

URBAN DESIGN COMMISSION APPLICATION

UDC

City of Madison
Planning Division
126 S. Hamilton St.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635



FOR OFFICE USE ONLY:

Paid _____ Receipt # _____

Date received _____

Received by _____

Aldermanic District _____

Zoning District _____

Urban Design District _____

Submittal reviewed by _____

Complete all sections of this application, including the desired meeting date and the action requested.

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.

1. Project Information

Address: 1007 Fish Hatchery Rd.

Title: Peloton Residences

2. Application Type (check all that apply) and Requested Date

UDC meeting date requested 1/2/19

- New development Alteration to an existing or previously-approved development
 Informational Initial approval Final approval

3. Project Type

- Project in an Urban Design District
 Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
 Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
 Planned Development (PD)
 General Development Plan (GDP)
 Specific Implementation Plan (SIP)
 Planned Multi-Use Site or Residential Building Complex

Signage

- Comprehensive Design Review (CDR)
 Signage Variance (i.e. modification of signage height, area, and setback)

Other

- Please specify _____

4. Applicant, Agent, and Property Owner Information

Applicant name Peloton Residences, LLC Company T. Wall Enterprises, LLC

Street address P.O. Box 620037 Middleton, WI City/State/Zip Middleton, WI 53562

Telephone 608-826-4000 Email Jon@twallenterprises.com

Project contact person Jon Helmer Company _____

Street address 1818 Parmenter St. City/State/Zip Middleton, WI 53562

Telephone 608-444-5552 Email Jon@twallenterprises.com

Property owner (if not applicant) _____

Street address _____ City/State/Zip _____

Telephone _____ Email _____

5. Required Submittal Materials

- Application Form
- Letter of Intent
 - If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
 - For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.
- Development plans (Refer to checklist provided below for plan details)
- Filing fee
- Electronic Submittal*

Each submittal must include fourteen (14) 11" x 17" collated paper copies. Landscape and Lighting plans (if required) must be full-sized. Please refrain from using plastic covers or spiral binding.

Both the paper copies and electronic copies must be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

**Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to udcapplications@cityofmadison.com. The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.*

6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Janine Glaeser on Dec. 4, 2018.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Applicant name Peloton Residences, LLC Relationship to property owner
 Authorized signature of Property Owner BY: T. Wall Enterprises Manager, LLC, T's Manager Date 12/13/18
Terrance R. Wall, President

7. Application Filing Fees

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request:

- Urban Design Districts: \$350 (per §35.24(6) MGO).
- Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per §33.24(6)(b) MGO)
- Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO)
- Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO)
- All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex



TO:

City of Madison – Planning Division
215 Martin Luther King Jr. Blvd.
Madison, WI 53703

Heather Stouder

Department of Planning & Development – City of Madison
215 Martin Luther King Jr. Blvd.
Madison, WI 53703

RE:

Letter of Intent – Land Use Application for Plan Commission and Common Council Initial/Final Approval Request

PROJECT:

**Peloton Residences
1004 & 1032 S. Park Street Madison, WI**

AYA Project # 59830

**October 30th,
2018 Page 1 of 5**

The following is submitted together with the plans and application for review by City staff and the Planning Commission and Common Council. With this application we will be requesting initial and final approval of the project development and site plan layout. This letter of intent is accompanied by the Land Use application.

Organizational Structure:

Owner/ Developer:

**Peloton Residences, LLC
P.O. Box 620037
Middleton, WI 53562
608-345-0701
Contact: Jon Hepner
jon@twallenterprises.com**

Site Engineer:

**Vierbicher
999 Fourier Drive, Suite 201
Madison, WI 53717
608-821-3966
Contact: Joe Doyle
jdoyle@vierbicher.com**

Architect/ Structural Engineer:

**Angus-Young Associates, Inc.
16 N. Carroll Street Suite 610
Madison, WI 53703
608-284-8225
Contact: Jeff Davis
jeffd@angusyoung.com**

Landscape Design:

**The Bruce Company
2830 Parmenter Street
PO Box 620330
Middleton, WI 53562
608-836-7041
Contact: Rich Strohmerger
rstromerger@brucecompany.com**

Introduction:

The triangular 1.65 acre site is located on the south corner of Park Street and Fish Hatchery Road and is part of an approved PUD_GDP that established a guide for redevelopment of the former Bancroft Dairy site. The PUD-GDP was approved by the Common Council on October 4, 2011 and later approved to a PUD-SIP zoning. The site is currently an open green space after the demolition of the former Bancroft Dairy Facility.

This proposal will create a dynamic mixed-use community that features attractive architecture and landscaping with density and uses that will support the surrounding businesses and residential neighborhood with a reflection to the history of the site.



Request to Planning Commission and Common Council:

We are requesting an amendment to a previously approved and recorded Specific Implementation Plan for Peloton Residences. This development was first approved by Planning Commission and Common Council in June of 2015 and then received approval for an amendment in September of 2017.

Specifically, we are requesting approval to convert the 16 lofts, the second floor of the 2 floor unit (5 studio lofts, 10 one bedroom lofts, and 1 two bedroom loft), to individual units; 5 additional studios, 10 additional one bedrooms, and 1 additional two bedroom. The only difference being that they'll each have a door. All of the existing 16 loft units already have bedrooms included in the loft area except for the 1 two bedroom, so the net new bedrooms being added is only 1. Further, the additional gross square footage being added, due to the loft-unit conversion, is less than 400 g.s.f. This conversion will occur within the currently approved building envelope.

Project Description:

The proposed development consists of 3 buildings of three to six stories surrounding an elevated and landscaped courtyard. The development provides a commercial space at the "wedge" of the site (corner of Park St. and Fish Hatchery Rd.) and along Park Street, live-work commercial spaces on Park Street and residential uses throughout the remainder of the site. Parking is below grade and the entrance is located along the South façade at the alley way between UW health and the proposed site. Residential apartments extend from the first through the fourth floors with a range of unit types available. The buildings will contain (168) apartment units, 12,287 gsf of commercial (including 1st level of live/work units and 6th level commercial/ community space), and (5) live-work units totaling 7,928 gsf of additional residential. We are providing site access via South Street (alley) from Fish Hatchery Road. Residents will be encouraged to exit the site by turning Right onto South Park Street.

The plan provides vehicular access to the site from either Park Street or Fish Hatchery via an existing shared drive. The proposed building has access to the parking level via ramp off this shared drive. 159 heated and secured parking stalls are provided. The parking level also provides room for 123 bicycle parking stalls, 76 of which are in a secured room.

The property is in the Bay Creek Neighborhood Association and within the boundaries of UDD 7, the South Madison Neighborhood Plan, the Wingra BUILD plan and an approved PD_SIP. The proposed development is generally consistent with those plans.

