



Location
610 John Nolen Drive

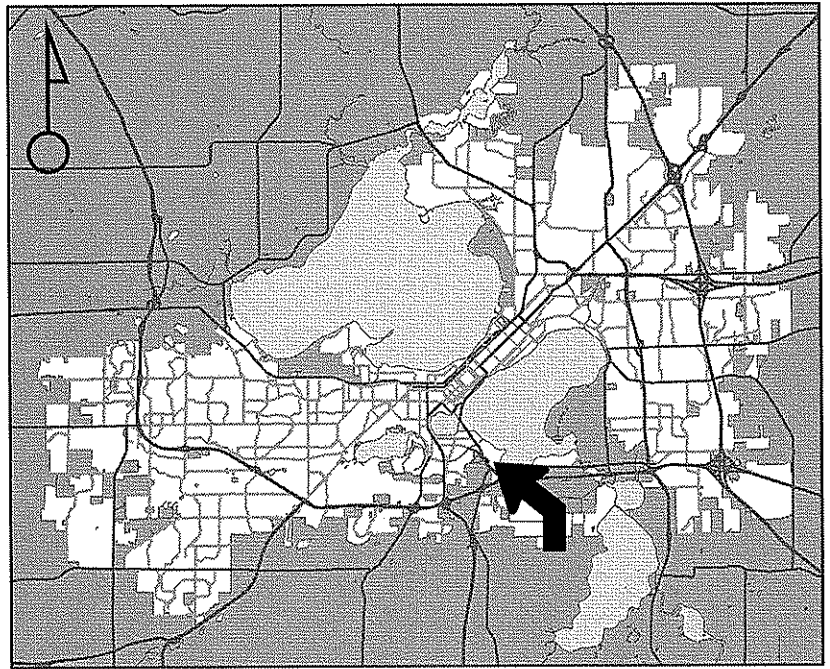
Project Name
Hilton Garden Inn

Applicant
Wisconsin Truckers & Auto Dealers
Assoc. Inc./Bert Slinde - Slinde Realty Co.

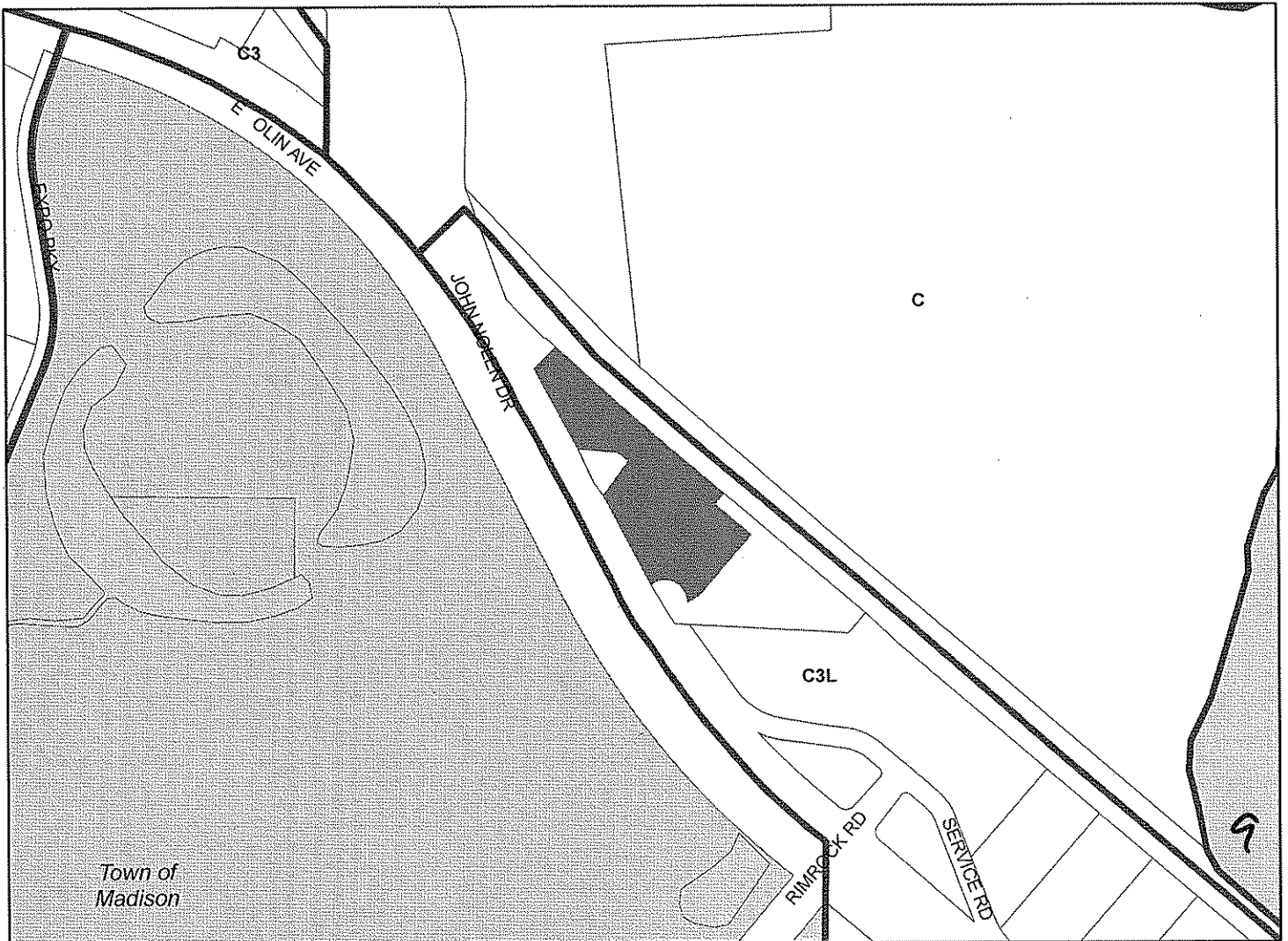
Existing Use
Vacant Land

Proposed Use
Planned Commercial Development of a Hotel
in excess of 40,000 Square Feet with an
Outdoor Eating Area and Within 150 feet
of a City Park

