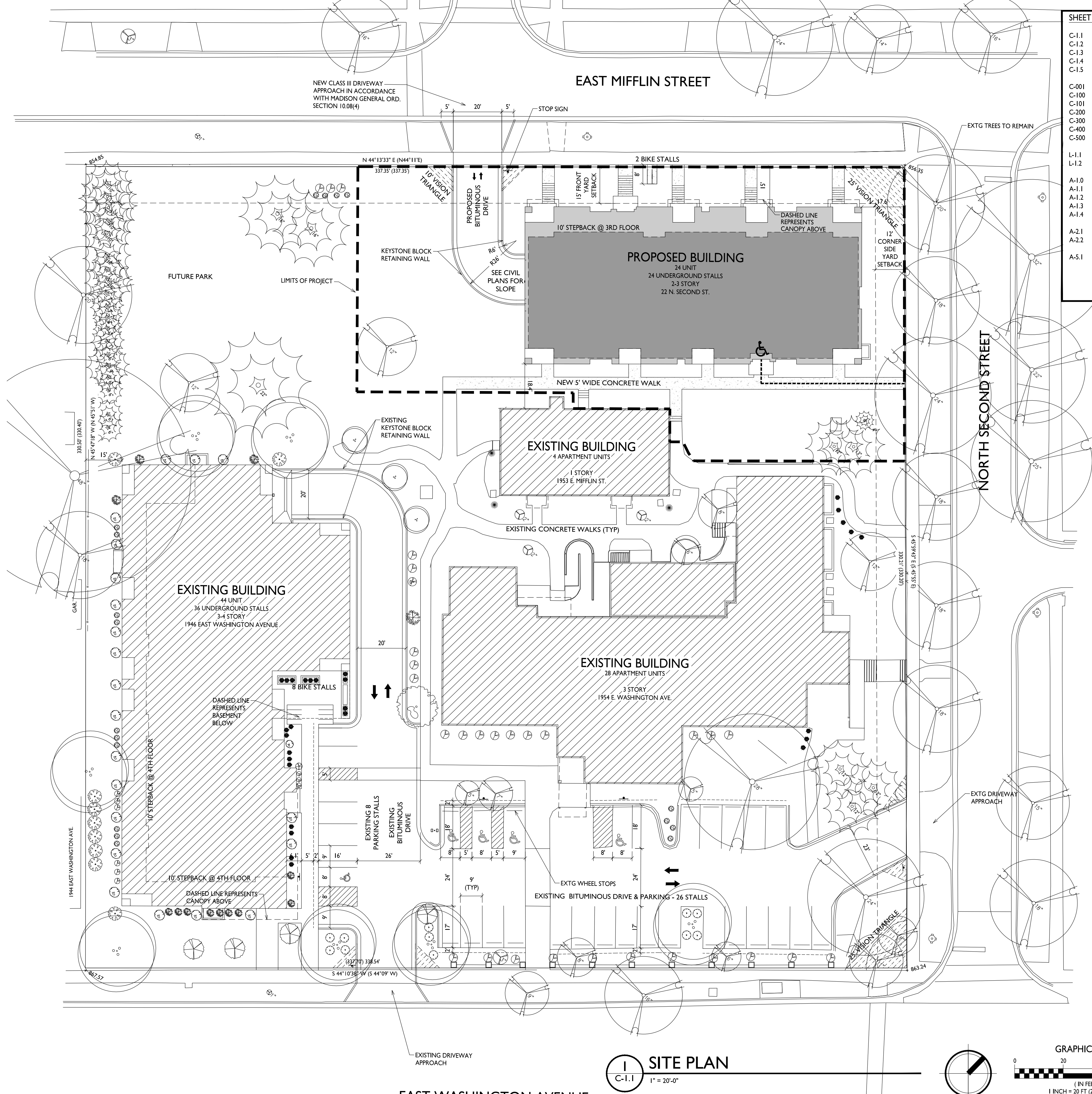




The Avenue
Aerial Locator Map
22 N. Second St.
June 30, 2021





SHEET INDEX

C-1.1	SITE PLAN
C-1.2	LIGHTING PLAN
C-1.3	FIRE ACCESS PLAN
C-1.4	LOT COVERAGE
C-1.5	USABLE OPEN SPACE
C-001	CIVIL DETAILS
C-100	EXISTING CONDITIONS
C-101	EXISTING CONDITIONS NOTES
C-200	DEMOLITION PLAN
C-300	CIVIL SITE PLAN
C-400	GRADING & EROSION CONTROL PLAN
C-500	UTILITY PLAN
L-1.1	LANDSCAPE PLAN
L-1.2	EXISTING LANDSCAPE PLAN
A-1.0	BASEMENT PLAN
A-1.1	FIRST FLOOR PLAN
A-1.2	SECOND FLOOR PLAN
A-1.3	THIRD FLOOR PLAN
A-1.4	ROOF PLAN
A-2.1	EXTERIOR ELEVATIONS
A-2.2	EXTERIOR ELEVATIONS - COLOR
A-5.1	TYPICAL UNIT LAYOUT
	RENDERINGS

SITE DEVELOPMENT DATA

ZONING : TR-UI

DENSITIES
 LOT AREA 111,540 S.F. / 2.56 ACRES
 NEW DWELLING UNITS 24 DU
 EXISTING DWELLING UNITS 76 DU
 TOTAL 100 DU
 LOT AREA / D.U. 1,115 S.F. / DU
 DENSITY 39 UNITS/ACRE

LOT COVERAGE 61,996 S.F. = 56% (75% MAX. ALLOWED)
 USABLE OPEN SPACE 35,596 S.F. OR 356 S.F. / D.U. (160 S.F. / D.U. MIN. REQUIRED)

BUILDING HEIGHT 2-3 STORIES

BUILDING A - DWELLING UNIT MIX:
 EFFICIENCY 5
 ONE BEDROOM 9
 TWO BEDROOM 10
 TOTAL UNITS 24

VEHICLE PARKING STALLS:
 UNDERGROUND 24 VEHICLE STALLS

BICYCLE PARKING STALLS FOR NEW 24 UNIT
 SURFACE - GUEST/SHORT-TERM 2
 UNDERGROUND GARAGE 18 STALLS (STD. 2'X6')
 UNDERGROUND GARAGE 6 STALLS (WALL HUNG)
 TOTAL 26 BIKE STALLS

GENERAL NOTES:

1. THE APPLICANT SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER THAT ABUTS THE PROPERTY THAT IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
2. ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
3. ALL DAMAGE TO THE PAVEMENT ON CITY STREETS, AND ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA.
4. ALL PROPOSED STREET TREE REMOVALS WITHIN THE RIGHT OF WAY SHALL BE REVIEWED BY CITY FORESTRY BEFORE THE PLAN COMMISSION MEETING. STREET TREE REMOVALS REQUIRE APPROVAL AND A TREE REMOVAL PERMIT ISSUED BY CITY FORESTRY. ANY STREET TREE REMOVALS REQUESTED AFTER THE DEVELOPMENT PLAN IS APPROVED BY THE PLAN COMMISSION OR THE BOARD OF PUBLIC WORKS AND CITY FORESTRY WILL REQUIRE A MINIMUM OF A 72-HOUR REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE ALDERPERSON WITHIN WHO'S DISTRICT IS AFFECTED BY THE STREET TREE REMOVAL(S) PRIOR TO A TREE REMOVAL PERMIT BEING ISSUED.
5. AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION: NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY (266-4816) PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM
6. CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREE(S). THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT 266-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.
7. SECTION 107.13(G) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SPOILS OR DUMPING OF POISONOUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN FIVE (5) FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.
8. ON THIS PROJECT, STREET TREE PROTECTION ZONE FENCING IS REQUIRED. THE FENCING SHALL BE ERECTED BEFORE THE DEMOLITION, GRADING OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF TERRACE AND, EXTEND AT LEAST 5 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE.
9. STREET TREE PRUNING SHALL BE COORDINATED WITH MADISON FORESTRY AT A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION FOR THIS PROJECT. ALL PRUNING SHALL FOLLOW THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 - PART 1 STANDARDS FOR PRUNING.
10. APPROVAL OF PLANS FOR THIS PROJECT DOES NOT INCLUDE ANY APPROVAL TO PRUNE, REMOVE, OR PLANT TREES IN THE PUBLIC RIGHT-OF-WAY. PERMISSION FOR SUCH ACTIVITIES MUST BE OBTAINED FROM THE CITY FORESTER (266-4816).
11. THE PUBLIC RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME. NO ITEMS SHOWN ON THIS SITE PLAN IN THE RIGHT-OF-WAY ARE PERMANENT AND MAY NEED TO BE REMOVED AT THE APPLICANTS EXPENSE UPON NOTIFICATION BY THE CITY.

ISSUED
 Info UDC Submittal - June 30, 2021
 Land Use & UDC Submittal - September 15, 2021

PROJECT TITLE
 The Avenue
 Expansion
 Madison
 Development
 Corp.

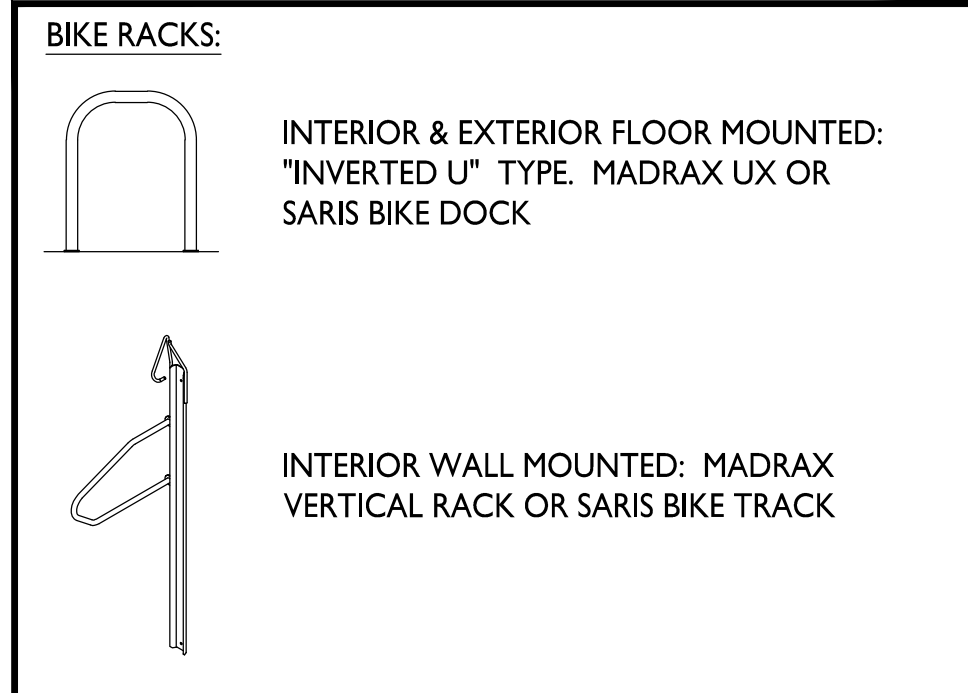
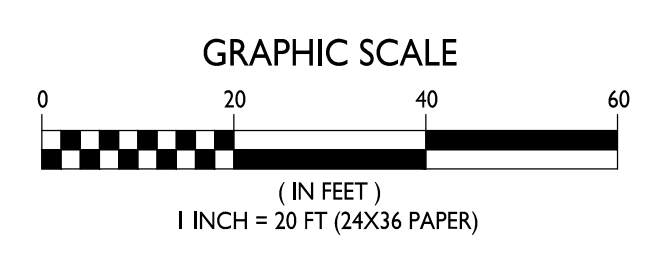
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 22 N. Second Street
SHEET TITLE
 Site Plan

SHEET NUMBER

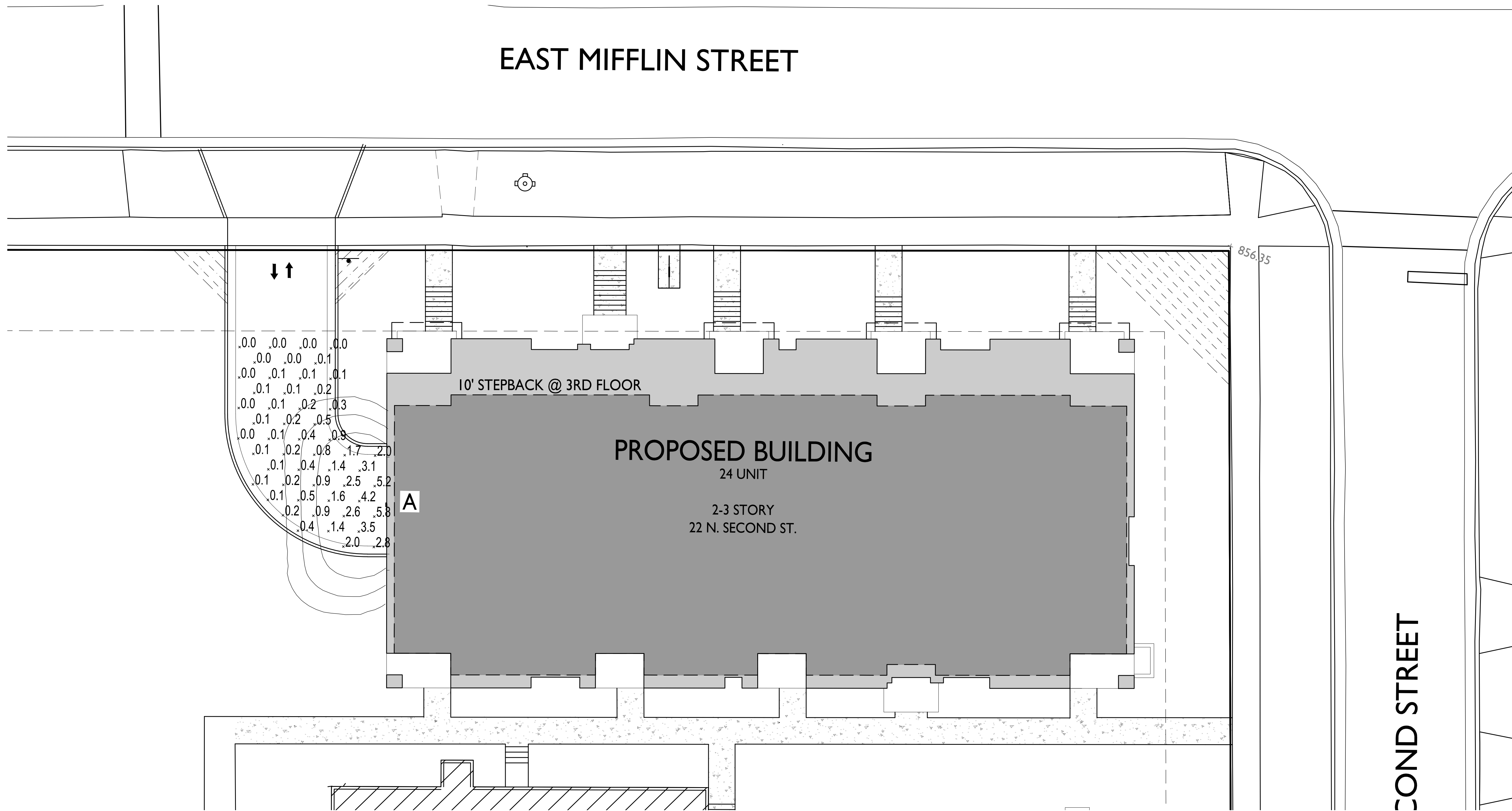
C-1.1

PROJECT NO. 2111
 © Knothe & Bruce Architects, LLC

SITE PLAN
 C-1.1
 1" = 20'-0"



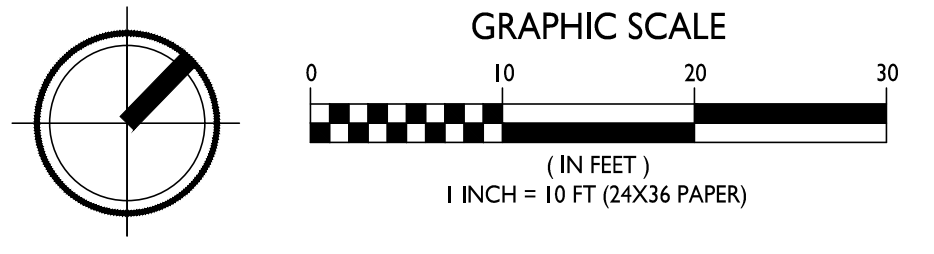
EAST MIFFLIN STREET



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 Land Use & UDC Submittal - September 15, 2021