Building Design:

The design concept of the project reflects on the site history of Bancroft Dairy with a contemporary approach. This site was historically used as a manufacturing industrial use. With the Park Street elevation, we wanted to reflect on that history and are providing a contemporary reflection of an "industrial warehouse" feel with large divided light windows, inset balconies with soldier course and row lock brick detailing with awnings at the commercial spaces. Also, we plan to provide exposed steel canopy/ sunshade structure at the first level commercial space to further this industrial aesthetic. This warehouse look transitions into a more contemporary focus at the point – the idea being that we are transitioning to an iconic element of the design that doesn't forget about the neighborhood's history. This concept is meant to reflect the overall transition of the Park Street Corridor.

The "point" will include a 6 story glass wall with an industrial sun shade canopy that jets out towards the intersection at the first level. The point will be a mixture of vision glass and spandrel glass to hide the floor structure. The top level will include a 2,795 gsf rooftop space to be leased that includes an outdoor patio. This is intended to be an amenity to the Bay Creek Neighborhood. Also included on the top level is a rooftop patio for residents and the users of the commercial space that will feature great views of the Capitol and Lake Monona.

For exterior building materials, we are proposing a mixture of limestone base, brick veneer, composite panel and composite siding, glass and aluminum storefront. The large divided lite windows will be fiberglass, and smaller residential windows will be vinyl.



Site Development Data:

Densities:

Lot area	71,647 sf or 1.64 acres
Dwelling units	173 units
Lot Area/ D.U.	456 sf/ unit
Density	105.4 Units/ Acre
Lot Coverage	57,674 sf

Dwelling Unit Mix:

Live/Work:	5
Studio:	38
1 Bedroom:	90
1 Bedroom + Den	3
2 Bedroom:	37

Total:	173
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Building Height: 3-6 Stories

Floor Area Ratio:

Commercial	12,287 gsf
Live/ Work Space	7,928 gsf
Parking/ Support Spaces	58,767 gsf
Residential	167,896 gsf
<hr/>	
Gross Floor Area	246,878 gsf
Floor Area Ratio	3.44

Vehicle Parking Stalls:

Lower Level 159

Bicycle parking stalls:

Parking Level 48
Secured Bike Storage Room 76
Sidewalk/ grade level 16

Thank you for your time reviewing our proposal.

Sincerely,

Jeff Davis, AIA



PELTON PLACE
RESIDENCES



1956-2016

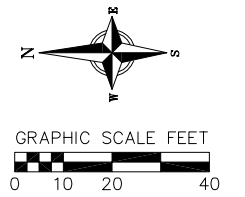
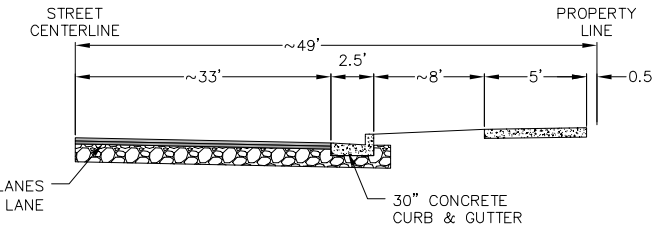
Balance in Creativity

Peloton Place Residences
Peloton Residences, LLC

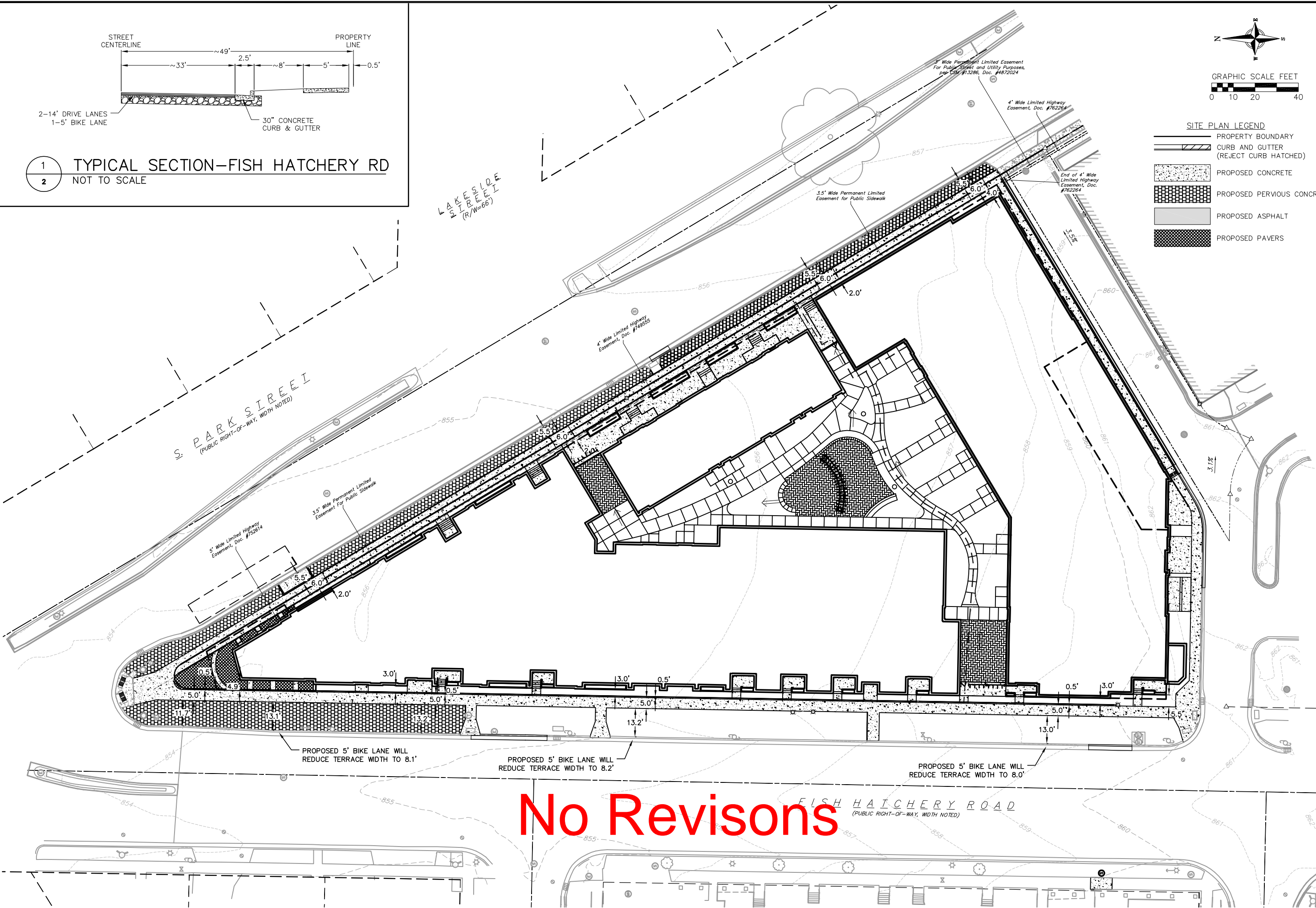
Urban Design Commission
Major Alteration Submittal

