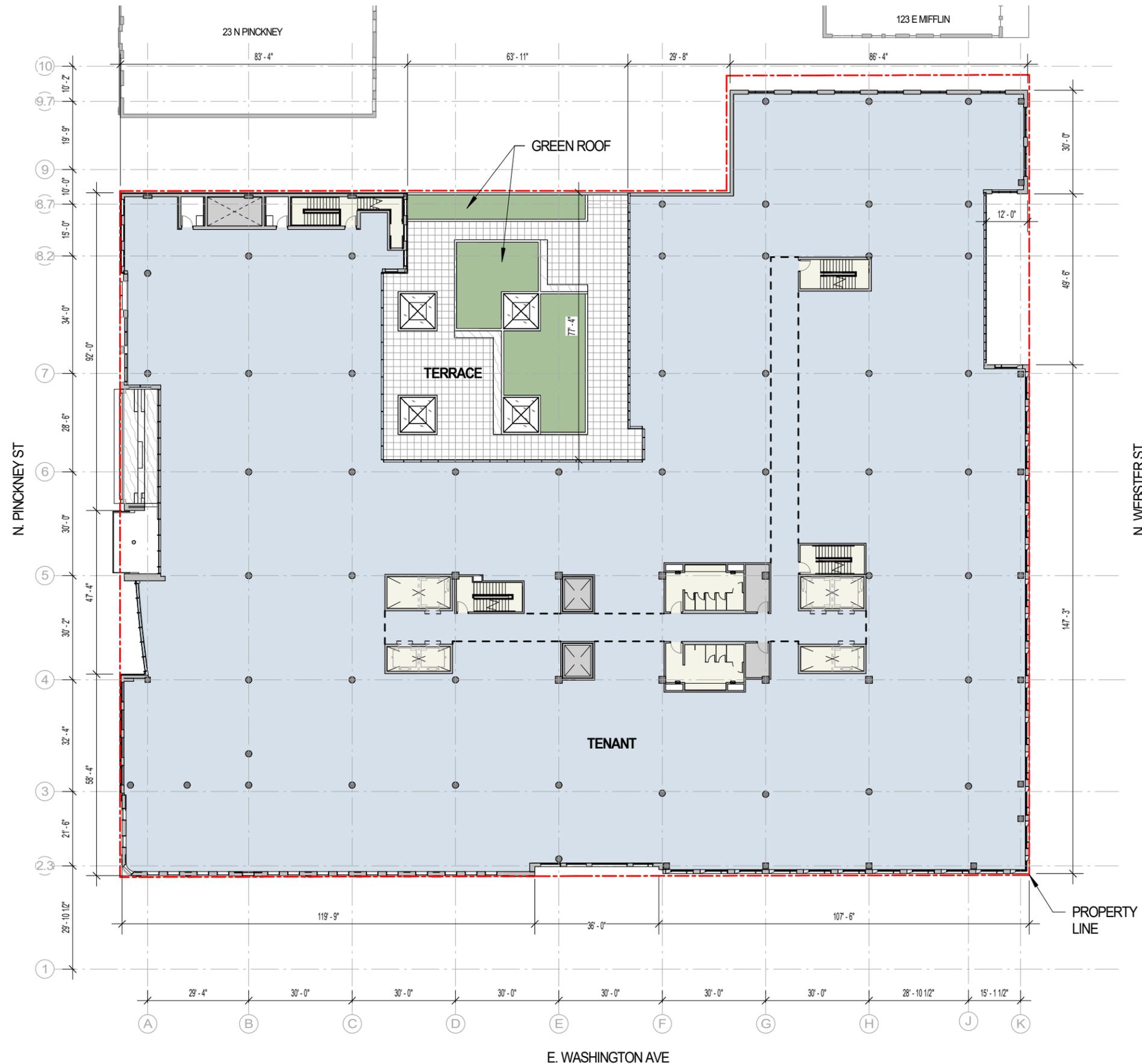
Sheet Number

**1-02**



# LEVEL 03 - OFFICE PLAN

SCALE: 1/32" = 1'-0"



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**LEVEL 03 PLAN**

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**1-03**

# LEVEL 04 - OFFICE PLAN

SCALE: 1/32" = 1'-0"



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**LEVEL 04 PLAN**

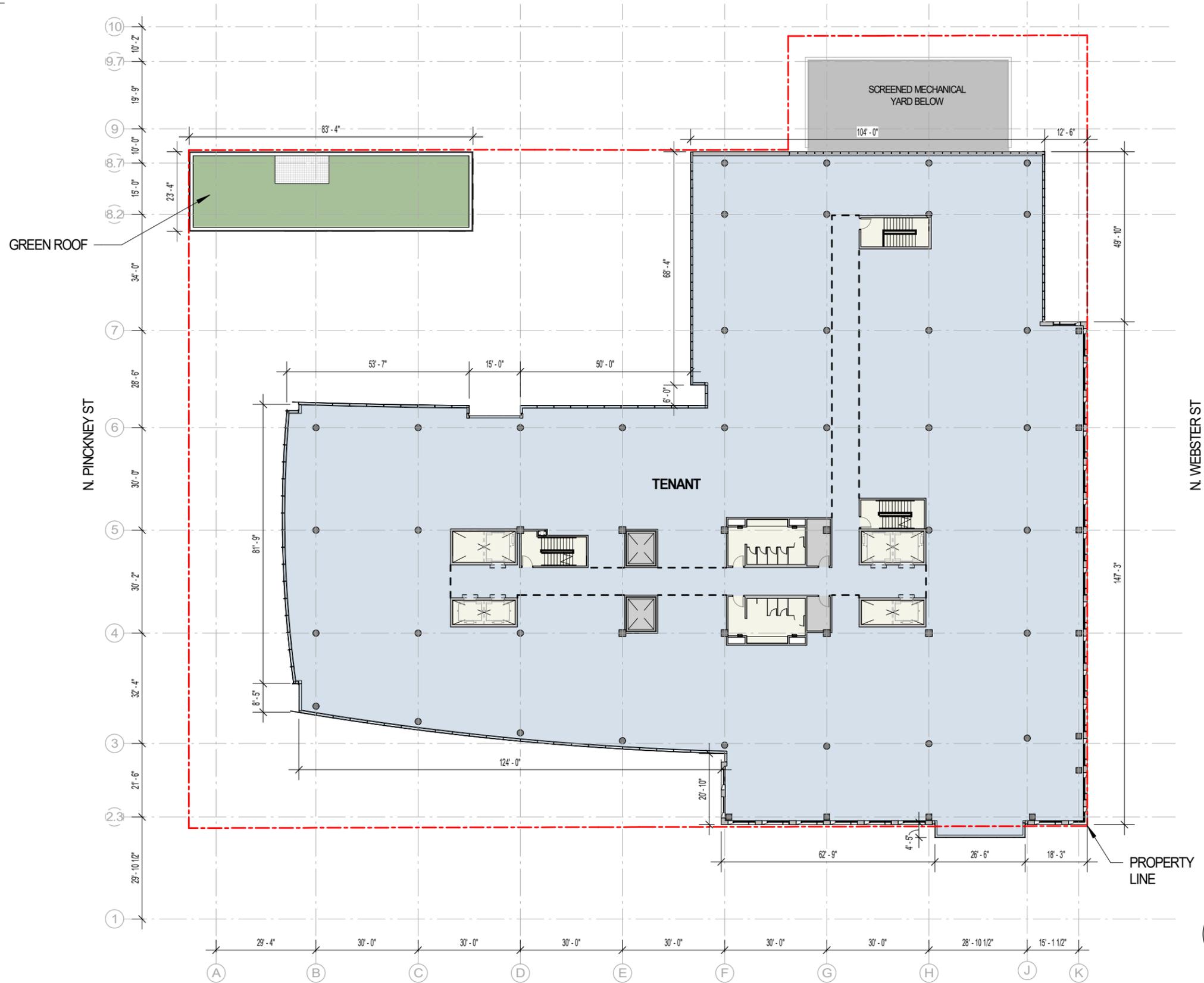
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**1-04**



# LEVEL 05 - OFFICE PLAN

SCALE: 1/32" = 1'-0"



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**LEVEL 05 PLAN**

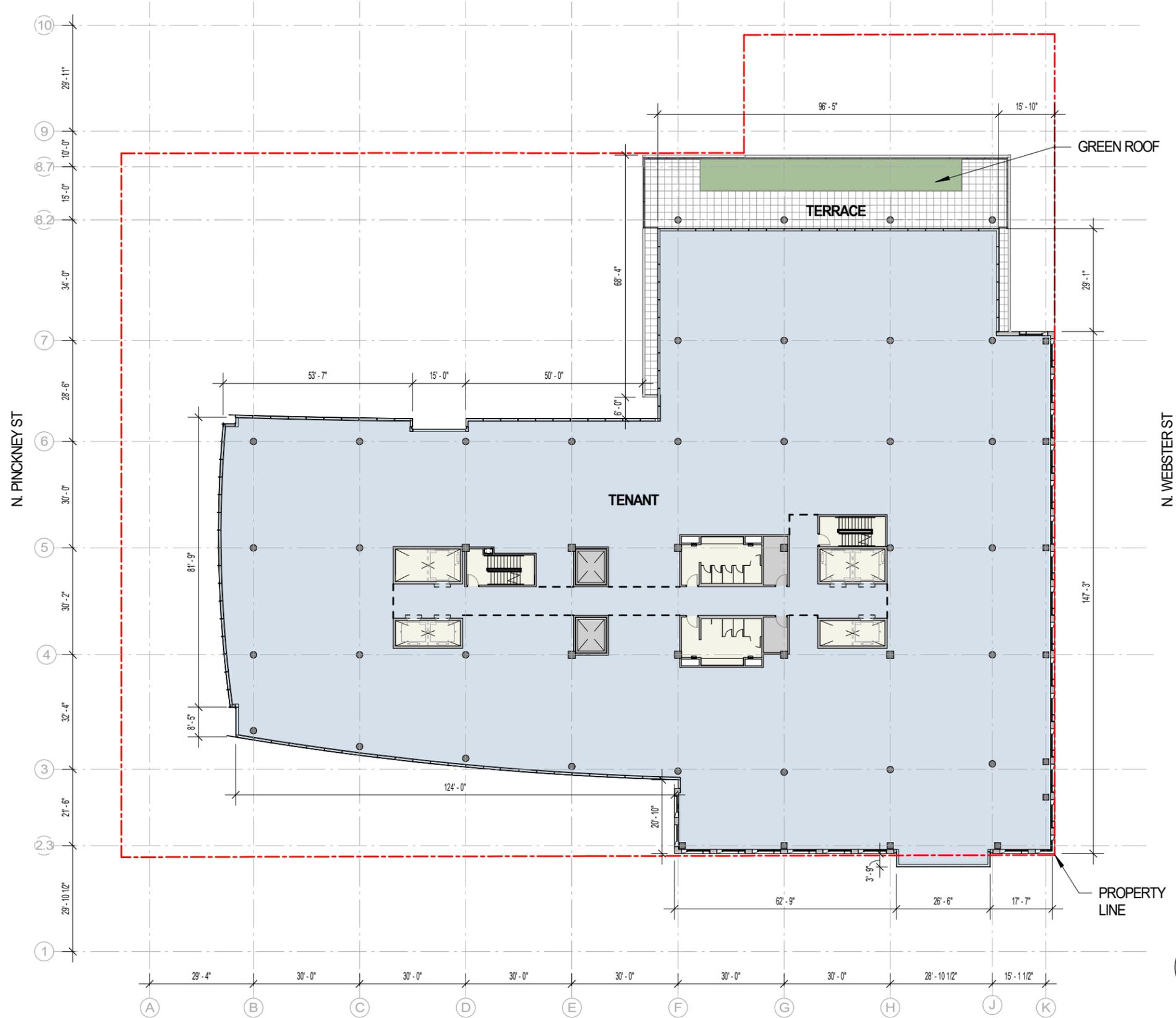
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# LEVEL 06 - OFFICE PLAN

SCALE: 1/32" = 1'-0"



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**LEVEL 06 PLAN**

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**1-06**

# LEVEL 07 - OFFICE PLAN

SCALE: 1/32" = 1'-0"



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## LEVEL 07 PLAN

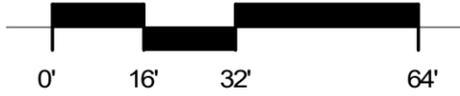
Sheet Number

# 1-07



# LEVEL 08 - OFFICE PLAN

SCALE: 1/32" = 1'-0"



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**LEVEL 08 PLAN**

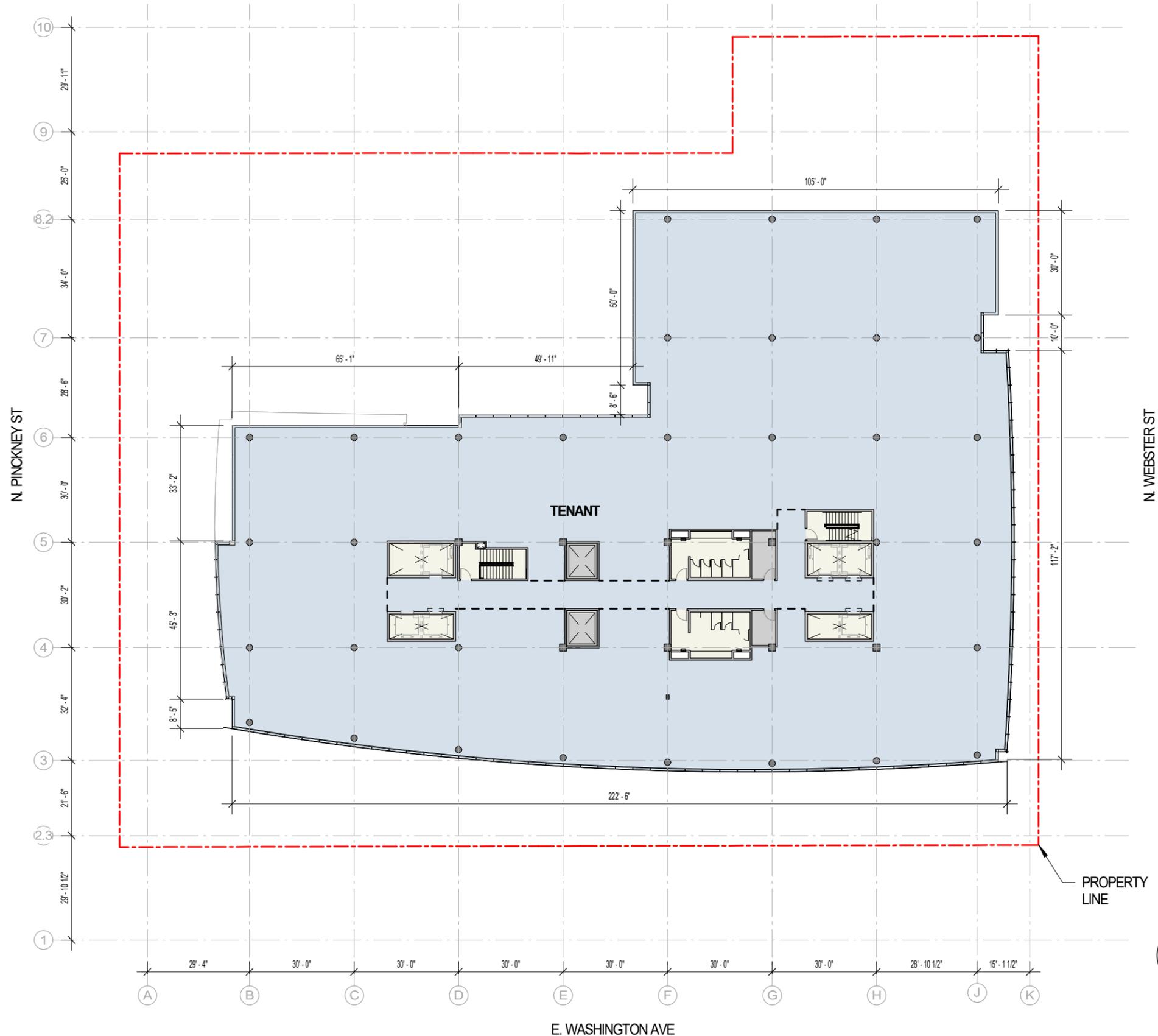
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# LEVEL 09 - OFFICE PLAN

SCALE: 1/32" = 1'-0"



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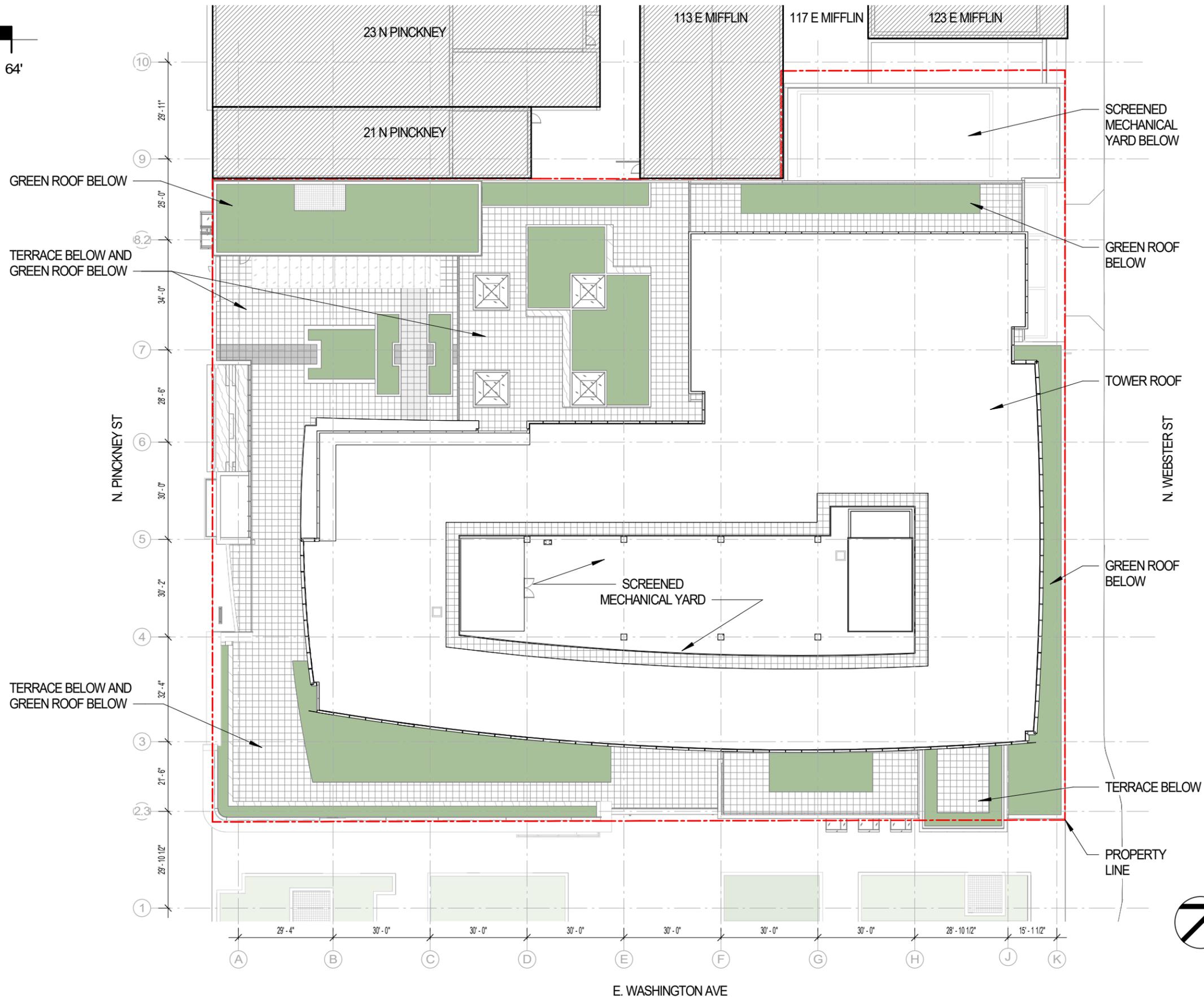
**LEVEL 09 PLAN**

Sheet Number

**1-09**

# ROOF PLAN

SCALE: 1/32" = 1'-0"



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## ROOF PLAN

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1-10



# LEVEL P1 - LOWER LEVEL PARKING PLAN

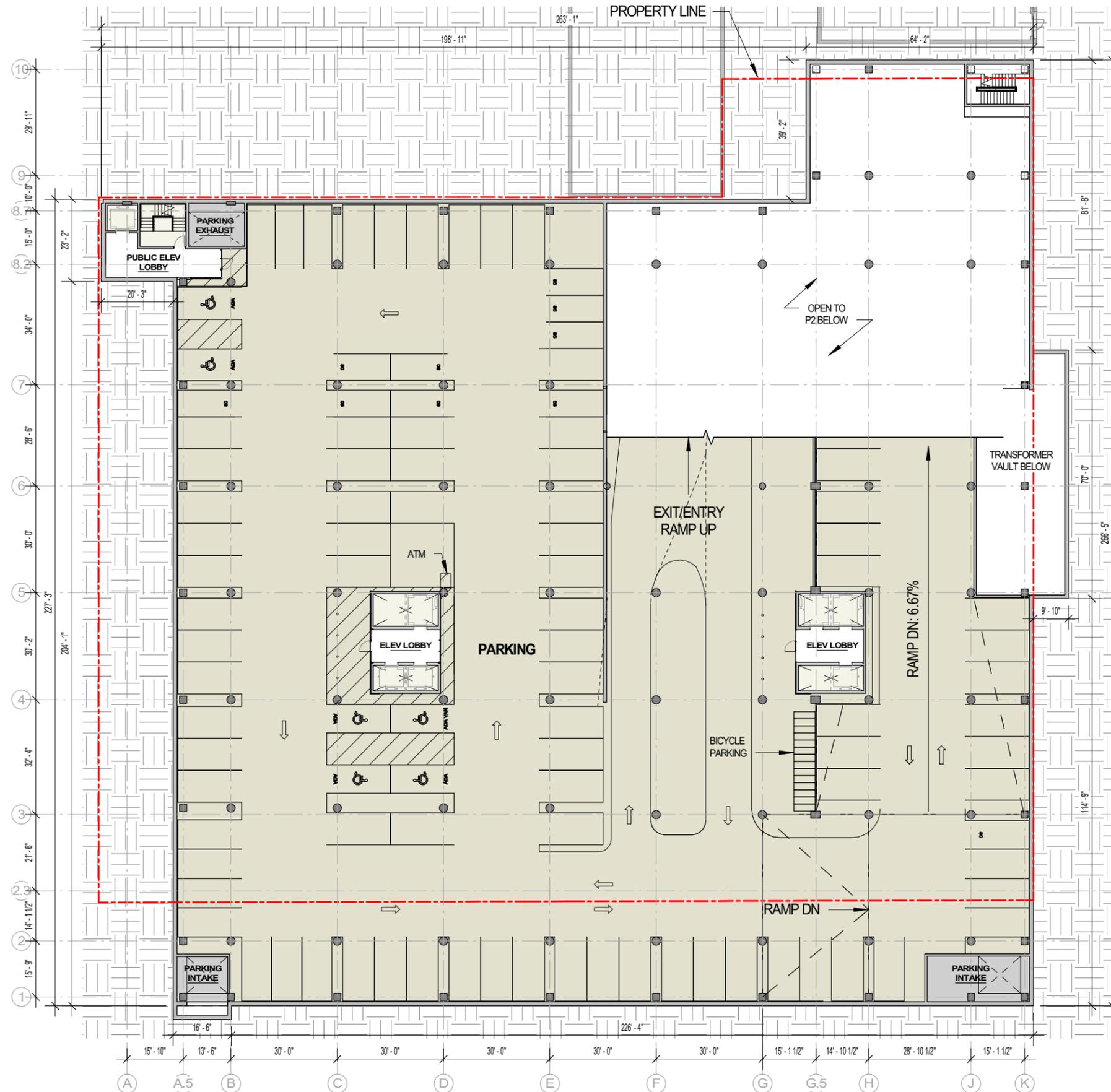
SCALE: 1/32" = 1'-0"