Public Hearing Date
Plan Commission
06 October 2008

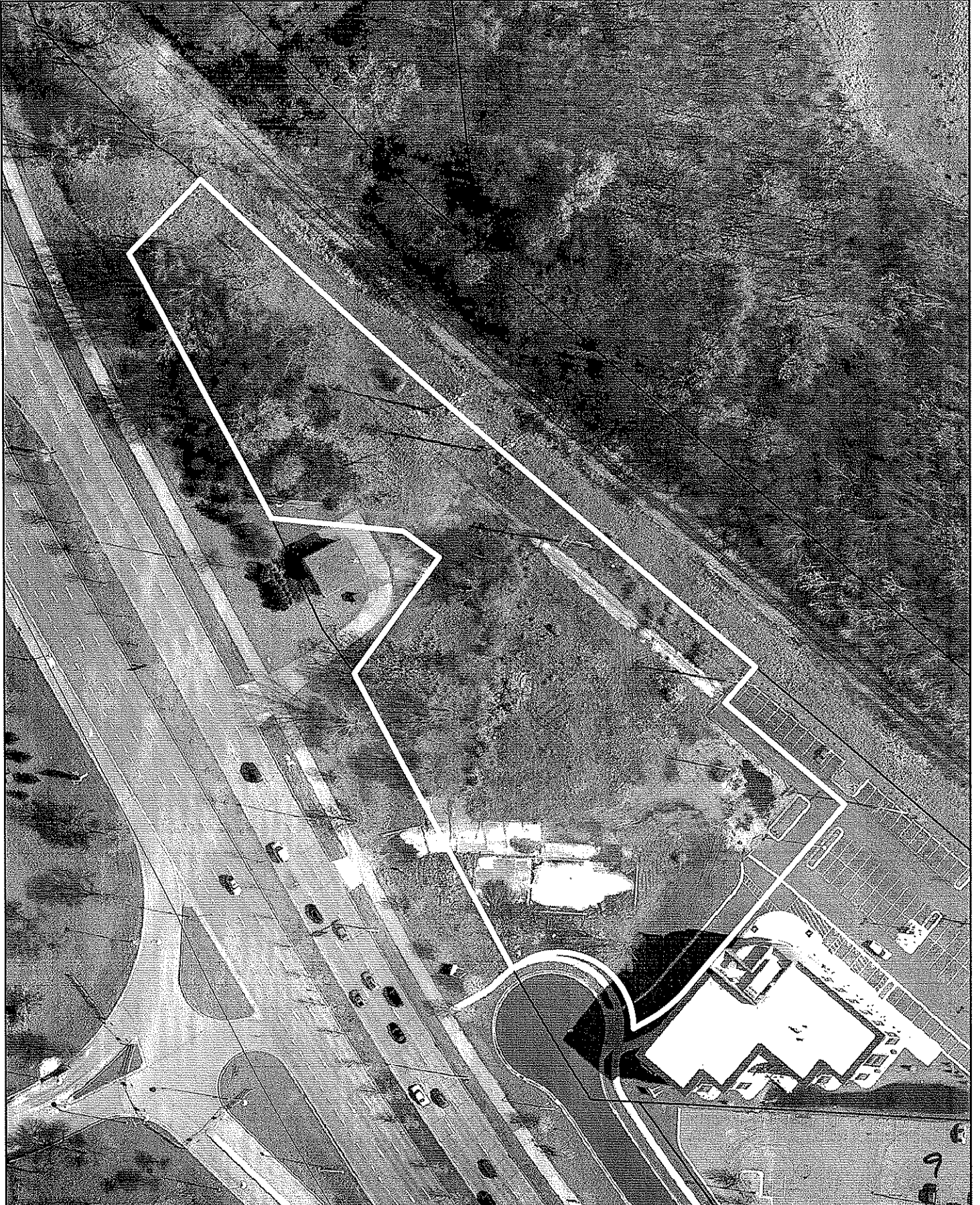


For Questions Contact: Kevin Firchow at: 267-1150 or kfirchow@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 22 September 2008



LAND USE APPLICATION

Madison Plan Commission

215 Martin Luther King Jr. Blvd; Room LL-100
 PO Box 2985; Madison, Wisconsin 53701-2985
 Phone: 608.266.4635 | Facsimile: 608.267.8739

- The following information is required for all applications for Plan Commission review.
- Please read all pages of the application completely and fill in all required fields.
- This application form may also be completed online at www.cityofmadison.com/planning/plan.html
- All zoning application packages should be filed directly with the Zoning Administrator's desk.
- All applications will be reviewed against the applicable standards found in the City Ordinances to determine if the project can be approved.

FOR OFFICE USE ONLY:

Amt. Paid 800- Receipt No. 93735
 Date Received 8-4-08
 Received By MWT/APA
 Parcel No. 0709-253-0102-3
 Aldermanic District 14-Bruer
 GQ UDD2, AV, C.U.
 Zoning District C3-L
For Complete Submittal
 Application Letter of Intent
 IDUP 1/A Legal Descript.
 Plan Sets Zoning Text _____
 Alder Notification Waiver
 Ngrhd. Assn Not. N/A Waiver _____
 Date Sign Issued _____

1. **Project Address:** 610 John Nolen Drive **Project Area in Acres:** 2.67

Project Title (if any): _____

2. **This is an application for:** (check at least one)

Zoning Map Amendment (check only ONE box below for rezoning and fill in the blanks accordingly)

Rezoning from _____ to _____ Rezoning from _____ to PUD/PCD-SIP

Rezoning from _____ to PUD/PCD-GDP Rezoning from PUD/PCD-GDP to PUD/PCD-SIP

Conditional Use **Demolition Permit** **Other Requests** (Specify): _____

3. **Applicant, Agent & Property Owner Information:**

Applicant's Name: _____ Company: Beechwood Development
 Street Address: 1025 Thoroughbred Lane City/State: DePere, WI Zip: 54115
 Telephone: (920) 347-1969 Fax: (920) 347-1970 Email: _____

Project Contact Person: Bert Slinde Company: Slinde Realty Co.
 Street Address: 4705 Monona Drive City/State: Monona, WI Zip: 53716
 Telephone: (608) 221-1900 Fax: (608) 221-1910 Email: bert@sliderealty.com

Property Owner (if not applicant): Wisconsin Truckers & Automobile Dealers Association, Inc.
 Street Address: 150 East Gilman City/State: Madison, WI Zip: 53703

4. **Project Information:**

Provide a general description of the project and all proposed uses of the site: _____
 New Construction of a five (5) story Hilton Garden Inn.