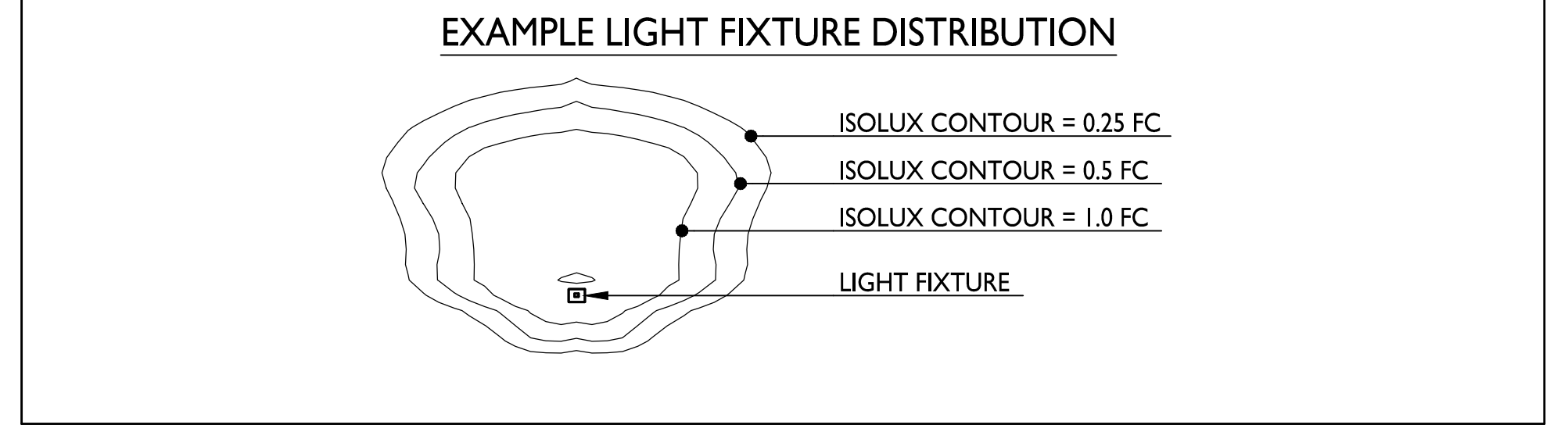
PROJECT TITLE
**The Avenue
 Expansion
 Madison
 Development
 Corp.**

I
 C-1.2
SITE LIGHTING PLAN
 1" = 10'-0"



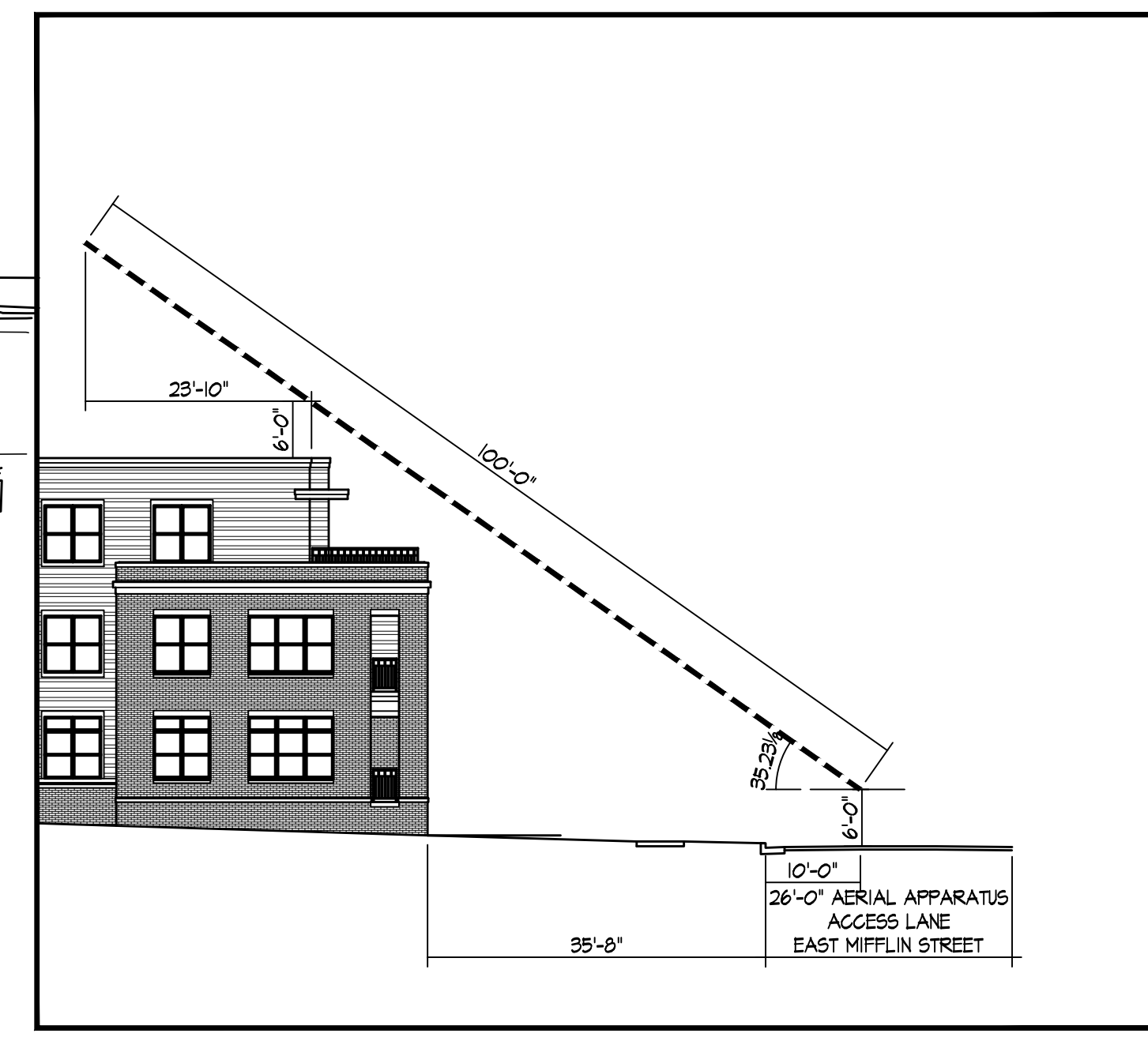
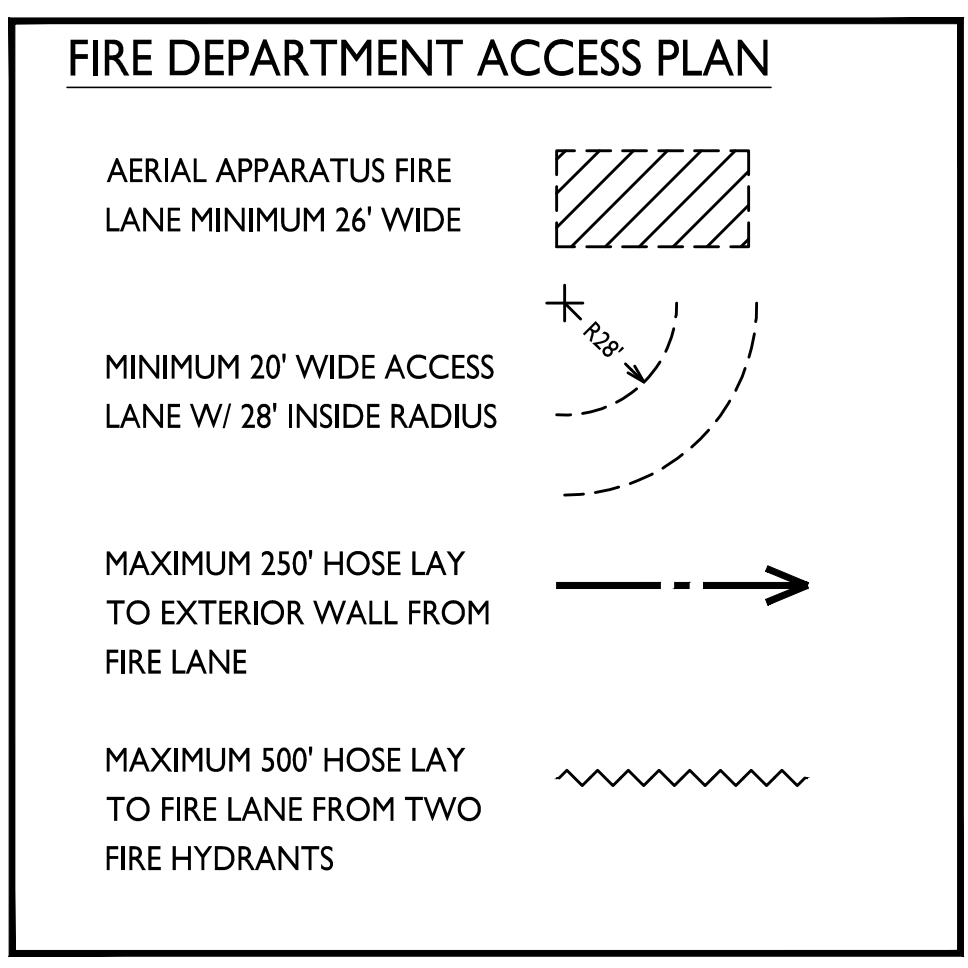
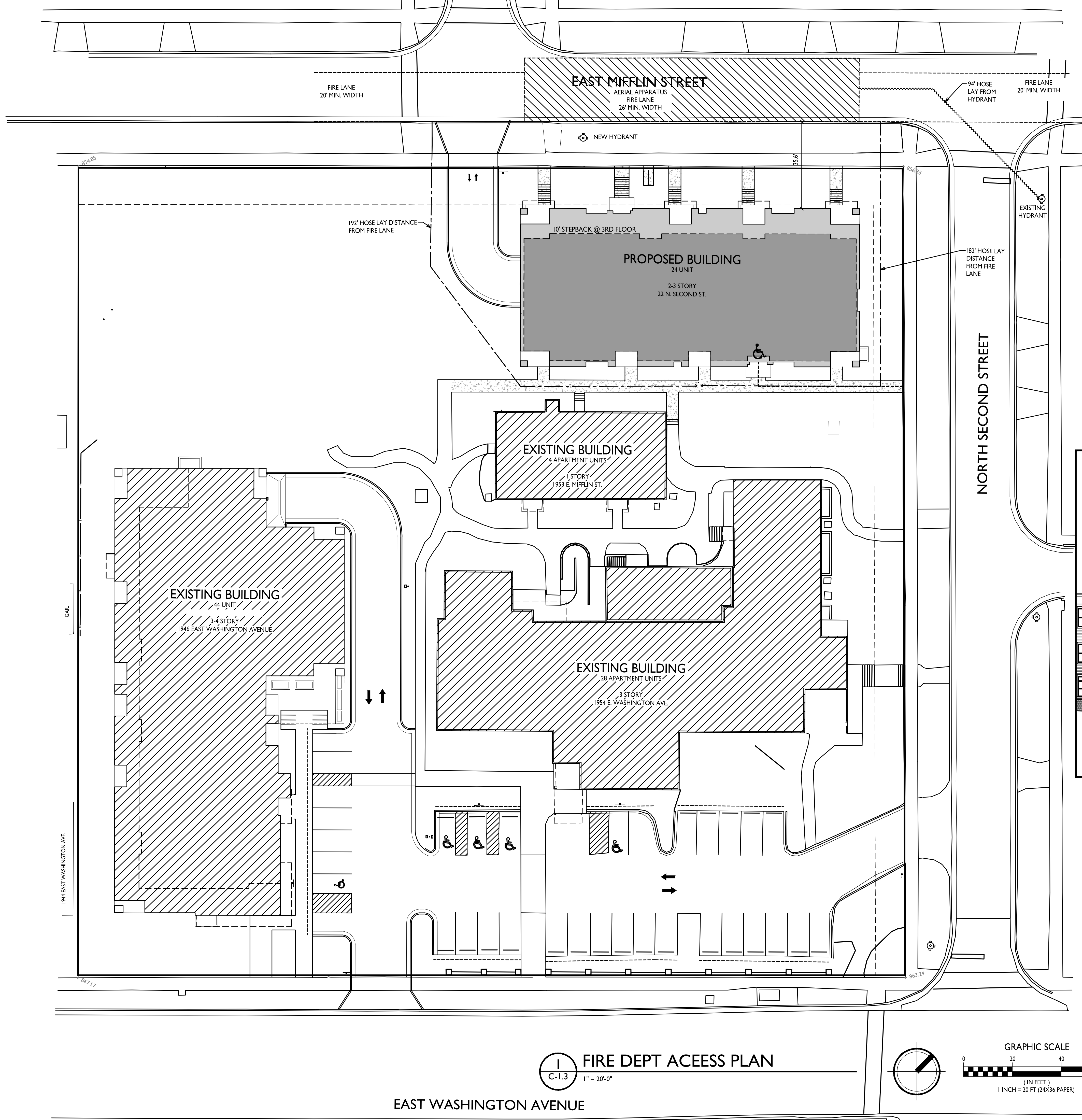
STATISTICS						
DESCRIPTION	SYMBOL	AVG.	MAX.	MIN.	MAX. / MIN.	AVG. / MIN.
Expansion Garage Entry Lighting	I	0.9 fc	5.8 fc	0.0 fc	N/A	N/A

LUMINAIRE SCHEDULE							
SYMBOL	LABEL	QTY.	MANUF.	CATALOG	DESCRIPTION	FILE	MOUNTING
□	A	I	LITHONIA LIGHTING	WPX I LED PI 30K MVOLT	WPX I LED WALLPACK 1500LM 3000K COLOR TEMPERATURE 120-277 VOLTS	WPXI_LED_PI_30K_MVOLT.ies	8'-0" ABOVE GRADE ON SIDE OF BUILDING



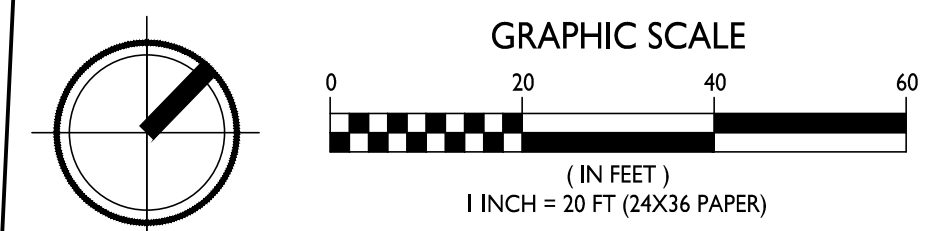
Site Address:
22 N. Second Street
 SHEET TITLE
Site Lighting Plan

SHEET NUMBER
C-1.2
 PROJECT NO. **2111**
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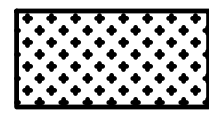


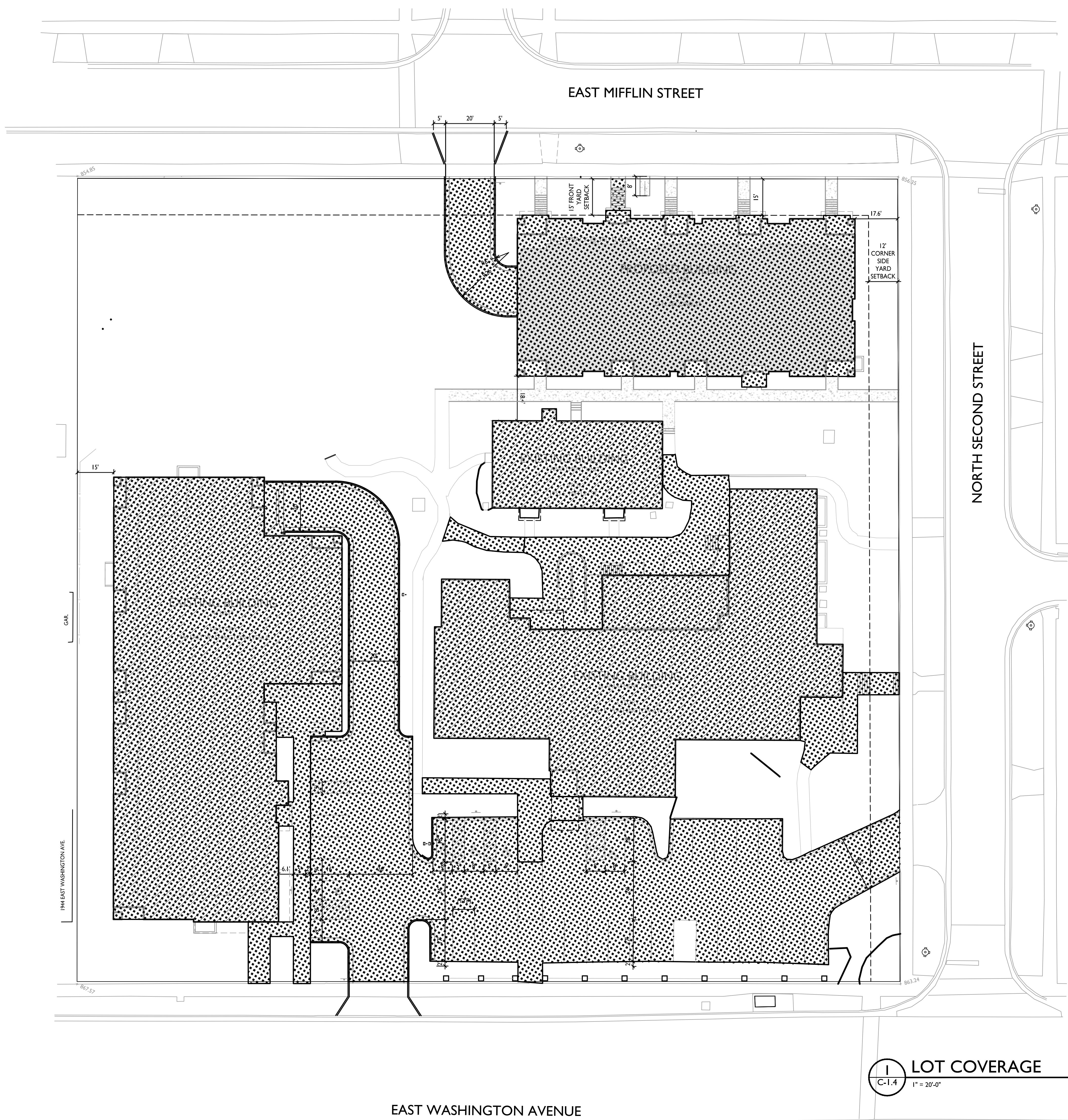
2 AERIAL ACCESS FROM STREET
C-1.3 N.T.S.