Jeff Davis
Angus-Young Associates
jeffd@angusyoung.com
608.284.8225

Jon Hepner
Peloton Residences, LLC
jon@twallenterprises.com
608.444-5552



- SITE PLAN LEGEND**
- PROPERTY BOUNDARY
 - CURB AND GUTTER (REJECT CURB HATCHED)
 - ▨ PROPOSED CONCRETE
 - ▩ PROPOSED PERVIOUS CONCRETE
 - ▭ PROPOSED ASPHALT
 - ▧ PROPOSED PAVERS

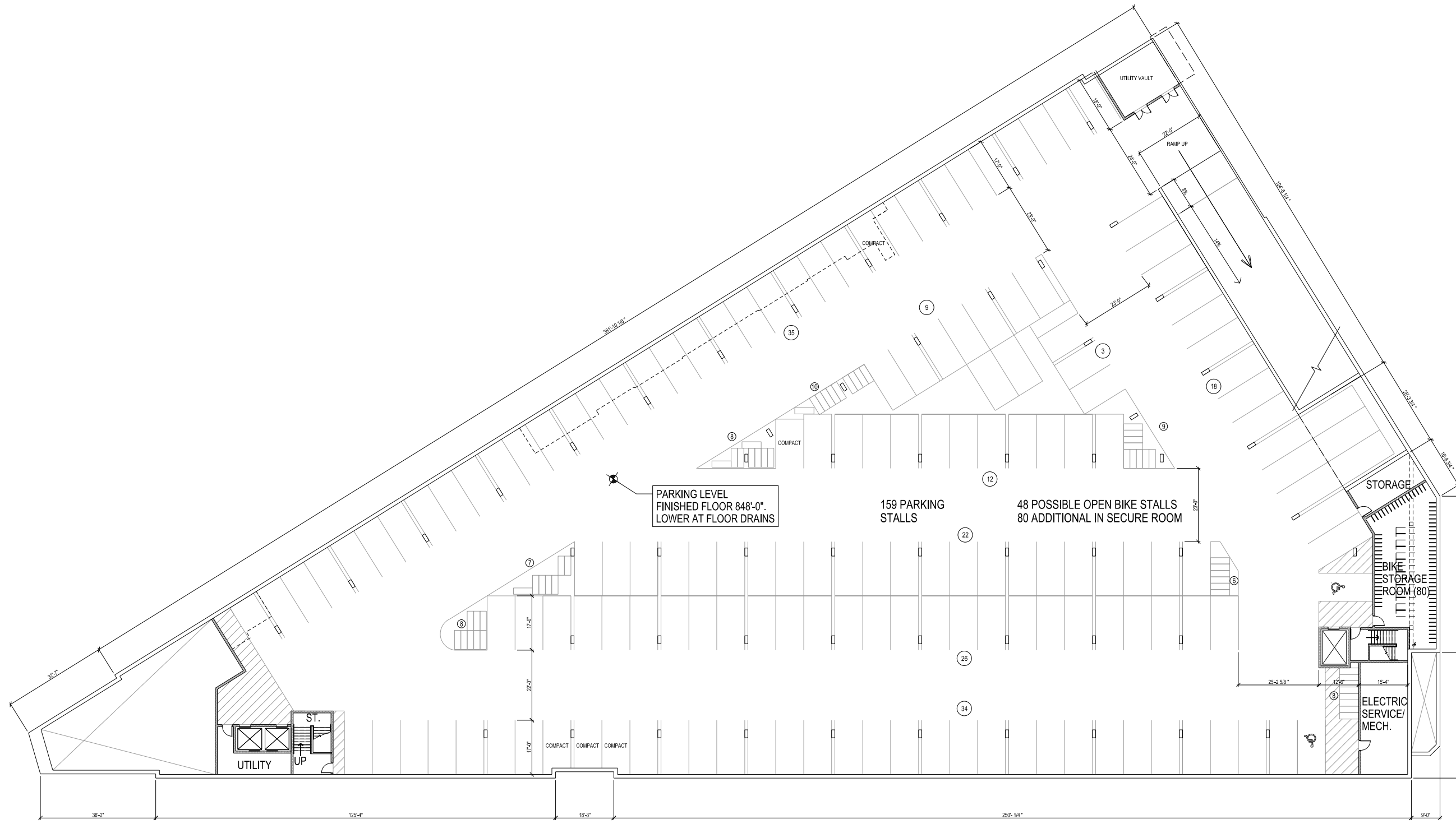


No Revisions

Site Plan Exhibit
Peloton Residences
City of Madison
Dane County, Wisconsin

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

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 10/30/2018
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 CHECKED: RKOL
 PROJECT NO.: 140245
 SHEET: 2 OF 2
 DWG. NO.:



No Revisions



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ISSUANCES	REVISIONS
JDC INITIAL/FINAL APPROVAL/IPC - 05/10/2017	
JDC FINAL APPROVAL - 08/08/2017	
MAJOR ALTERATION APPROVAL - 10/30/2018	

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www.angusyoung.com

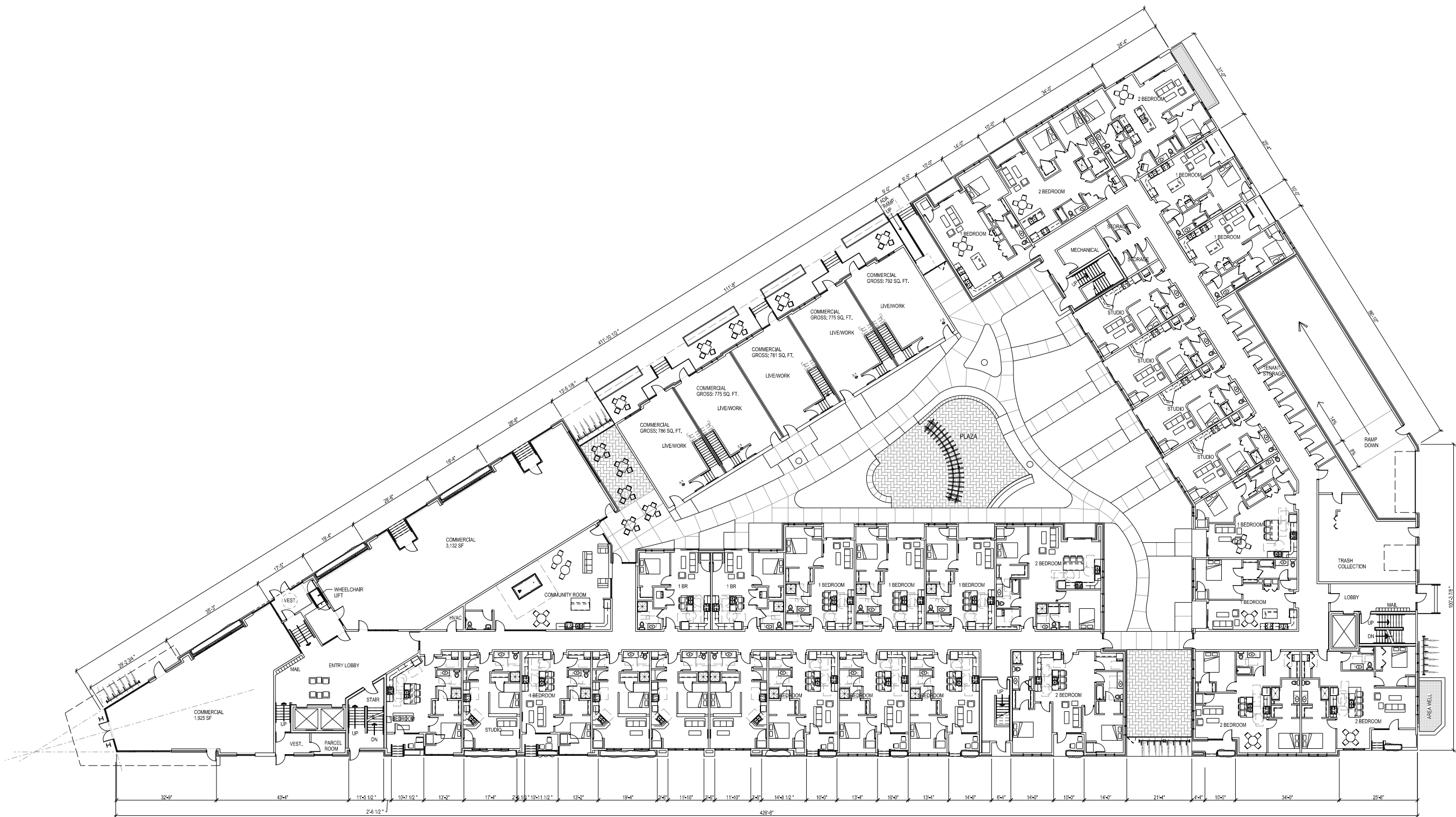
PELTON PLACE RESIDENCES
MIXED USE DEVELOPMENT
PELTON RESIDENCES, LLC
MADISON, WISCONSIN