Development Schedule: Commencement September 2008 Completion August 2009

5. Required Submittals:

Site Plans submitted as follows below and depicts all lot lines; existing, altered, demolished or proposed buildings; parking areas and driveways; sidewalks; location of any new signs; existing and proposed utility locations; building elevations and floor plans; landscaping, and a development schedule describing pertinent project details:

- **Seven (7) copies** of a full-sized plan set drawn to a scale of one inch equals 20 feet (collated and folded)
- **Seven (7) copies** of the plan set reduced to fit onto 11 inch by 17 inch paper (collated, stapled and folded)
- **One (1) copy** of the plan set reduced to fit onto 8 ½ inch by 11 inch paper

Letter of Intent: Twelve (12) copies describing this application in detail but not limited to, including: existing conditions and uses of the property; development schedule for the project; names of persons involved (contractor, architect, landscaper, business manager, etc.); types of businesses; number of employees; hours of operation; square footage or acreage of the site; number of dwelling units; sale or rental price range for dwelling units; gross square footage of building(s); number of parking stalls, etc.

Legal Description of Property: Lot(s) of record or metes and bounds description prepared by a land surveyor.

Filing Fee: \$ 800.00 See the fee schedule on the application cover page. Make checks payable to: *City Treasurer.*

IN ADDITION, THE FOLLOWING ITEMS MAY ALSO BE REQUIRED WITH YOUR APPLICATION; SEE BELOW:

For any applications proposing demolition of existing (principal) buildings, photos of the structure(s) to be demolished shall be submitted with your application. Be advised that a *Reuse and Recycling Plan* approved by the City's Recycling Coordinator is required to be approved by the City prior to issuance of wrecking permits.

A project proposing **ten (10) or more dwelling units** may be required to comply with the City's Inclusionary Zoning requirements outlined in Section 28.04 (25) of the Zoning Ordinance. A separate **INCLUSIONARY DWELLING UNIT PLAN** application detailing the project's conformance with these ordinance requirements shall be submitted concurrently with this application form. Note that some IDUP materials will coincide with the above submittal materials.

A *Zoning Text* must accompany **all** Planned Community or Planned Unit Development (PCD/PUD) submittals.

FOR ALL APPLICATIONS: All applicants are required to submit copies of all items submitted in hard copy with their application (including this application form, the letter of intent, complete plan sets and elevations, etc.) as **INDIVIDUAL** Adobe Acrobat PDF files compiled either on a non-returnable CD to be included with their application materials, or in an e-mail sent to pcapplications@cityofmadison.com. The e-mail shall include the name of the project and applicant. Applicants who are unable to provide the materials electronically should contact the Planning Unit at (608) 266-4635 for assistance.

6. Applicant Declarations:

Conformance with adopted City plans: Applications shall be in accordance with all adopted City of Madison plans:

→ The site is located within the limits of _____ Comprehensive _____ Plan, which recommends:
_____ Employment Use _____ for this property.

Pre-application Notification: Section 28.12 of the Zoning Ordinance requires that the applicant notify the district alder and any nearby neighborhood or business associations by mail no later than **30** days prior to filing this request:

→ List below the Alderperson, Neighborhood Association(s), Business Association(s) AND dates you sent the notices:

Waller, ALD. Bruen, 8-11-08

If the alder has granted a waiver to this requirement, please attach any such correspondence to this form.

Pre-application Meeting with staff: Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning Counter and Planning Unit staff, note staff persons and date.

Planner _____ Date _____ | Zoning Staff _____ Date _____

The signer attests that this form has been completed accurately and all required materials have been submitted:

Printed Name Bert Slinde Date 07/23/08

Signature Bert Slinde Relation to Property Owner Agent

Authorizing Signature of Property Owner _____ Date _____



August 4, 2008

Madison Plan Commission
215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, WI 53701-2895

Re: Letter of Intent

The following information provides a background for the proposed Hilton Garden Inn by Beechwood Development at 610 John Nolen Drive.

Existing Conditions - The site has been vacant since it was home of the Fiore Texaco Oil Station. Since it has closed and been demolished, the site has been overgrown with grasses and scrub-brush and is frankly an eye-sore in the community. The site underwent a remediation process that included compliance with certain materials handling plans imposed by Wisconsin Department of Commerce and other applicable laws. The site also has an existing pump house that is operated by the Madison Metropolitan Sewer District, and an off-premise advertising structure owned by Adams Outdoor Advertising Limited Partnership. The proposed Hilton Garden Inn will be a wonderful compliment to the neighborhood and is a great opportunity to clean up this highly visible property along John Nolen Drive.

Development Schedule - Pending approvals, contract contingencies and permitting, the project will begin construction this September will be open for business in August of 2009.

Involved Parties - Bert Slinde, Agent; Jeff Sutter - General Contractor; ICON Architectural Group - Architects, Mike Kuntz & Todd Mitzel; Quam Engineering - Civil Engineer, Ryan Quam & Kevin Perish; CCG Inc - Geotechnical Exploration, Michael Schultz. Subcontractors and other trades such as landscapers have not been selected at this time.

Type of Business - 128 room Hilton Garden Inn, which is a mid-priced, focused-service hotel.

Number of Employees - 10 full time employees

Hours of Operation - 24/7; 365 days.

Site Acreage - 2.6693 acres or 116,274 square feet.


Building Square Footage – 78,957 square feet.