1 FIRE DEPT ACCESS PLAN
C-1.3 1" = 20'-0"



EAST WASHINGTON AVENUE

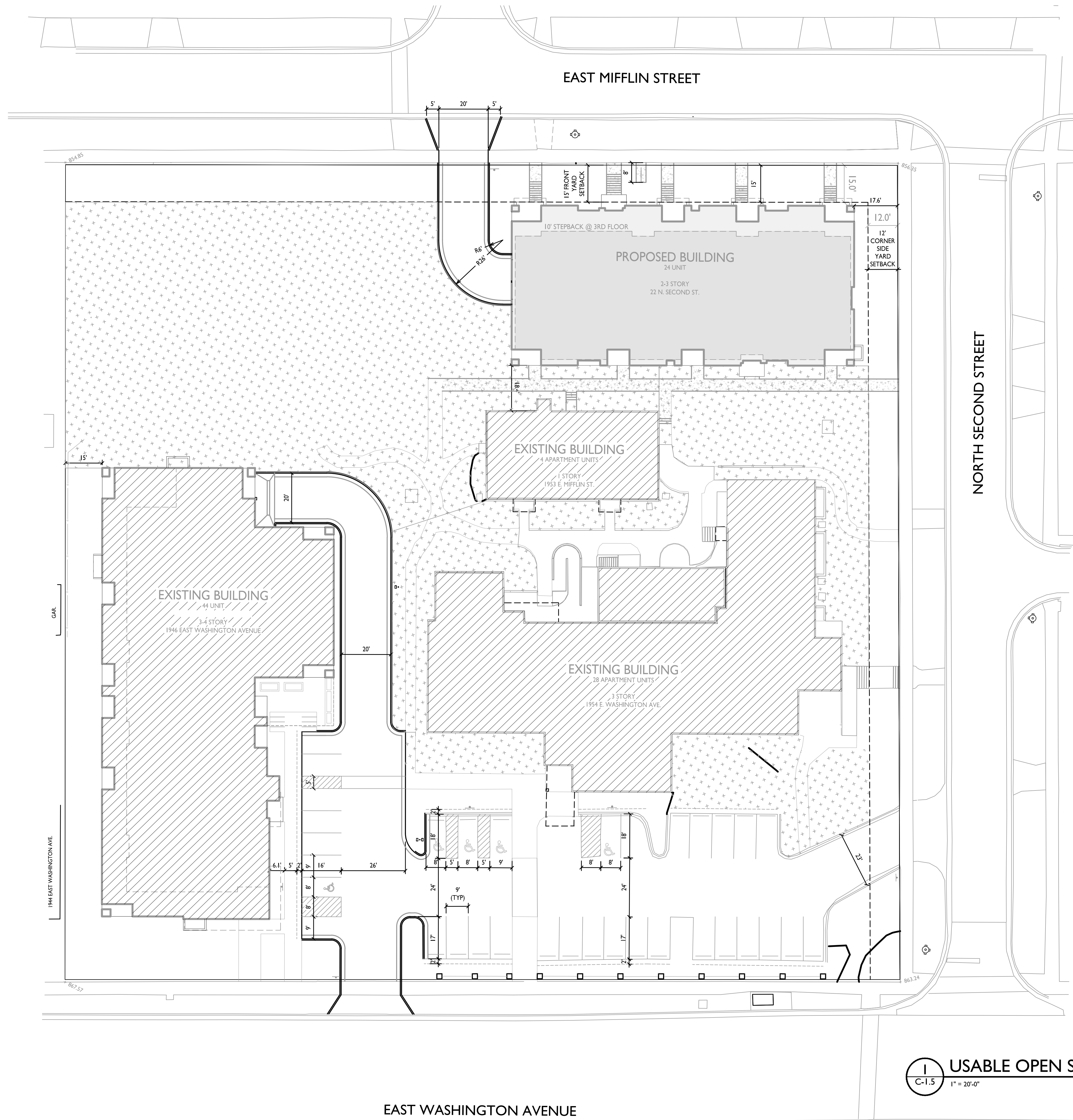
LOT COVERAGE
 ZONING: TR-U1
 MAXIMUM LOT COVERAGE ALLOWED 75% 
 TOTAL LOT AREA 111,540 S.F.
 BUILDING / PAVING / WALKS >5' WIDE 61,996 S.F. / 56%



LOT COVERAGE
 C-1.4 1" = 20'-0"

GRAPHIC SCALE
 0 20 40 60
 (IN FEET)
 1 INCH = 20 FT (24X36 PAPER)

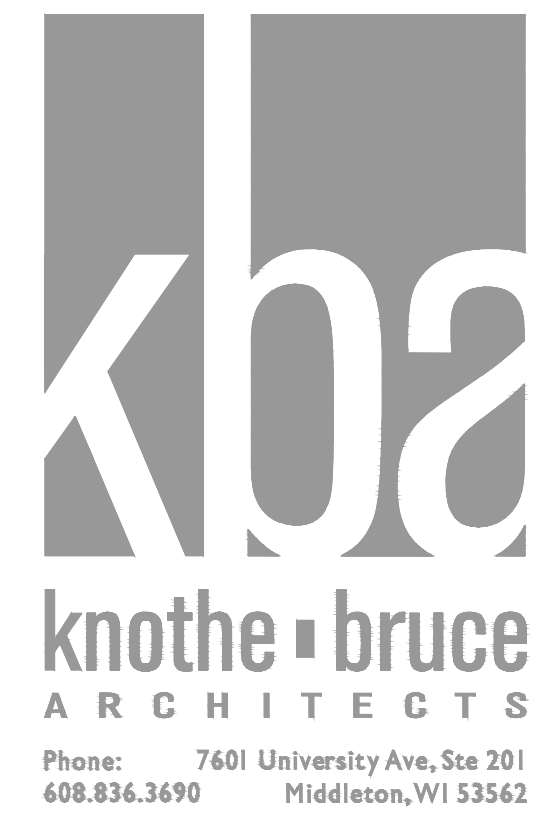
EAST WASHINGTON AVENUE



USABLE OPEN SPACE

ZONING: TR-U1
 REQUIRED OPEN SPACE 160 S.F. / D.U.
 DWELLING UNITS 100
 100 D.U. X 160 S.F. = 16,000 S.F. OPEN SPACE REQUIRED

OPEN SPACE PROVIDED	EXTG BLDGS	PROPOSED BLDG	TOTAL
COMMUNITY ROOF DECK	454 S.F.	-	454 S.F.
PRIVATE ROOF DECKS	556 S.F.	552 S.F.	1,108 S.F.
PRIVATE BALCONIES & PORCHES	1,800 S.F. (40 x 45 S.F.)	1,290 S.F.	3,090 S.F.
SURFACE:			30,944 S.F.
TOTAL			35,596 S.F.



ISSUED
 Land Use & UDC Submittal - September 15, 2021

PROJECT TITLE
**The Avenue
 Expansion
 Madison
 Development
 Corp.**

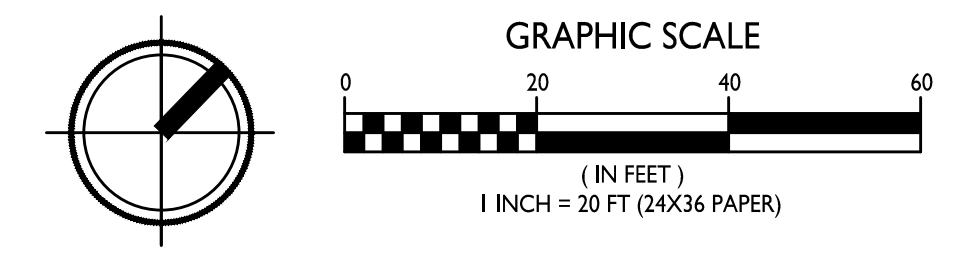
Site Address:
22 N. Second Street
 SHEET TITLE
**Useable Open
 Space**

SHEET NUMBER

C-1.5

PROJECT NO. **2111**
 © Knothe & Bruce Architects, LLC

USABLE OPEN SPACE
 C-1.5 1" = 20'-0"



GENERAL NOTES:

- ALL PRIVATE UTILITIES (GAS, ELECTRIC, AND TELECOMMUNICATIONS) SERVING EXISTING BUILDINGS SCHEDULED FOR DEMOLITION TO BE ABANDONED OR REMOVED BY CORRESPONDING UTILITY COMPANY.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF UNDERGROUND UTILITIES. UTILITIES WERE LOCATED BY OBSERVED EVIDENCE, MARKINGS PROVIDED BY DIGGERS' HOTLINE, AND RECORD DRAWINGS FROM THE CITY OF MADISON.
- CONTRACTOR SHALL VERIFY THE SIZE, TYPE, SLOPE, AND INVERTS OF ALL EXISTING STORM AND SANITARY LATERALS CALLED OUT TO BE CONNECTED TO. CONTRACTOR SHALL SUBMIT THE INFORMATION ON THE PIPES TO THE CITY INSPECTOR AND PROJECT CIVIL ENGINEER.
- ANY SIDEWALK, CURB, OR OTHER PUBLIC PROPERTY DAMAGED AS PART OF THE CONSTRUCTION OF THE UTILITIES AND BUILDING SHALL BE REPLACED IN-KIND PER THE CITY OF MADISON STANDARD SPECIFICATIONS.
- THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF THE CITY.
- CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN THE CURB AND SIDEWALK AND EXTEND IT AT LEAST 5 FEET FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE TERRACE. NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE OUTSIDE EDGE OF A TREE TRUNK. IF EXCAVATION WITHIN 5 FEET OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTRY (266-4816) PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM. TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY PRIOR TO THE START OF CONSTRUCTION. TREE PROTECTION SPECIFICATIONS CAN BE FOUND IN SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION <http://www.cityofmadison.com/business/pw/documents/stdspecs/2018part1.pdf>. ANY TREE REMOVALS THAT ARE REQUIRED FOR CONSTRUCTION AFTER THE DEVELOPMENT PLAN IS APPROVED WILL REQUIRE AT LEAST A 72 HOUR WAIT PERIOD BEFORE A TREE REMOVAL PERMIT CAN BE ISSUED BY FORESTRY. TO NOTIFY THE ALDER OF THE CHANGE IN THE TREE PLAN.

DEMOLITION NOTES:

- THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSING IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES, OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING DRIVES, DRAINAGE, STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
- THE CONTRACTOR SHALL COORDINATE WITH THE RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY FORCING ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE DEVELOPER IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
- THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ON-SITE LOCATIONS OF EXISTING UTILITIES. NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- ALL EXISTING SEWERS, PIPING, AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY UNIDENTIFIED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUTED IF UNDER BUILDINGS.
- ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE, AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE.
- CONTRACTOR SHALL PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, COVERED WALKWAYS, ETC. CONTRACTOR SHALL SUBMIT THEIR STREET OCCUPANCY PLAN TO TRAFFIC ENGINEERING FOR APPROVAL.
- PRIOR TO DEMOLITION OCCURRING, ALL APPLICABLE EROSION CONTROL DEVICES ARE TO BE INSTALLED.
- THE CONTRACTOR MAY LIMIT SAWCUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS, BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR IN KIND.
- DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.

SITE PLAN NOTES:

- PAVEMENT DESIGN SHALL BE PER THE RECOMMENDATION OF THE SOILS CONSULTANT.
- THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.
- TRAFFIC CONTROL SIGNAGE SHALL BE IN ACCORDANCE WITH FEDERAL, STATE, COUNTY, CITY, AND LOCAL CODE, WHICHEVER HAS JURISDICTION.
- CITY SIDEWALK AND CURB DAMAGED IN THE COURSE OF CONSTRUCTION TO BE REPLACED PER GRADING PLAN AND PER CITY OF MADISON STANDARD SPECIFICATIONS.
- NEW APRONS SHALL BE CONSTRUCTED AND PLACED IN CONFORMANCE WITH THE CITY OF MADISON STANDARD DETAIL 3.02 FOR COMMERCIAL OPENINGS.

GRADING PLAN NOTES:

- ALL GRADES ARE FINISH ELEVATION UNLESS NOTED OTHERWISE.

CITY FORESTRY NOTES:

- AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION: NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY (266-4816) PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: <https://www.cityofmadison.com/business/pw/stdspecs.htm>
- CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREE(S). THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT 266-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.
- SECTION 107.13(G) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SPOILS OR DUMPING OF POISONOUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN FIVE (5) FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.
- STREET TREE PRUNING SHALL BE COORDINATED WITH MADISON FORESTRY AT A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION FOR THIS PROJECT. ALL PRUNING SHALL FOLLOW THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 - PART 1 STANDARDS FOR PRUNING.
- AT LEAST ONE WEEK PRIOR TO SIDEWALK INSTALLATION, CONTRACTOR SHALL CONTACT FORESTRY AT (608) 266-4816 TO SCHEDULE LIMITS OF EXCAVATION NEAR STREET TREES FOR SIDEWALK INSTALLATION.