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REVIEWED BY XXX
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DATE 9/5/2017 11:06:23 AM

OVERALL
PARKING LEVEL
PLAN

A100

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FIRST FLOOR PLAN
 SCALE: 1/16"=1'-0"

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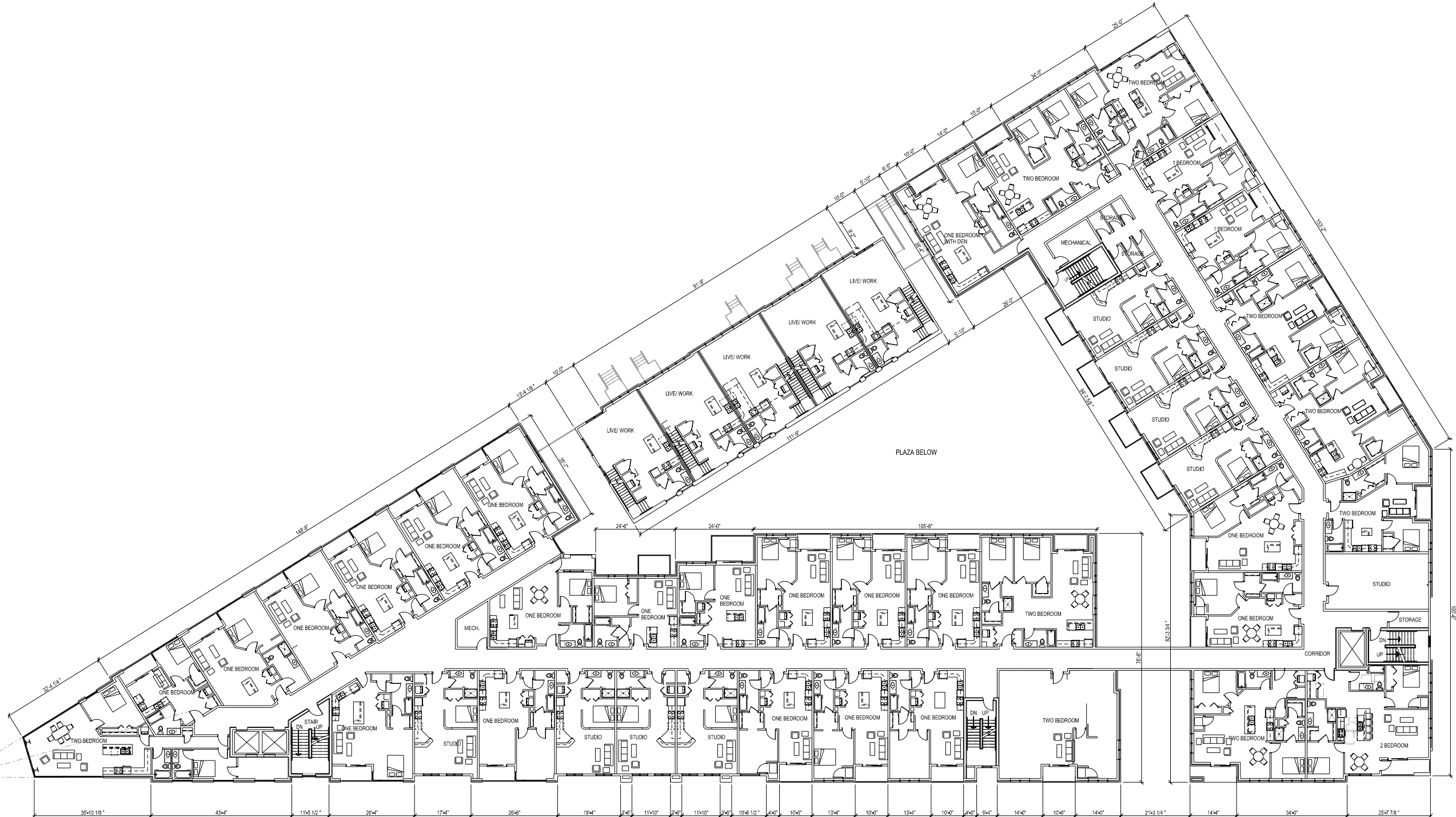
OVERALL
 FIRST FLOOR
 PLAN

A101

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PELTON RESIDENCES, LLC
MADISON, WISCONSIN

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UDC INITIAL/FINAL APPROVAL/FC - 05/10/2017 UDC FINAL APPROVAL - 08/22/2017 MAJOR ALTERATION APPROVAL - 10/30/2018	
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NORTH
SECOND FLOOR PLAN
SCALE: 1/16"=1'-0"