## PARKING STALL COUNTS

2.5 STALLS PER 1,000 SF OFFICE  
(844 STALLS; ~331,000 SF OFFICE)

| LEVEL               | STALLS     |
|---------------------|------------|
| LEVEL P1            | 85         |
| LEVEL P2            | 144        |
| LEVEL P3            | 149        |
| LEVEL P4            | 154        |
| LEVEL P5            | 154        |
| LEVEL P6            | 158        |
| <b>TOTAL STALLS</b> | <b>844</b> |



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312.260.7300

Developer



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Project Name

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Project Address

A Portion of Block 101  
in the City of Madison,  
Wisconsin

Project Number

18038.00

Date

08/12/20

Sheet Name

**PARKING LEVEL P1**

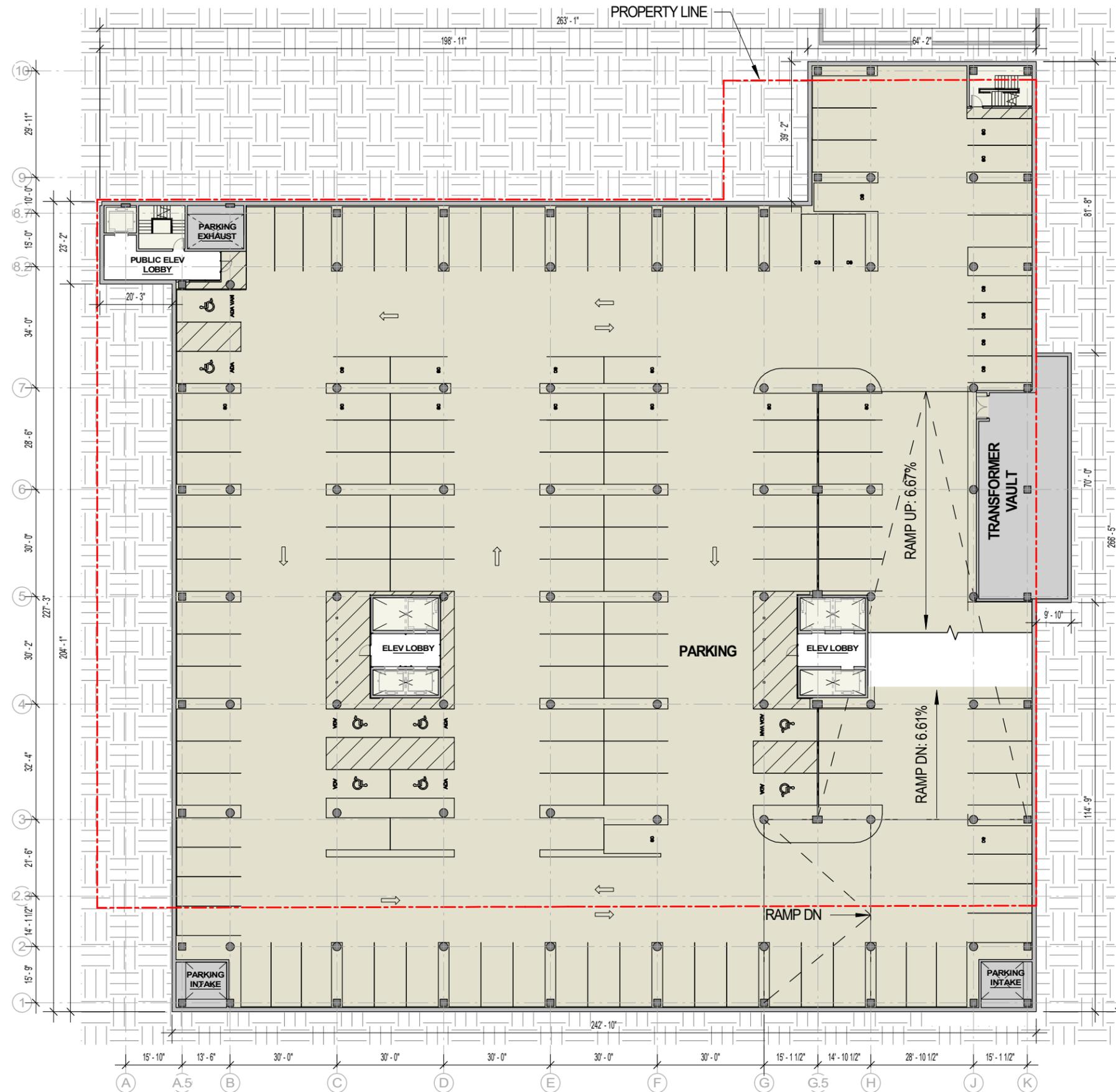
Sheet Number

**1-P1**



# LEVEL P2 - LOWER LEVEL PARKING PLAN

SCALE: 1/32" = 1'-0"



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**PARKING LEVEL P2**

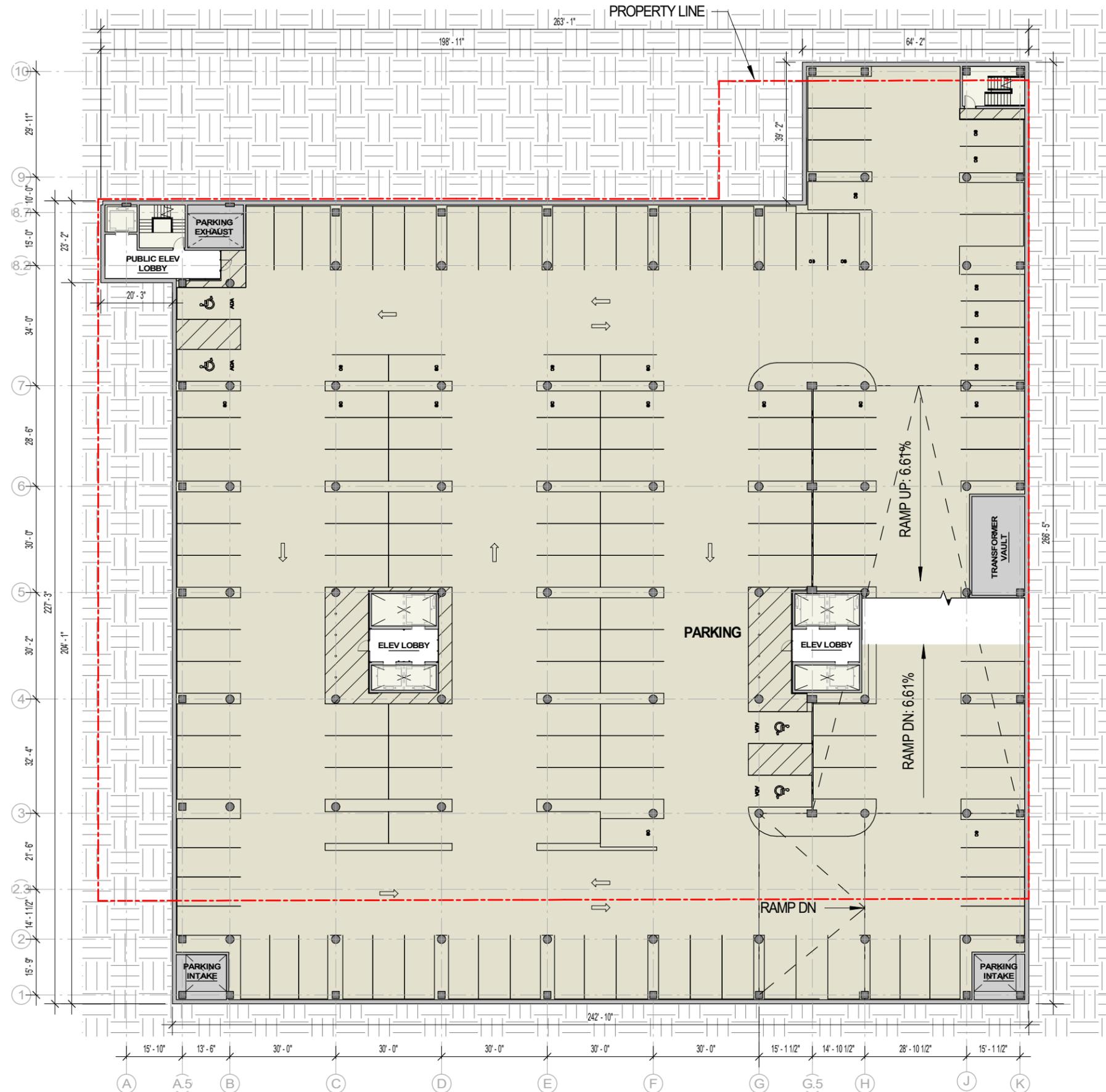
Sheet Number

**1-P2**



# LEVEL P3 - LOWER LEVEL PARKING PLAN

SCALE: 1/32" = 1'-0"



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**PARKING LEVEL P3**

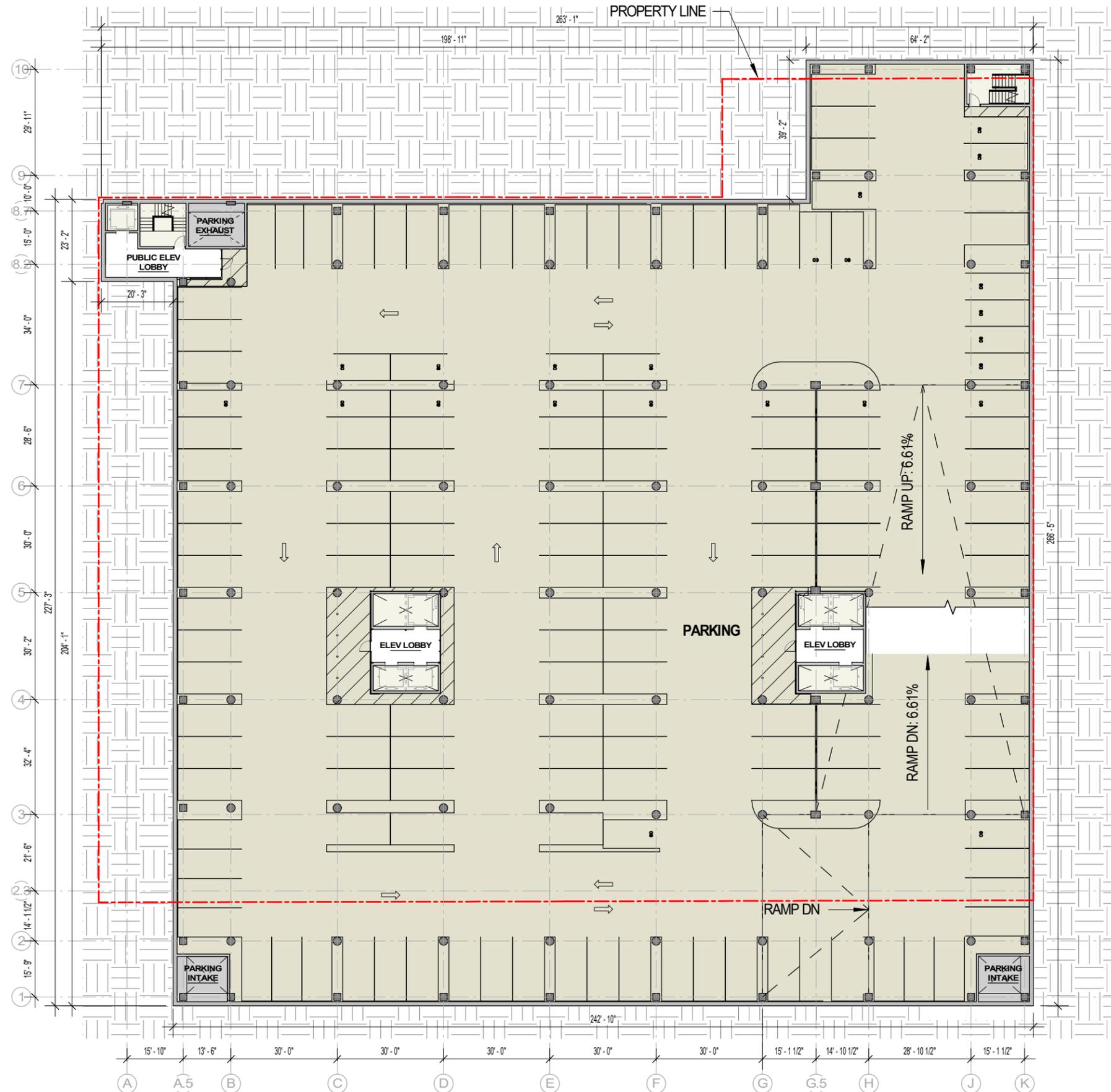
Sheet Number

**1-P3**



# LEVEL P4 - LOWER LEVEL PARKING PLAN

SCALE: 1/32" = 1'-0"



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**PARKING LEVEL P4**

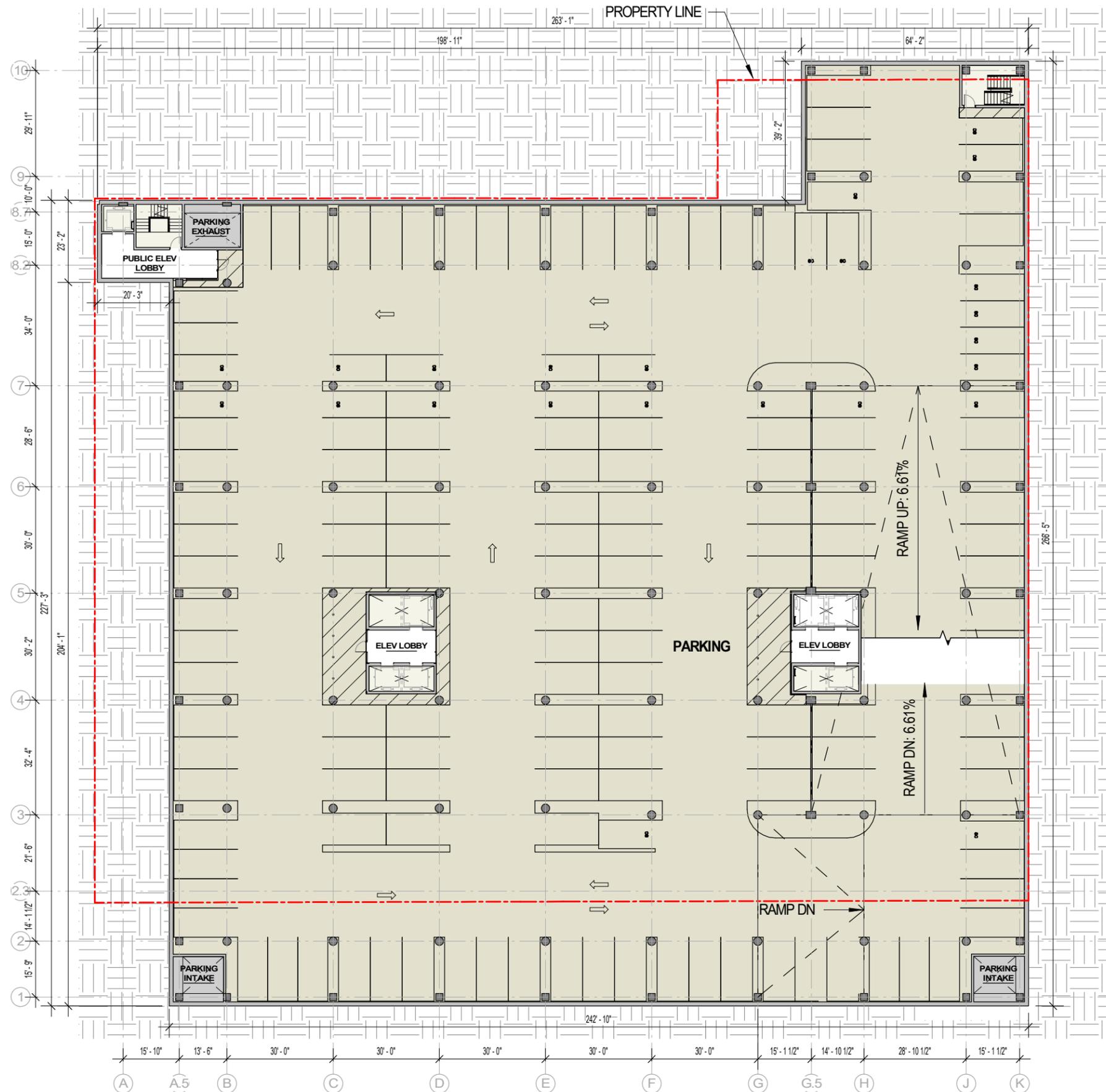
Sheet Number

**1-P4**



# LEVEL P5 - LOWER LEVEL PARKING PLAN

SCALE: 1/32" = 1'-0"



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**PARKING LEVEL P5**

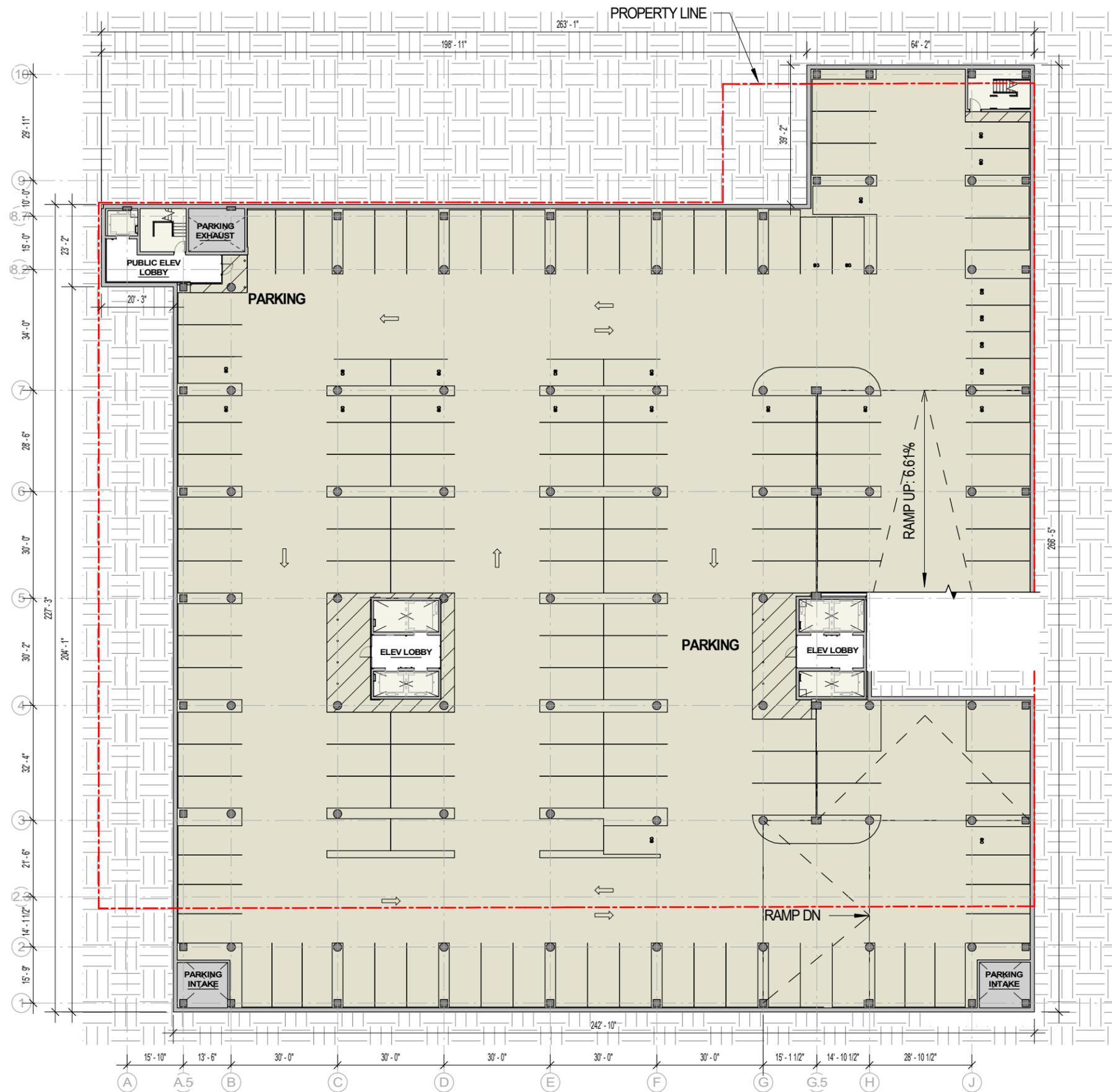
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**1-P5**



# LEVEL P6 - LOWER LEVEL PARKING PLAN

SCALE: 1/32" = 1'-0"