EROSION CONTROL NOTES/SPECIFICATIONS:

- EROSION CONTROL DEVICES AND/OR STRUCTURES SHALL BE INSTALLED PRIOR TO CLEARING AND GRUBBING OPERATIONS. THESE SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS RE-ESTABLISHED.
- EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECOGNIZING AND CORRECTING ALL EROSION CONTROL PROBLEMS THAT ARE THE RESULT OF CONSTRUCTION ACTIVITIES. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
- ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF THE TIME 0.5 INCHES OF RAIN IS PRODUCED. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS. INSPECTION SCHEDULE AND RECORD KEEPING SHALL COMPLY WITH NR 216.46(9), WIS. ADM. CODE AND CITY OF MADISON REPORTING REQUIREMENTS.
- CONSTRUCTION ENTRANCES - PROVIDE A STONE TRACKING PAD AT EACH POINT OF ACCESS. INSTALL ACCORDING TO WDNR STANDARD 1057. REFER TO WDNR'S STORMWATER WEB PAGE OF TECHNICAL STANDARDS AT: [HTTP://DNR.WI.GOV/TOPIC/STORMWATER/STANDARDS/CONST_STANDARDS.HTML](http://dnr.wisconsin.gov/topic/stormwater/standardsconst_standards.html). THE TRACKING PAD MUST BE MAINTAINED IN A CONDITION THAT PREVENTS THE TRACKING OF MATERIAL ONTO THE PUBLIC STREET.
- TEMPORARY STABILIZATION USING ANIONIC POLYMER. AFTER NOVEMBER 1, 2020, ANIONIC POLYACRYLAMIDE WILL BE APPLIED TO ALL DISTURBED AREAS WHERE THE MUNICIPALITY'S ENGINEER OR WDNR REPRESENTATIVES DEEM STABILIZATION AND/OR EROSION TO BE PROBLEMATIC. APPLICATION OF POLYACRYLAMIDE WILL BE ACCORDING TO WDNR CONSERVATION PRACTICE STANDARD 1050. EROSION CONTROL LAND APPLICATION OF ANIONIC POLYACRYLAMIDE. REFER TO WDNR'S STORMWATER WEB PAGE OF TECHNICAL STANDARDS AT: [HTTP://DNR.WI.GOV/TOPIC/STORMWATER/STANDARDS/CONST_STANDARDS.HTML](http://dnr.wisconsin.gov/topic/stormwater/standardsconst_standards.html).
- SOIL STOCKPILES - A ROW OF SILT FENCE PLACED DOWNSLOPE AND AT LEAST 10 FEET AWAY FROM THE STOCKPILE SHALL PROTECT ALL STOCKPILES. SOIL STOCKPILES THAT ARE INACTIVE FOR MORE THAN 14 CONSECUTIVE DAYS SHALL BE STABILIZED WITH SEED & MULCH, EROSION MAT, POLYMER, OR COVERED WITH TARPS OR SIMILAR MATERIAL. NO STOCKPILE SHALL BE PLACED WITHIN 20 FEET OF A DRAINAGE WAY.
- DEWATERING - WATER PUMPED FROM THE SITE SHALL BE TREATED BY USING A TEMPORARY SEDIMENTATION BASIN, PORTABLE DEWATERING BASIN, GEOTEXTILE BAG, OR AN EQUIVALENT DEVICE. SHOW ON THE PLAN THE ANTICIPATED LOCATIONS OF DEWATERING ACTIVITY, AND PROVIDE AN ENGINEERING DETAIL OF THE DEWATERING SYSTEM. DEVICES SHALL COMPLY WITH WDNR TECHNICAL STANDARD 1061 FOUND AT: [HTTP://DNR.WI.GOV/TOPIC/STORMWATER/STANDARDS/CONST_STANDARDS.HTML](http://dnr.wisconsin.gov/topic/stormwater/standardsconst_standards.html). THIS WATER SHALL BE DISCHARGED IN A MANNER THAT DOES NOT INDUCE EROSION OF THE SITE OR ADJACENT PROPERTY.

PUMP SIZE (MAX GPM)	TYPE I BAG SIZE (SQ-FT)
50	25
100	50
150	75
- STORM SEWER INLETS - PROVIDE WOOD TYPE D "CATCHALL" INLET PROTECTION OR EQUIVALENT. REFER TO WDOT PRODUCT ACCEPTABILITY LIST AT: [HTTP://WWW.DOT.WISCONSIN.GOV/BUSINESS/ENGSERV/PAL.HTM](http://www.dot.wisconsin.gov/business/engserv/pal.htm). INLET PROTECTION SHALL BE INSTALLED PRIOR TO THE STORM SEWER SYSTEM RECEIVING SITE RUNOFF. OTHER THAN FOR PERFORMING MAINTENANCE, THESE DEVICES SHALL NOT BE REMOVED UNTIL SITE STABILIZATION IS COMPLETE.
- BUILDING AND WASTE MATERIALS SHALL BE PREVENTED FROM RUNNING-OFF THE SITE AND ENTERING WATERS OF THE STATE IN CONFORMANCE WITH NR151.12(6M).
- NO SOLID MATERIAL SHALL BE DISCHARGED OR DEPOSITED INTO WATERS OF THE STATE IN VIOLATION OF CH. 30 OR 31 OF THE WISCONSIN STATE STATUTES OR 33 USC 1344 PERMITS.
- EROSION CONTROL DEVICES SHALL ADHERE TO THE TECHNICAL STANDARDS FOUND AT: [HTTP://DNR.WI.GOV/RUNOFF/STORMWATER/TECHSTDS.HTM](http://dnr.wisconsin.gov/runoff/stormwater/techstds.htm) AND COMPLY WITH ALL CITY OF MADISON ORDINANCES.
- ALL DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE SWEEPED OR SCRAPED CLEAN BY THE END OF EACH WORKDAY.
- ALL BUILDING AND WASTE MATERIAL SHALL BE HANDLED PROPERLY TO PREVENT RUNOFF OF THESE MATERIALS OFF OF THE SITE.
- ALL DISTURBED AREAS, EXCEPT PAVED AREAS, SHALL RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL, FERTILIZER, SEED, AND MULCH. SEED MIXTURES SHALL BE SELECTED APPROPRIATE TO THE INTENDED FUNCTION. A QUALIFIED LANDSCAPING CONTRACTOR, LANDSCAPE ARCHITECT OR NURSERY CAN BE CONSULTED FOR RECOMMENDATIONS. SEEDING RATES SHALL BE BASED ON POUNDS OR OUNCES OF PURE LIVE SEED PER ACRE AND SHALL BE PROVIDED BY THE SEED SUPPLIER. FERTILIZER CAN BE APPLIED TO HELP PROMOTE GROWTH, BUT A SOIL TEST IS RECOMMENDED TO DETERMINE THE TYPE AND AMOUNT OF FERTILIZER TO BE APPLIED. ALL SEEDING AND RESTORATION SHALL BE IN CONFORMANCE TO WDNR TECHNICAL STANDARD 1059 FOUND AT [HTTP://DNR.WI.GOV/TOPIC/STORMWATER/STANDARDS/CONST_STANDARDS.HTML](http://dnr.wisconsin.gov/topic/stormwater/standardsconst_standards.html). SEEDING AND SOODING MAY ONLY BE USED FROM MAY 1ST TO SEPTEMBER 15TH OF ANY YEAR. TEMPORARY SEED SHALL BE USED AFTER SEPTEMBER 15. IF TEMPORARY SEEDING IS USED, A PERMANENT COVER SHALL ALSO BE REQUIRED AS PART OF THE FINAL SITE STABILIZATION.
- FOR THE FIRST SIX (6) WEEKS AFTER THE INITIAL STABILIZATION OF A DISTURBED AREA, WATERING SHALL BE PERFORMED WHENEVER MORE THAN SEVEN (7) DAYS OF DRY WEATHER ELAPSE.

EMERGENCY CONTACT

TBD

SCHEDULE:

MARCH 1, 2022	SILT FENCE AND CONSTRUCTION ENTRANCE INSTALLED AND BEGIN DISTURBANCE OF SITE.
APRIL 1, 2022	PLACE PRIVATE ROADWAY BASE AND BEGIN BUILDING CONSTRUCTION.
JULY 15, 2022	PLACE ROADWAY PAVEMENT AND TOPSOIL SITE. PLACE SEED AND MULCH.
SEPTEMBER 15, 2022	AFTER SITE IS STABILIZED, INSTALL ENGINEERED SOIL, AND BIO RETENTION PLANTINGS.
MARCH 1, 2023	PROJECT COMPLETE

LEGEND

	ACCESSIBLE ROUTE
	EXISTING EASEMENT
	PROPERTY BOUNDARY
	PARKING STALL COUNT
	LANDSCAPED AREA
	BITUMINOUS PAVEMENT
	CONCRETE PAVEMENT
	SPOT GRADE
	FINISH GRADE
	EXISTING GRADE
	SIDEWALK
	EDGE OF PAVEMENT
	FLOW LINE
	LOW POINT
	HIGH POINT
	TOP OF CURB
	TOP OF WALL
	BOTTOM OF WALL
	BACK OF WALK
	FRONT OF WALK
	EXPOSURE
	PROPOSED SANITARY SEWER
	PROPOSED STORM SEWER
	PROPOSED WATER LATERAL
	UTILITY LINE DEMOLITION
	TREE REMOVAL
	EXISTING MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	PROPOSED RIDGE LINE
	PROPOSED SWALE/DITCH
	ACCESSIBLE PARKING SIGN
	VISION TRIANGLE (NO VISUAL OBSTRUCTIONS BETWEEN HEIGHTS OF 30' AND 10')
	RIPRAP
	CONSTRUCTION ENTRANCE
	SAW CUT / REMOVAL LIMITS
	DISTURBANCE LIMITS
	SILT FENCE
	CHECK DAM
	DIVERSION BERM
	INLET PROTECTION
	USLE FLOW PATH



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APPROVALS	PROJECT ENG	MLB	DESIGNED BY	MLB
	REVISIONS	DPH	CHECKED BY	DPH
		PDF	APPROVED	MLB

THE AVENUE
E MIFFLIN ST
MADISON, WI 53704
MADISON DEVELOPMENT CORPORATION
560 W WASHINGTON AVE
MADISON, WI 53703

PROJECT #: BSE2055-21
PLOT DATE: 9/15/2021

REVISION DATES:

ISSUE DATES:
9/15/2021

CIVIL DETAILS

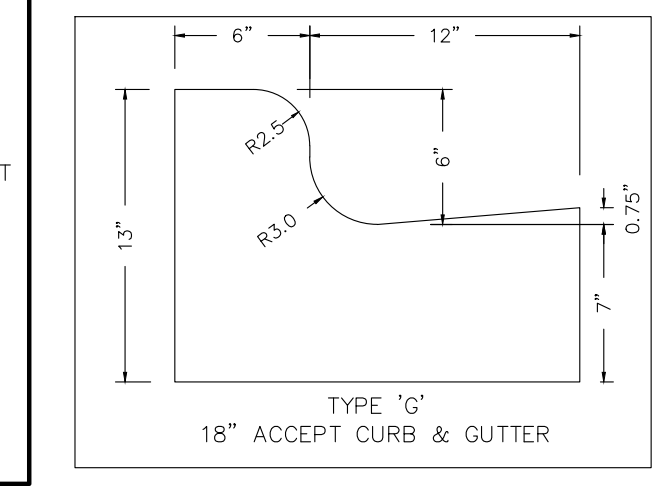
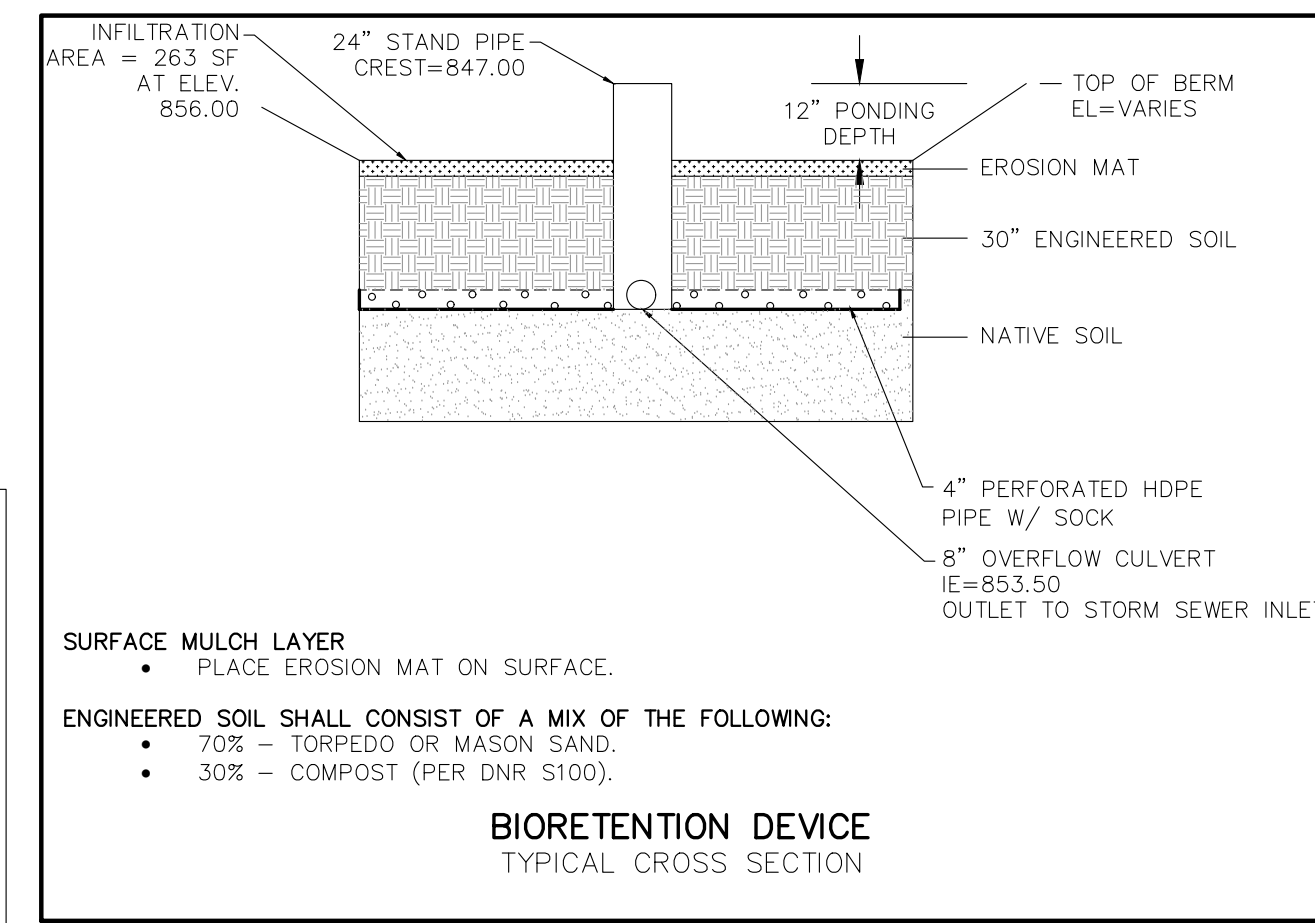
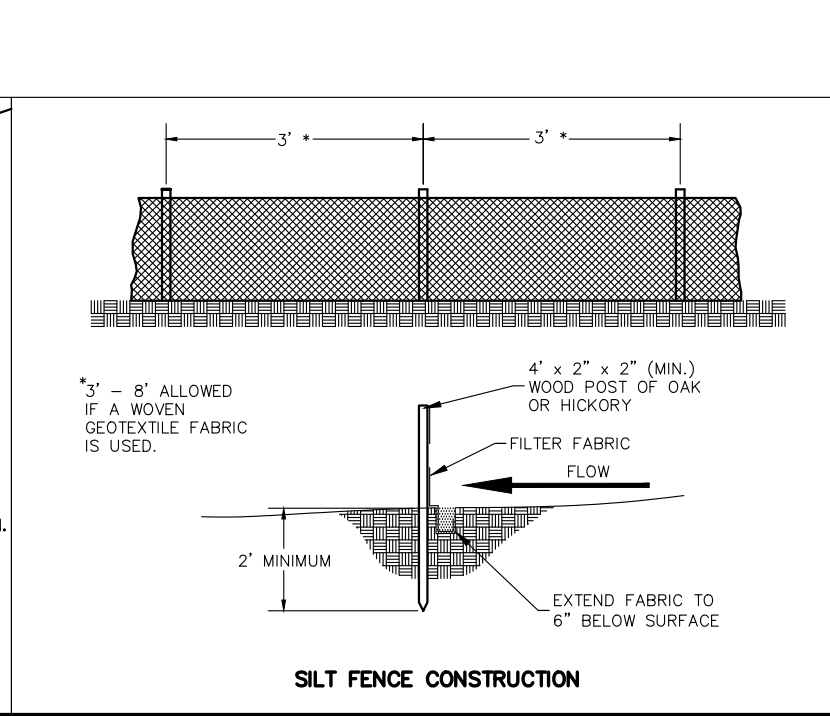
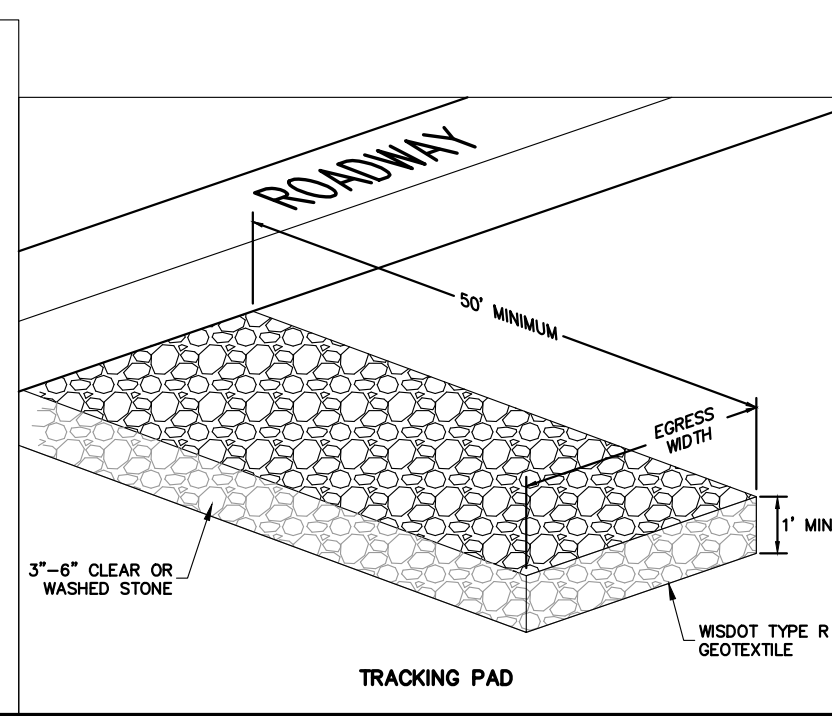
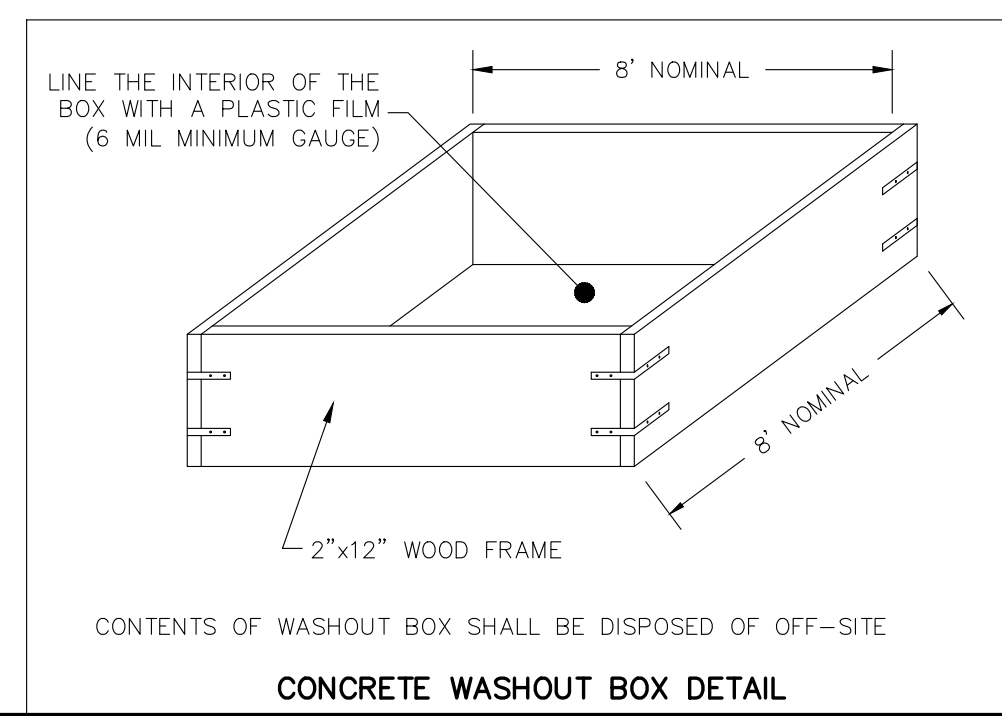
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DRAWING NUMBER