Number of Parking Stalls – 153

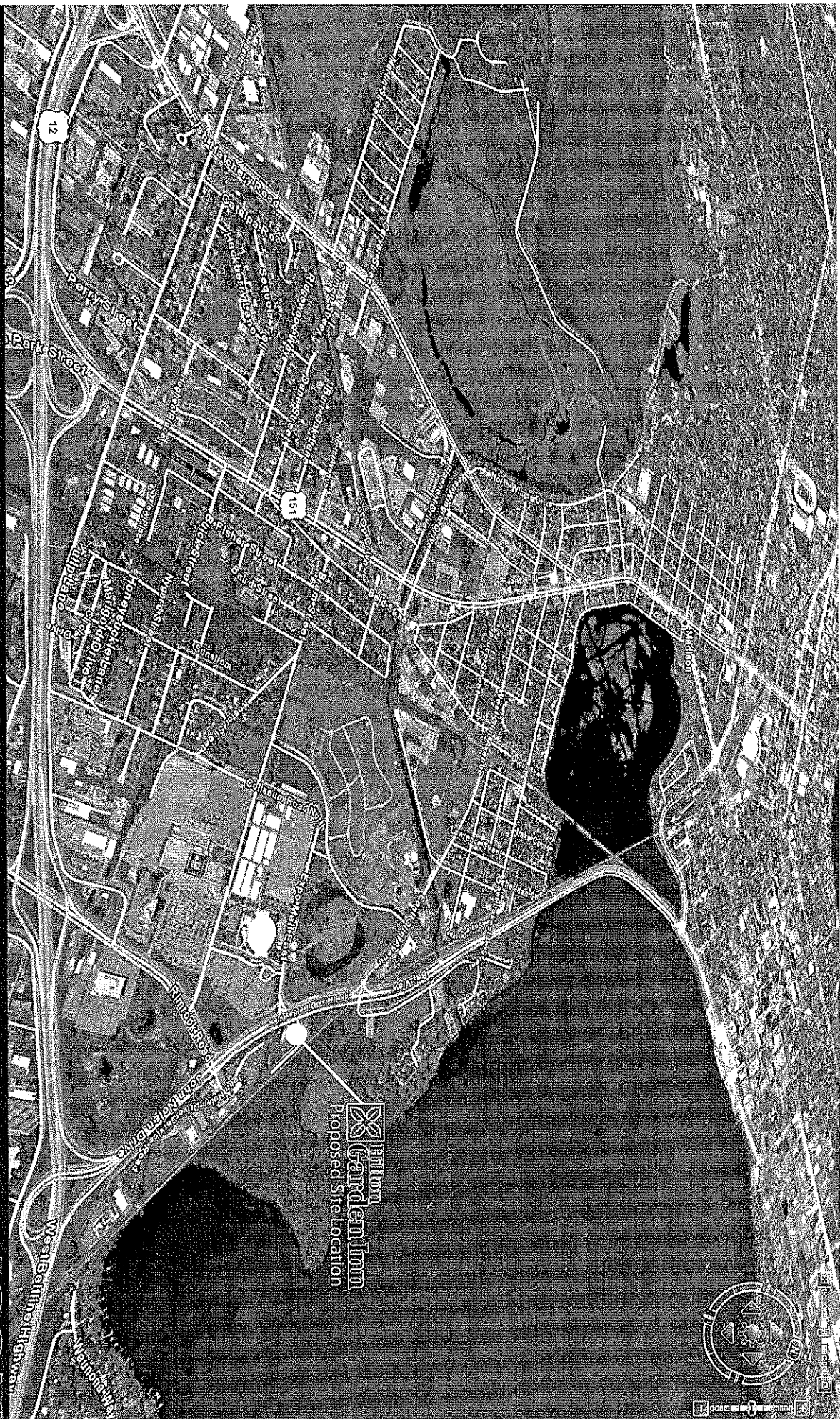
Amenities – Pavilion Pantry market; Stay Fit workout facility; bike rentals; bike racks and outdoor seating area for non-guests to utilize when riding the trail and much more.

Feel free to contact me directly for further information regarding the above mentioned project.

Warmest Regards,

A handwritten signature in black ink that reads "Mike Kuntz". The signature is written in a cursive, slightly slanted style.

Mike Kuntz
Principal, ICON Architects



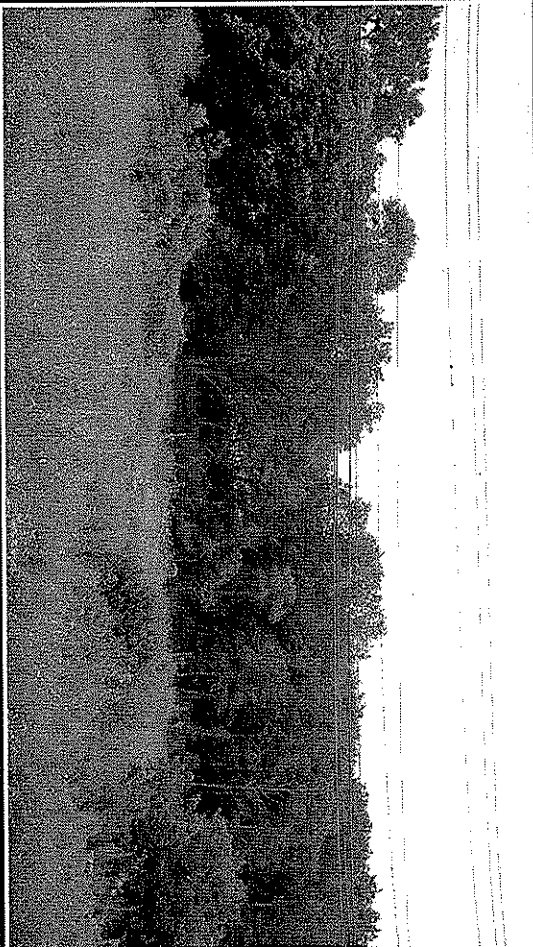
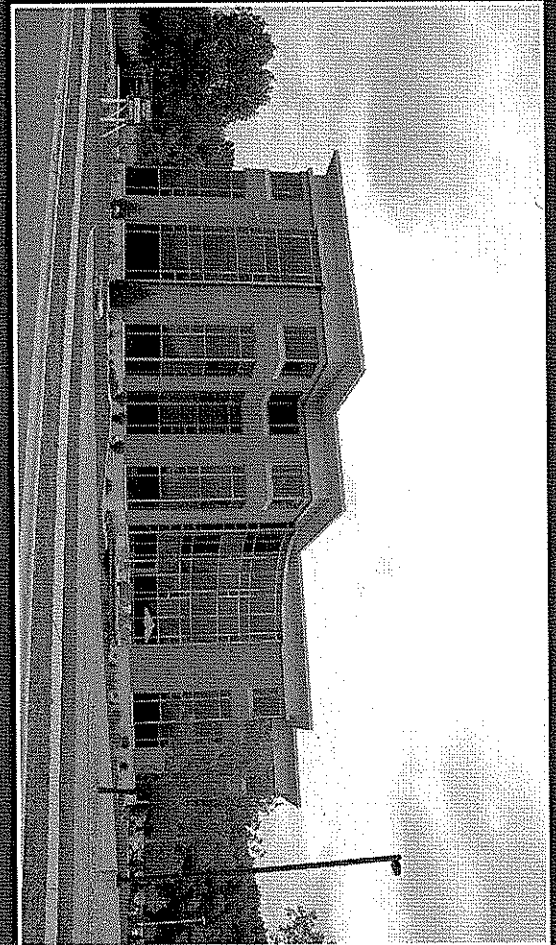
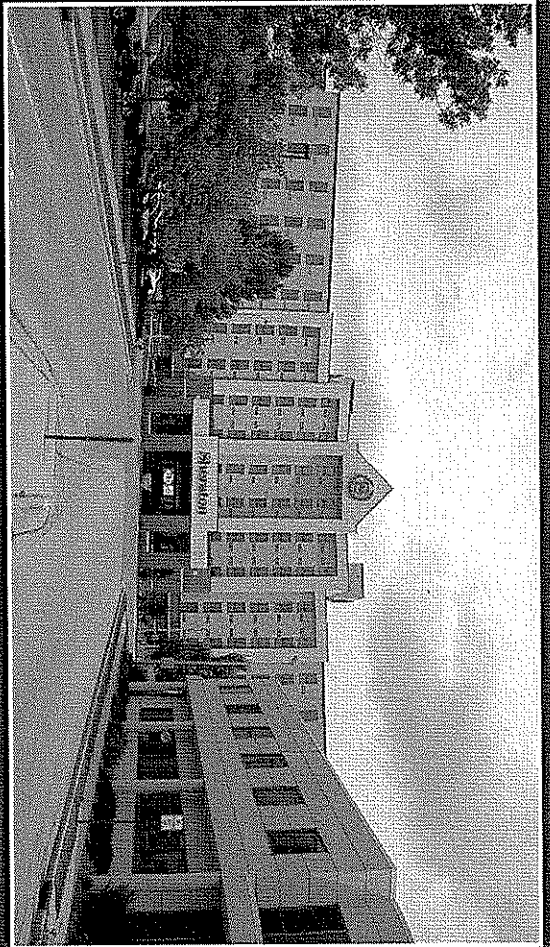