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**PARKING LEVEL P6**

Sheet Number

**1-P6**



# EXTERIOR MATERIAL LEGEND

| MARK                  | DESCRIPTION  | MANUF.       | PRODUCT NAME/ NO. | COLOR/ FINISH                    | COMMENTS                                    |
|-----------------------|--|--------------|-------------------|----------------------------------|---|
| <b>GLAZING SYSTEM</b> |  |              |                   |                                  |   |
| CW-01                 | ALUM CURTAIN WALL - 4 SIDED SSG  | KAWNEER      | CLEARWALL         |                                  | AT TOWER                                    |
| CW-02                 | ALUM CURTAIN WALL - 2 SIDED SSG, VERTICAL CAPTURE W/ EXTRUDED MULLION CAPS | KAWNEER      | 1600 SERIES 2     |                                  | AT TOWER                                    |
| CW-03                 | ALUM CURTAIN WALL W/ SPIDER FITTINGS                                       | SADEV        | CUSTOM            |                                  | AT E. WASH LOBBY                            |
| CW-04                 | ALUM CURTAIN WALL W/ EXTRUDED MULLION CAPS                                 | KAWNEER      | SERIES 1600       |                                  |   |
| CW-05                 | ALUM CURTAIN WALL W/ GLASS MULLIONS  | OLD CASTLE   | CUSTOM            |                                  | AT PINCKNEY LOBBY                           |
| CW-06                 | ALUM CURTAIN WALL / 2 SIDED SSG AND HORIZONTAL CAPTURE                     | KAWNEER      | 1600 SERIES 2     |                                  |   |
| SF-01                 | ALUM THERMALLY BROKEN WINDOW SYSTEM  | KAWNEER      | NXT-3800 SERIES   | CLEAR ANODIZED                   | ANODIZED                                    |
| SF-02                 | ALUM THERMALLY BROKEN WINDOW SYSTEM  | KAWNEER      | NXT-3800 SERIES   | DARK GRAY                        | TBD/MICA PAINT FINISH                       |
| SF-03                 | ALUM THERMALLY BROKEN WINDOW SYSTEM  | KAWNEER      | NXT-3800 SERIES   | MEDIUM BRONZE                    | ANODIZED                                    |
| SF-04                 | ALUM THERMALLY BROKEN WINDOW SYSTEM  | KAWNEER      | NXT-3800 SERIES   | DARK BRONZE                      | ANODIZED                                    |
| SF-05                 | ALUM THERMALLY BROKEN WINDOW SYSTEM  | KAWNEER      | NXT-3800 SERIES   | CHAMPAGNE                        | ANODIZED                                    |
| SF-06                 | ALUM THERMALLY BROKEN WINDOW SYSTEM  | KAWNEER      | NXT-3800 SERIES   | LIGHT BRONZE                     | ANODIZED                                    |
| SF-07                 | ALUM THERMALLY BROKEN WINDOW SYSTEM W/ EXTRUDED MULLION CAPS               | KAWNEER      | NXT-3800 SERIES   | MEDIUM BRONZE                    | ANODIZED                                    |
| <b>GLASS</b>          |  |              |                   |                                  |   |
| GL-01                 | LOW IRON GLAZING   |              |                   |                                  | NOT USED                                    |
| GL-02                 | STANDARD GLASS   | VIRACON      | RADIANT LOW-E     | VRE1-59                          |   |
| GL-02X                | STANDARD GLASS SPANDREL  | VIRACON      | RADIANT LOW-E     | TO MATCH GL-04                   |   |
| GL-03                 | BLUE TINTED GLASS  | VIRACON      | LOW-E             | VE6-42                           |   |
| GL-03X                | BLUE TINTED GLASS SPANDREL   | VIRACON      | LOW-E             | TO MATCH GL-03                   |   |
| GL-10                 | GLASS BLOCK  |              |                   |                                  |   |
| <b>METAL PANEL</b>    |  |              |                   |                                  |   |
| MTL-01                | COMPOSITE METAL PANEL  |              |                   | LIGHT BRONZE / MICA PAINT FINISH | COMPANION BUILDING ENTRY                    |
| MTL-02                | COMPOSITE METAL PANEL  |              |                   | TBD/ MICA PAINT FINISH           | WEBSTER EGRESS PAVILLION                    |
| MTL-03                | COMPOSITE METAL PANEL  |              |                   | TBD/ MICA PAINT FINISH           |   |
| MTL-04                | BRAKE METAL  |              |                   | TBD/ MICA PAINT FINISH           |   |
| MTL-05                | SOFFIT PANEL   |              |                   |                                  |   |
| MTL-06                | PLATE ALUMINUM   |              |                   | BRUSHED ALUMINUM                 | AT STEP BUILDING WINDOW SURROUNDS           |
| MTL-07                | METAL TRIM   |              |                   | TBD/ MICA PAINT FINISH           | AT FOUR STORY ENTRANCE                      |
| MTL-08                | METAL TRIM   |              |                   | CHAMPAGNE                        | BALCONY SLAB EDGE COVERS                    |
| MTL-09                | COLUMN ENCLOSURE   |              |                   | BRUSHED ALUMINUM                 |   |
| MTL-10                | PERFORATED CORRUGATED METAL EQUIPMENT SCREEN                               |              |                   | TBD/ MICA PAINT FINISH           |   |
| MTL-11                | METAL TRIM FRAMING   |              |                   | CHAMPAGNE                        | TRIM @ PINCKNEY ENTRY                       |
| MTL-12                | METAL TRIM FRAMING   |              |                   | LIGHT BRONZE                     | CORNICE AT COMPANION BUILDING               |
| MTL-13                | METAL TRIM FRAMING   |              |                   | TBD/ MICA PAINT FINISH           | CORNICE AT E. WASHINGTON LOADING DOCK       |
| <b>MASONRY</b>        |  |              |                   |                                  |   |
| ST-01                 | STONE PANEL  |              |                   | INDIANA LIMESTONE                | HONED FINISH                                |
| ST-02                 | STONE PANEL  | VETTER STONE |                   | GLACIER BUFF                     | TAPESTRY FINISH                             |
| ST-03A                | STONE PANEL  | EATHWORKS    |                   | EW GOLD                          | HONED FINISH                                |
| ST-03B                | STONE PANEL  | EATHWORKS    |                   | EW GOLD                          | SANDBLASTED FINISH                          |
| STB-01                | STONE BASE   |              |                   | MASON GRANITE BEIGE              | FLAMED FINISH                               |
| STB-02                | STONE BASE   | STONE DESIGN |                   | WILLHOITE SUEDE                  | POLISHED FINISH                             |
| STB-03                | STONE BASE   | COLDSPRING   |                   | MESABI BLACK                     | FLAMED FINISH                               |
| STB-10                | STONE BASE   | POLYCOR      |                   | PICASSO                          | ANTIQUÉ FINISH                              |
| STB-11                | STONE BASE   | DAKOTA       |                   | MAHOGANY                         | POLISHED FINISH                             |
| STB-12                | STONE BASE   | COLDSPRING   |                   | MESABI BLACK                     | FLAMED FINISH                               |
| BR-01                 | BRICK  | YANKEE HILL  |                   | G1 - SMOOTH                      | AT 4 STORY FACADE                           |
| BR-02                 | BRICK  | YANKEE HILL  |                   | SALMON - SMOOTH                  | AT STEP FACADE                              |
| BR-03                 | BRICK  | YANKEE HILL  |                   | CREIGHTON - SMOOTH               | AT WEBSTER LOADING DOCK                     |
| BR-04                 | BRICK  | YANKEE HILL  |                   | FL TAN - SMOOTH                  | AT EAST WASHINGTON LOADING DOCK             |
| CMU-01                | CONCRETE MASONRY UNIT  |              |                   |                                  | ALLEY AND WALLS ADJACENT EXISTING BUILDINGS |
| <b>CONCRETE</b>       |  |              |                   |                                  |   |
| CONC-01               | CONCRETE COLUMN  |              |                   |                                  |   |
| CONC-02               | CONCRETE PLANTER   |              |                   |                                  |   |
| SL-01                 | PRECAST CONCRETE SILL  |              |                   | COLOR TO MATCH BR-01             |   |
| SL-02                 | PRECAST CONCRETE SILL  |              |                   | COLOR TO MATCH BR-02             |   |
| SL-03                 | PRECAST CONCRETE SILL  |              |                   | COLOR TO MATCH BR-03             |   |
| <b>RAILING</b>        |  |              |                   |                                  |   |
| RL-01                 | CABLE RAIL   |              |                   |                                  |   |
| RL-02                 | GLASS RAIL   |              |                   |                                  |   |
| <b>OTHER</b>          |  |              |                   |                                  |   |
| LV-01                 | MTL LOUVER   |              |                   | TBD/ MICA PAINT FINISH           |   |
| LV-02                 | MTL LOUVER   |              |                   | TBD/ MICA PAINT FINISH           |   |

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EXCHANGE  
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Date

08/12/20

Sheet Name

**EXTERIOR MATERIAL  
LEGEND**

Sheet Number

**2-00**

# N. PINCKNEY STREET - COLOR ELEVATION

SCALE: 1" = 30'-0"



# VALERIO DEWALT TRAIN

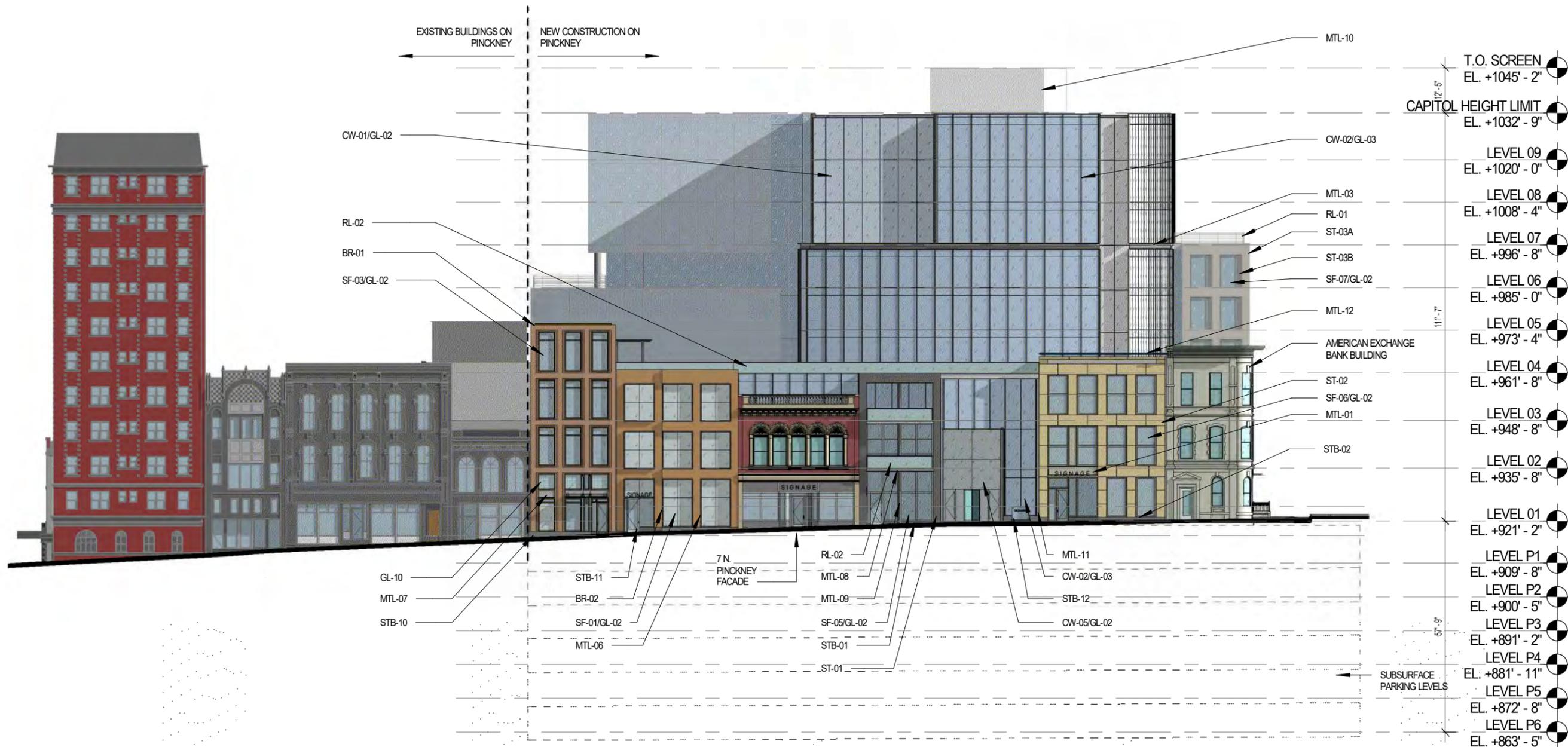
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Sheet Name

**PINCKNEY ELEVATION**

Sheet Number

**2-01**

# E. WASHINGTON AVENUE - COLOR ELEVATION

SCALE: 1" = 30'-0"



# VALERIO DEWALT TRAIN

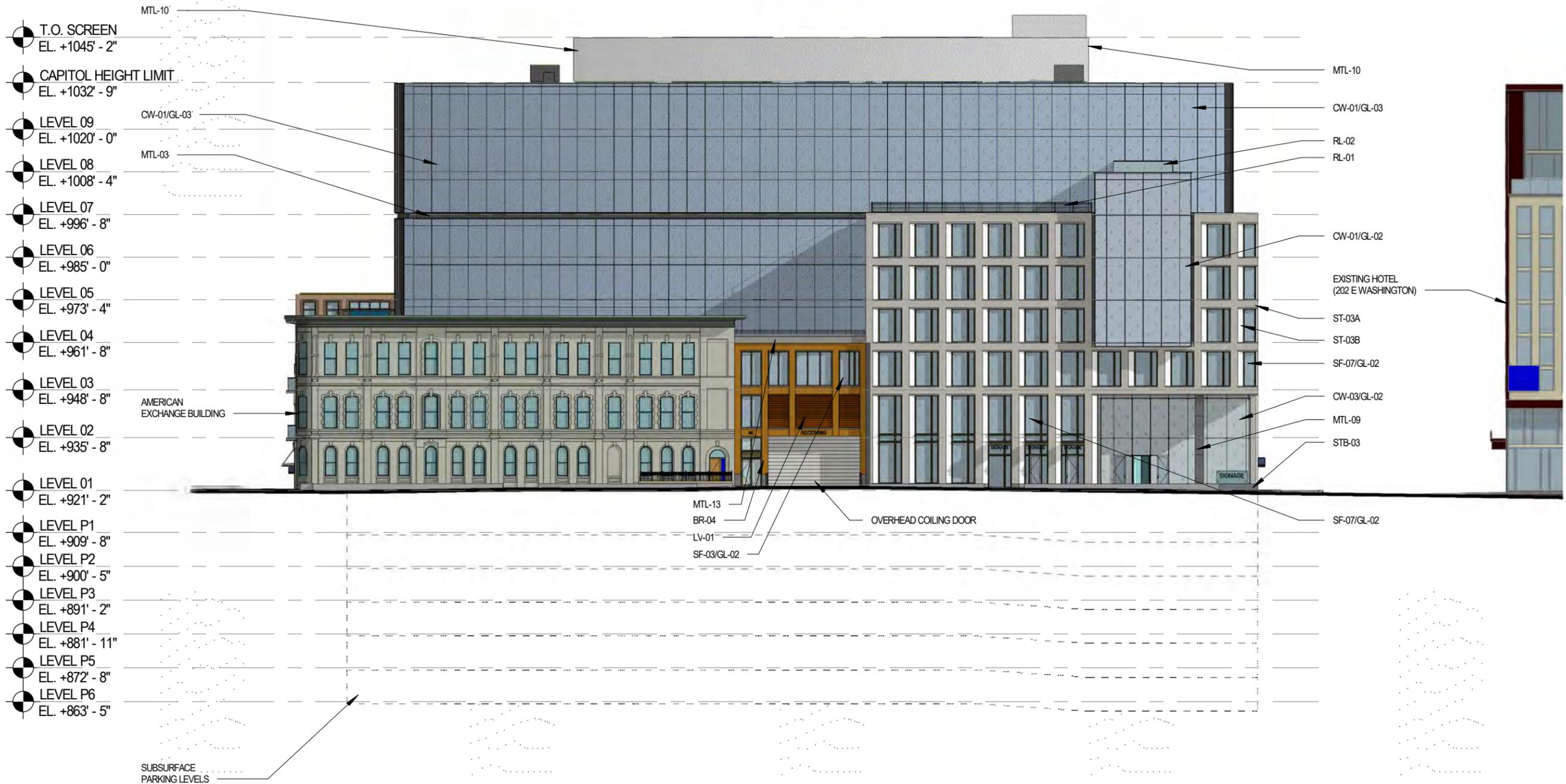
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Sheet Name

**WASHINGTON ELEVATION**

Sheet Number

**2-02**

# N. WEBSTER STREET - COLOR ELEVATION

SCALE: 1" = 30'-0"



# VALERIO DEWALT TRAIN

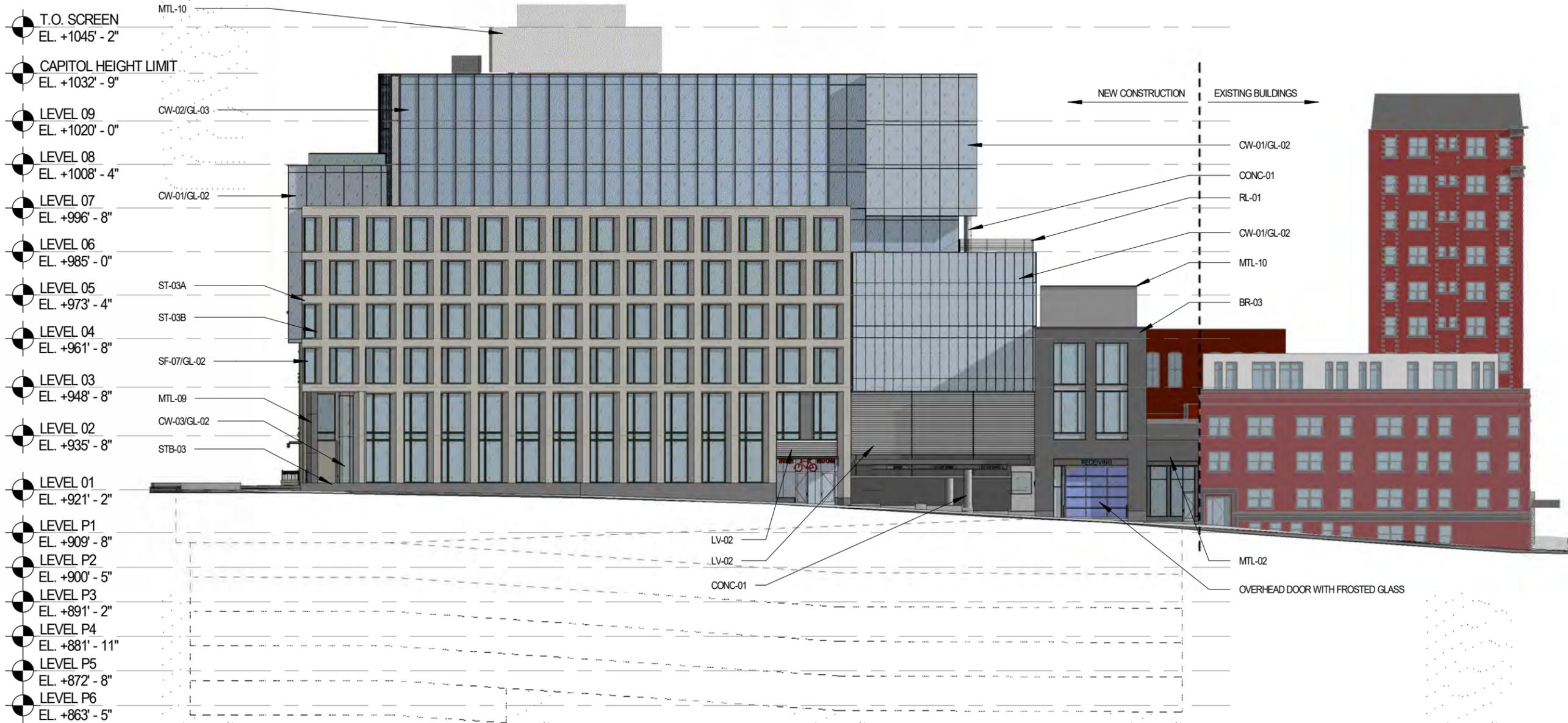
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Sheet Name

**WEBSTER ELEVATION**

Sheet Number

**2-03**

# NORTH FACADE - COLOR ELEVATION

SCALE: 1" = 30'-0"



# VALERIO DEWALT TRAIN

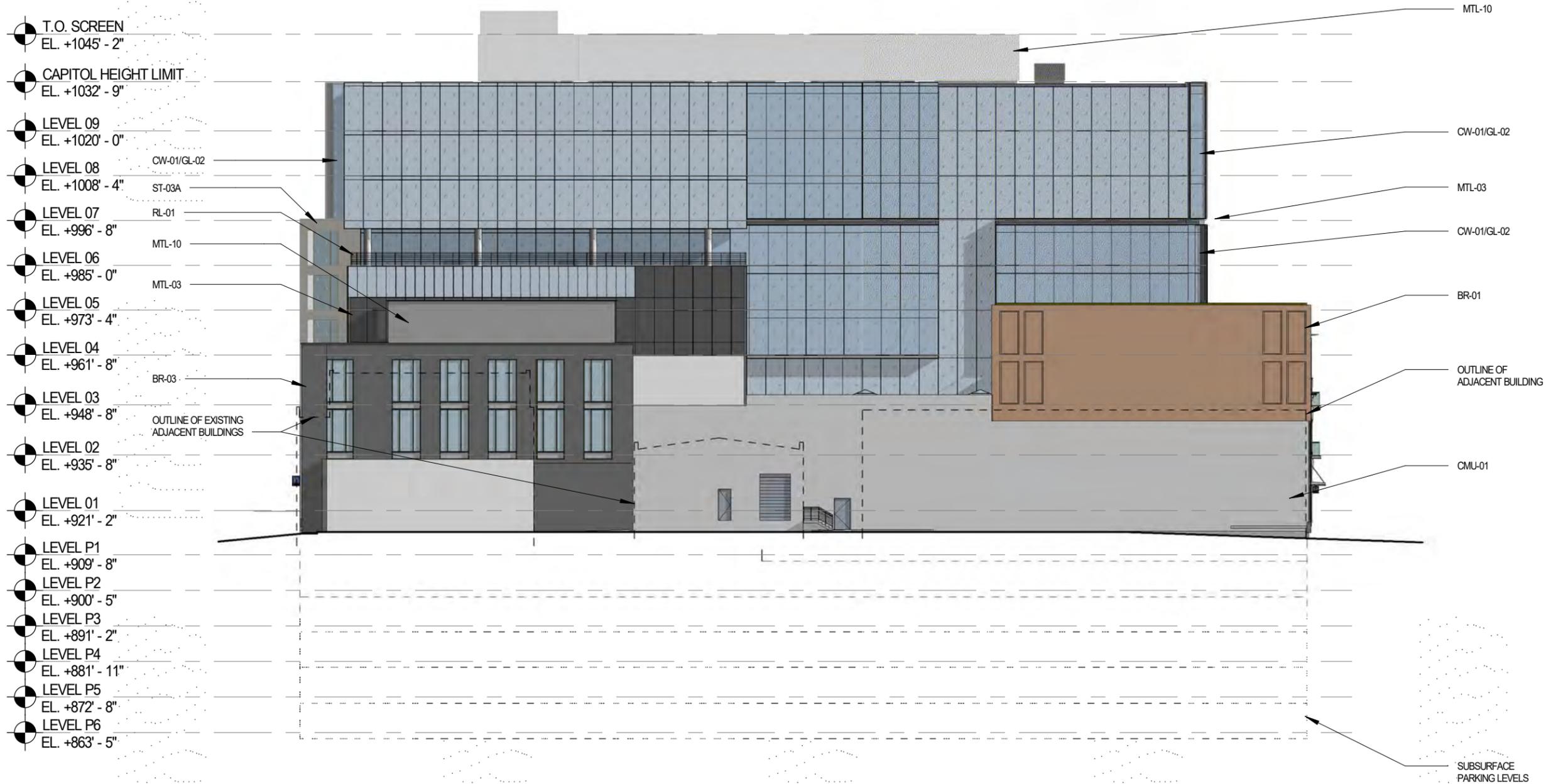
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Sheet Name

**NORTH ELEVATION**

Sheet Number

**2-04**

# N. PINCKNEY STREET - ELEVATION

SCALE: 1" = 30'-0"



# VALERIO DEWALT TRAIN

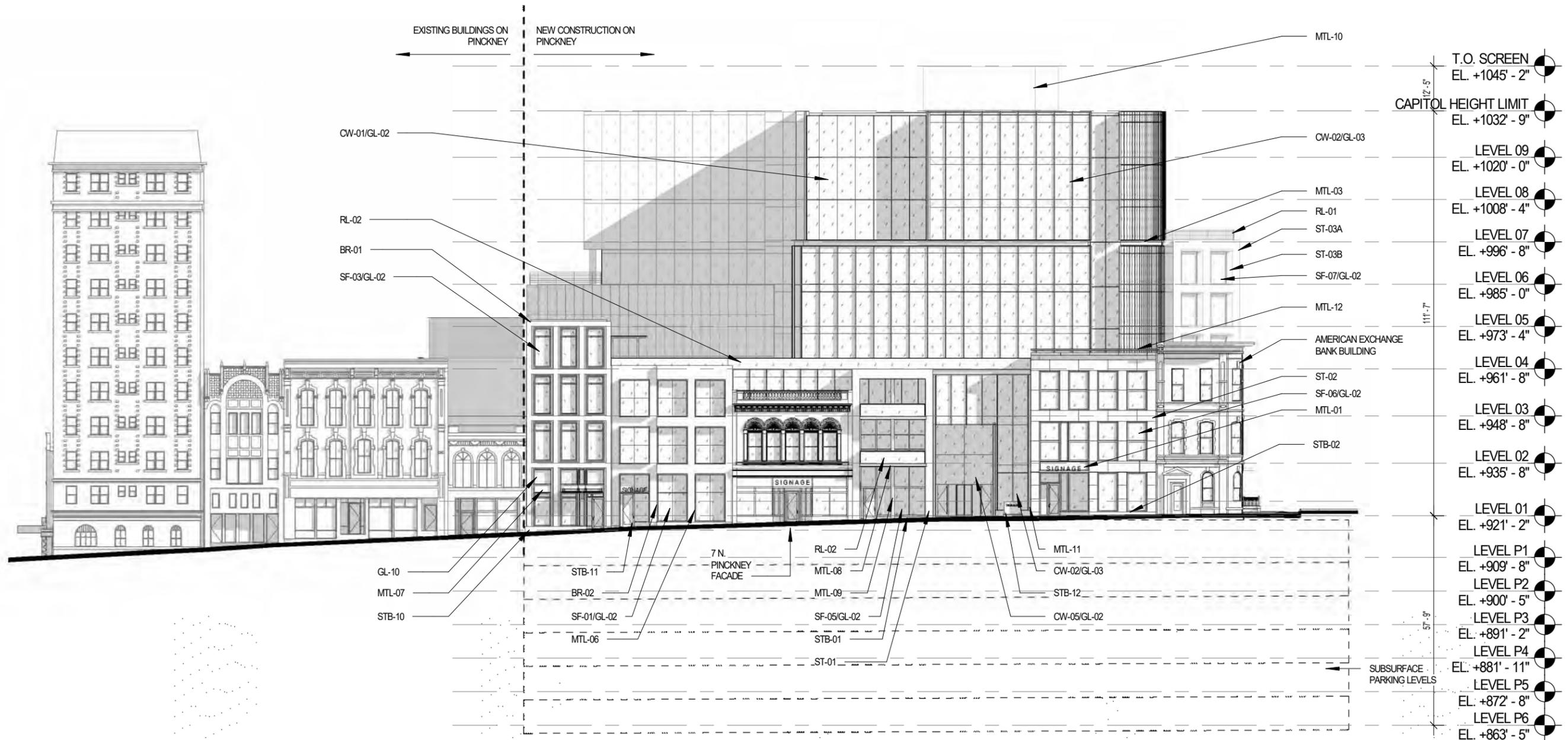
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Sheet Name