C-001

CIVIL SHEET INDEX	
SHEET NUMBER	SHEET TITLE
C-001	CIVIL DETAILS
C-100	EXISTING CONDITIONS
C-101	EXISTING CONDITION NOTES
C-200	DEMOLITION PLAN
C-300	SITE PLAN
C-400	GRADING & EROSION CONTROL PLAN
C-500	UTILITY PLAN

DIGGERS' HOTLINE
Dial 811 or (800) 242-8511
www.DiggersHotline.com



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PROPERTY DESCRIPTION

PART OF LOT 1, CERTIFIED SURVEY MAP NUMBER 15122, AS RECORDED IN VOLUME 107 OF CERTIFIED SURVEY MAPS, ON PAGES 104-107, AS DOCUMENT NUMBER 5486075, DANE COUNTY REGISTRY, NOW KNOWN AS MADISON DEVELOPMENT CORPORATION AVENUE CONDOMINIUM AS RECORDED IN VOLUME 7-093B OF CONDO PLATS, ON PAGES 1-2, AS DOCUMENT NUMBER 5488207, DANE COUNTY REGISTRY, ALL LOCATED IN THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 06, TOWNSHIP 07 NORTH, RANGE 10 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.

EXISTING CONDITION NOTES:

- 1) Except as specifically stated or shown on this map, this survey does not purport to reflect any of the following which may be applicable to the subject real estate: easements; building setback lines; restrictive covenants; subdivision restrictions; zoning or other land use regulations; and any other facts that an accurate and current title search may disclose. Survey was performed without the benefit of a title report.
- 2) No attempt has been made as a part of this survey to obtain or show data concerning existence, size, depth, condition, capacity, or location of any utility or municipal/public service facility. For information regarding these utilities or facilities, please contact the appropriate agencies.
- 3) Date of field work: August 24-25, 2021
- 4) Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate and current title search may disclose.
- 5) All surface and subsurface improvements on and adjacent to the site are not necessarily shown hereon.
- 6) All trees, hedges and ground cover on the site may not necessarily be shown hereon.
- 7) Routing of public utilities is based upon drawings obtained from the City of Madison Engineering Department, markings provided by Digger's Hotline and visible above ground structures. Additional buried utilities/structures may be encountered. No excavations were made to located utilities. Before excavations are performed contact Digger's Hotline.
- 8) Total parcel area = 22,262 square feet
- 9) Elevations are based upon NAVD83 datum. Elevations are transferred to the site utilizing RTK GPS surveying while observing the WISCORS Network.

EXISTING CONDITIONS LEGEND

○ MAG NAIL SET	⊗ AIR CONDITIONER
● 3/4" SOLID IRON ROD FOUND	⊞ TV PEDESTAL
⊙ 1" IRON PIPE FOUND UNLESS NOTED	⊚ ELECTRIC PEDESTAL
✕ FOUND CHISELED "X" IN CONCRETE	⊘ UTILITY POLE
● FOUND NAIL	⊘ LIGHT POLE
○ 3/4" X 18" SOLID IRON RE-ROD SET, WT. 1.50 lbs./ft.	⊘ GROUND LIGHT
X 851.2' SPOT ELEVATION	⊞ TELEPHONE PEDESTAL
—OH— OVERHEAD UTILITY WIRE	⊞ FIRE HYDRANT
—G— BURIED GAS LINE	— SIGN
—W— WATER MAIN	— GUY WIRE
—SAN— SANITARY SEWER	⊞ MAILBOX
—ST— STORM SEWER	● BOLLARD
—VT— BURIED TELEPHONE	⊞ STORM SEWER INLET
—E— BURIED ELECTRIC	⊞ ELECTRIC MANHOLE
—UTV— BURIED CABLE ACCESS TELEVISION LINE	⊞ TELEPHONE MANHOLE
—FO— BURIED FIBER OPTIC	⊞ STORM SEWER MANHOLE
⊙ WATER VALVE	● ROUND CATCH BASIN
⊙ GAS VALVE	□ STORM SEWER STRUCTURE
⊞ GAS METER	⊞ SANITARY SEWER MANHOLE
⊙ DECIDUOUS TREE (DBH IN INCHES)	BIT. BITUMINOUS PAVEMENT
⊙ CONIFEROUS TREE (DBH IN INCHES)	CNC. CONCRETE PAVEMENT
	() INDICATES RECORDED AS

DISTANCES ARE MEASURED TO THE NEAREST HUNDREDTH OF A FOOT. BUILDINGS ARE MEASURED TO THE NEAREST TENTH OF A FOOT.

STORM SEWER AND SANITARY SEWER ELEVATION TABLE

NUMBER	RIM/TC	ELEVATION	ELEVATION	ELEVATION	DESCRIPTION
1	857.03 N	851.08	S 851.58	FLR 850.93	3.5' DIAMETER CATCH BASIN
2	856.23 IE	847.98			SANITARY SEWER MANHOLE
3	856.32 E	853.22			STORM SEWER CURB INLET
4	856.94 W	853.89			STORM SEWER CURB INLET
5	856.93 E	852.93	NW 852.28		STORM SEWER CURB INLET
6	855.96 W	851.76	FLR 851.76	E 852.76	2' DIAMETER CATCH BASIN
7	855.76 E	851.96	N 851.70	S 851.76	STORM SEWER CURB INLET
8	855.77 S	851.57			STORM SEWER CURB INLET
9	855.02 FLR	850.92			STORM SEWER CURB INLET
10	854.50 E	850.43	W 850.40		STORM SEWER CURB INLET
11	854.64	UNABLE TO OPEN			STORM STRUCTURE
12	854.75 E	846.92	N 846.55		SANITARY SEWER MANHOLE
13	854.89 S	850.74	W 850.85	N 850.69	STORM SEWER CURB INLET
14	854.43 W	847.08			SANITARY SEWER MANHOLE
15	857.25 NE	855.40			3.5' DIAMETER CATCH BASIN
16	862.64 E	859.87	W 859.89		3.5' DIAMETER CATCH BASIN

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www.bursesurveyeng.com



APPROVALS	PROJECT ENG.	MLB	DESIGNED BY	DPH	DRAWN BY	DPH	CHECKED BY	PDF	APPROVED	MLB
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THE AVENUE
E MIFFLIN ST
MADISON, WI 53704
MADISON DEVELOPMENT CORPORATION
560 W WASHINGTON AVE
MADISON, WI 53703

PROJECT #: BSE2055-21
PLOT DATE: 9/15/2021

REVISION DATES:

ISSUE DATES:
9/15/2021

EXISTING CONDITION NOTES

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C-101



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PROJECT #: BSE2055-21
 PLOT DATE: 9/15/2021

REVISION DATES:

ISSUE DATES:
 9/15/2021

DEMOLITION PLAN

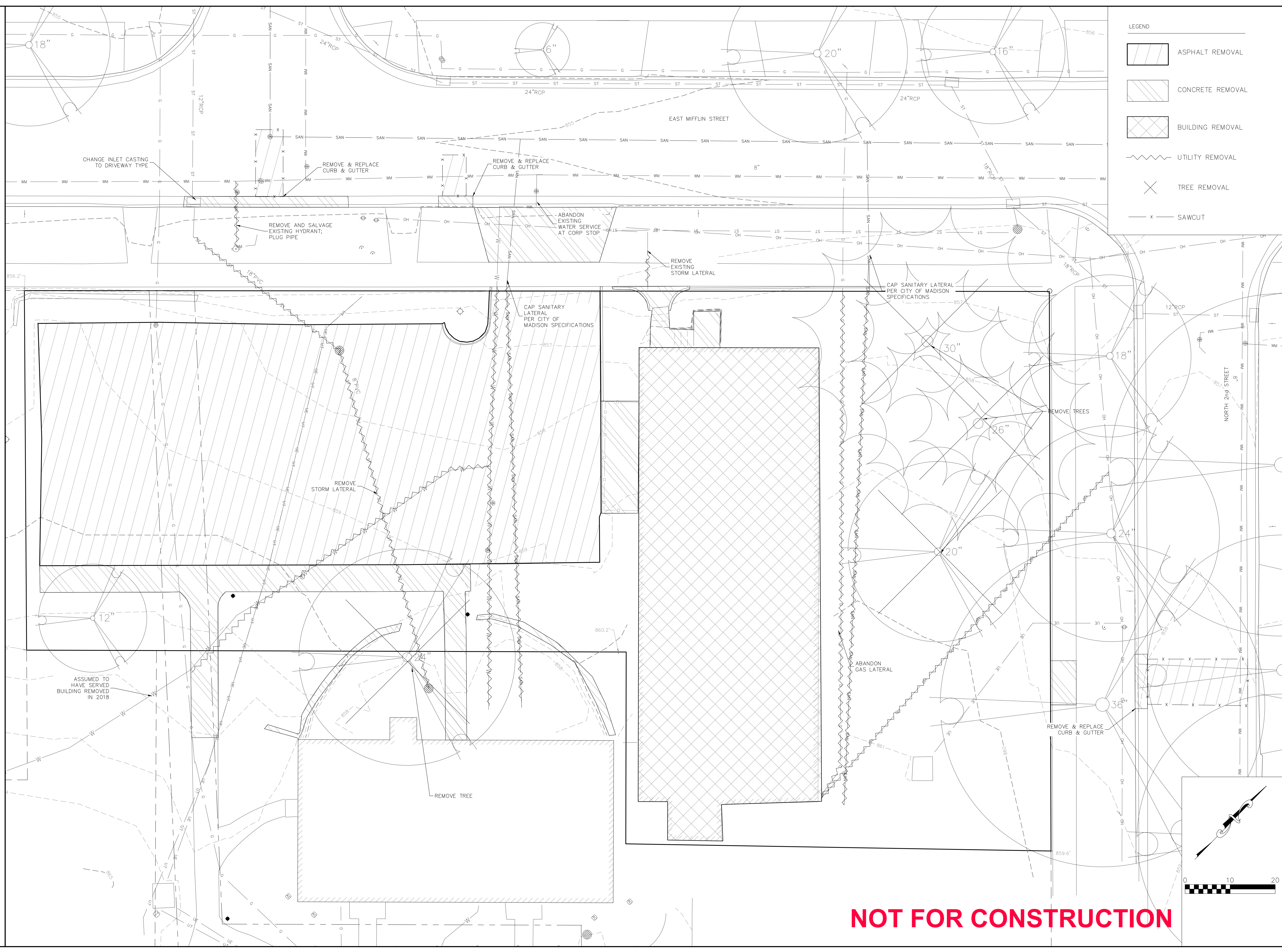
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DRAWING NUMBER
C-200

LEGEND

- ASPHALT REMOVAL
- CONCRETE REMOVAL
- BUILDING REMOVAL
- UTILITY REMOVAL
- TREE REMOVAL
- SAWCUT

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THE AVENUE
E MIFFLIN ST
MADISON, WI 53704
MADISON DEVELOPMENT CORPORATION
560 W WASHINGTON AVE
MADISON, WI 53703

PROJECT #: BSE2055-21
PLOT DATE: 9/15/2021

REVISION DATES:

ISSUE DATES:
9/15/2021

SITE PLAN

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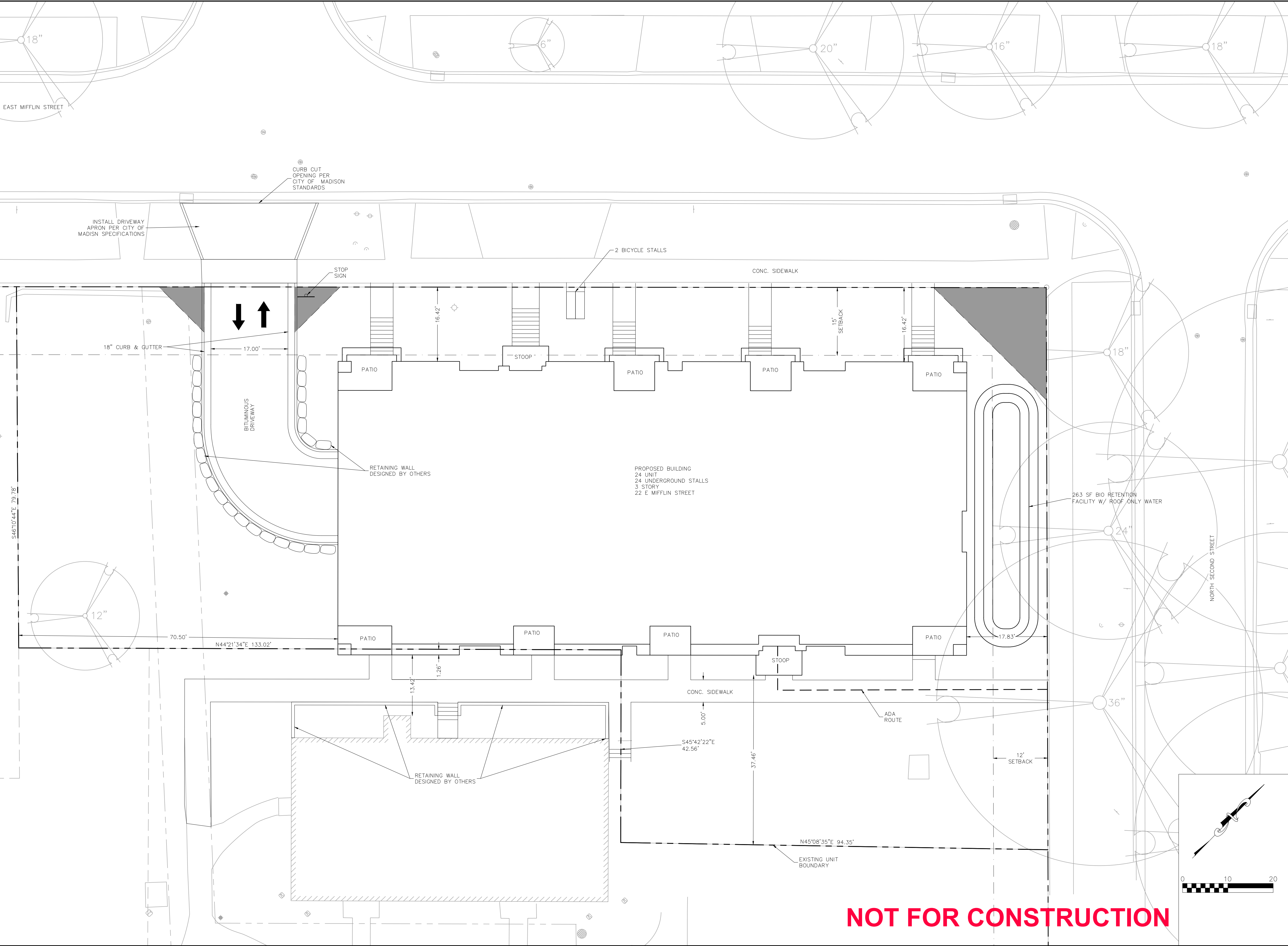
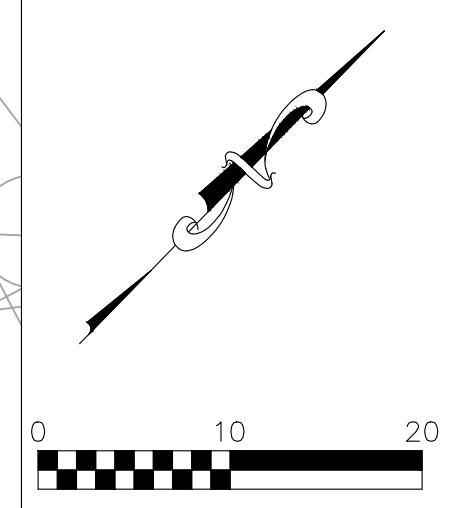
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C-300