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MADISON, WISCONSIN

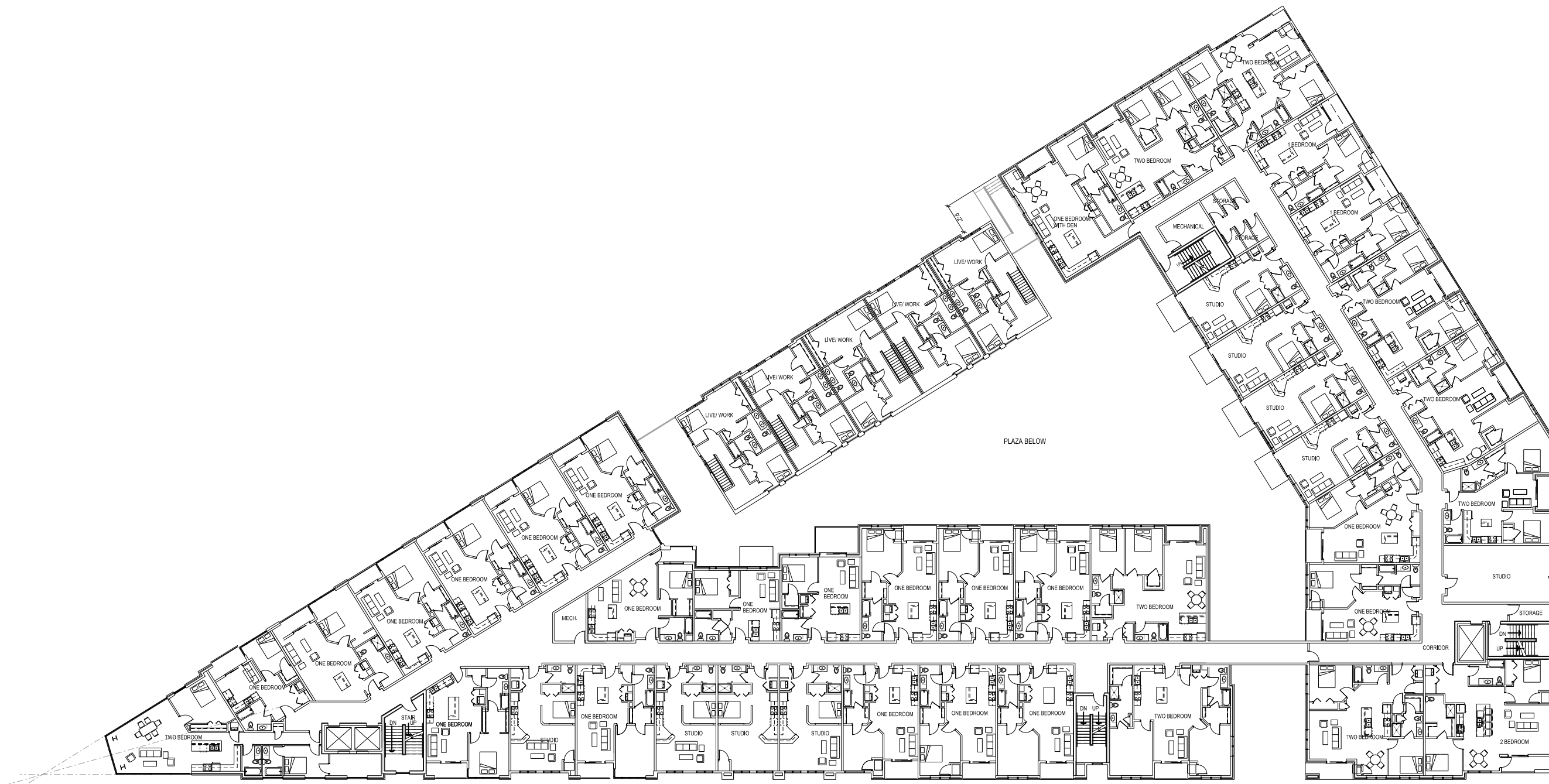
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OVERALL
SECOND FLOOR
PLAN

A102

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THIRD FLOOR PLAN
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OVERALL
 THIRD FLOOR
 PLAN

A103

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ISSUANCES	REVISIONS
JUDICIAL FINAL APPROVAL / PC - 05/10/2017	
DEC FINAL APPROVAL - 10/06/2017	
MAJOR ALTERATI APPROVAL - 10/30/2018	

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NORTH
FOURTH FLOOR PLAN
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UDC FINAL APPROVAL - 09/06/2017	

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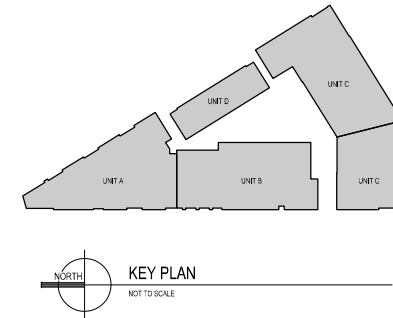
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Alteration

OVERALL FOURTH FLOOR PLAN
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KEY PLAN
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REVIEWED BY: JAC
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MADISON, WI

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REVISIONS	ISSUANCES
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	REVISION APPROVAL - 05/10/2017
	MAJOR ALTERATION APPROVAL - 10/30/2018

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A204




FIFTH FLOOR PLAN
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PELOTON PLACE RESIDENCES
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 MADISON, WISCONSIN

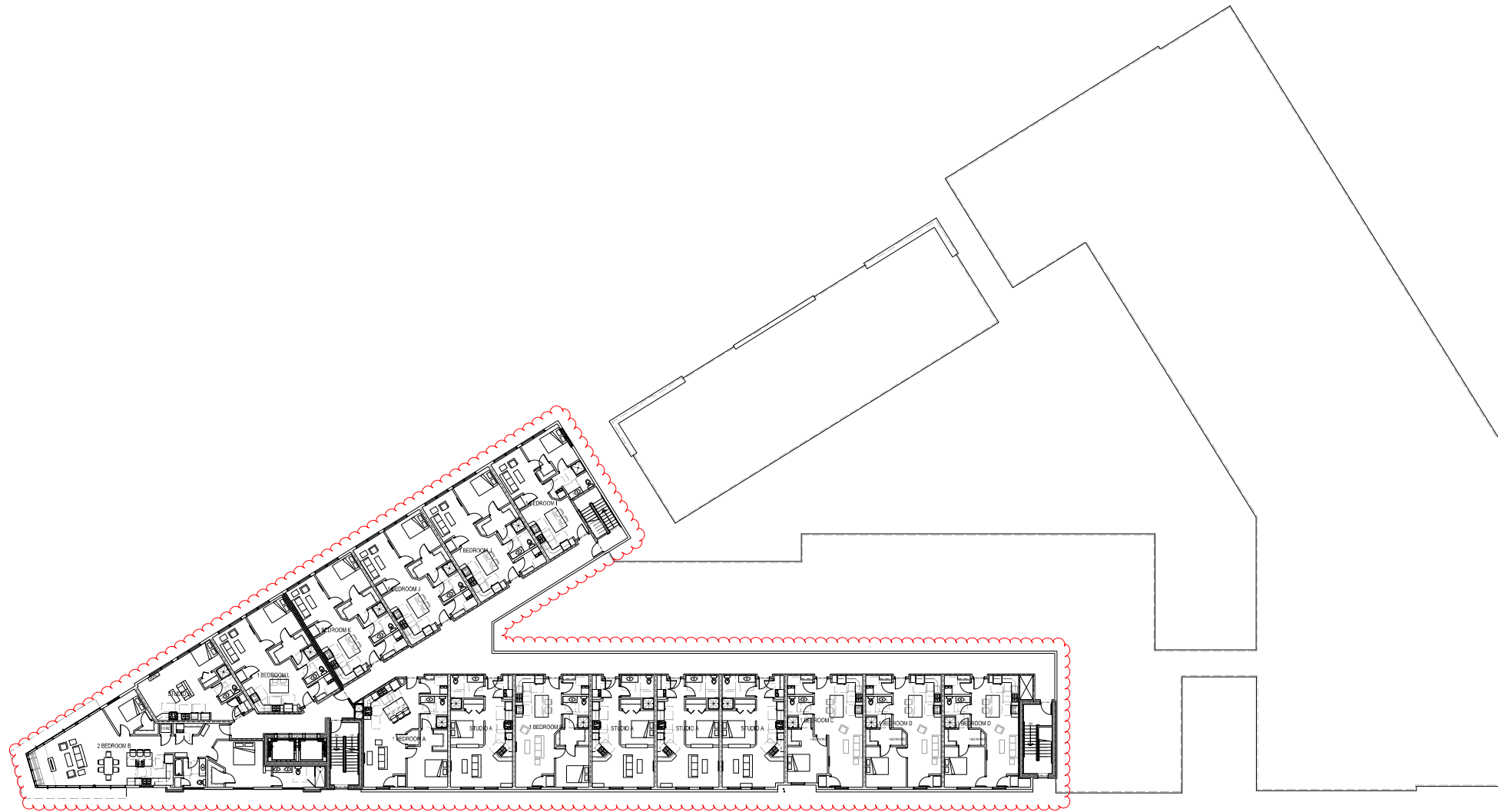
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UDC FINAL APPROVAL - 09/06/2017	