**PINCKNEY ELEVATION**

Sheet Number

**2-11**



# N. WEBSTER STREET - ELEVATION

SCALE: 1" = 30'-0"



# VALERIO DEWALT TRAIN

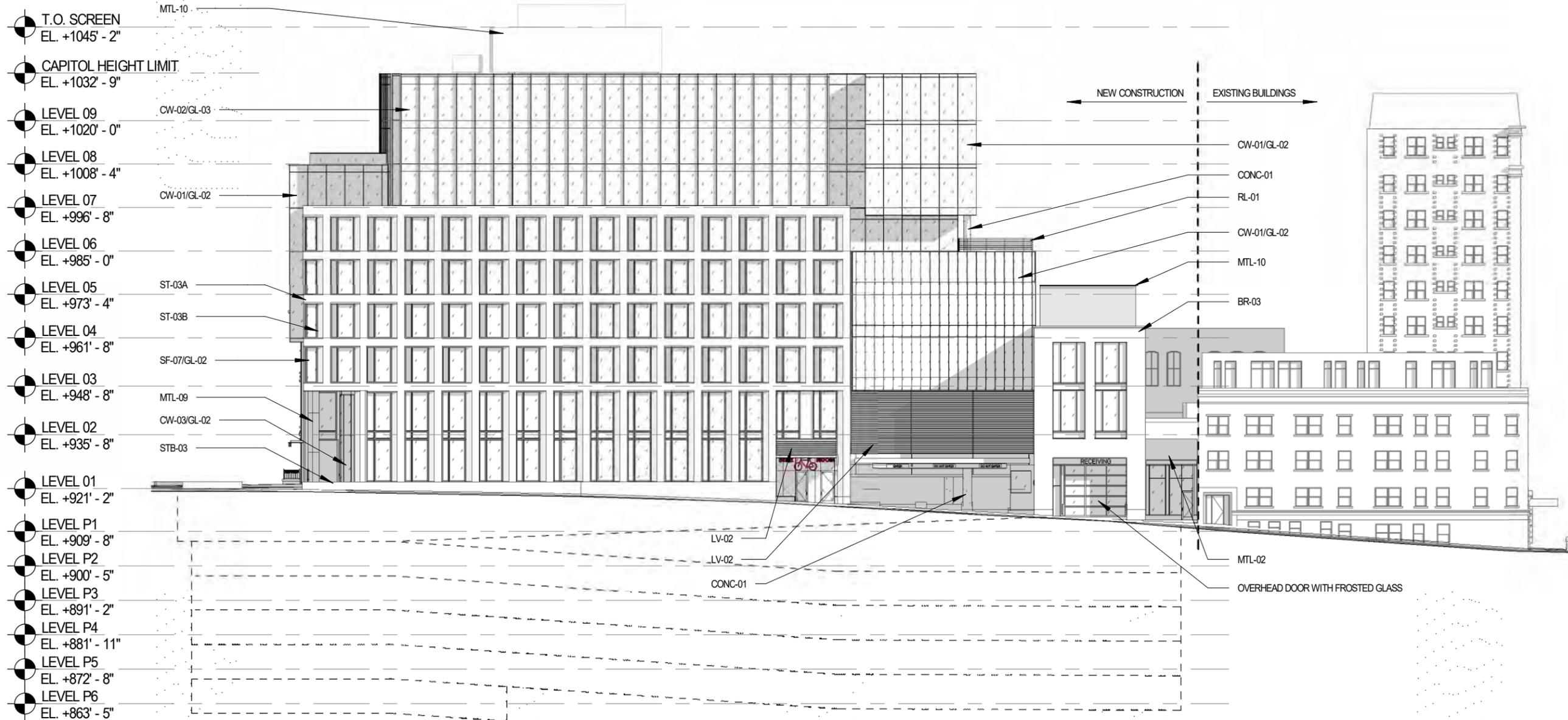
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**WEBSTER ELEVATION**

Sheet Number

**2-13**

# NORTH FACADE - ELEVATION

SCALE: 1" = 30'-0"



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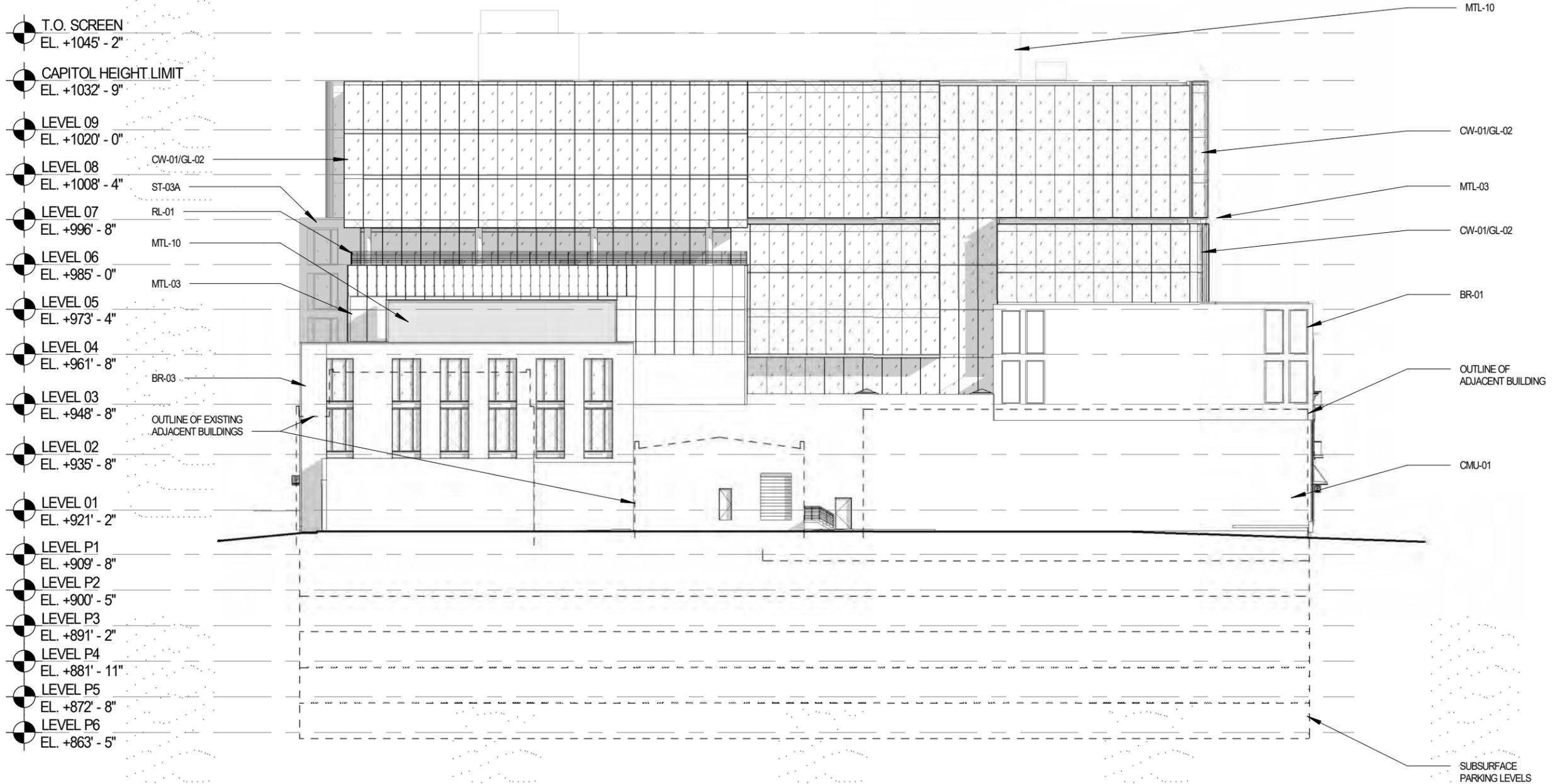
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Sheet Name

**NORTH ELEVATION**

Sheet Number

**2-14**



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Sheet Name

## RENDERING - VIEW ACROSS N. PINCKNEY

Sheet Number

# 3-01

# VALERIO DEWALT TRAIN

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Sheet Name

**RENDERING -  
PINCKNEY FACADE**

Sheet Number

**3-02**

# VALERIO DEWALT TRAIN

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Sheet Name

**RENDERING -  
PINCKNEY FACADE**

Sheet Number

**3-03**

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Sheet Name

**RENDERING - VIEW  
FROM N. PINCKNEY**

Sheet Number

**3-04**

# VALERIO DEWALT TRAIN

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Date

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Sheet Name

**RENDERING - VIEW  
ACROSS E.  
WASHINGTON**

Sheet Number

**3-05**

# VALERIO DEWALT TRAIN

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Sheet Name

**RENDERING - VIEW  
FROM EAST  
WASHINGTON**

Sheet Number

**3-06**

# VALERIO DEWALT TRAIN

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Sheet Name

**RENDERING - VIEW  
FROM E.  
WASHINGTON & N.  
WEBSTER**  
Sheet Number

**3-07**

# VALERIO DEWALT TRAIN

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Date

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Sheet Name

**RENDERING - VIEW OF  
WASHINGTON AVE  
LOBBY**

Sheet Number

**3-08**

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Sheet Name

**RENDERING - VIEW  
FROM N. WEBSTER**

Sheet Number

**3-09**

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Sheet Name

**RENDERING - VIEW OF  
INTERIOR  
COURTYARD**

Sheet Number

**3-10**

# VALERIO DEWALT TRAIN

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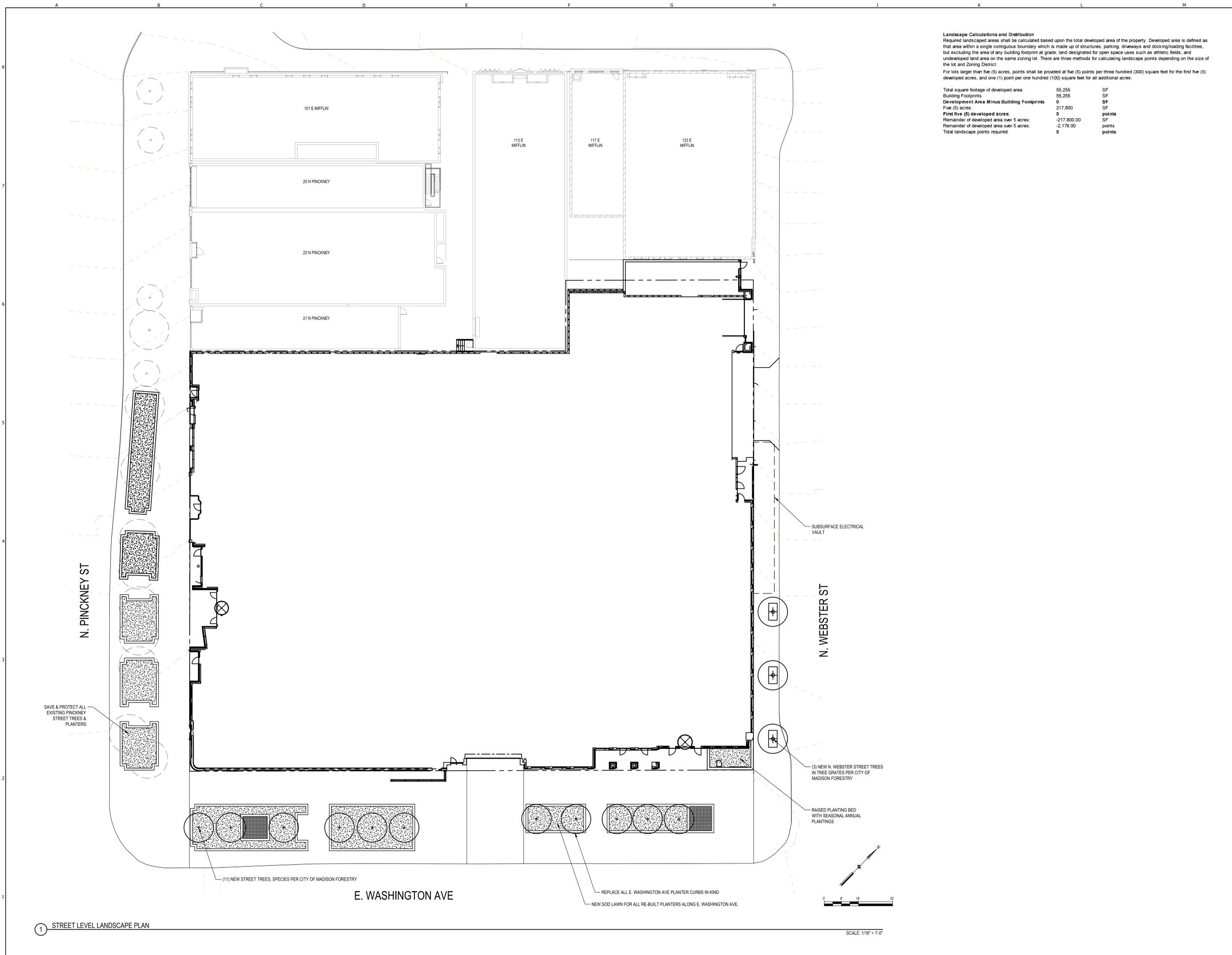
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**RENDERING - VIEW OF  
INTERIOR  
COURTYARD**

Sheet Number

**3-11**



**Landscape Calculations and Distribution**  
 Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and Zoning District.  
 For lots larger than five (5) acres, points shall be provided at five (5) points per three hundred (300) square feet for the first five (5) developed acres, and one (1) point per one hundred (100) square feet for all additional acres.

|  |             |        |
|--|-------------|--------|
| Total square footage of developed area:    | 55,255      | SF     |
| Building Footprints                        | 55,255      | SF     |
| Development Area Minus Building Footprints | 0           | SF     |
| Five (5) acres:                            | 217,800     | SF     |
| First five (5) developed acres:            | 0           | points |
| Remainder of developed area over 5 acres:  | -217,800.00 | SF     |
| Remainder of developed area over 5 acres:  | -2,178.00   | points |
| Total landscape points required:           | 0           | points |

1 STREET LEVEL LANDSCAPE PLAN

**AMERICAN EXCHANGE DEVELOPMENT**

Project Address  
 Madison, WI

Project Number  
 18038.00

Architect

**VALERIO DEWALT TRAIN**

500 North Dearborn Street  
 Suite 500  
 Chicago, Illinois 60654  
 312.260.7300

Project Team Architect's Stamp

JOSEPH VALERIO  
 DAVID JENNERJAHN  
 TOM DALY  
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 PETER WJITOWICZ

Consultant  
**SMITHGROUP**

44 EAST MIFFLIN STREET  
 SUITE 500  
 MADISON, WI 53703  
 608.251.1177  
 www.smithgroup.com

Consultant Project Number

|   |                           |            |
|---|---------------------------|------------|
| 1 | ISSUED FOR PRICING        | 03.06.2020 |
| 2 | ISSUED FOR UDC / LAND USE | 09.02.2020 |

Preliminary Documents  
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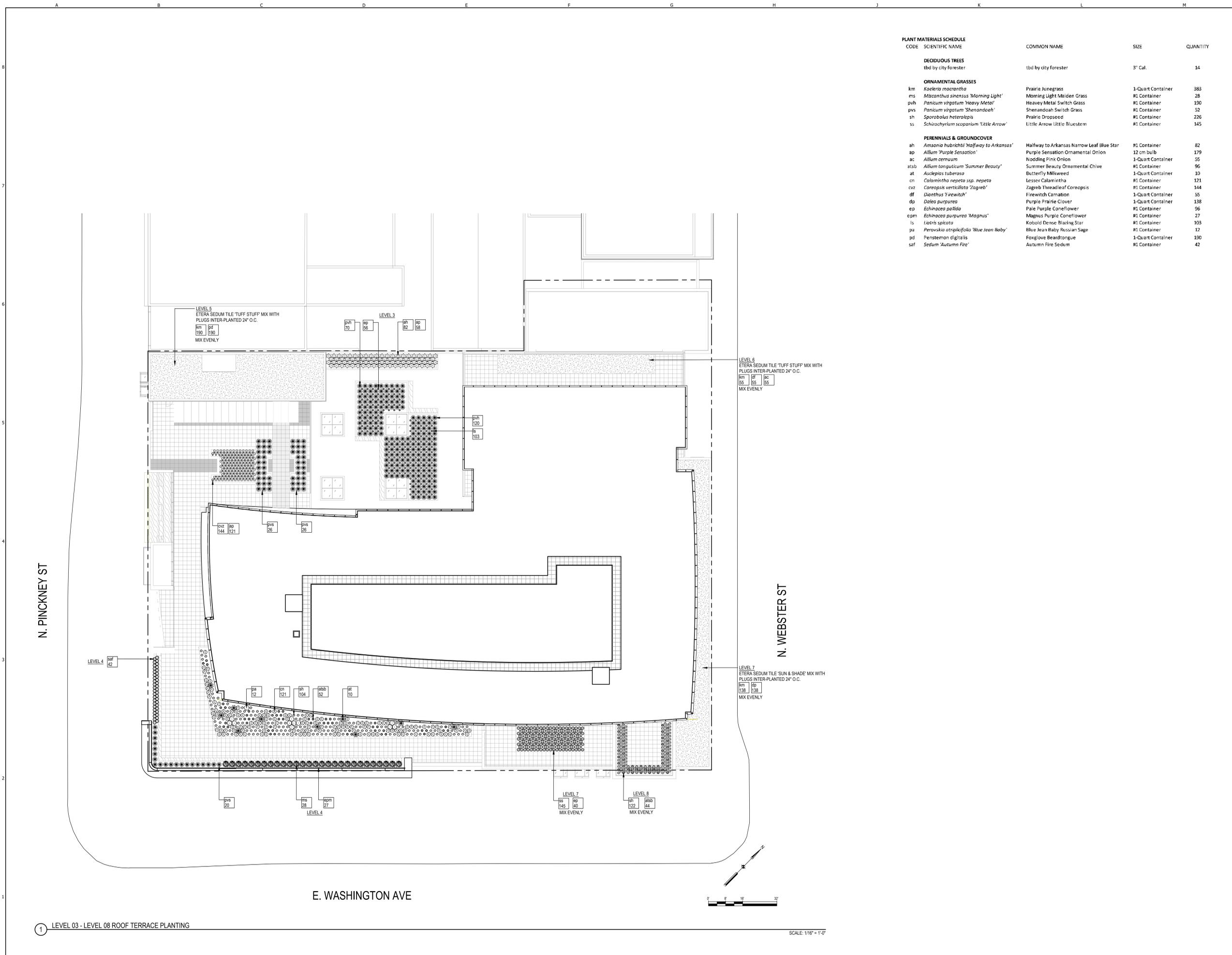
Sheet Name  
**LANDSCAPE PLAN**

Sheet Number

**LP1-00**

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**FOR REFERENCE ONLY**



| PLANT MATERIALS SCHEDULE            | CODE | SCIENTIFIC NAME                                  | COMMON NAME                               | SIZE              | QUANTITY |
|-------------------------------------|------|--|---|-------------------|----------|
| <b>DECIDUOUS TREES</b>              |      |  |   |                   |          |
|                                     |      | tbd by city forester                             | tbd by city forester                      | 3" Cal.           | 14       |
| <b>ORNAMENTAL GRASSES</b>           |      |  |   |                   |          |
| km                                  |      | <i>Koeleria macrantha</i>                        | Prairie Junegrass                         | 1-Quart Container | 383      |
| ms                                  |      | <i>Miscanthus sinensis 'Morning Light'</i>       | Morning Light Maiden Grass                | #1 Container      | 28       |
| pvh                                 |      | <i>Panicum virgatum 'Heavy Metal'</i>            | Heavy Metal Switch Grass                  | #1 Container      | 130      |
| pvs                                 |      | <i>Panicum virgatum 'Shenandoah'</i>             | Shenandoah Switch Grass                   | #1 Container      | 52       |
| sh                                  |      | <i>Sporobolus heterolepis</i>                    | Prairie Dropseed                          | #1 Container      | 226      |
| ss                                  |      | <i>Schizachyrium scoparium 'Little Arrow'</i>    | Little Arrow Little Bluestem              | #1 Container      | 145      |
| <b>PERENNIALS &amp; GROUNDCOVER</b> |      |  |   |                   |          |
| ah                                  |      | <i>Ansonia hubrichtii 'Halfway to Arkansas'</i>  | Halfway to Arkansas Narrow Leaf Blue Star | #1 Container      | 82       |
| ap                                  |      | <i>Allium 'Purple Sensation'</i>                 | Purple Sensation Ornamental Onion         | 12 cm bulb        | 179      |
| ac                                  |      | <i>Allium cernuum</i>                            | Nodding Pink Onion                        | 1-Quart Container | 55       |
| atsb                                |      | <i>Allium tanguticum 'Summer Beauty'</i>         | Summer Beauty Ornamental Chive            | #1 Container      | 96       |
| at                                  |      | <i>Asclepias tuberosa</i>                        | Butterfly Milkweed                        | 1-Quart Container | 10       |
| cn                                  |      | <i>Calamintha nepeta ssp. nepeta</i>             | Lesser Calamintha                         | #1 Container      | 121      |
| cvz                                 |      | <i>Coreopsis verticillata 'Zagreb'</i>           | Zagreb Threadleaf Coreopsis               | #1 Container      | 144      |
| df                                  |      | <i>Dianthus 'Firewitch'</i>                      | Firewitch Carnation                       | 1-Quart Container | 55       |
| dp                                  |      | <i>Dalea purpurea</i>                            | Purple Prairie Clover                     | 1-Quart Container | 138      |
| ep                                  |      | <i>Echinacea pallida</i>                         | Pale Purple Coneflower                    | #1 Container      | 96       |
| epm                                 |      | <i>Echinacea purpurea 'Magnus'</i>               | Magnus Purple Coneflower                  | #1 Container      | 27       |
| ls                                  |      | <i>Liatris spicata</i>                           | Kobold Dense Blazing Star                 | #1 Container      | 103      |
| pa                                  |      | <i>Perovskia atriplicifolia 'Blue Jean Baby'</i> | Blue Jean Baby Russian Sage               | #1 Container      | 12       |
| pd                                  |      | <i>Penstemon digitalis</i>                       | Foxglove Beardtongue                      | 1-Quart Container | 130      |
| saf                                 |      | <i>Sedum 'Autumn Fire'</i>                       | Autumn Fire Sedum                         | #1 Container      | 42       |

**AMERICAN EXCHANGE DEVELOPMENT**

Project Address  
Madison, WI

Project Number  
18038.00

Architect

**VALERIO DEWALT TRAIN**

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Project Team Architect's Stamp