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APPROVALS	PROJECT ENG.	MLB	DESIGNED BY	MLB
	DRAWN BY	DPH	CHECKED BY	PDF
			APPROVED	MLB

THE AVENUE
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 560 W WASHINGTON AVE
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PROJECT #: BSE2055-21
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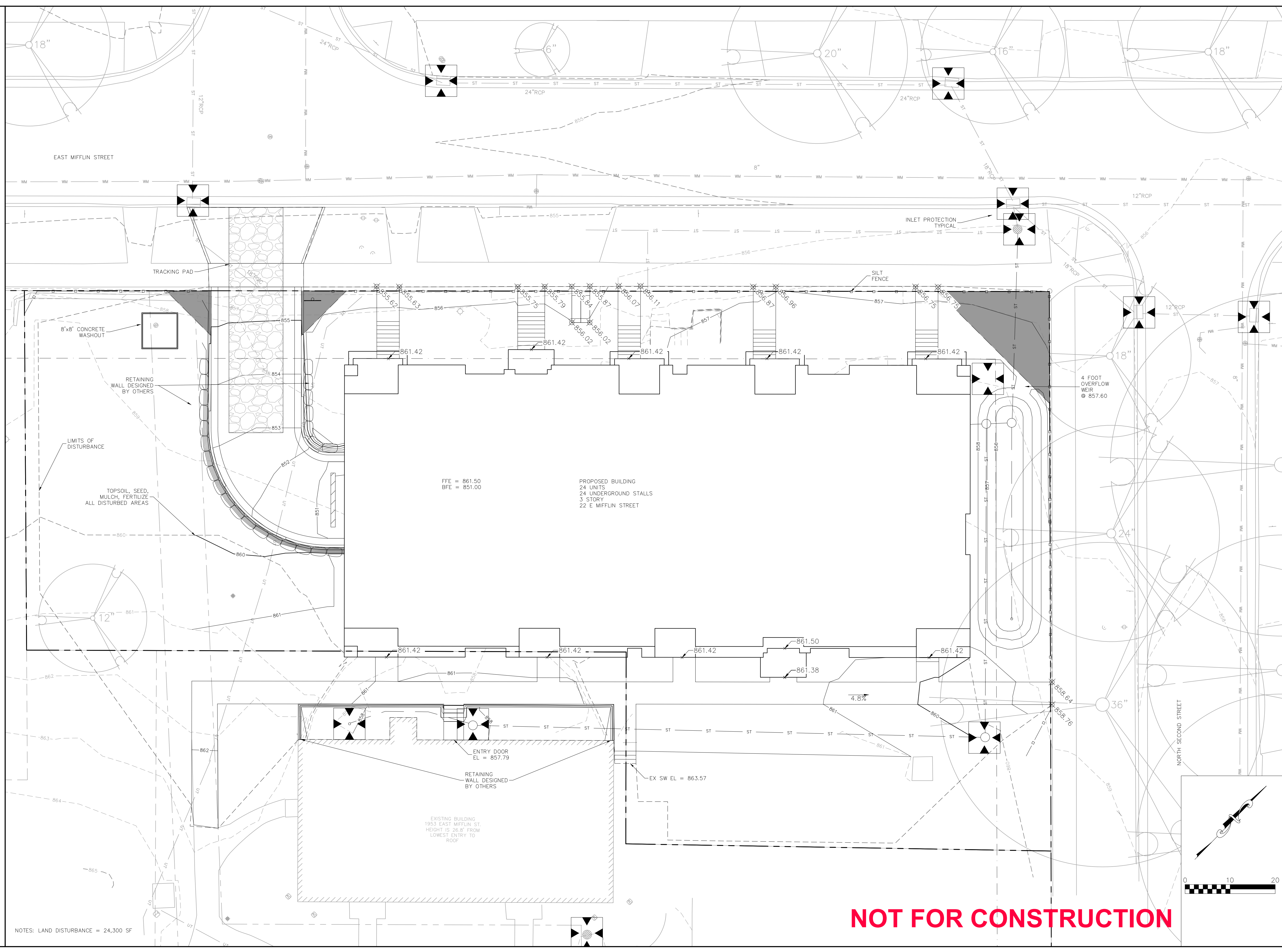
REVISION DATES:

ISSUE DATES:
9/15/2021

GRADING & EROSION CONTROL PLAN

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DRAWING NUMBER
C-400



NOTES: LAND DISTURBANCE = 24,300 SF

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APPROVALS	PROJECT ENG.	MLB	DESIGNED BY	DPH	DRAWN BY	DPH	CHECKED BY	PDF	APPROVED	MLB
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THE AVENUE
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560 W WASHINGTON AVE
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PROJECT #: BSE2055-21
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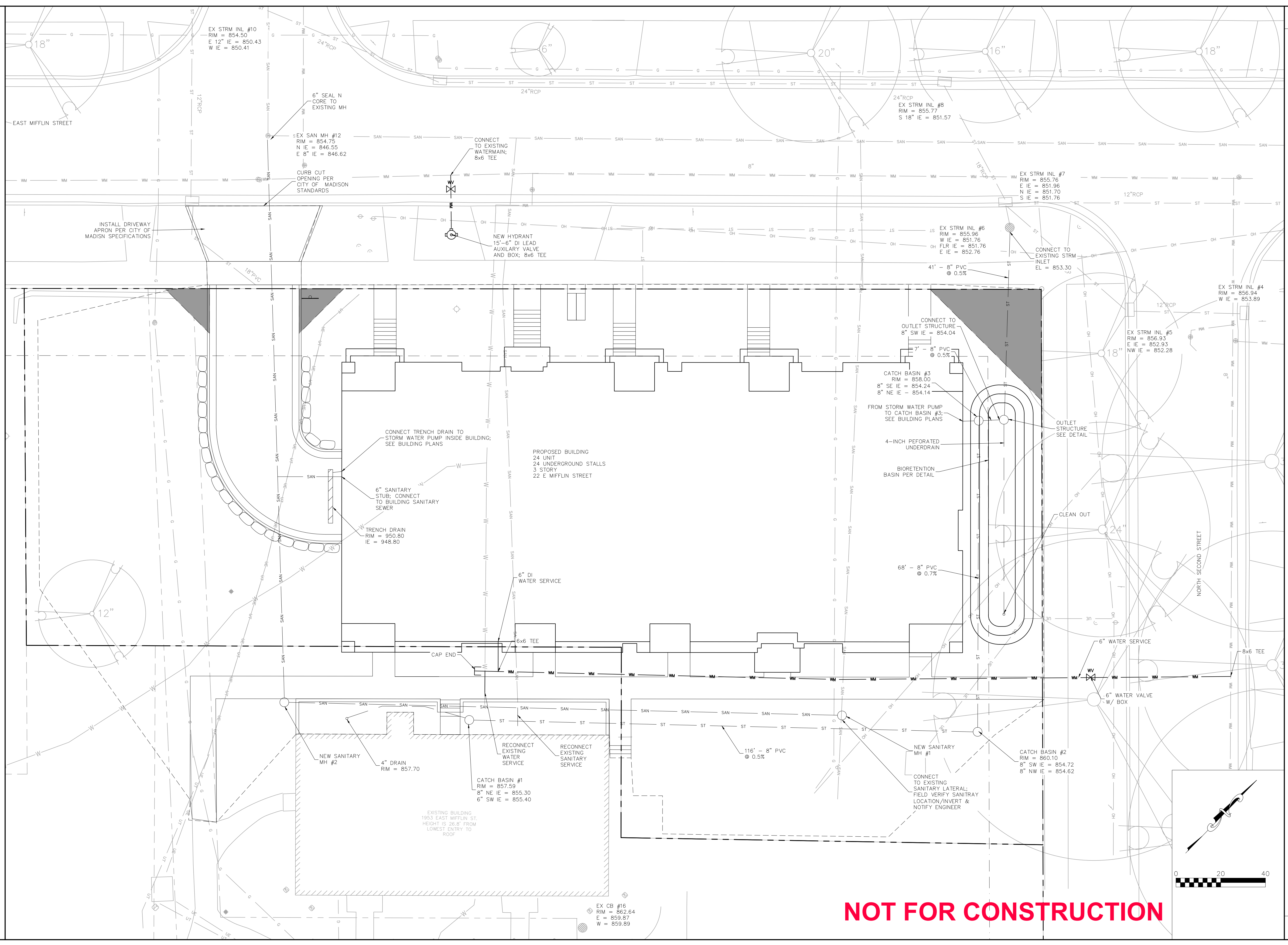
REVISION DATES:

ISSUE DATES:
9/15/2021

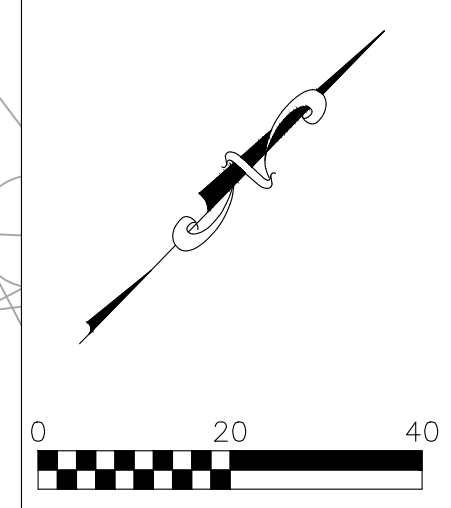
UTILITY PLAN

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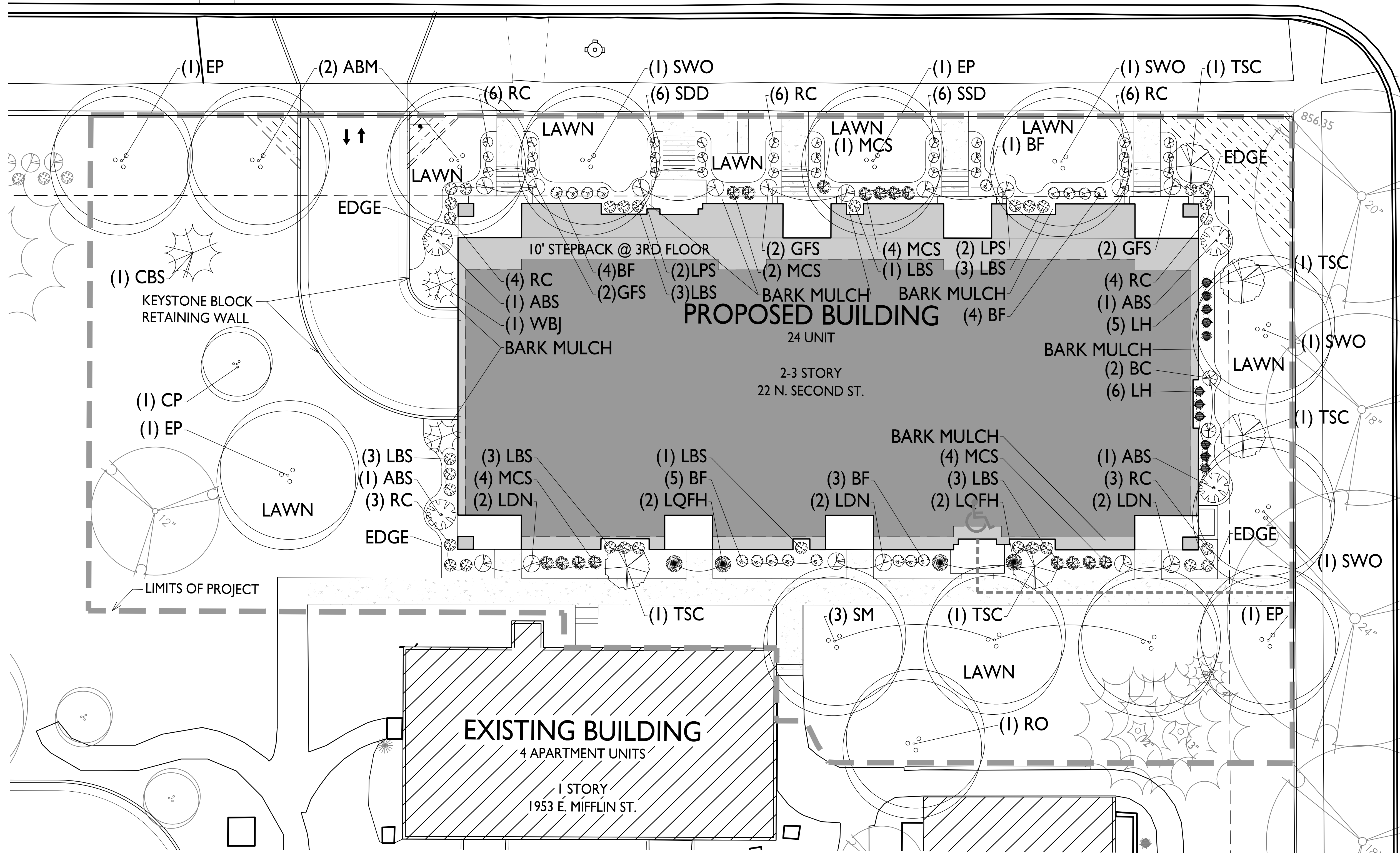
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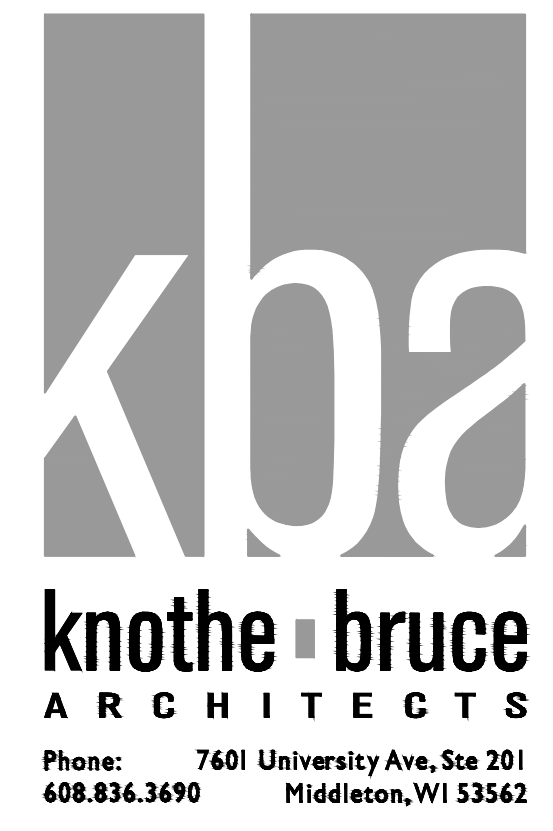