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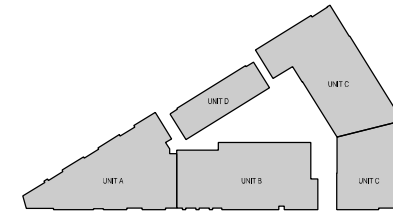
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Alteration

OVERALL FIFTH FLOOR PLAN
SCALE: 1/8"=1'-0"



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UDC FINAL APPROVAL/PC - 05/10/2017	
MAJOR ALTERATION APPROVAL - 10/30/2018	

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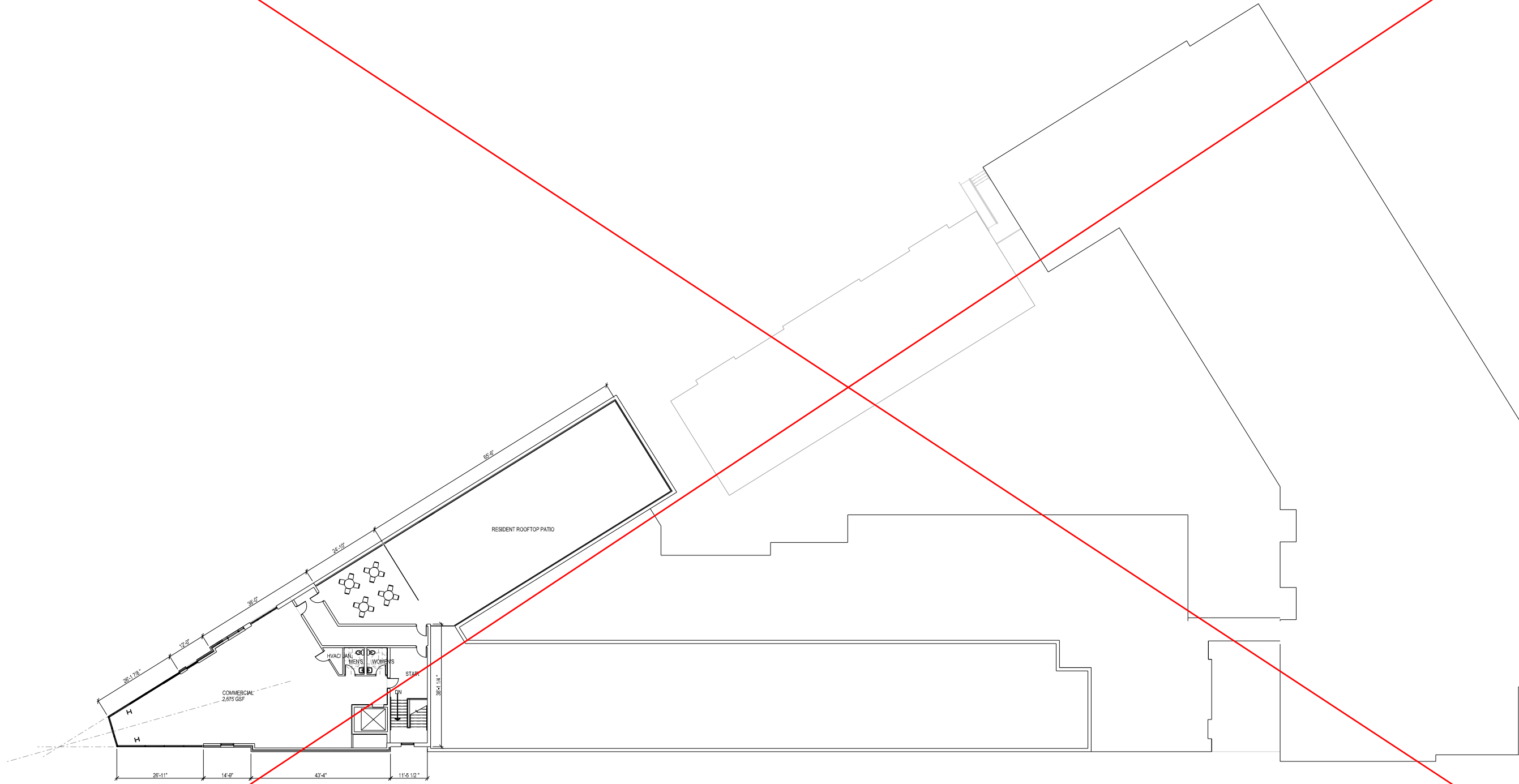
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Creating Places Where People Interact

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T. WALL ENTERPRISES MANAGEMENT, LLC
PELTON RESIDENCES, LLC
MADISON, WI

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DESIGNED BY: JAC
APPROVED BY: JAC
REVIEWED BY: JAC
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A205

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NORTH
SIXTH FLOOR PLAN
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58330
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XXX
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XXX
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OVERALL
SIXTH FLOOR PLAN
PLAN