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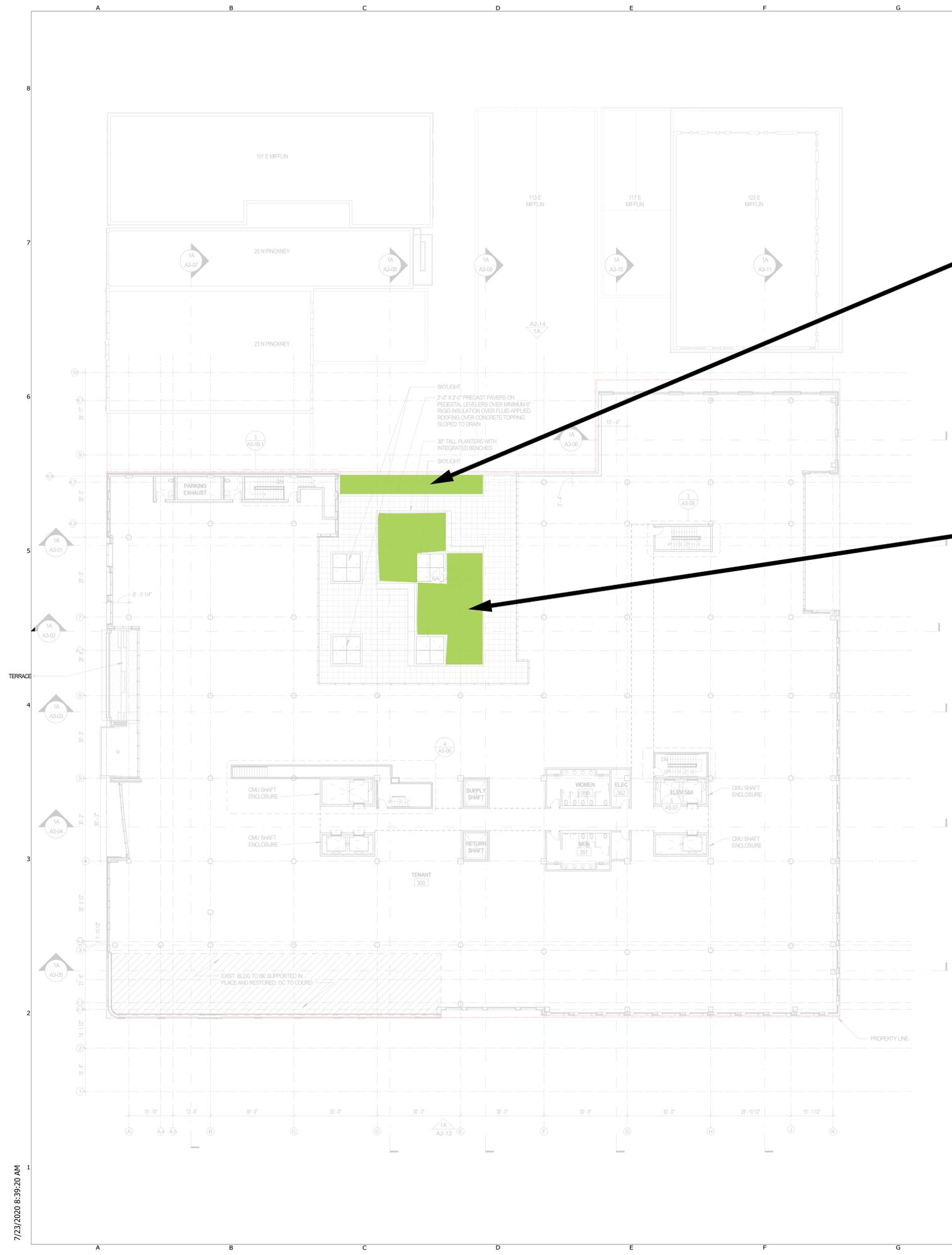
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Sheet Name  
**ROOF TERRACES LANDSCAPE PLAN**

Sheet Number  
**LP1-01-08**

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*Amsonia hubrichtii*



*Allium 'Purple Sensation'*



-24"-36" Height to define space.  
Dominant fine texture with pops of seasonal color and form:

- Panicum 'Heavy Metal'*
- Liatis spicata*
- Echinacea pallida*



**AMERICAN EXCHANGE DEVELOPMENT**

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PETER WOJCIOWICZ

Consultant

**SMITHGROUP**

Consultant Project Number

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Sheet Name  
**LEVEL 3 - FLOOR PLAN**

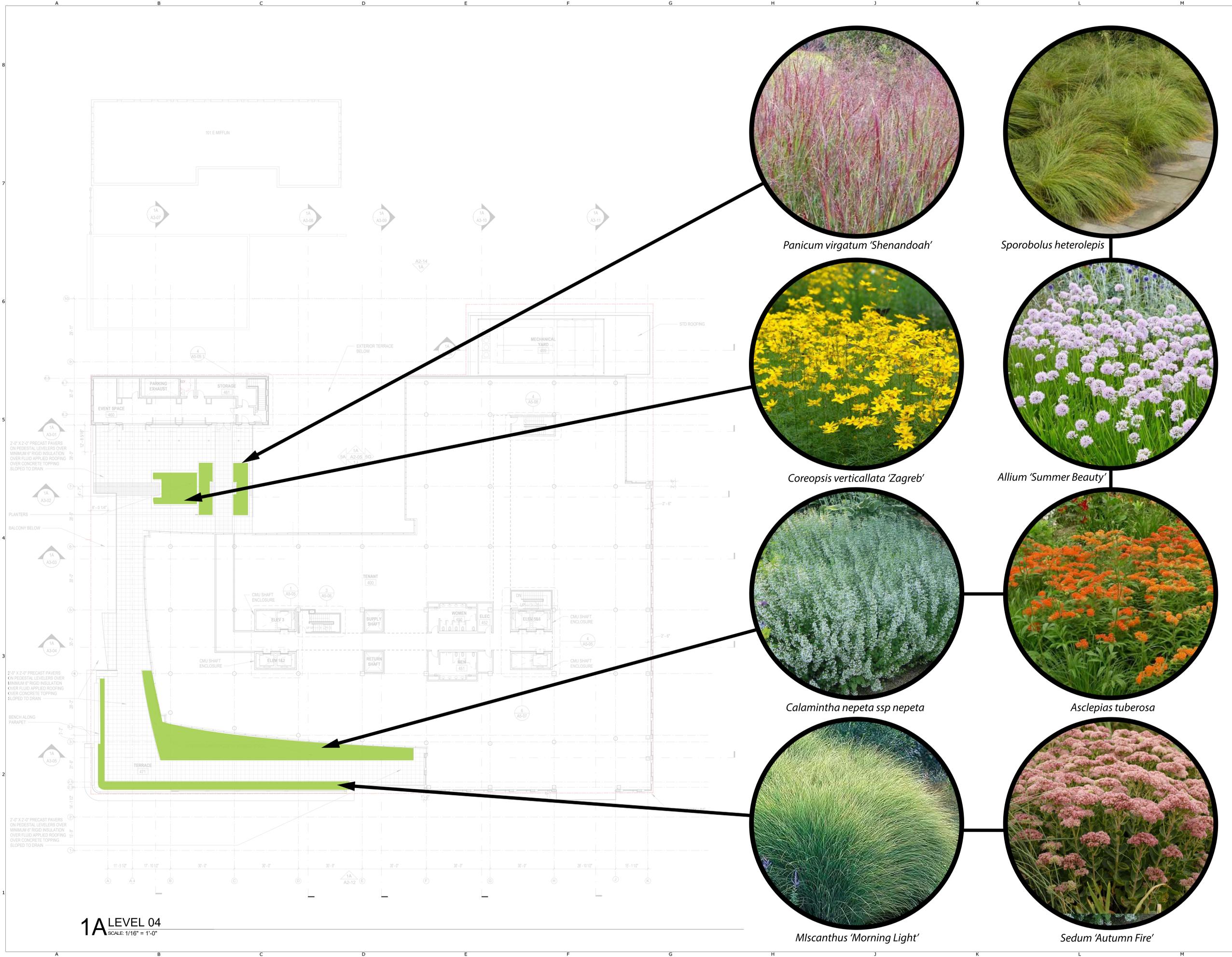
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Project Address  
Madison, WI

Project Number  
18038.00

Architect

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Consultant

**SMITHGROUP**

Consultant Project Number

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Sheet Name

**LEVEL 4 - FLOOR PLAN**

Sheet Number

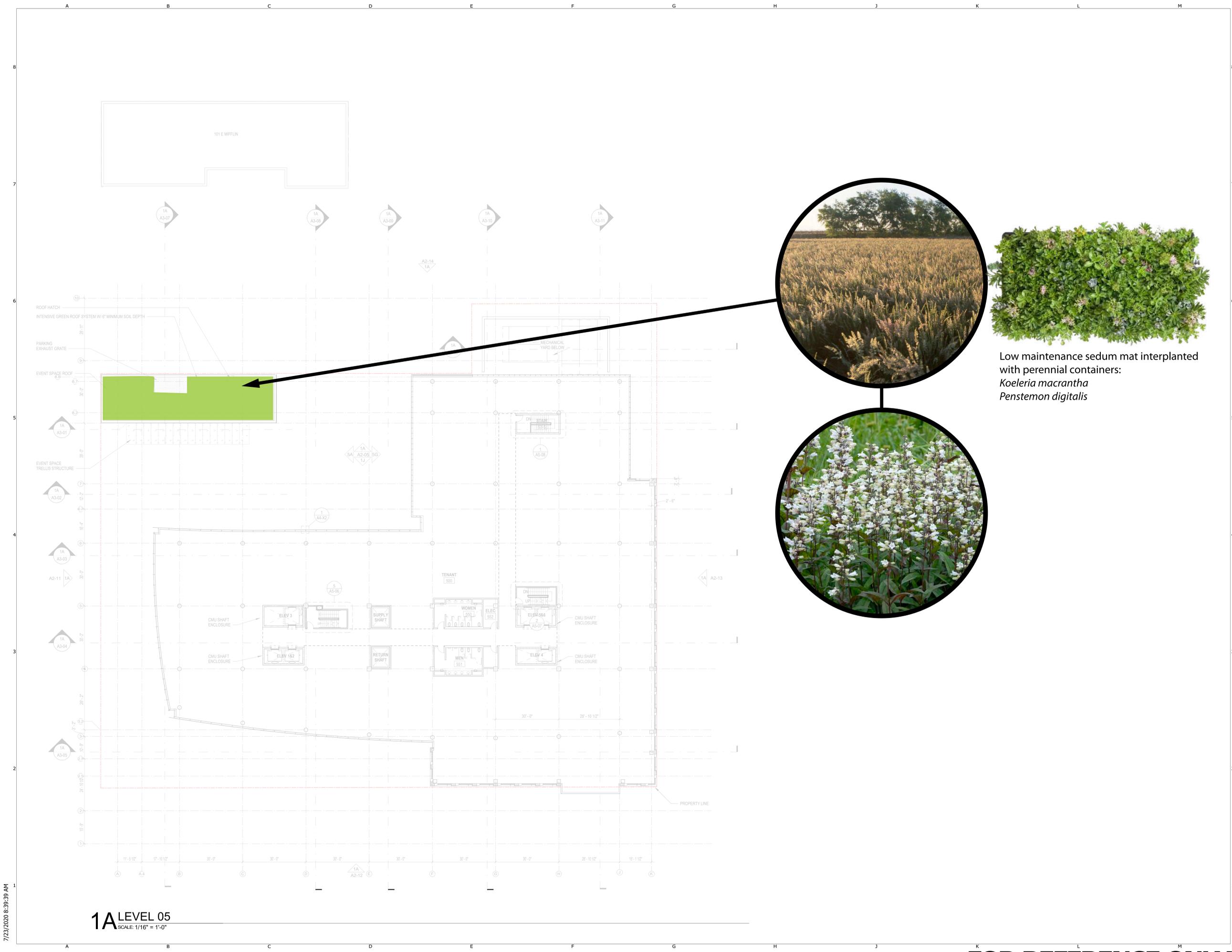
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**1A LEVEL 04**  
SCALE: 1/16" = 1'-0"

**FOR REFERENCE ONLY**

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**AMERICAN EXCHANGE DEVELOPMENT**

Project Address  
Madison, WI

Project Number  
18038.00

Architect

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Consultant

**SMITHGROUP**

Consultant Project Number

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Preliminary Documents

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Sheet Name

**LEVEL 5 - FLOOR PLAN**

Sheet Number

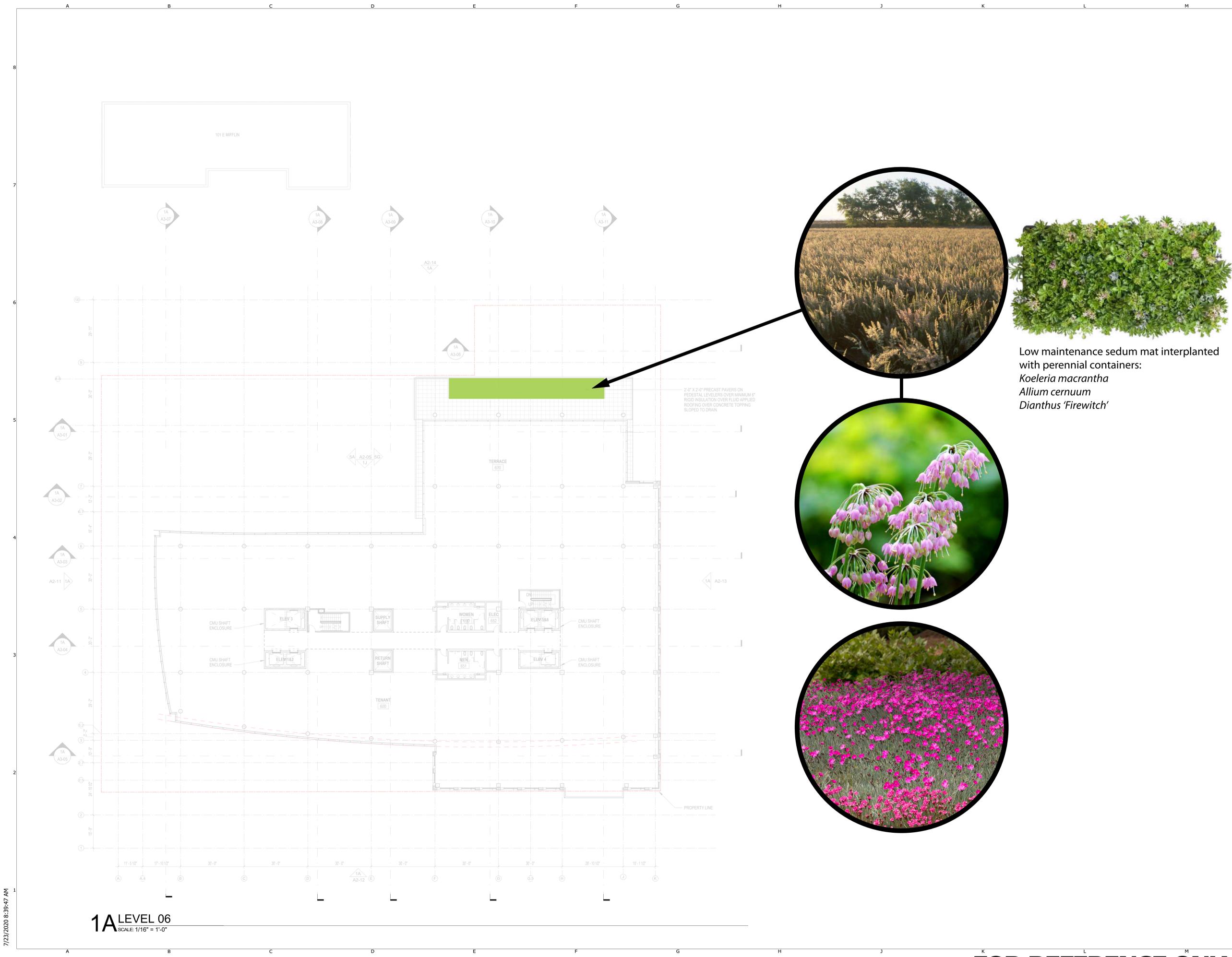
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**1A LEVEL 05**  
SCALE: 1/16" = 1'-0"



Low maintenance sedum mat interplanted with perennial containers:  
*Koeleria macrantha*  
*Allium cernuum*  
*Dianthus 'Firewitch'*



**AMERICAN EXCHANGE DEVELOPMENT**

Project Address  
 Madison, WI

Project Number  
 18038.00

Architect

**VALERIO DEWALT TRAIN**

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 Suite 900  
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Consultant

**SMITHGROUP**

Consultant Project Number

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Sheet Name  
**LEVEL 6 - FLOOR PLAN**

Sheet Number

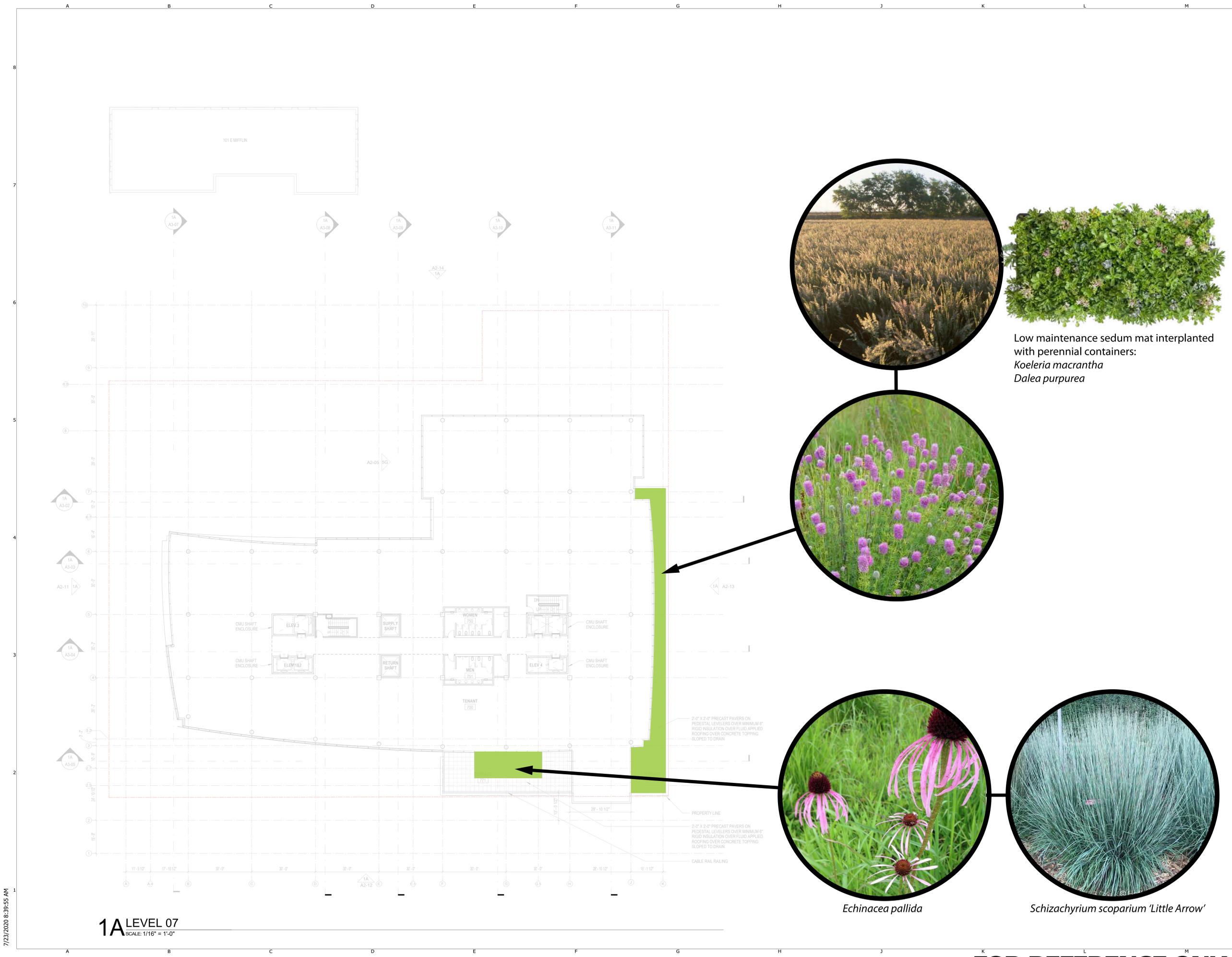
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**1A LEVEL 06**  
 SCALE: 1/16" = 1'-0"



**AMERICAN EXCHANGE DEVELOPMENT**

Project Address  
Madison, WI

Project Number  
18038.00

Architect

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Project Team Architect's Stamp

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DAVID JENNERJAHN  
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LUKE PRIFOGLIE  
PETER WOJCIOWICZ

Consultant

**SMITHGROUP**

Consultant Project Number

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Sheet Name

LEVEL 7 - FLOOR PLAN

Sheet Number

**LP-07**

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Low maintenance sedum mat interplanted with perennial containers:  
*Koeleria macrantha*  
*Dalea purpurea*



*Echinacea pallida*



*Schizachyrium scoparium 'Little Arrow'*

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**1A LEVEL 07**  
SCALE: 1/16" = 1'-0"



**AMERICAN EXCHANGE DEVELOPMENT**

Project Address  
Madison, WI

Project Number  
18038.00

Architect

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LUKE PRIFOGLIE  
PETER WOJCIOWICZ

Consultant

**SMITHGROUP**

Consultant Project Number

Issuances

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Sheet Name

**LEVEL 8 - FLOOR PLAN**

Sheet Number

**LP-08**

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*Sporobolus heterolepis*



*Allium 'Summer Beauty'*

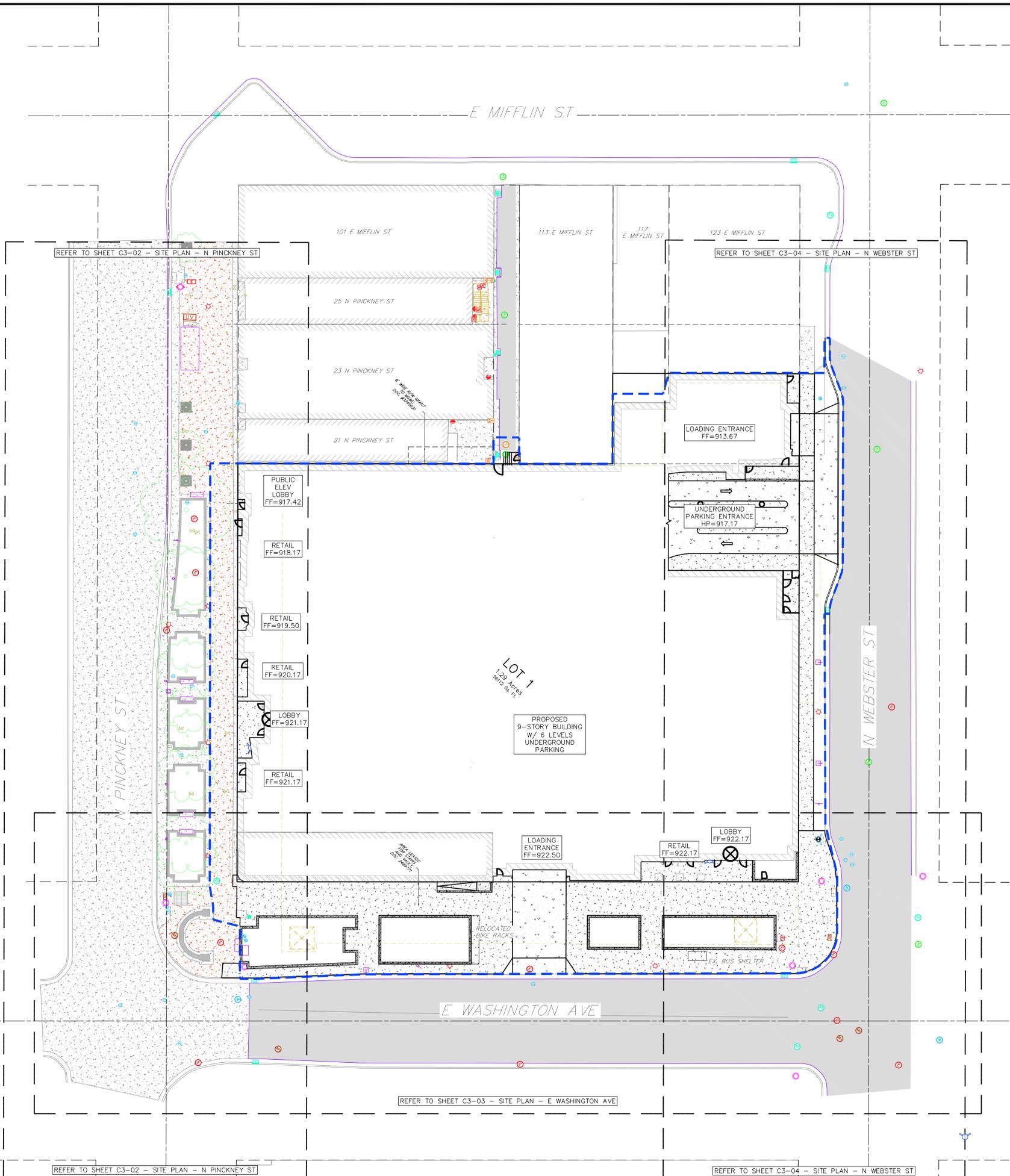
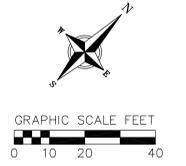
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**1A LEVEL 08**  
SCALE: 1/16" = 1'-0"