**Hilton
Garden Inn**
Madison, Wisconsin



Bechtel
Development, L.P.C.


ICON
ARCHITECTURAL GROUP
P. 701.772.1200 F. 701.772.4275
WWW.ICONARCHITECTS.COM


**Hilton
Garden Inn**
Proposed Site Location

5



 **Hilton**
Garden Inn
 Madison, Wisconsin

 **Beedlwood**
 Development, LLC

ICON
 ARCHITECTURAL GROUP
 A. 701.772.1000 F. 701.772.4275
 WWW.ICONARCHITECTS.COM

MATERIAL LEGEND

- 1 Architectural Concrete Base
- 2 Brick
- 3 Composite Metal Panel
- 4 Standing Seam Metal Roof
- 5 Precast Concrete Band
- 6 Fabric Awnings



Hilton
Garden Inn
 Madison, Wisconsin

Beechwood
 Development, LLC

ICON
 ARCHITECTURAL GROUP
 A. 701.772.1000 F. 701.772.4279
 WWW.ICONARCHITECTS.COM



Hilton
Garden Inn

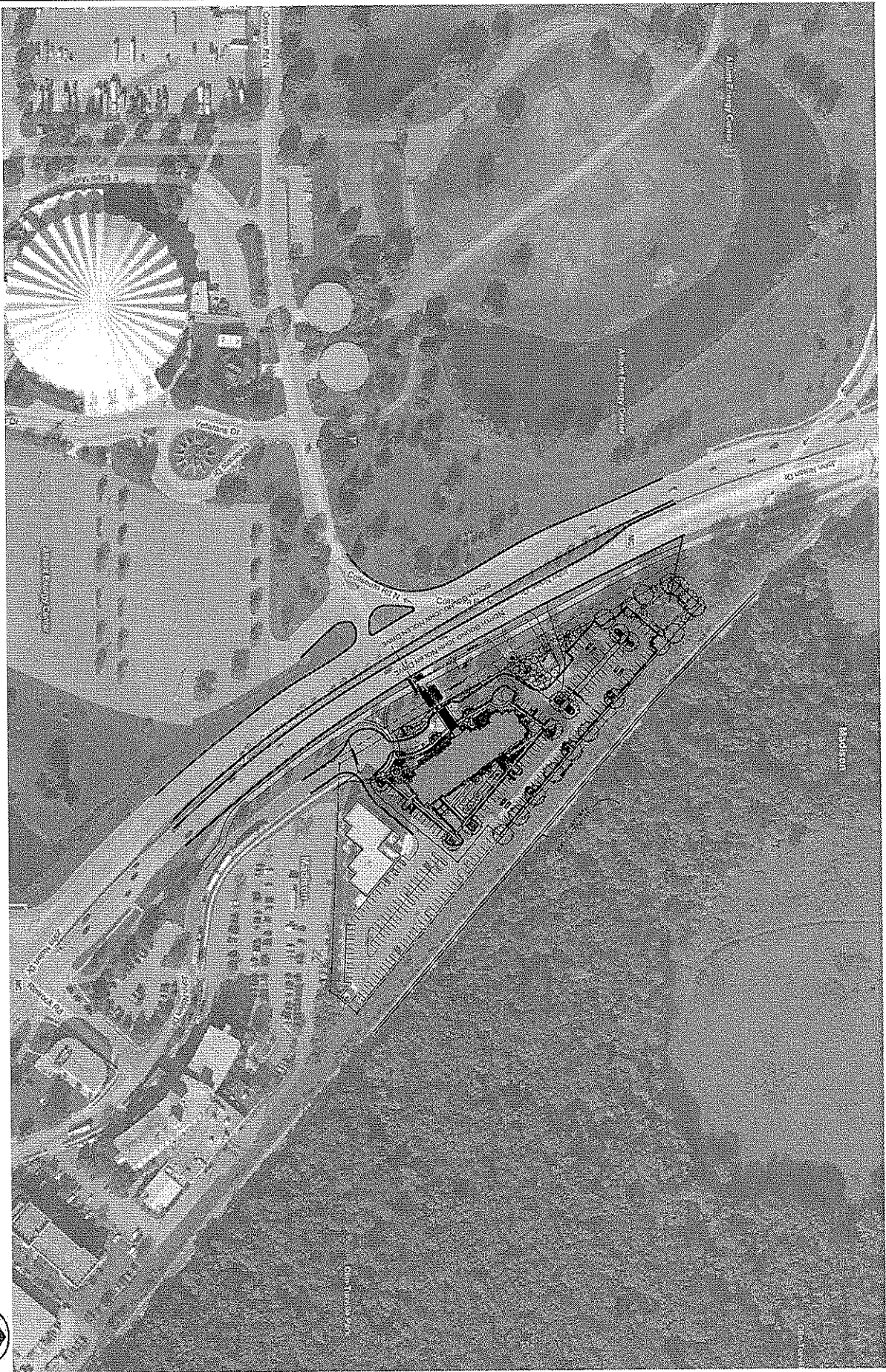
Madison, Wisconsin



Beechwood
Development, LLC



ARCHITECTURAL GROUP
N. 701.772.4275
WWW.ICONARCHITECTS.COM



Beechwood
Architectural Firm

SHEET
A001

09/15/08

GENERAL
SITE PLAN

**NOT FOR
CONSTRUCTION**

DATE	11.11.08
BY	MM
SCALE	AS SHOWN
PROJECT NO.	08-001
CLIENT	HILTON GARDEN INN
LOCATION	610 JOHN NOLEN DRIVE, MADISON, WI