EAST MIFFLIN STREET



PLANT LIST					
The Avenue - Expansion					
KEY	SIZE	QUAN	COMMON NAME	Botanical Name	ROOT
(14) Canopy Trees					
ABM	2 1/2"	2	Autumn Blaze Maple	Acer Freemanii	BB
EP	2 1/2"	4	Exclamation Planetree	Platanus	BB
RO	2 1/2"	1	Red Oak	Quercus Rubrum	BB
SM	2 1/2"	3	Sugar Maple	Acer Saccharum	BB
SWO	2 1/2"	4	Swamp White Oak	Quercus Bicolor	BB
(6) Ornamental Trees					
CP	2"	1	Cleveland Select Pear	Pyrus Calleryana 'Cleveland Select'	BB
TSC	2"	5	Tina Sargent Crab	Tina Malus Sargentii 'Tina'	BB
(1) Evergreen Trees					
CBS	4"	1	Blue Colorado Spruce	Picea Pungens Glauca	BB
(58) Deciduous Shrubs					
ABS	4"	4	A B Serviceberry	Amelanchier Grandiflora 'A B'	BB
BC	18"	2	Black Chokeberry	Aronia Melanocarpa	Pot
BF	18"	17	Bronx Forsythia	Forsythia	Pot
GFS	24"	6	Gold Flame Spirea	Spirea Japonica	Pot
LDN	24"	6	Little Devil Ninebark	Physocarpus	Pot
LPS	24"	4	Little Princess Spirea	Spirea Japonica 'Little Princess'	Pot
LQF	24"	4	Little Quickfire H	Hydrangea Paniculata	Pot
MCS	18"	15	Magic Carpet Spirea	Spirea Japonica 'Magic Carpet'	Pot
(32) Evergreen Shrubs					
RC	18"	30	Russian Cypress	Microbiota	Con
WBJ	4"	2	Wichita Blue Juniper	Juniperus Sceloporus	BB
(40) Perennials					
LBS	1 G	17	Little Bluestem Grass		Con
LH	1 G	11	Loyalist Hosta	Hosta	Con
SDD	1 G	12	Stella De Oro Day Lily		Con

- NOTES:
- 1) Lawn areas to receive a minimum of 4" of topsoil, starter fertilizer, and #1 locally grown bluegrass sod.
 - 2) Foundation planting beds to be mulched with shredded hardwood bark spread to a depth of 3".
 - 3) Individual trees and shrub groupings in lawn areas to receive shredded hardwood bark mulch spread to a depth of 3".
 - 4) Designated planting beds to be separated from lawn areas with 5" black vinyl bed edging.
 - 5) Owner will be responsible for maintenance after completion and acceptance.



ISSUED
Land Use & UDC Submittal - September 15, 2021



PROJECT TITLE
The Avenue Expansion
Madison Development Corp.

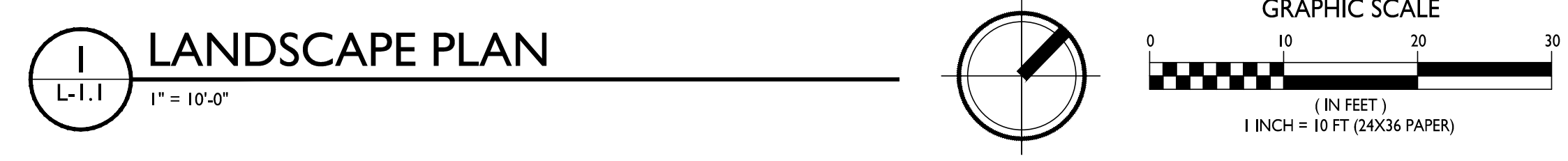
Site Address:
22 N. Second Street
SHEET TITLE
Landscape Plan

SHEET NUMBER

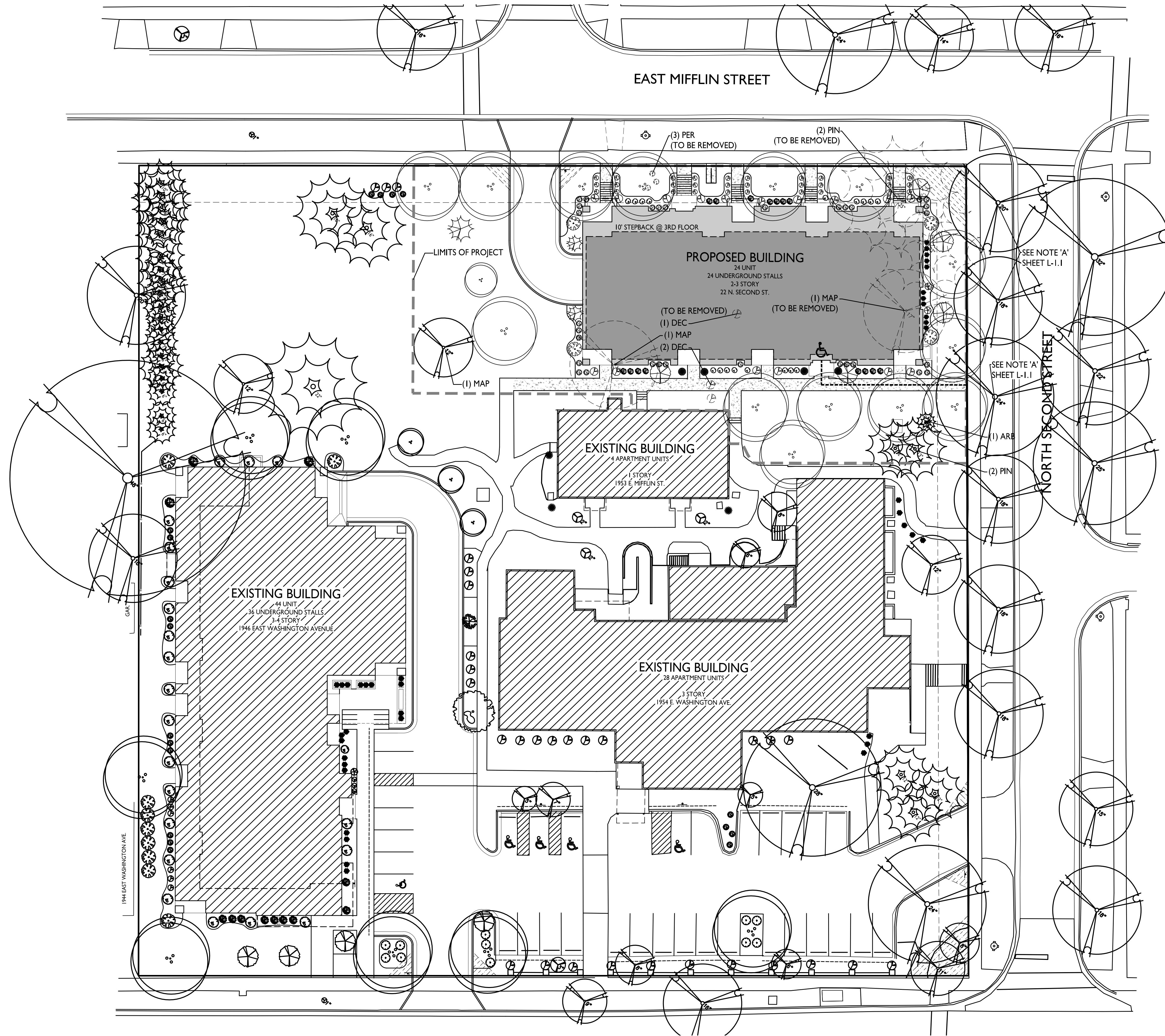
L-1.1

PROJECT NO. **2111**
© Knothe + Bruce Architects, LLC

NOTE 'A':
EXISTING STREET TREES AS NOTED ON LANDSCAPE SHEET L-1.2 SHALL BE PROTECTED. CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN THE CURB AND THE SIDEWALK AND EXTEND IT AT LEAST 5 FEET FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE TERRACE. NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE OUTSIDE EDGE OF THE TREE TRUNK.



LANDSCAPE WORKSHEET	
The Avenue - Expansion	
Landscape Points Required	
Developed Area =	2,775 SF
Landscape Points: 2,275/300 x 5 =	38 points
Total Landscape Points Required	38 points
Landscape Points Supplied	
Existing canopy trees - 0 @ 35 =	0 points
Proposed canopy trees - 14 @ 35 =	490 points
Existing evergreen trees - 0 @ 35 =	0 points
Proposed evergreen trees - 1 @ 35 =	35 points
Existing ornamental trees - 0 @ 15 =	0 points
Proposed ornamental trees - 4 @ 15 =	60 points
Existing upright evergreen shrubs - 0 @ 10 =	0 points
Proposed upright evergreen shrubs - 1 @ 10 =	10 points
Existing deciduous shrubs - 0 @ 3 =	0 points
Proposed deciduous shrubs - 58 @ 3 =	174 points
Existing evergreen shrubs - 0 @ 4 =	0 points
Proposed evergreen shrubs - 30 @ 4 =	120 points
Existing perennials & grasses 0 @ 2 =	0 points
Proposed perennials & grasses 40 @ 2 =	80 points
Total landscape points supplied =	969 points
Lot Frontage Landscape Required	
(Section 28.142(5) Development Frontage Landscaping)	
One (1) over-story deciduous tree and five (5) shrubs shall be planted for each thirty (30) lineal feet of lot frontage. Two (2) ornamental trees or two (2) evergreen trees may be used in place of one (1) over-story deciduous tree.	
E Mifflin St & 2nd Street =	335 LF
Over story trees required 335/30' = 11.2	11 trees
Shrubs required (335/30') x 5 = 55.8	56 shrubs
Over story trees supplied	9 trees
Ornamental/Evergreen trees supplied	4 trees
Shrubs supplied	56 shrubs



ISSUED
 Land Use & UDC Submittal - September 15, 2021

PROJECT TITLE
**The Avenue
 Expansion
 Madison
 Development
 Corp.**

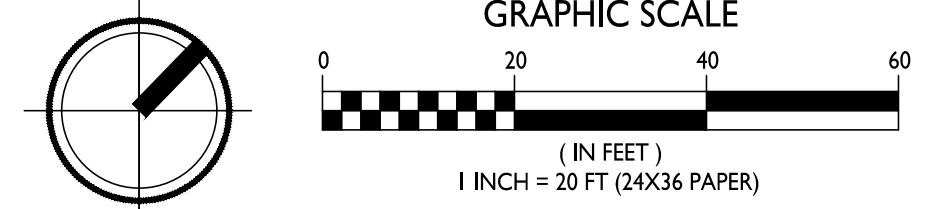
Site Address:
22 N. Second Street
 SHEET TITLE
**Existing Landscape
 Plan**

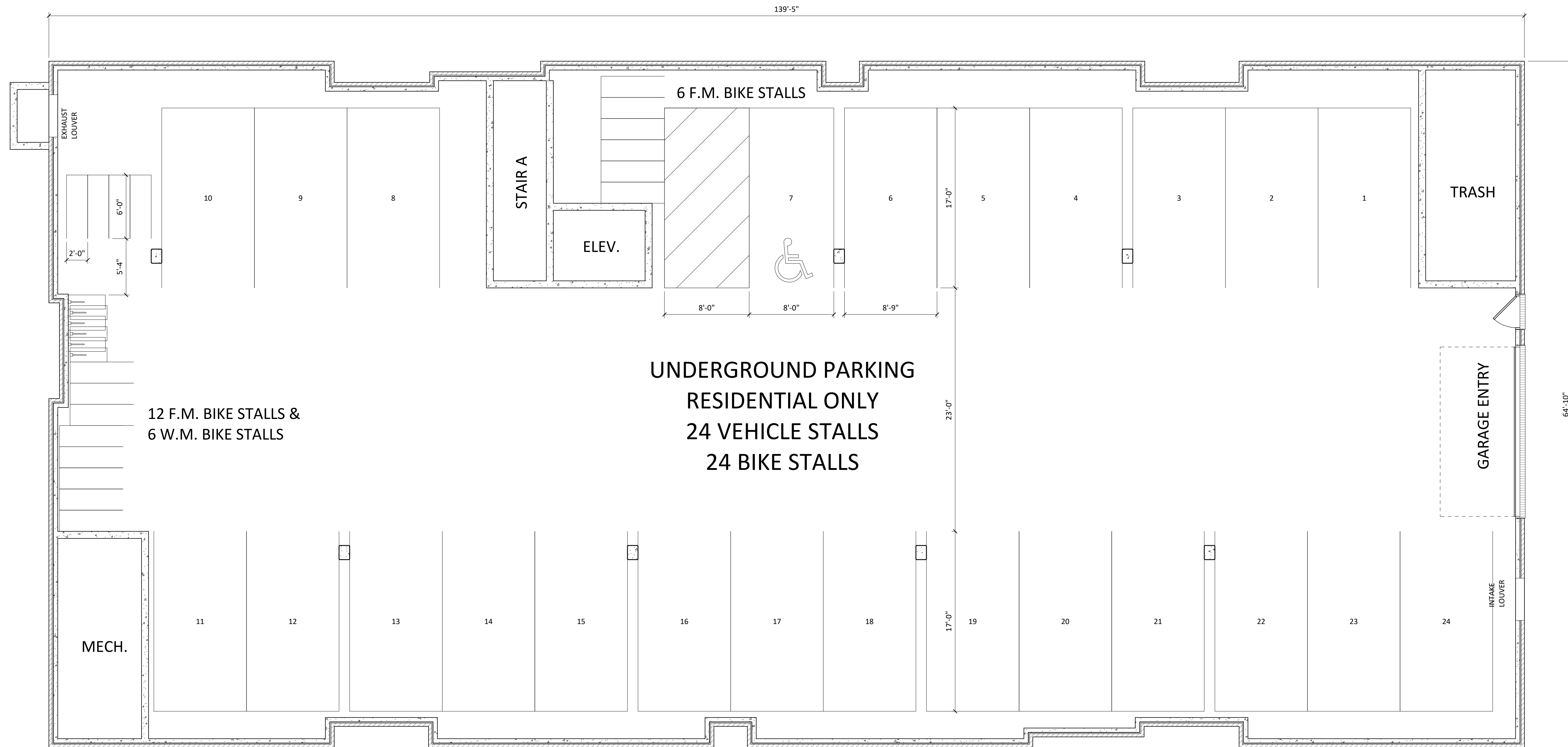
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L-1.2

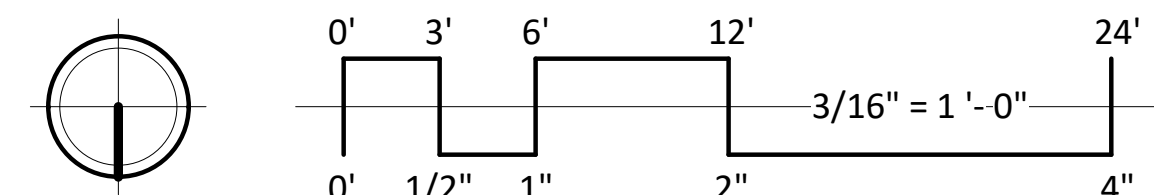
PROJECT NO. **2111**
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1 EXISTING LANDSCAPE PLAN
 L-1.2 1" = 20'-0"





1 00 - BASEMENT
A-1.0 3/16" = 1'-0"





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608.836.3690 Middleton, WI 53562

KEY PLAN



ISSUED
Land Use & UDC Submittal - September 15, 2021

PROJECT TITLE
**Madison
Development
Corp Avenue
Expansion**

22 North Second Street
Madison
Wisconsin 53704

SHEET TITLE
**FIRST FLOOR
PLAN**

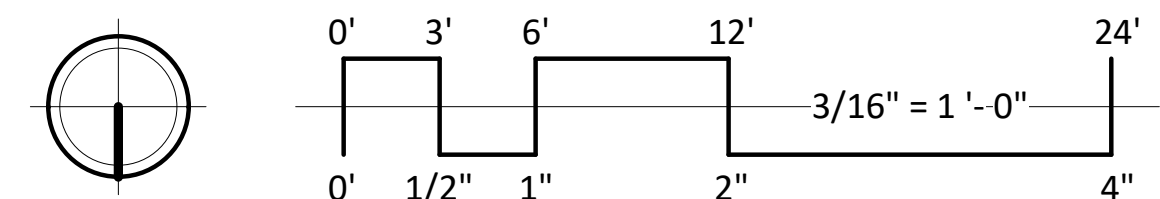
SHEET NUMBER

A-1.1

PROJECT NUMBER 2111

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1 01 - FIRST FLOOR
A-1.1 3/16" = 1'-0"





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**Madison
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Corp Avenue
Expansion**