**GENERAL NOTES:**

- INSTALL A 50' L X 20' W X 1.5' D TRACKING PAD AT THE SITE ENTRANCE. THE TRACKING PAD SHALL BE MAINTAINED/REPAIRED AS NECESSARY TO ACCOMMODATE CONSTRUCTION.
- THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR. ALL MAINTENANCE/REPAIR WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
- UTILITY STRUCTURE RIM AND TOP OF CURB ELEVATIONS ON PLANS ARE APPROXIMATE. UTILITY STRUCTURES SHALL BE SET TO FINAL ELEVATIONS AFTER THE CURB & GUTTER AND BASE COURSE HAVE BEEN INSTALLED.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED DURING CONSTRUCTION TO PUBLIC PROPERTY, PRIVATE PROPERTY OR UTILITIES.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW BY THE ENGINEER, PRIOR TO PLACING AN ORDER OF ANY SUCH ITEM.
- EXISTING TOPOGRAPHIC INFORMATION IS BASED ON FIELD OBSERVATIONS AND/OR PLAN OF RECORD DRAWINGS. CONTRACTOR SHALL VERIFY TOPOGRAPHIC INFORMATION PRIOR TO STARTING CONSTRUCTION.
- CONTRACTOR SHALL FIELD VERIFY LOCATION OF EXISTING SANITARY SEWER, STORM SEWER AND WATER MAIN PRIOR TO CONSTRUCTION TO ENSURE PROPER CLEARANCE OF THE NEW UTILITIES. CONTRACTOR MUST TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES DURING CONSTRUCTION. ANY DAMAGE TO THE EXISTING UTILITIES AND ANY REPAIRS NEEDED AS A RESULT OF THE DAMAGE SHALL BE AT THE EXPENSE OF THE CONTRACTOR REGARDLESS OF THE LOCATION MARKED IN THE FIELD OR SHOWN ON THE PLANS.
- THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THE PLAN ARE APPROXIMATE. THERE MAY BE OTHER UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING DIGGERS HOTLINE AND LOCATING ALL EXISTING UTILITIES AND ENSURE PROPER CLEARANCE OF NEW UTILITIES.
- SEE DETAIL SHEETS FOR EROSION CONTROL NOTES AND CONSTRUCTION SEQUENCE.
- THE CONTRACTOR SHALL REMOVE ANY SEDIMENT TRACKED ONTO ADJACENT ROADS BY MEANS OF STREET SWEEPING (NOT FLUSHING) AT A MINIMUM OF THE END OF EACH WORK DAY OR MORE AS NEEDED.
- RIGHT OF WAY (ROW) AND PROPERTY LINES ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING PROPERTY CORNER MONUMENTATION. ANY MONUMENTS DISTURBED BY CONTRACTOR SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATION AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED.
- INSTALL WATER MAIN AT ADEQUATE DEPTH (MIN 6.5' OF COVER) TO AVOID CONFLICT WITH PROPOSED SANITARY SEWER AND STORM SEWER PER DNR STANDARDS EXCEPT WHERE NOTED ON THE PLANS. MAINTAIN MINIMUM 1.5' CLEAR SEPARATION IF WATER CROSSES BELOW SEWER AND MINIMUM 0.5' IF WATER CROSSES ABOVE.
- SANITARY MANHOLES WITH SEWER MAIN CONNECTIONS GREATER THAN 2' ABOVE THE LOWEST INVERT SHALL BE CONSTRUCTED WITH AN EXTERNAL DROP. MANHOLES WITH SEWER LATERAL CONNECTIONS GREATER THAN 2' ABOVE THE LOWEST INVERT SHALL BE CONSTRUCTED WITH AN INTERNAL DROP.
- INSTALL 1 SHEET OF 4'x8'x4" HIGH DENSITY STYROFOAM INSULATION AT ALL LOCATIONS WHERE STORM SEWER CROSSES WATER MAIN OR WATER LATERALS.
- DIMENSIONS RELATING TO CURB ARE TO FACE OF CURB.
- CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADES SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
- CROSS-SLOPE OF SIDEWALKS SHALL BE 1.5% UNLESS OTHERWISE NOTED.
- LONGITUDINAL GRADE OF SIDEWALK RAMPS SHALL NOT EXCEED 8.33% (1:12) AND SHALL BE IN ACCORDANCE WITH ADA REQUIREMENTS.
- LONGITUDINAL GRADE OF SIDEWALK SHALL NOT EXCEED 5.0% OR THE ADJACENT STREET GRADE WHICHEVER IS GREATER.
- ACCESSIBLE ROUTES SHALL BE 5% MAX LONGITUDINAL SLOPE AND 2% MAX CROSS SLOPE. ACCESSIBLE LOADING AREAS OR LANDINGS SHALL BE 2% MAX SLOPE IN ANY DIRECTION. RAMPS SHALL BE 8.33% MAX SLOPE.
- ADJUST ALL EXISTING MANHOLE AND VALVE RIMS TO FINAL GRADE.

**SITE PLAN LEGEND**

- PROPERTY BOUNDARY
- CURB AND GUTTER (REVERSE CURB HATCHED)
- PROPOSED BUILDING
- LIMITS OF UNDERGROUND PARKING
- DISTURBED LIMITS
- PROPOSED CONCRETE
- PROPOSED SIGN
- PROPOSED LIGHT POLE
- PROPOSED BOLLARD
- PROPOSED ADA DETECTABLE WARNING FIELD

**SITE CONSTRUCTION NOTES:**

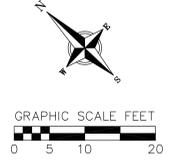
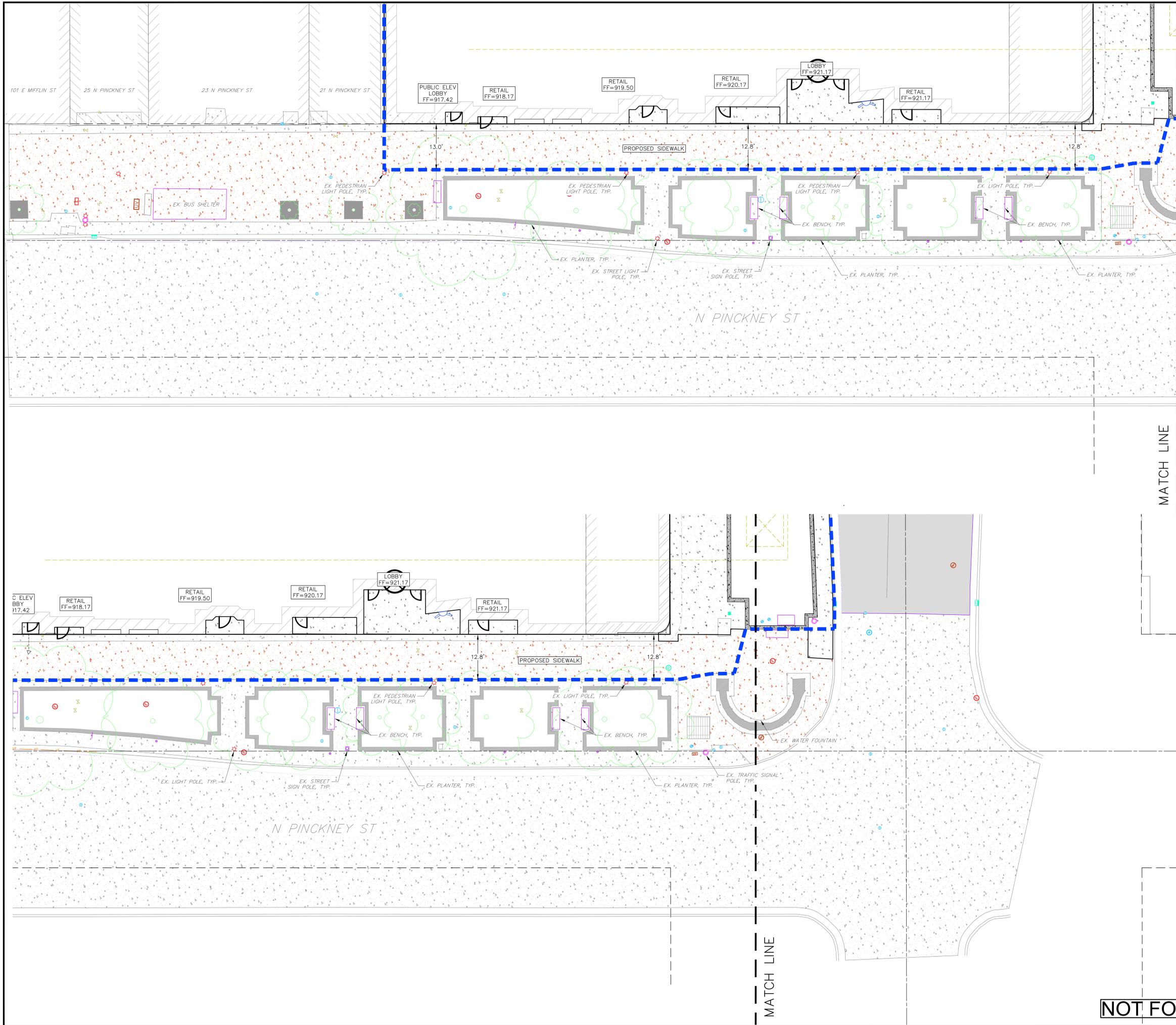
- CONCRETE SIDEWALK TO BE 5" THICK, CONSTRUCTED ON A BASE OF 4" COMPACTED SAND OR CRUSHED STONE.
- CONCRETE FOR DRIVEWAYS AND SIDEWALK AT DRIVEWAY ENTRANCES SHALL BE 7" THICK, CONSTRUCTED ON A BASE OF 5" COMPACTED SAND OR CRUSHED STONE.
- CURB FACE HEIGHT ON SITE SHALL BE 6 INCHES.
- CONTRACTOR TO OBTAIN ANY NECESSARY UTILITY CONNECTION, DEMOLITION, DRIVEWAY CONNECTION, RIGHT-OF-WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.
- CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
- ANY SIDEWALK AND CURB & GUTTER ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION OR IF THE CITY ENGINEERING DEPARTMENT DETERMINES THAT IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.

**NOT FOR CONSTRUCTION**

**Site Plan**  
American Exchange Development  
City of Madison  
Dane County, WI

| NO. | DATE | REVISIONS | NO. | DATE | REVISIONS |
|-----|------|-----------|-----|------|-----------|
|     |      |           |     |      |           |
|     |      |           |     |      |           |
|     |      |           |     |      |           |
|     |      |           |     |      |           |

SCALE AS SHOWN  
DATE 08/12/2020  
DRAFTER ZDRE  
CHECKED JZAM  
PROJECT NO. 190142  
SHEET C  
3-01



- SITE PLAN LEGEND**
- PROPERTY BOUNDARY
  - CURB AND GUTTER (REVERSE CURB HATCHED)
  - PROPOSED BUILDING
  - LIMITS OF UNDERGROUND PARKING
  - DISTURBED LIMITS
  - PROPOSED CONCRETE
  - PROPOSED SIGN
  - PROPOSED LIGHT POLE
  - PROPOSED BOLLARD
  - PROPOSED ADA DETECTABLE WARNING FIELD

| NO. | DATE | REVISIONS | REMARKS |
|-----|------|-----------|---------|
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SCALE AS SHOWN

DATE: 08/12/2020

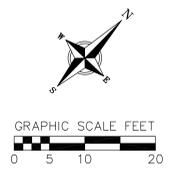
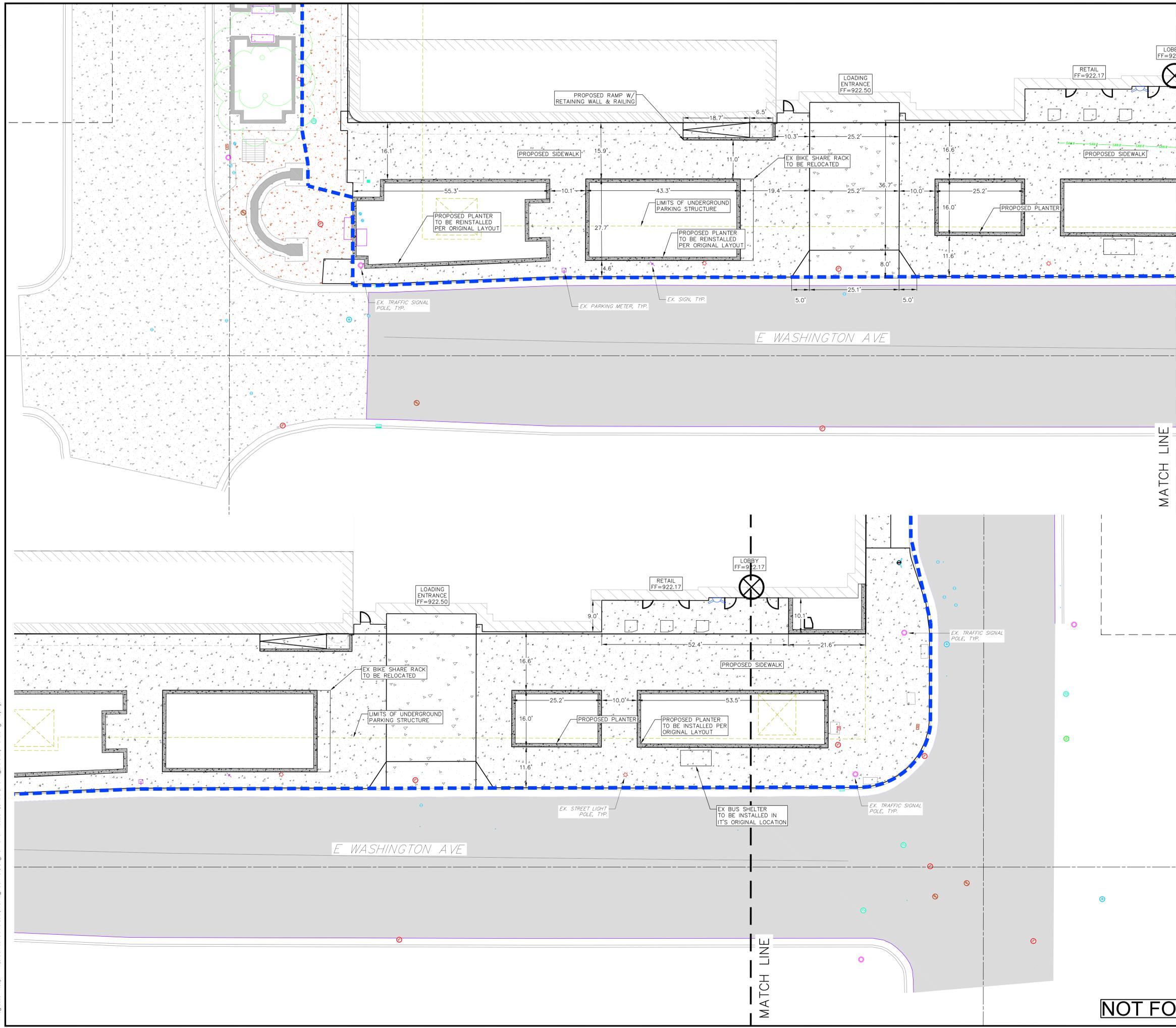
DRAFTER: ZDRE

CHECKED: JZAM

PROJECT NO.: 190142

SHEET: C

**NOT FOR CONSTRUCTION**



- SITE PLAN LEGEND**
- PROPERTY BOUNDARY
  - CURB AND GUTTER (REVERSE CURB HATCHED)
  - PROPOSED BUILDING
  - LIMITS OF UNDERGROUND PARKING
  - DISTURBED LIMITS
  - PROPOSED CONCRETE
  - PROPOSED SIGN
  - PROPOSED LIGHT POLE
  - PROPOSED BOLLARD
  - PROPOSED ADA DETECTABLE WARNING FIELD

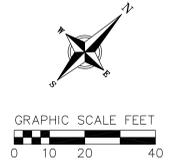
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MATCH LINE

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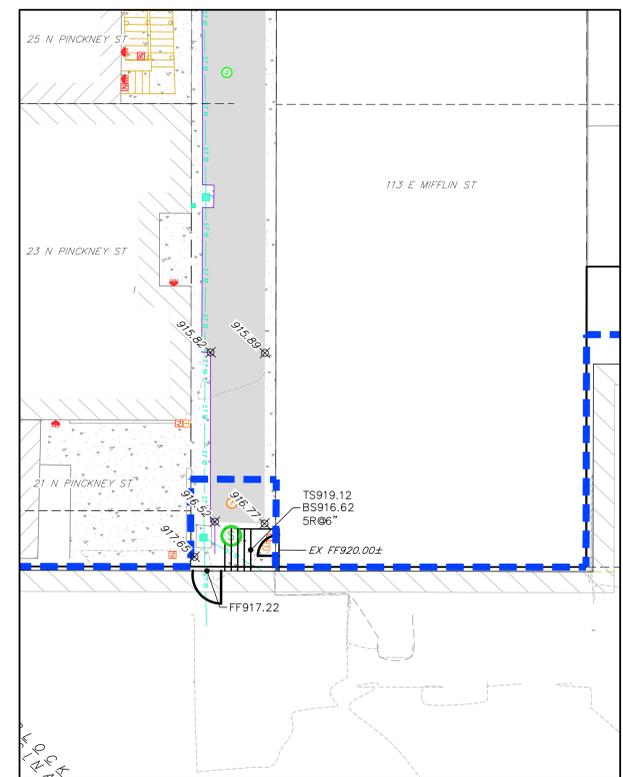
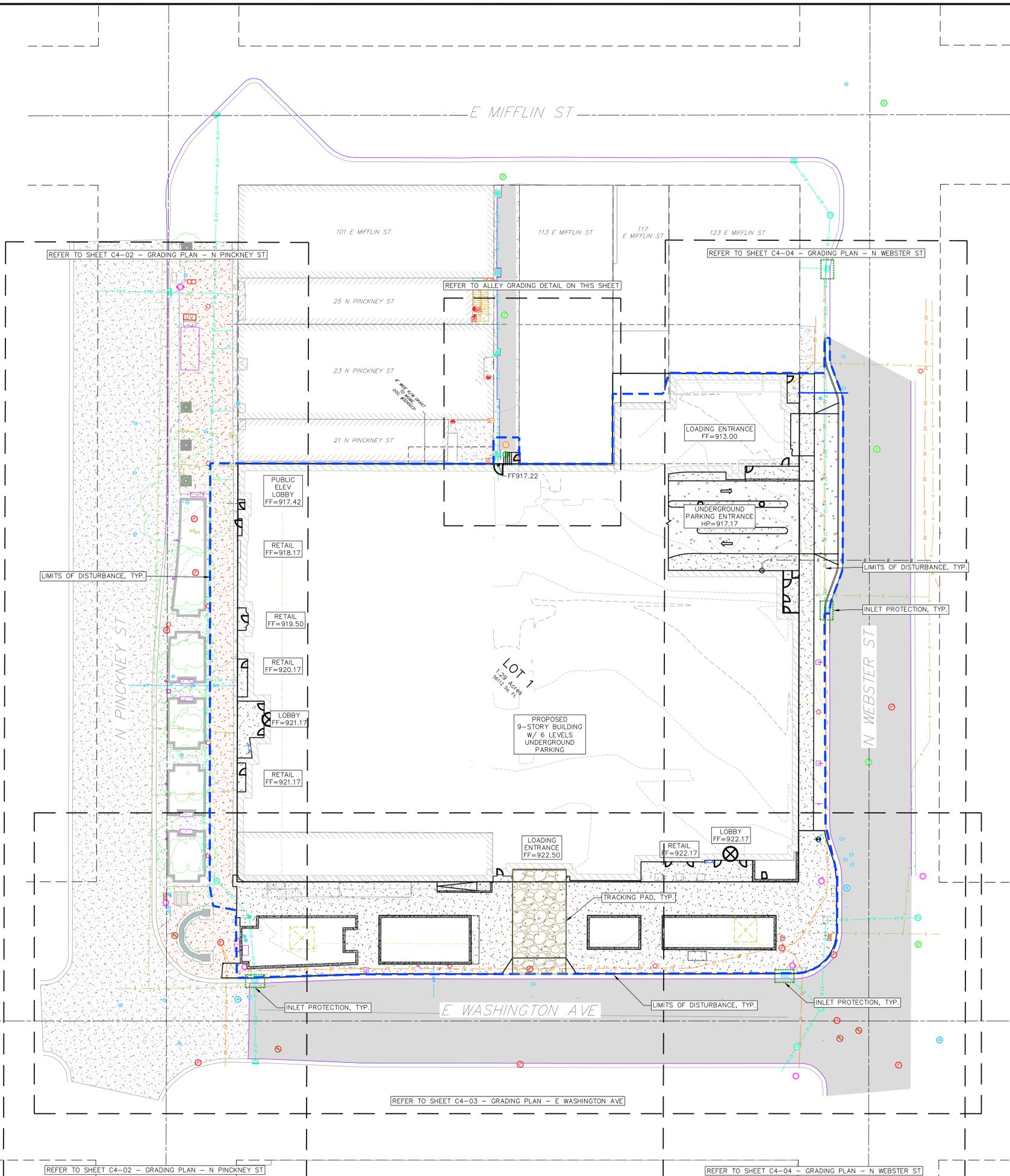
| REVISIONS |      | REVISIONS |      |
|-----------|------|-----------|------|
| NO.       | DATE | NO.       | DATE |
|           |      |           |      |
|           |      |           |      |
|           |      |           |      |





- GRADING LEGEND**
- - 820 - - EXISTING MAJOR CONTOURS
  - - 818 - - EXISTING MINOR CONTOURS
  - 820 — PROPOSED MAJOR CONTOURS
  - 818 — PROPOSED MINOR CONTOURS
  - 1048.61 — SILT FENCE
  - — DISTURBED LIMITS
  - DRAINAGE DIRECTION
  - 2.92% PROPOSED SLOPE ARROWS
  - ⊕ 1048.61 EXISTING SPOT ELEVATIONS
  - ⊕ 1048.61 PROPOSED SPOT ELEVATIONS
  - INLET PROTECTION
  - TRACKING PAD

- GRADING NOTES:**
- CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
  - ALL GRADES SHOWN REFERENCE FINISHED ELEVATIONS.
  - CROSS SLOPE OF SIDEWALKS SHALL BE 2.0% UNLESS OTHERWISE NOTED.
  - LONGITUDINAL GRADE OF SIDEWALK RAMP SHALL NOT EXCEED 8.33% (1:12) AND SHALL BE IN ACCORDANCE WITH ADA REQUIREMENTS.
  - LONGITUDINAL GRADE OF SIDEWALK SHALL NOT EXCEED 5.0% OR THE ADJACENT STREET GRADE WHICHEVER IS GREATER.
  - ACCESSIBLE ROUTES SHALL BE 5.0% MAX LONGITUDINAL SLOPE AND 1.5% MAX CROSS SLOPE. ACCESSIBLE LOADING AREAS OR LANDINGS SHALL BE 2.0% MAX SLOPE IN ANY DIRECTION. RAMP SHALL BE 8.33% MAX SLOPE.
  - NO LAND DISTURBANCE ACTIVITIES SHALL BEGIN UNTIL ALL EROSION CONTROL BMP'S ARE INSTALLED.
  - SEE DETAIL SHEETS FOR EROSION CONTROL NOTES AND CONSTRUCTION SEQUENCE.