**HILTON
GARDEN INN**

610 JOHN NOLEN DRIVE
MADISON, WISCONSIN

STRUCTURAL
1000 Johnson Drive
Madison, WI 53703
(608) 772-2444
(608) 772-2444 ext. 100

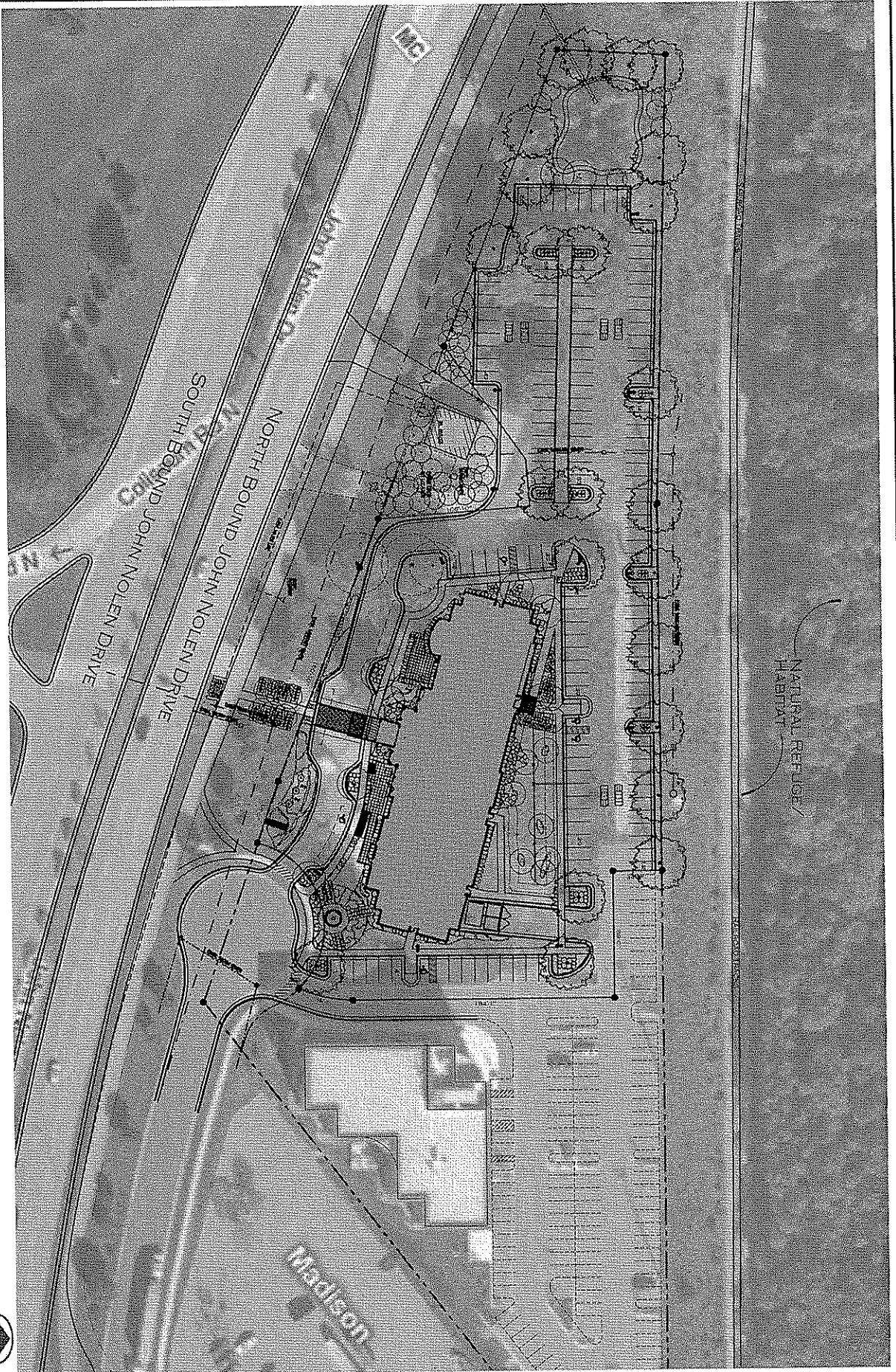
ELECTRICAL

MECHANICAL

CIVIL

ICON
ARCHITECTURAL GROUP
1000 Johnson Drive
Madison, WI 53703
(608) 772-2444

5




 Beechwood
 Development, L.L.C.

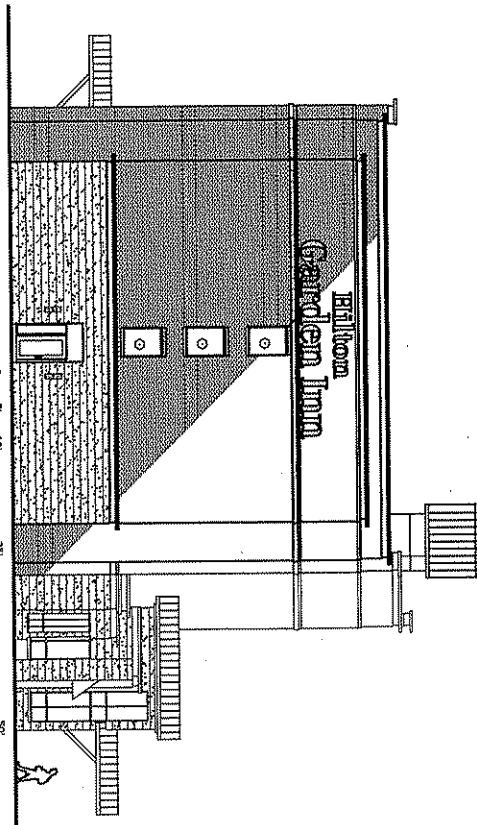
NOT FOR CONSTRUCTION
 ENLARGED SITE PLAN
 DATE: 09/15/08
 SHEET
A002

NO.	DATE	BY	APP.