A106

**PELTON PLACE RESIDENCES
MIXED USE DEVELOPMENT
PELTON RESIDENCES, LLC
MADISON, WISCONSIN**

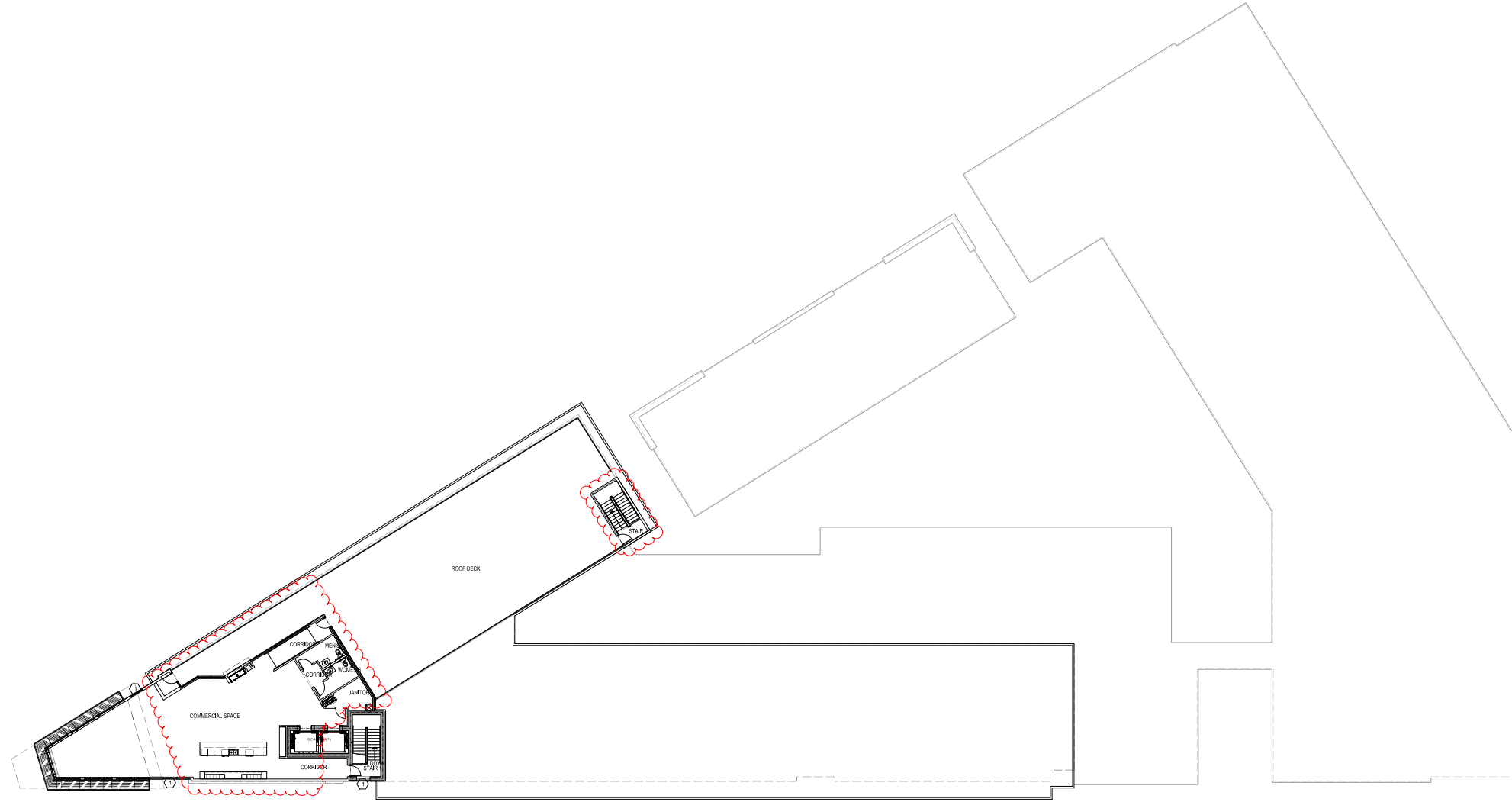
**Angus
Young**
Architecture | Engineering
Interiors | Landscape

Balance in Creativity
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Madison: 16 North Court Street - Madison, WI 53703 | P: 608.384.1235
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ISSUANCES	REVISIONS
UDC INITIAL/FINAL APPROVAL/PG - 05/10/2017	
UDC FINAL APPROVAL - 09/06/2017	
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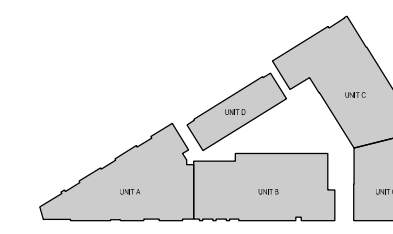
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Alteration

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KEY PLAN
NOT TO SCALE

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ISSUANCES		REVISIONS	
UDC INITIAL APPROVAL/PC - 05/10/2017			
UPGRADE APPROVAL - APPROVAL			
MAJOR ALTERATION APPROVAL - 10/30/2018			

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Interiors | Landscape

T. Wall Enterprises
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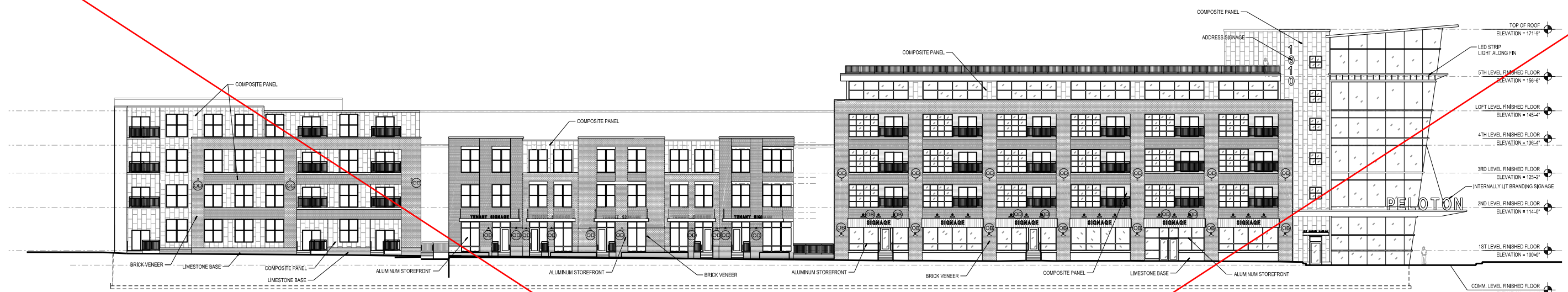
PELTON RESIDENCES
T. WALL ENTERPRISES MANAGEMENT, LLC
PELTON RESIDENCES, LLC
MADISON, WI

PROJECT NUMBER: 114151 AM
DATE: 12/22/18 11:41:51 AM
DRAWN BY: PFP
CHECKED BY: JAC
APPROVED BY: JAC

A206

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ORIGINAL SIZE = 24" x 36"
X:\9800\04\9800\A401.dwg
SCALE: 1/16" = 1'-0"
PLOTTED BY: JMD



01 PARK STREET ELEVATION (WEST)
A401 SCALE: 1/16" = 1'-0"



02 FISH HATCHERY STREET ELEVATION (EAST)
A401 SCALE: 1/16" = 1'-0"



03 WEST FACING COURTYARD ELEVATION
A401 SCALE: 1/16" = 1'-0"

This Sheet Replaced

NOTE: FIXTURE TYPES DETNOTED WITH (X) . SEE ELECTRICAL FIXTURE SCHEDULE FOR TYPES.