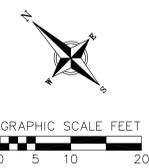
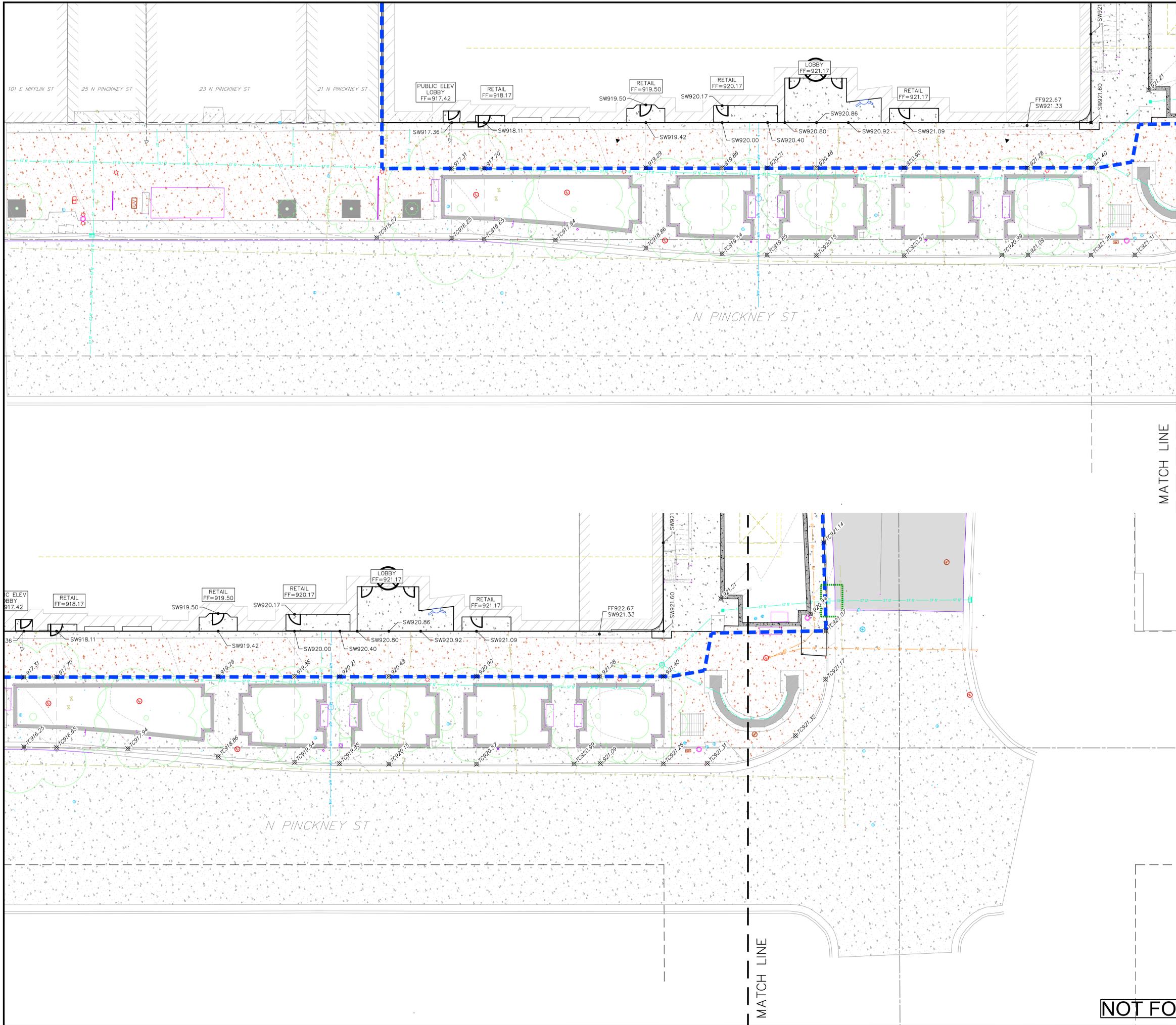


1 ALLEY GRADING DETAIL  
C4-01 1" = 10'

**NOT FOR CONSTRUCTION**

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| DRAFTER     | ZDRE       |
| CHECKED     | JZAM       |
| PROJECT NO. | 190142     |
| SHEET       | C          |



- GRADING LEGEND**
- 820- EXISTING MAJOR CONTOURS
  - 818- EXISTING MINOR CONTOURS
  - 820- PROPOSED MAJOR CONTOURS
  - 818- PROPOSED MINOR CONTOURS
  - - - SILT FENCE
  - - - DISTURBED LIMITS
  - >- DRAINAGE DIRECTION
  - >- 2.92% PROPOSED SLOPE ARROWS
  - ⊕1048.61 EXISTING SPOT ELEVATIONS
  - ⊕1048.61 PROPOSED SPOT ELEVATIONS
  - ⊕ INLET PROTECTION
  - TRACKING PAD

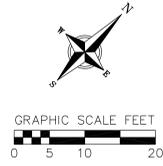
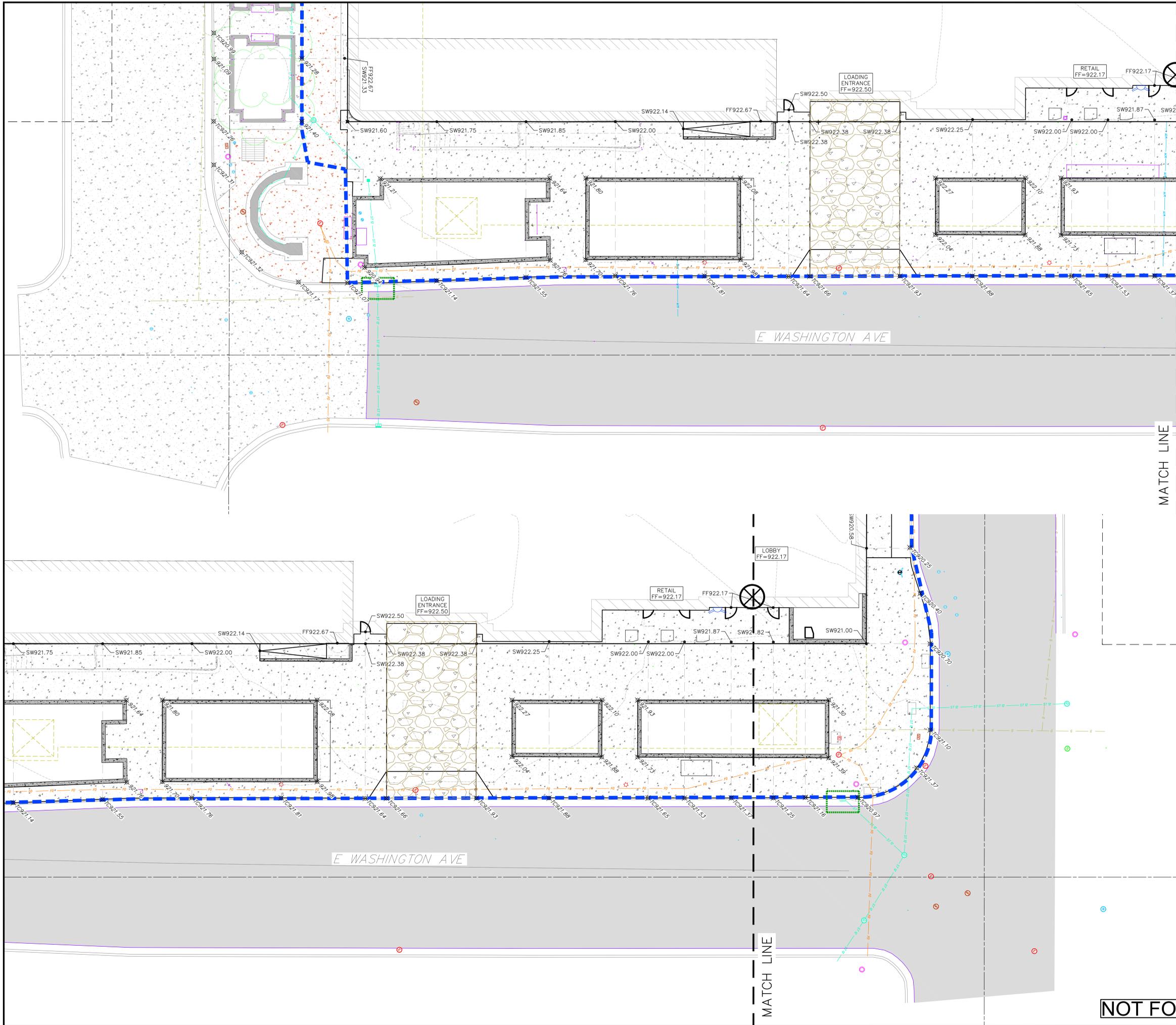
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PROJECT NO.: 190142  
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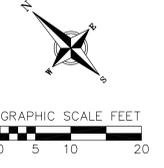
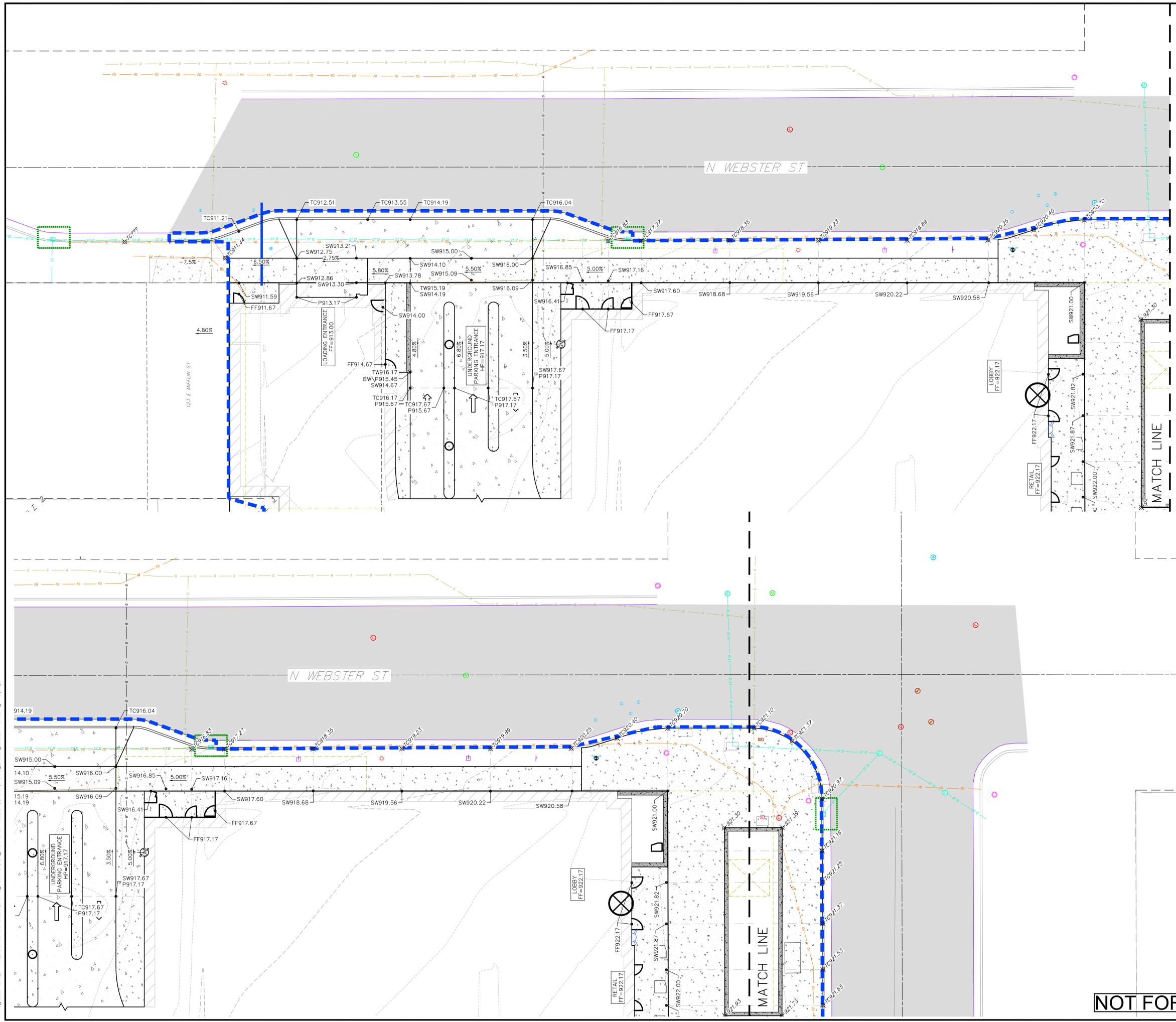


- GRADING LEGEND**
- 820 - EXISTING MAJOR CONTOURS
  - 818 - EXISTING MINOR CONTOURS
  - 820 - PROPOSED MAJOR CONTOURS
  - 818 - PROPOSED MINOR CONTOURS
  - - - SILT FENCE
  - - - DISTURBED LIMITS
  - - - DRAINAGE DIRECTION
  - - - 2.92% PROPOSED SLOPE ARROWS
  - ⊕ 1048.61 EXISTING SPOT ELEVATIONS
  - ⊕ 1048.61 PROPOSED SPOT ELEVATIONS
  - ⊕ INLET PROTECTION
  - TRACKING PAD

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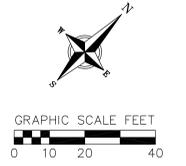
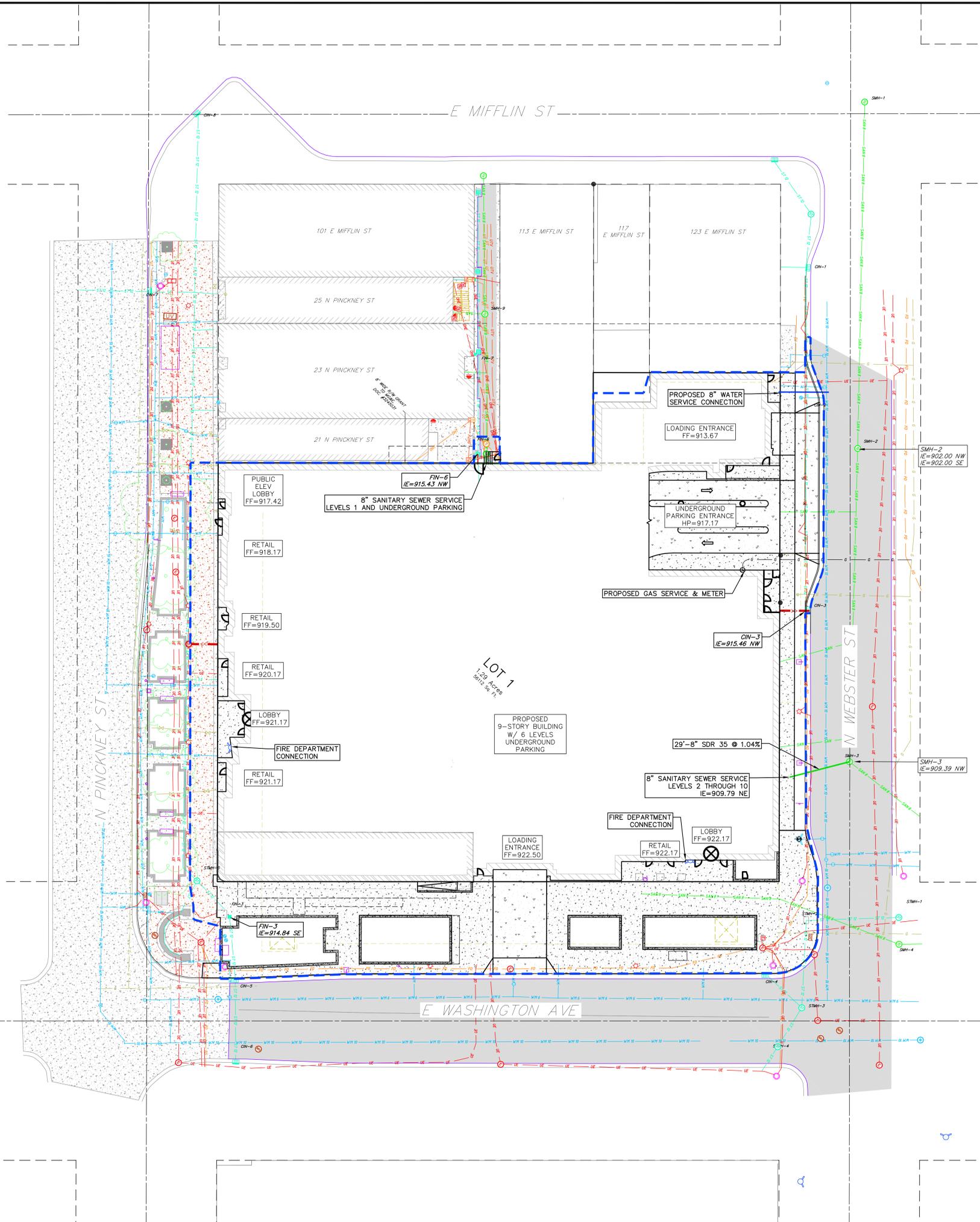
**NOT FOR CONSTRUCTION**



- GRADING LEGEND**
- - 820 - - EXISTING MAJOR CONTOURS
  - - 818 - - EXISTING MINOR CONTOURS
  - 820 — PROPOSED MAJOR CONTOURS
  - 818 — PROPOSED MINOR CONTOURS
  - — SILT FENCE
  - — DISTURBED LIMITS
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  - 2.92% PROPOSED SLOPE ARROWS
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  - 1048.61 PROPOSED SPOT ELEVATIONS
  - INLET PROTECTION
  - TRACKING PAD

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**NOT FOR CONSTRUCTION**



**PROPOSED UTILITY LEGEND**

- >---> STORM SEWER PIPE
- ⊙ STORM SEWER MANHOLE
- ⊠ STORM SEWER ENDWALL
- ⊕ STORM SEWER CURB INLET
- ⊕ STORM SEWER CURB INLET W/MANHOLE
- ⊕ STORM SEWER FIELD INLET
- ⊕ ROOF DRAIN CLEANOUT
- >---> SANITARY SEWER PIPE (GRAVITY)
- >---> SANITARY SEWER PIPE (FORCE MAIN)
- >---> SANITARY SEWER LATERAL PIPE
- ⊙ SANITARY SEWER MANHOLE
- ⊕ SANITARY SEWER CLEANOUT
- >---> WATER MAIN
- >---> WATER SERVICE LATERAL PIPE
- ⊕ FIRE HYDRANT
- ⊕ WATER VALVE
- ⊕ CURB STOP
- ⊕ WATER VALVE MANHOLE
- ▨ PROPOSED PIPE INSULATION
- >---> GAS MAIN
- >---> ELECTRIC SERVICE

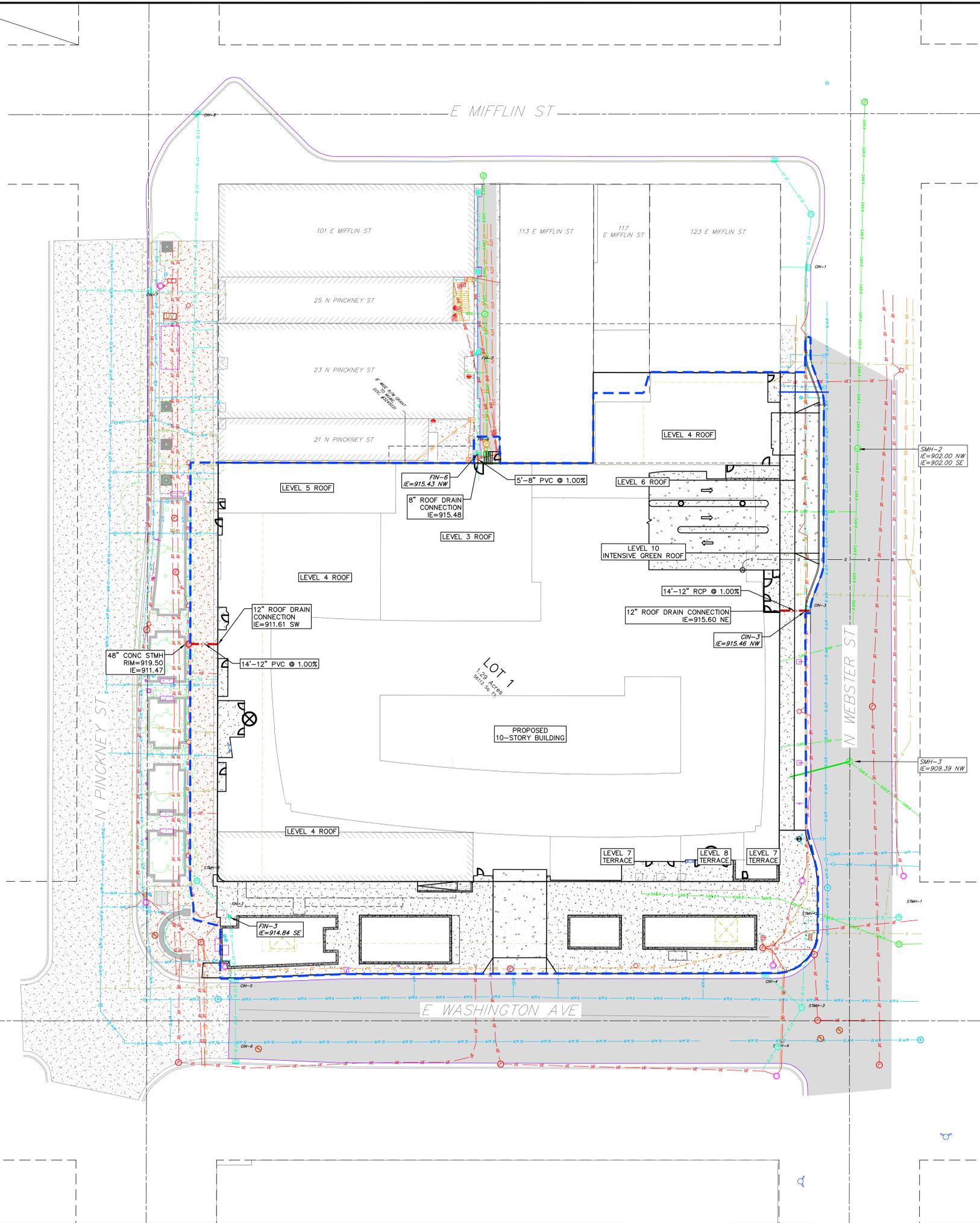
**ABBREVIATIONS**

- SMH - STORM MANHOLE
- FI - FIELD INLET
- CI - CURB INLET
- CB - CATCH BASIN
- EW - ENDWALL
- SMH - SANITARY MANHOLE

- UTILITY NOTES:**
- CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT OF WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING AND ABANDONMENT PERMITS PRIOR TO CONSTRUCTION.
  - CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS AND ELEVATIONS PRIOR TO STARTING WORK.
  - SANITARY & STORM SEWER LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. STORM SEWER END SECTIONS ARE INCLUDED IN THE LENGTH AND SLOPE OF THE PIPE.
  - CONTRACTOR SHALL INVESTIGATE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL UTILITY STRUCTURES TO FINISHED GRADE (MANHOLE RIMS, WATER VALVES, AND CURB STOPS), IF NECESSARY.
  - FOR ALL SEWER AND WATER MAIN CROSSINGS: PROVIDE MINIMUM 18" SEPARATION WHEN WATER MAIN CROSSES BELOW SEWER AND MINIMUM 6" SEPARATION WHEN WATER MAIN CROSSES ABOVE SEWER.
  - IF DEWATERING OPERATIONS EXCEED 70 GALLONS PER MINUTE OF PUMPING CAPACITY, A DEWATERING WELL PERMIT SHALL BE OBTAINED PRIOR TO STARTING ANY DEWATERING ACTIVITIES.
  - A COPY OF THE APPROVED UTILITY PLANS, SPECIFICATIONS AND PLUMBING PERMIT APPROVAL LETTER SHALL BE ON-SITE DURING CONSTRUCTION AND OPEN TO INSPECTION BY AUTHORIZED REPRESENTATIVES OF THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES AND OTHER LOCAL INSPECTORS.
  - PROPOSED UTILITY SERVICE LINES SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATION WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
  - STORM BUILDING SEWER PIPE SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-6 OF SPS 384.30(3)(c).
  - UNDERGROUND DRAIN AND VENT PIPE/TUBING SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-2 OF SPS 384.30(2).
  - PRIVATE WATER SERVICES AND PRIVATE WATER MAINS SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-7 OF SPS 384.30(4)(d).
  - PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-3 OF SPS 384.30(2)(c).
  - A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER SPS 382.10(11)(h) AND SPS 382.40(B)(k).
  - EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SPS 382.40(B)(b).
  - NO PERSON MAY ENGAGE IN PLUMBING WORK IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PER S.145.06.
  - SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE, LOCATION, AND INVERT ELEVATION OF PROPOSED SANITARY AND WATER LATERALS.
  - IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING VALVES WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. THE CITY IS NOT RESPONSIBLE FOR ANY COSTS INCURRED DUE TO THE CONTRACTOR NOT VERIFYING THAT THE EXISTING VALVE WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. IF A NEW VALVE IS REQUIRED, THE APPLICANT WILL BE REQUIRED TO INSTALL ONE AT THEIR EXPENSE, AT THE POINT OF CONNECTION.
  - CONTRACTOR TO CHLORINATE AND BACTERIA TEST BEFORE DOMESTIC SUPPLY PURPOSES
  - CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
  - SANITARY SEWER MAIN AT BURY DEPTHS GREATER THAN 15' SHALL BE SDR 21. ALL OTHER SANITARY SEWER MAIN SHALL BE SDR 26.
  - CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED.
  - ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GRADE ELEVATION TO TOP OF MAIN. PROVIDE 1.5' CLEAR SEPARATION IF WATER CROSSES BELOW SEWER AND MINIMUM 0.5' IF WATER CROSSES ABOVE.
  - SANITARY MANHOLES WITH SEWER MAIN CONNECTIONS GREATER THAN 2' ABOVE THE LOWEST INVERT SHALL BE CONSTRUCTED WITH AN EXTERNAL DROP. MANHOLES WITH SEWER LATERAL CONNECTIONS GREATER THAN 2' ABOVE THE LOWEST INVERT SHALL BE CONSTRUCTED WITH AN INTERNAL DROP.
  - INSTALL 1 SHEET OF 4'x8'x4" HIGH DENSITY STYROFOAM INSULATION AT ALL LOCATIONS WHERE STORM SEWER CROSSES WATER MAIN OR WATER LATERALS.