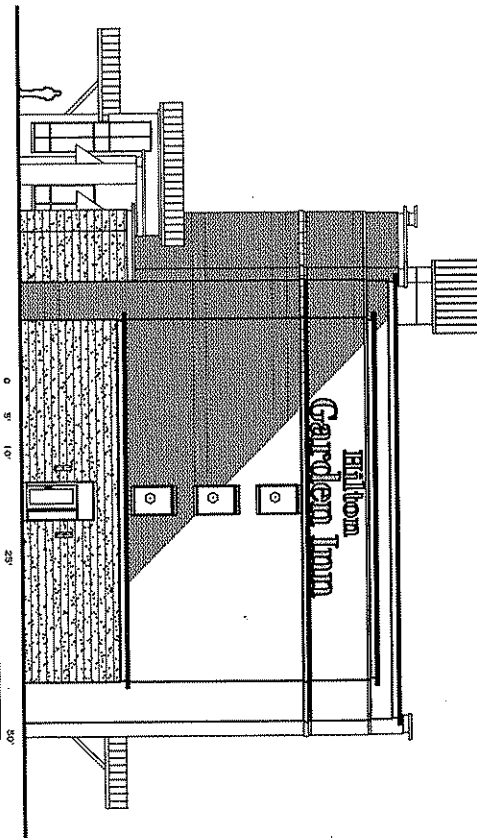

HILTON GARDEN INN
 610 JOHN NOLEN DRIVE
 MADISON, WISCONSIN

ELECTRICAL
 MECHANICAL
 O.M.

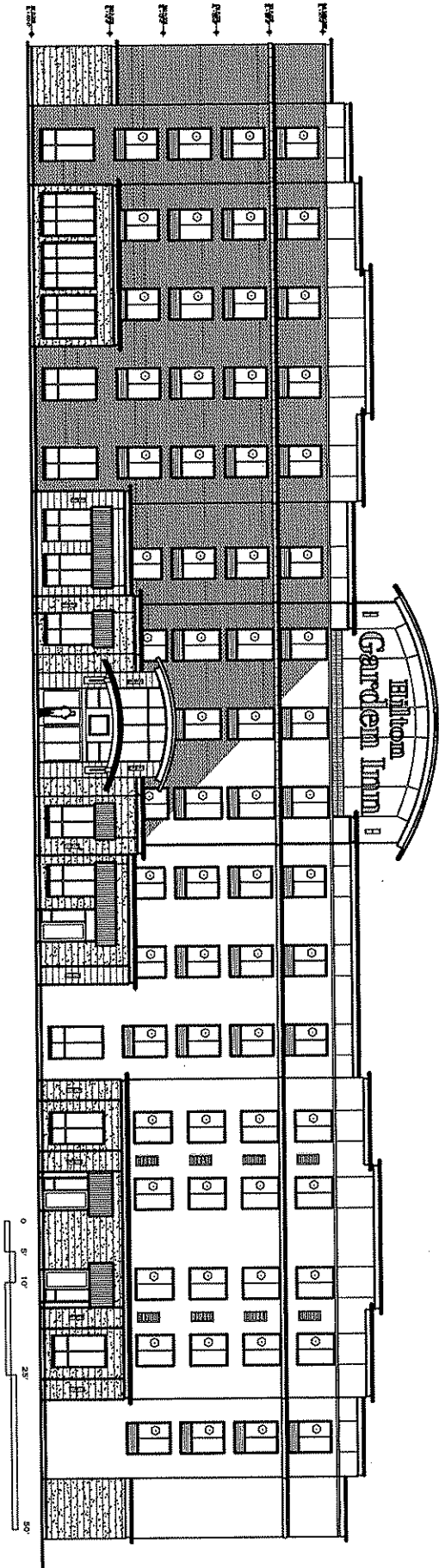
ICON
 ARCHITECTURAL GROUP
 1000 UNIVERSITY AVENUE
 SUITE 200
 MADISON, WI 53706
 (608) 263-1111
 WWW.ICONARCHITECT.COM