22 North Second Street
Madison
Wisconsin 53704

SHEET TITLE
**SECOND FLOOR
PLAN**

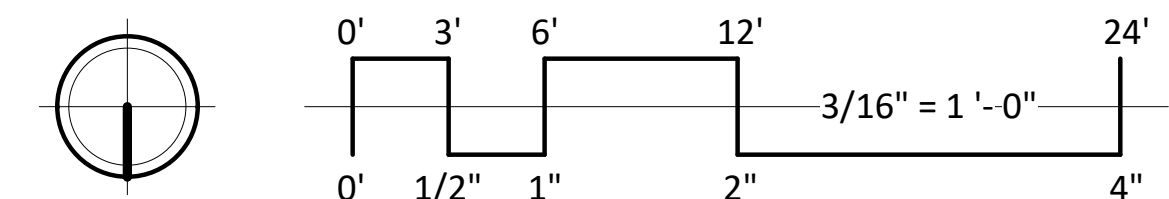
SHEET NUMBER

A-1.2

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1 02 - SECOND FLOOR
A-1.2 3/16" = 1'-0"





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Expansion**

22 North Second Street
Madison
Wisconsin 53704

SHEET TITLE
**THIRD FLOOR
PLAN**

SHEET NUMBER

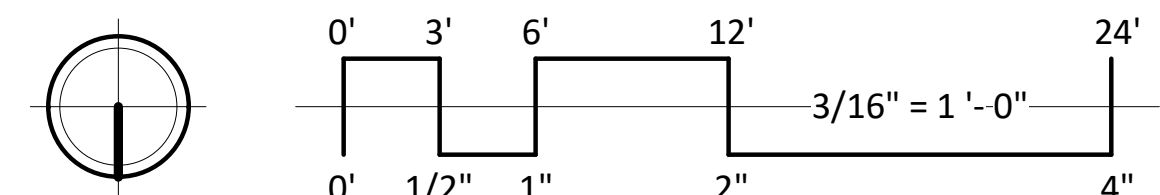
A-1.3

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1 03 - THIRD FLOOR
A-1.3 3/16" = 1'-0"





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Expansion**

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Madison
Wisconsin 53704

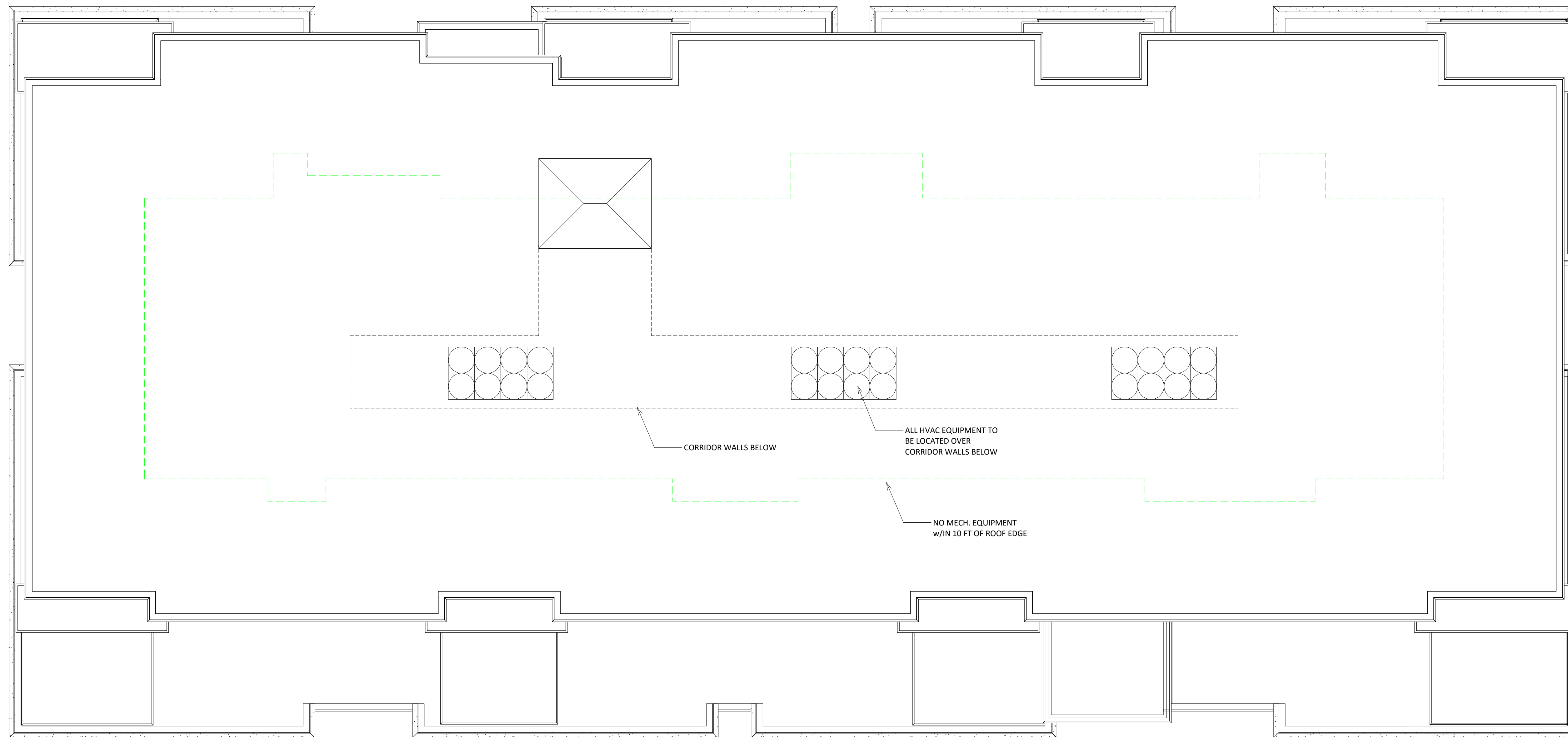
SHEET TITLE
ROOF PLAN

SHEET NUMBER

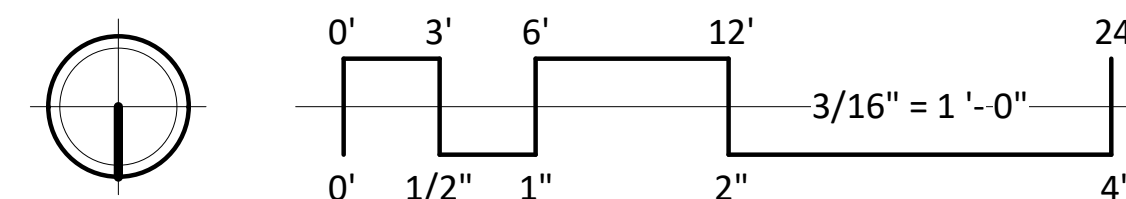
A-1.4

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1 04 - ROOF PLAN
A-1.4 3/16" = 1'-0"





1 ELEVATION - NORTH
A-2.1 1/8" = 1'-0"



2 ELEVATION - SOUTH
A-2.1 1/8" = 1'-0"

EXTERIOR MATERIAL SCHEDULE		
BUILDING ELEMENT	MANUFACTURER	COLOR
COMPOSITE SIDING	JAMES HARDIE	WOODSTOCK BROWN
COMPOSITE TRIM	JAMES HARDIE	NAVAGO BEIGE
BRICK VENEER	ACME	FRENCH VANILLA LIGHT
VINYL WINDOWS	N/A	TAN
ALUMINIUM STOREFRONT DOORS	N/A	DARK BRONZE
CAST STONE SILLS, HEADS, AND BANDS	EDWARDS CAST STONE	18-018
RAILINGS	SUPERIOR	DARK BRONZE
METAL WRAPPED CANOPY	N/A	MATCH WITH COMPOSITE TRIM

ISSUED
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PROJECT TITLE
**Madison
Development
Corp Avenue
Expansion**



3 ELEVATION - EAST
A-2.1 1/8" = 1'-0"



4 ELEVATION - WEST
A-2.1 1/8" = 1'-0"

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Madison
Wisconsin 53704

SHEET TITLE
**EXTERIOR
ELEVATIONS**

SHEET NUMBER

A-2.1

PROJECT NUMBER **2111**

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1 COLORED ELEVATION - NORTH
A-2.2 1/8" = 1'-0"



2 COLORED ELEVATION - SOUTH
A-2.2 1/8" = 1'-0"

EXTERIOR MATERIAL SCHEDULE		
BUILDING ELEMENT	MANUFACTURER	COLOR
COMPOSITE SIDING	JAMES HARDIE	WOODSTOCK BROWN
COMPOSITE TRIM	JAMES HARDIE	NAVAJO BEIGE
BRICK VENEER	ACHE	FRENCH VANILLA LIGHT
VINYL WINDOWS	N/A	TAN
ALUMINUM STOREFRONT DOORS	N/A	DARK BRONZE
CAST STONE SILLS, HEADS, AND BANDS	EDWARDS CAST STONE	18-018
RAILINGS	SUPERIOR	DARK BRONZE
METAL WRAPPED CANOPY	N/A	MATCH WITH COMPOSITE TRIM

ISSUED

Land Use & UDC Submittal - September 15, 2021

PROJECT TITLE
**Madison
Development
Corp Avenue
Expansion**

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Madison
Wisconsin 53704

SHEET TITLE
**EXTERIOR
ELEVATIONS
COLORED**

SHEET NUMBER

A-2.2

PROJECT NUMBER **2111**

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3 COLORED ELEVATION - EAST
A-2.2 1/8" = 1'-0"



4 COLORED ELEVATION - WEST
A-2.2 1/8" = 1'-0"



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KEY PLAN

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PROJECT TITLE

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Expansion

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Madison
Wisconsin 53704

SHEET TITLE

TYPICAL UNIT
LAYOUT

SHEET NUMBER

A-5.1

PROJECT NUMBER 2111

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1 TYPICAL UNIT LAYOUT
A-5.1 3/16" = 1'-0"



MADISON DEV CORP
AVENUE EXPANSION





MADISON DEV CORP
AVENUE EXPANSION





MADISON DEV CORP
AVENUE EXPANSION





MADISON DEV CORP
AVENUE EXPANSION





MADISON DEV CORP
AVENUE EXPANSION





MADISON DEV CORP
AVENUE EXPANSION





MADISON DEV CORP
AVENUE EXPANSION





MADISON DEV CORP
AVENUE EXPANSION





MADISON DEV CORP
AVENUE EXPANSION





MADISON DEV CORP
AVENUE EXPANSION





EXTERIOR MATERIAL SCHEDULE		
BUILDING ELEMENT	MANUFACTURER	COLOR
COMPOSITE SIDING	JAMES HARDIE	WOODSTOCK BROWN
COMPOSITE TRIM	JAMES HARDIE	NAVAJO BEIGE
BRICK VENEER	ACME	FRENCH VANILLA LIGHT
VINYL WINDOWS	N/A	TAN
ALUMINUM STOREFRONT DOORS	N/A	DARK BRONZE
CAST STONE SILLS, HEADS, AND BANDS	EDWARDS CAST STONE	18-018
RAILINGS	SUPERIOR	DARK BRONZE
METAL WRAPPED CANOPY	N/A	MATCH WITH COMPOSITE TRIM



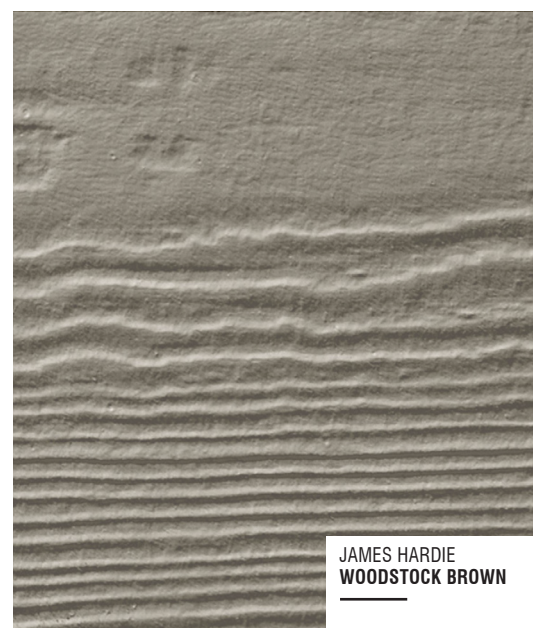
ACME BRICK
FRENCH VANILLA MEDIUM

BRICK VENEER



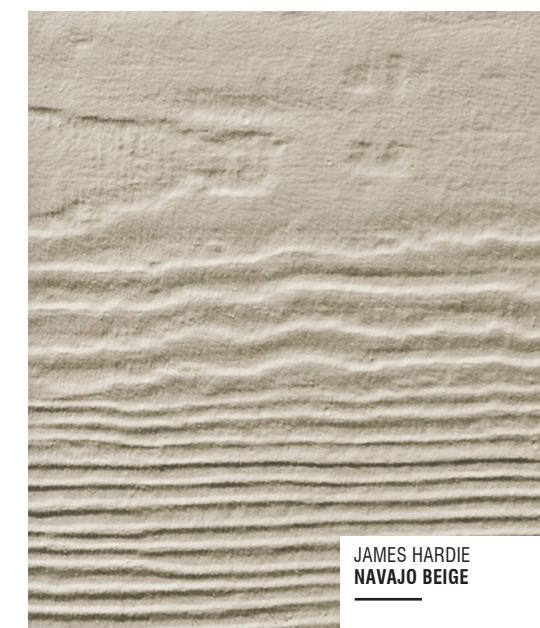
EDWARDS
18-018

**CAST STONE SILLS,
HEADS & BANDS**



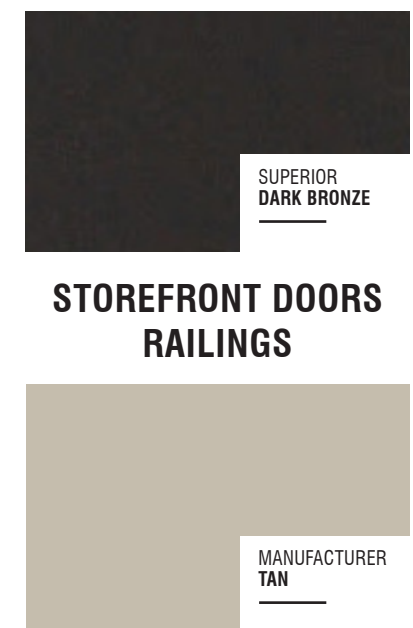
JAMES HARDIE
WOODSTOCK BROWN

COMPOSITE HORIZONTAL SIDING



JAMES HARDIE
NAVAJO BEIGE

COMPOSITE TRIM



SUPERIOR
DARK BRONZE

**STOREFRONT DOORS
RAILINGS**

MANUFACTURER
TAN

WINDOWS



City of Madison Fire Department

314 W Dayton Street, Madison, WI 53703-2506
 Phone: 608-266-4420 • Fax: 608-267-1100 • E-mail: fire@cityofmadison.com

Project Address: 22 N Second St

Contact Name & Phone #: Kevin Burow, 608-836-3690

FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system? If non-sprinklered , fire lanes extend to within 150-feet of all portions of the exterior wall? If sprinklered , fire lanes are within 250-feet of all portions of the exterior wall?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input type="checkbox"/> N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs? a) Is the fire lane a minimum unobstructed width of at least 20-feet? b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet? c) Is the minimum inside turning radius of the fire lane at least 28-feet? d) Is the grade of the fire lane not more than a slope of 8%? e) Is the fire lane posted as fire lane? (Provide detail of signage.) f) Is a roll-able curb used as part of the fire lane? (Provide detail of curb.) g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.)	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A
3. Is the fire lane obstructed by security gates or barricades? If yes: a) Is the gate a minimum of 20-feet clear opening? b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	<input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A
4. Is the Fire lane dead-ended with a length greater than 150-feet? If yes, does the area for turning around fire apparatus comply with IFC D103?	<input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6 If yes, see IFC 3206.6 for further requirements.	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
6. Is any part of the building <u>greater than 30-feet</u> above the grade plane? If yes, answer the following questions: a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter? b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building? c) Are there any overhead power or utility lines located across the aerial apparatus fire lane? d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species) e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet? f) Is the space between the aerial lane and the building free of trees exceeding 20' in heights?	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants? <i>Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus.</i> a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants? b) Is there at least 40' between a hydrant and the building? c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane? d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb? e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1½-feet, within 5-feet of a fire hydrant? <i>Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.</i>	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input type="checkbox"/> N/A

Attach an additional sheet if further explanation is required for any answers.

This worksheet is based on **MGO 34.503** and **IFC 2015 Edition Chapter 5 and Appendix D**; please see the codes for further information.