**NOT FOR CONSTRUCTION**

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- PROPOSED UTILITY LEGEND**
- STORM SEWER PIPE
  - STORM SEWER MANHOLE
  - STORM SEWER ENDWALL
  - STORM SEWER CURB INLET
  - STORM SEWER CURB INLET W/MANHOLE
  - STORM SEWER FIELD INLET
  - ROOF DRAIN CLEANOUT
  - SANITARY SEWER PIPE (GRAVITY)
  - SANITARY SEWER PIPE (FORCE MAIN)
  - SANITARY SEWER LATERAL PIPE
  - SANITARY SEWER MANHOLE
  - SANITARY SEWER CLEANOUT
  - WATER MAIN
  - WATER SERVICE LATERAL PIPE
  - FIRE HYDRANT
  - WATER VALVE
  - CURB STOP
  - WATER VALVE MANHOLE
  - ▨ PROPOSED PIPE INSULATION
  - GAS MAIN
  - ELECTRIC SERVICE
- ABBREVIATIONS**
- STMH - STORM MANHOLE
  - FI - FIELD INLET
  - CI - CURB INLET
  - CB - CATCH BASIN
  - EW - ENDWALL
  - SMH - SANITARY MANHOLE

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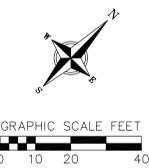
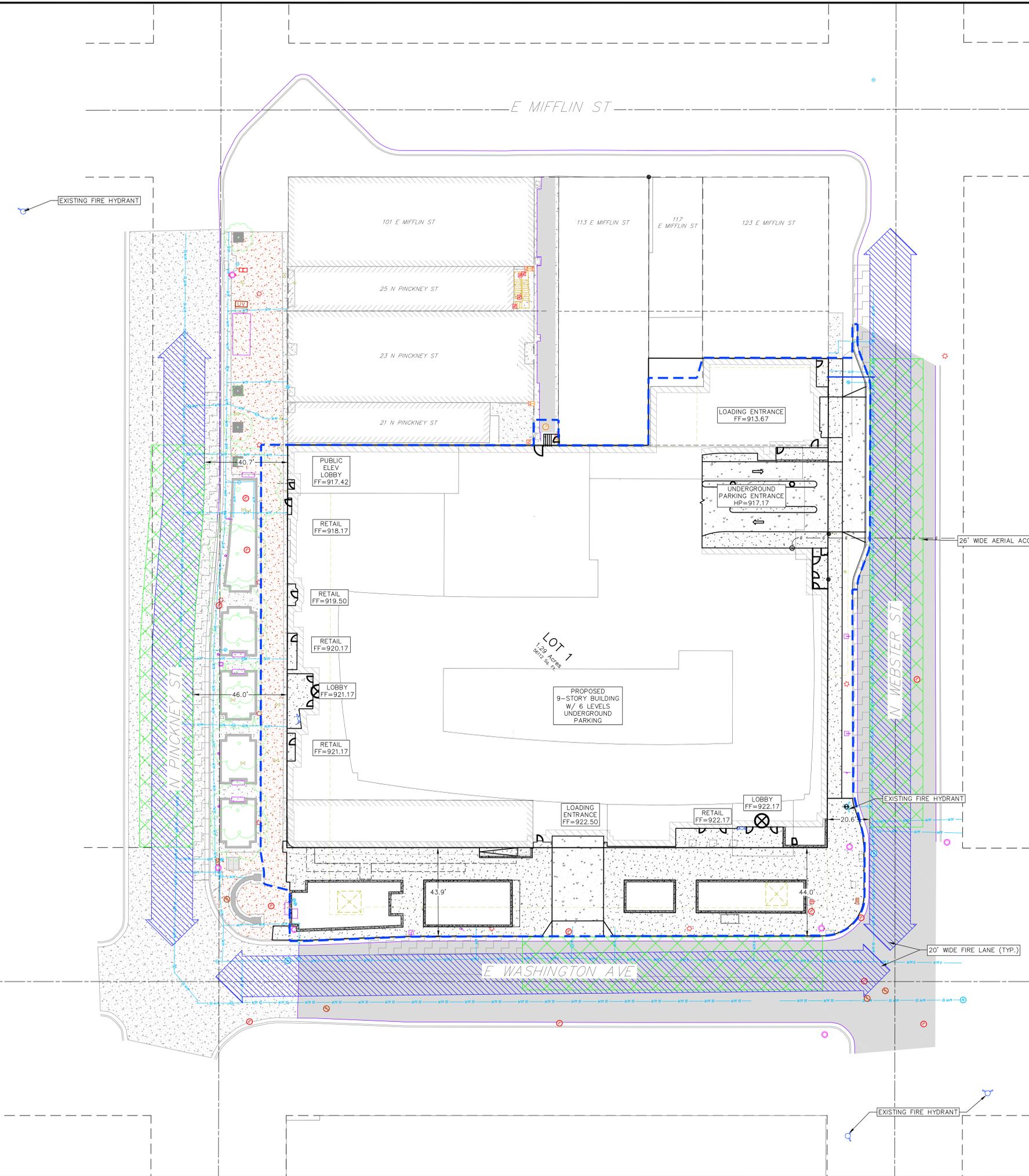
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PROJECT NO. 190142

SHEET C

**NOT FOR CONSTRUCTION**



- SITE PLAN LEGEND**
- PROPERTY BOUNDARY
  - CURB AND GUTTER (REVERSE CURB HATCHED)
  - PROPOSED CONCRETE
  - PROPOSED ASPHALT
  - 20' FIRE ACCESS LANE
  - 26' FIRE APPARATUS LANE
  - PARALLEL PARKING AREA (8' WIDE)
  - EXISTING CONIFEROUS TREE
  - EXISTING DECIDUOUS TREE
  - PROPOSED ADA DETECTABLE WARNING FIELD

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SCALE AS SHOWN

DATE 08/12/2020

DRAFTER ZDRE

CHECKED JZAM

PROJECT NO. 190142

SHEET

**NOT FOR CONSTRUCTION**



# City of Madison Fire Department

314 W Dayton Street, Madison, WI 53703-2506  
 Phone: 608-266-4420 • Fax: 608-267-1100 • E-mail: fire@cityofmadison.com

**Project Address:** Block 101, Original Plat of Madison (1 N Pinckney St)

**Contact Name & Phone #:** Justin Zampardi, 608-821-3970

## FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

|  |  |  |  |
|--|--|--|--|
| 1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system?<br><b>If non-sprinklered</b> , fire lanes extend to within 150-feet of all portions of the exterior wall?<br><b>If sprinklered</b> , fire lanes are within 250-feet of all portions of the exterior wall?  | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> Yes<br><input checked="" type="checkbox"/> Yes   | <input type="checkbox"/> No<br><input type="checkbox"/> No<br><input type="checkbox"/> No  | <input type="checkbox"/> N/A<br><input checked="" type="checkbox"/> N/A<br><input type="checkbox"/> N/A  |
| 2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs?<br>a) Is the fire lane a minimum unobstructed width of at least 20-feet?<br>b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet?<br>c) Is the minimum inside turning radius of the fire lane at least 28-feet?<br>d) Is the grade of the fire lane not more than a slope of 8%?<br>e) Is the fire lane posted as fire lane? (Provide detail of signage.)<br>f) Is a roll-able curb used as part of the fire lane? (Provide detail of curb.)<br>g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.)  | <input checked="" type="checkbox"/> Yes<br><input checked="" type="checkbox"/> Yes<br><input checked="" type="checkbox"/> Yes<br><input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> Yes<br><input type="checkbox"/> Yes<br><input type="checkbox"/> Yes | <input type="checkbox"/> No<br><input type="checkbox"/> No<br><input type="checkbox"/> No<br><input type="checkbox"/> No<br><input type="checkbox"/> No<br><input checked="" type="checkbox"/> No<br><input checked="" type="checkbox"/> No            | <input type="checkbox"/> N/A<br><input type="checkbox"/> N/A<br><input type="checkbox"/> N/A<br><input type="checkbox"/> N/A<br><input type="checkbox"/> N/A<br><input type="checkbox"/> N/A<br><input type="checkbox"/> N/A |
| 3. Is the fire lane obstructed by security gates or barricades? If yes:<br>a) Is the gate a minimum of 20-feet clear opening?<br>b) Is an approved means of emergency operations installed, key vault, padlock or key switch?  | <input type="checkbox"/> Yes<br><input type="checkbox"/> Yes<br><input type="checkbox"/> Yes   | <input checked="" type="checkbox"/> No<br><input type="checkbox"/> No<br><input type="checkbox"/> No   | <input type="checkbox"/> N/A<br><input checked="" type="checkbox"/> N/A<br><input checked="" type="checkbox"/> N/A   |
| 4. Is the Fire lane dead-ended with a length greater than 150-feet?<br>If yes, does the area for turning around fire apparatus comply with IFC D103?   | <input type="checkbox"/> Yes<br><input type="checkbox"/> Yes   | <input checked="" type="checkbox"/> No<br><input type="checkbox"/> No  | <input type="checkbox"/> N/A<br><input checked="" type="checkbox"/> N/A  |
| 5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6<br>If yes, see IFC 3206.6 for further requirements.  | <input type="checkbox"/> Yes   | <input checked="" type="checkbox"/> No   | <input type="checkbox"/> N/A   |
| 6. Is any part of the building <u>greater than 30-feet</u> above the grade plane?<br>If yes, answer the following questions:<br>a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter?<br>b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building?<br>c) Are there any overhead power or utility lines located across the aerial apparatus fire lane?<br>d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species)<br>e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet?<br>f) Is the space between the aerial lane and the building free of trees exceeding 20' in heights?   | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> Yes                      | <input type="checkbox"/> No<br><input type="checkbox"/> No<br><input checked="" type="checkbox"/> No<br><input checked="" type="checkbox"/> No<br><input type="checkbox"/> No<br><input type="checkbox"/> No<br><input checked="" type="checkbox"/> No | <input type="checkbox"/> N/A<br><input type="checkbox"/> N/A<br><input type="checkbox"/> N/A<br><input type="checkbox"/> N/A<br><input type="checkbox"/> N/A<br><input type="checkbox"/> N/A                                 |
| 7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants?<br><i>Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus.</i><br>a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants?<br>b) Is there at least 40' between a hydrant and the building?<br>c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane?<br>d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb?<br>e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1½-feet, within 5-feet of a fire hydrant?<br><i>Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.</i> | <input checked="" type="checkbox"/> Yes<br><input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> Yes<br><input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> Yes<br><input checked="" type="checkbox"/> Yes                                 | <input type="checkbox"/> No<br><input type="checkbox"/> No<br><input checked="" type="checkbox"/> No<br><input type="checkbox"/> No<br><input type="checkbox"/> No<br><input type="checkbox"/> No  | <input type="checkbox"/> N/A<br><input type="checkbox"/> N/A<br><input type="checkbox"/> N/A<br><input type="checkbox"/> N/A<br><input checked="" type="checkbox"/> N/A<br><input type="checkbox"/> N/A                      |

Attach an additional sheet if further explanation is required for any answers.

This worksheet is based on **MGO 34.503** and **IFC 2015 Edition Chapter 5 and Appendix D**; please see the codes for further information.

# Long Views

**VALERIO  
DEWALT  
TRAIN**



# E. WASHINGTON & PATERSON



VISIBLE PORTION OF  
PROPOSED BUILDING

OUTLINE OF PROPOSED  
BUILDING BEYOND

# E. WASHINGTON & BLOUNT



VISIBLE PORTION OF  
PROPOSED BUILDING

OUTLINE OF PROPOSED  
BUILDING BEYOND

# E. WASHINGTON & HANCOCK

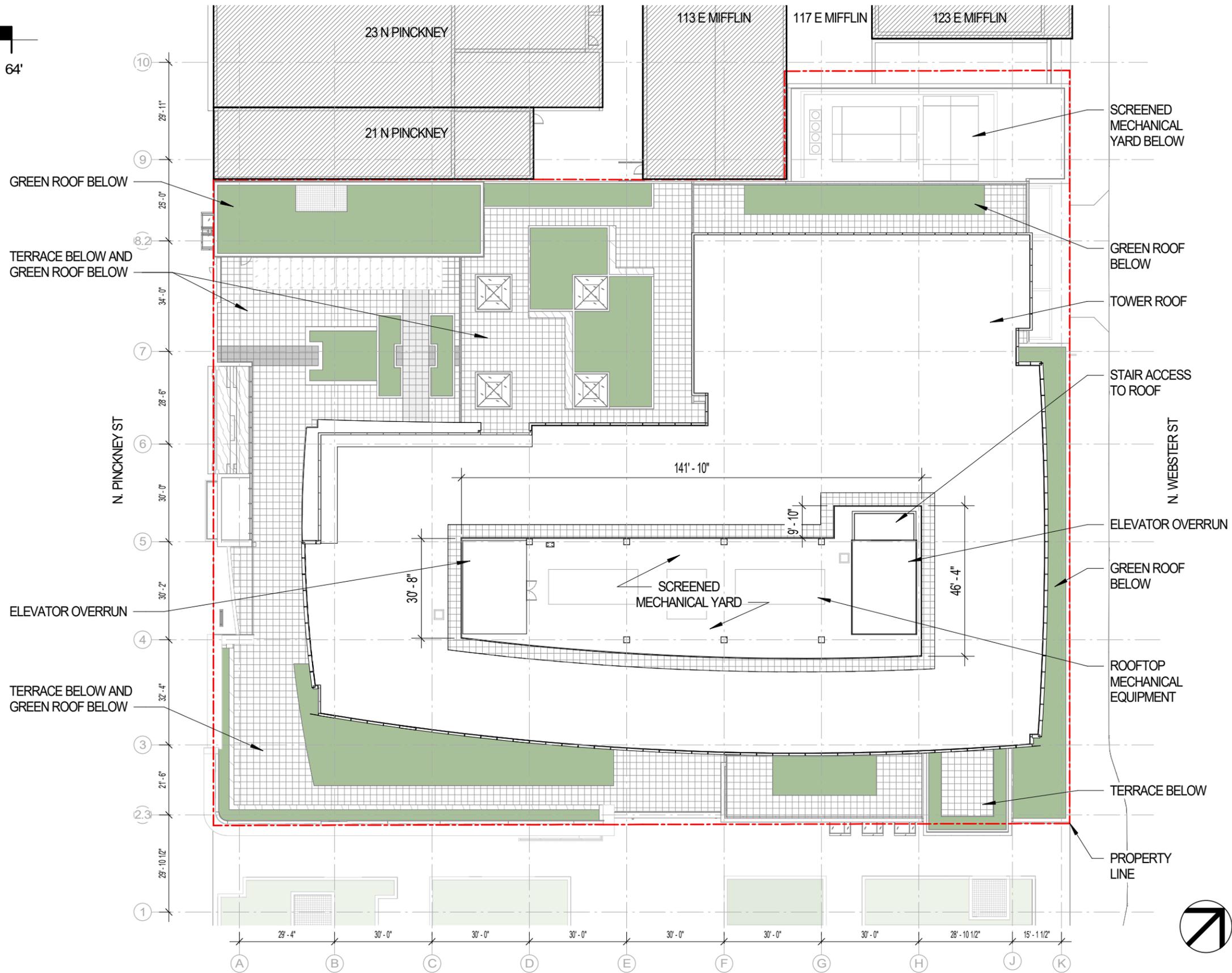


VISIBLE PORTION OF  
PROPOSED BUILDING

OUTLINE OF PROPOSED  
BUILDING BEYOND

# ROOF PLAN

SCALE: 1/32" = 1'-0"



# VALERIO DEWALT TRAIN

500 North Dearborn Street  
Suite 900  
Chicago, Illinois 60654

312.260.7300

Developer



Urban Land Interests

Project Name

## AMERICAN EXCHANGE DEVELOPMENT

Project Address

A Portion of Block 101  
in the City of Madison,  
Wisconsin

Project Number

18038.00

Date

08/12/20

Sheet Name

## ROOF PLAN

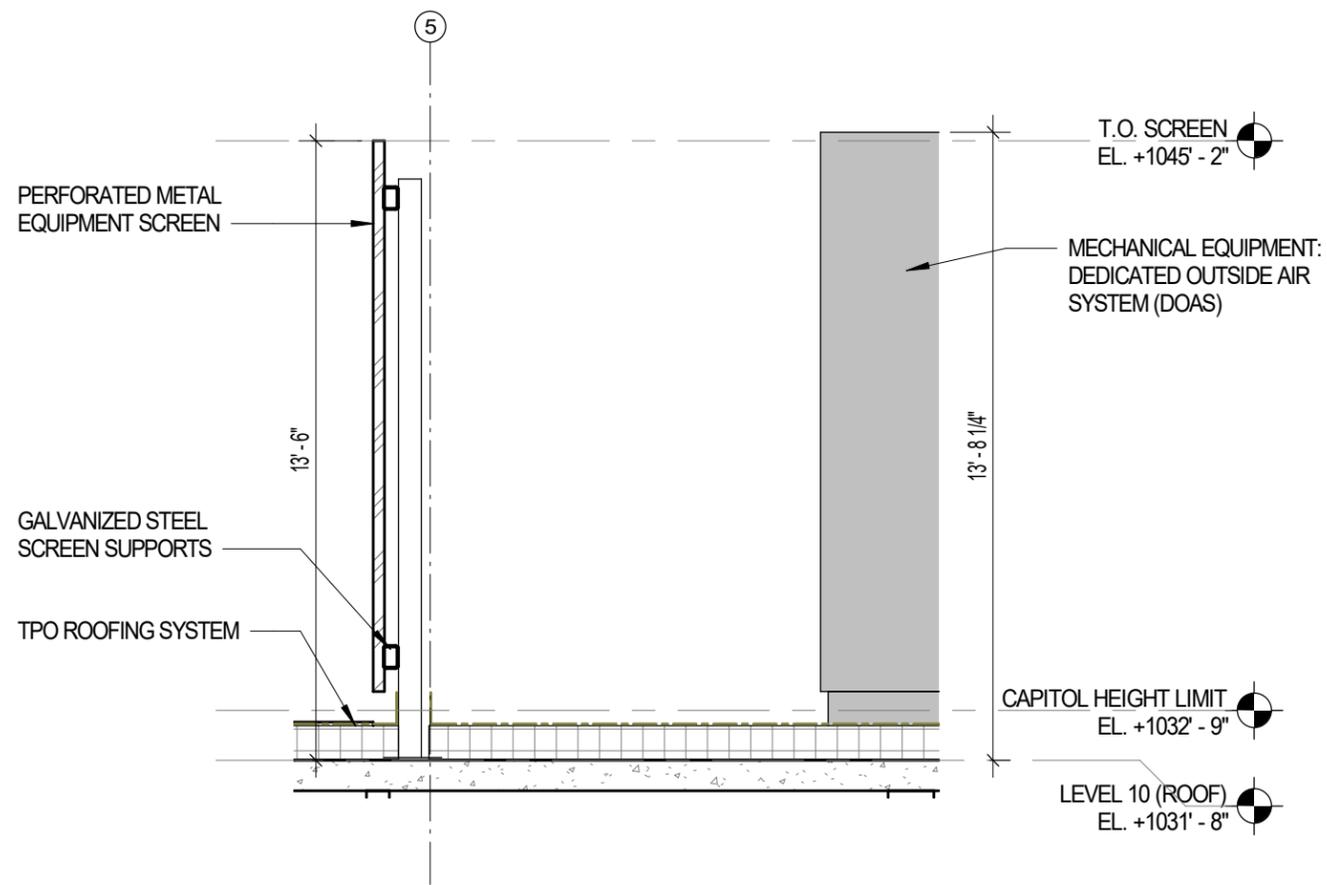
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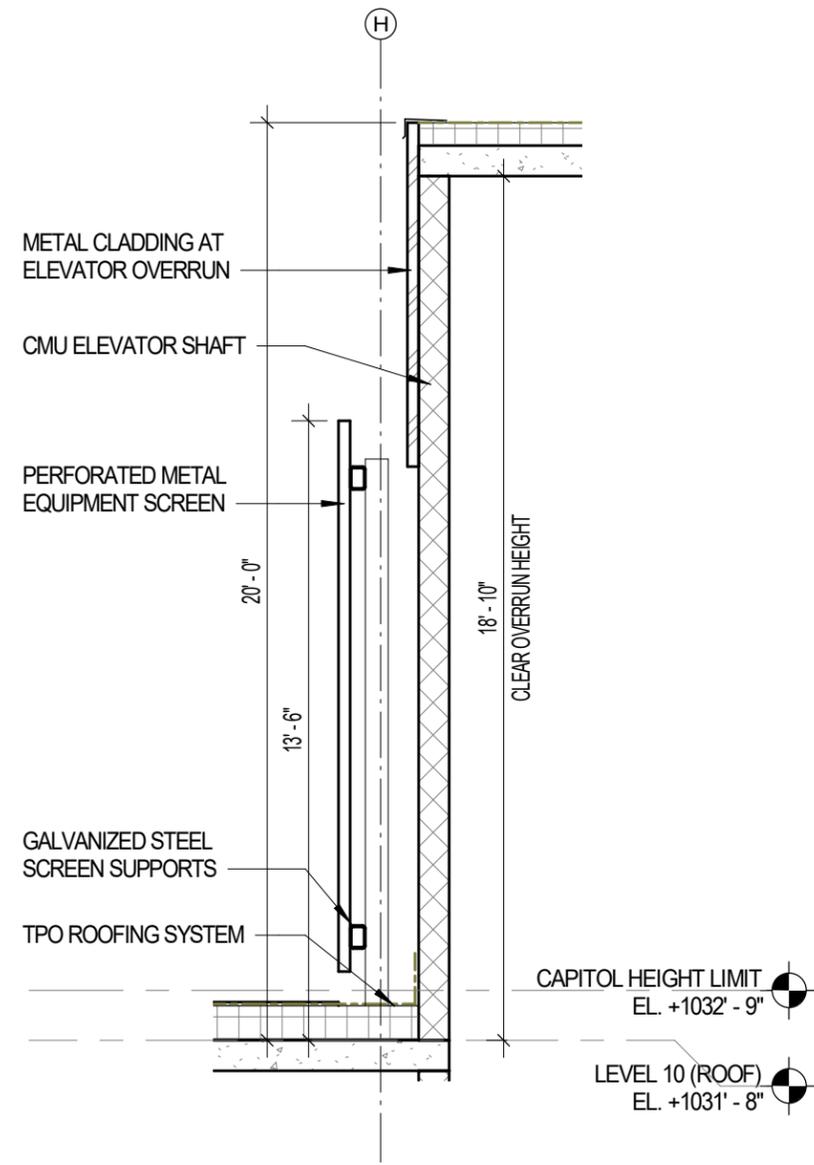


# MECHANICAL SCREEN DETAILS

SCALE: 1/4" = 1'-0"



**SECTION AT MECHANICAL SCREEN**



**SECTION AT ELEVATOR OVERRUN**