PRELIMINARY - NOT FOR CONSTRUCTION

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Madison: 16 North Carroll Street - Madison, WI 53703 | Ph: 608.284.8225
www.angusyoung.com

PROJECT NUMBER: 5900
APPROVED BY: XXX
REVIEWED BY: XXX
DRAWN BY: EIH
9/5/2017 4:00:13 PM

ISSUANCES:
UDC INITIAL FINAL APPROVAL / PC - 05/10/2017
UDC FINAL APPROVAL - 08/06/2017

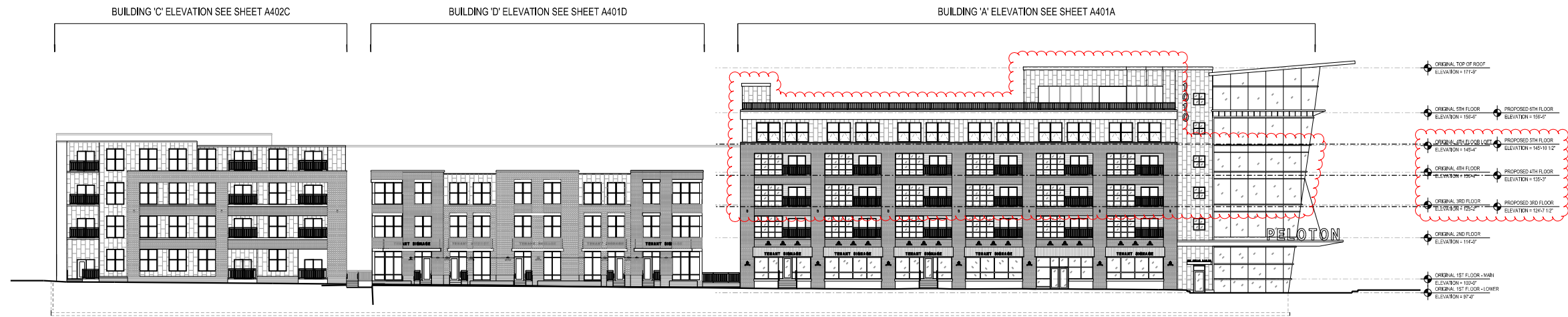
REVISIONS:

PELOTON PLACE RESIDENCES
MIXED USE DEVELOPMENT
PELOTON RESIDENCES, LLC
MADISON, WISCONSIN

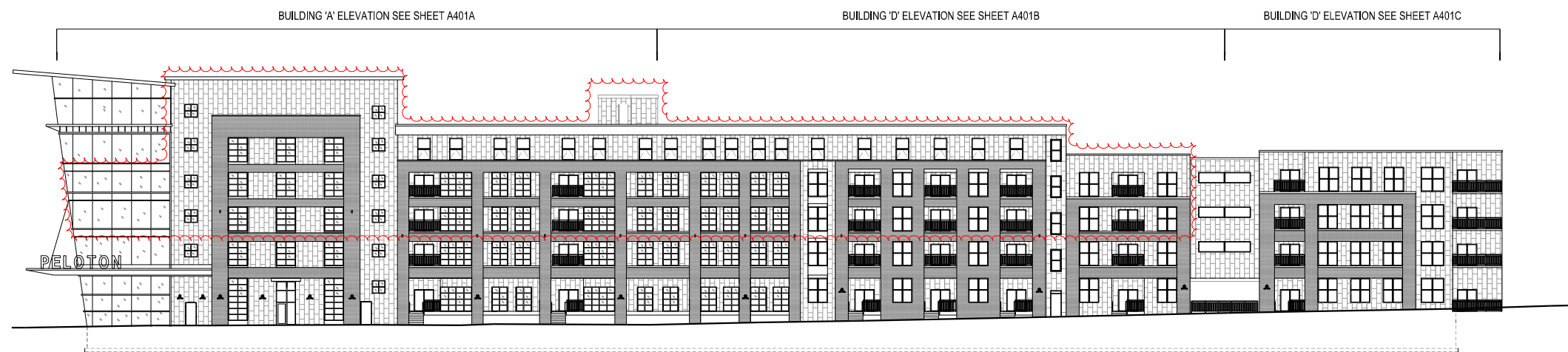
PROPOSED EXTERIOR ELEVATIONS

A401

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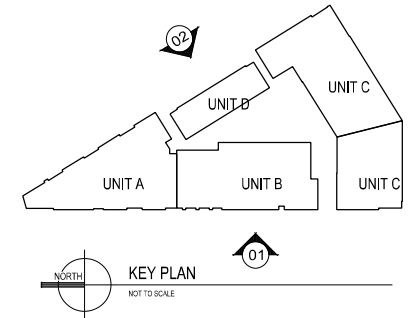


02 OVERALL EAST ELEVATION (PARK STREET)
A401 SCALE: 1/8" = 1'-0"



01 OVERALL WEST ELEVATION (FISH HATCHERY ST.)
A401 SCALE: 1/8" = 1'-0"

Alteration



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PROJECT NUMBER: 12/22/18 11:42:22 AM

ISSUANCES:
 1. UDC INITIAL APPROVAL/PC - 05/10/2017
 2. UDC INITIAL APPROVAL/PC - 05/10/2017
 3. MAJOR ALTERATION APPROVAL - 10/30/2018

REVISIONS:

PELTON RESIDENCES
 T. WALL ENTERPRISES MANAGEMENT, LLC
 PELTON RESIDENCES, LLC
 MADISON, WI

Angus Young
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T. Wall Enterprises
 Creating Places Where People Interact

ORIGINATOR: JAC
 APPROVED BY: JAC
 REVIEWED BY: JAC
 DRAWN BY: BMH
 DATE: 12/22/18 11:42:22 AM

OVERALL EAST AND WEST EXTERIOR BUILDING ELEVATIONS

A401

ORIGINAL SIZE: 30" x 42"
 XREF: 20180418.dwg
 SCALE: 1/8" = 1'-0"
 PLOTTED BY: p4p



This Sheet Replaced

RENDERED AND SHADOWED ELEVATIONS - Park St.



Alteration

RENDERED AND SHADOWED ELEVATIONS - Park St.



This Sheet Replaced

RENDERED AND SHADOWED ELEVATIONS - Fish Hatch



Alteration

RENDERED AND SHADOWED ELEVATIONS - Fish Hatch



This Sheet Replaced

PROPOSED PERSPECTIVE RENDERINGS - Prow



Alteration

PROPOSED PERSPECTIVE RENDERINGS - Prow



This Sheet Replaced

PROPOSED PERSPECTIVE RENDERINGS - Fish Hatchery



Alteration

PROPOSED PERSPECTIVE RENDERINGS - Fish Hatchery