WEST BUILDING ELEVATION



EAST BUILDING ELEVATION

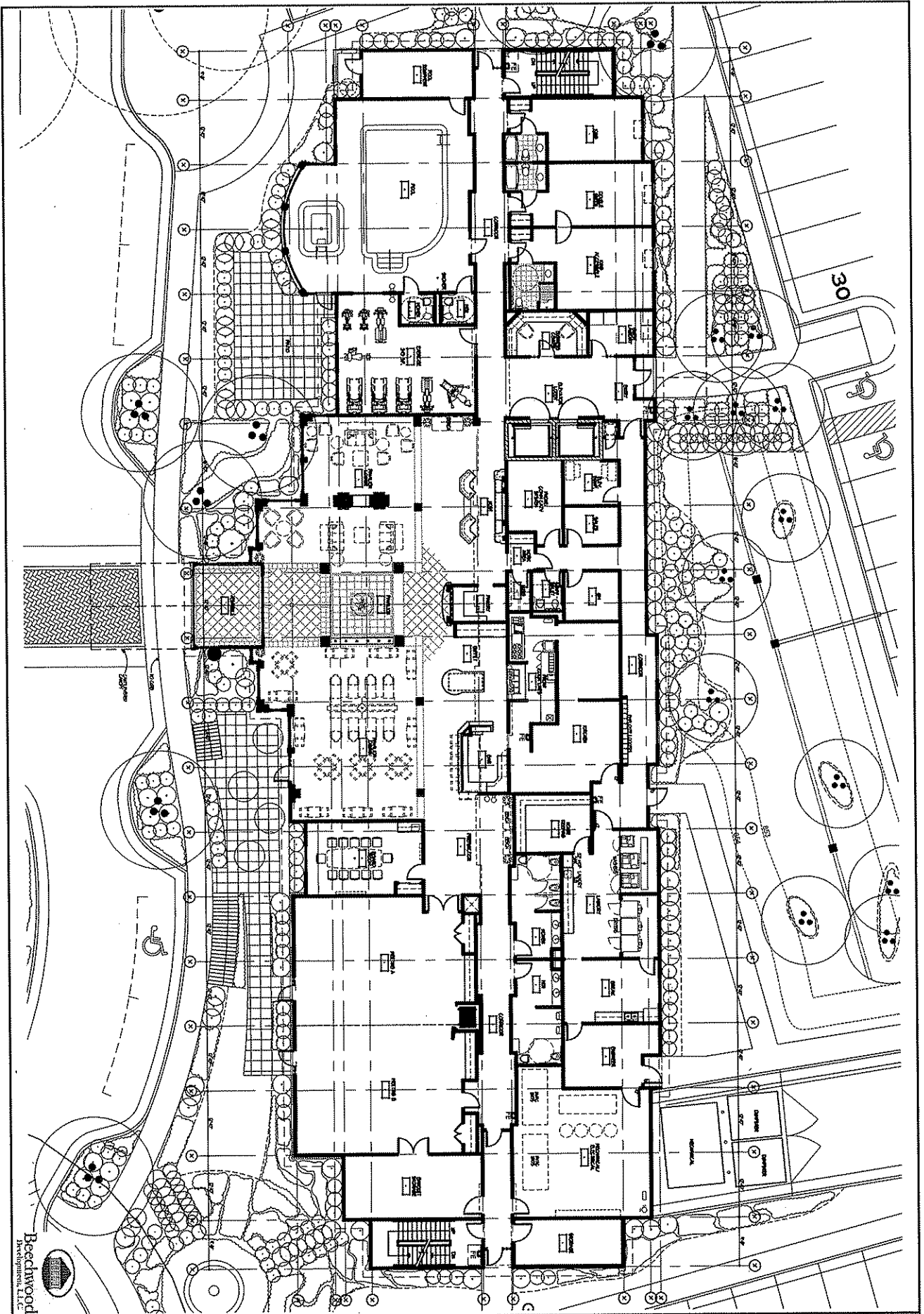


SOUTH BUILDING ELEVATION

Beechwood
Architectural, LLC

<p>HILTON GARDEN INN 610 JOHN NOLEN DRIVE MADISON, WISCONSIN</p>	<p>STRUCTURAL MECHANICAL ELECTRICAL O.M.</p>	<p>ICON INTERNATIONAL, INC. 1000 WEST 10TH AVENUE DENVER, CO 80202 (303) 733-4000</p>

5



Beechwood
Development, LLC

NOT FOR CONSTRUCTION

FIRST
FLOOR PLAN
DATE: 09/15/08

SHEET
A101

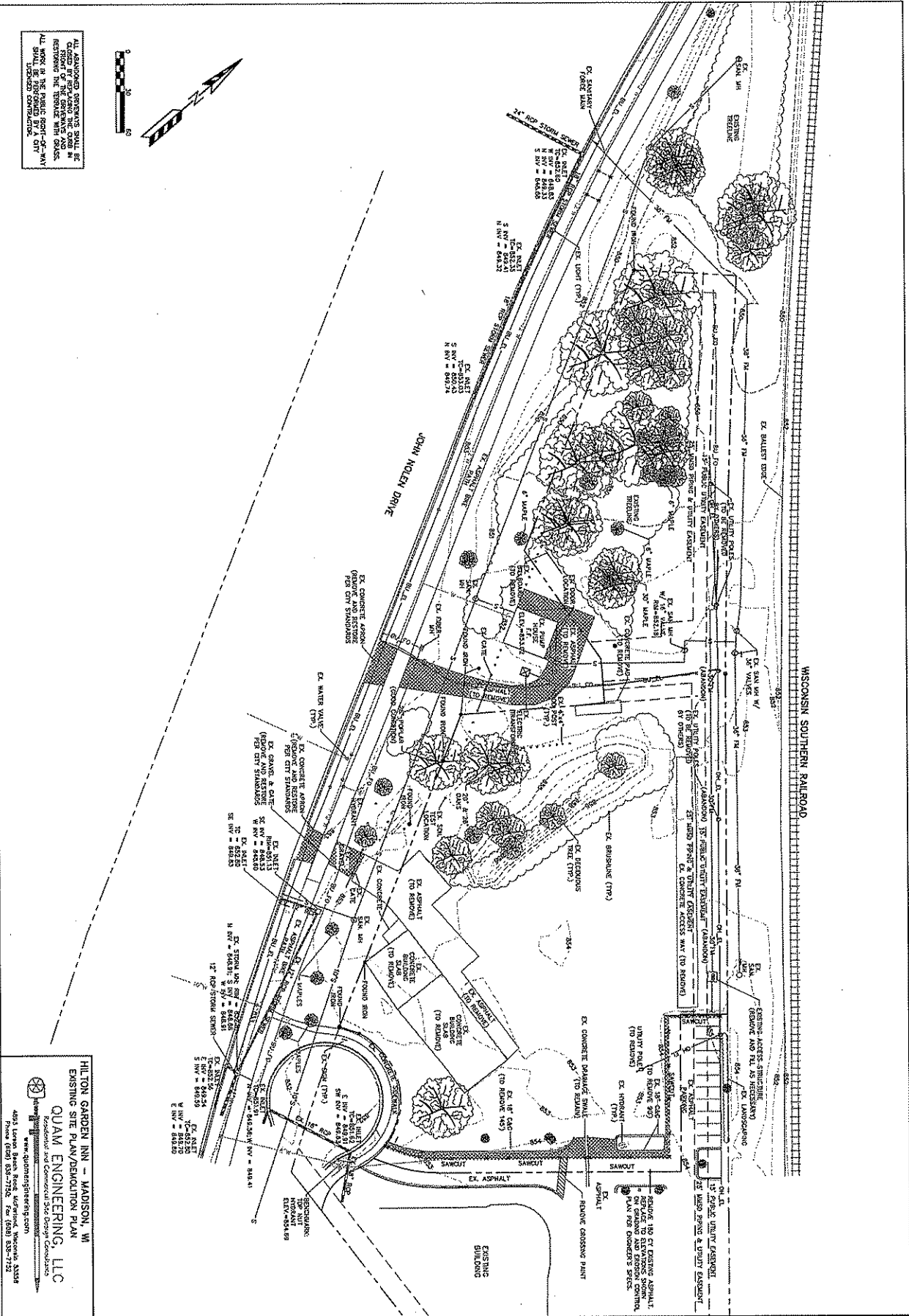
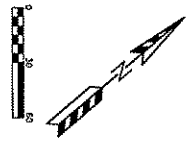
HILTON GARDEN INN

610 JOHN NOLEN DRIVE
MADISON, WISCONSIN

STRUCTURAL
ELECTRICAL
MECHANICAL

ICON

ALL ASSUMED IMPROVEMENTS SHALL BE
 CARRIED BY THE CITY AND THE OWNER IN
 RESTORING THE TRAILHEAD WITH GRASS.
 ALL WORK IN THE PUBLIC RIGHT-OF-WAY
 SHALL BE PERFORMED BY A
 LICENSED CONTRACTOR.



HILTON GARDEN INN - MADISON, WI
 EXISTING SITE PLAN/DEMOLITION PLAN
QUAM ENGINEERING, LLC
 Registered Professional Engineer
 4815 Leavelle Avenue, Madison, WI 53705
 Phone: (608) 833-7732 Fax: (608) 833-7732

DATE: 09/09/08
 SHEET: C-101

NOT FOR CONSTRUCTION

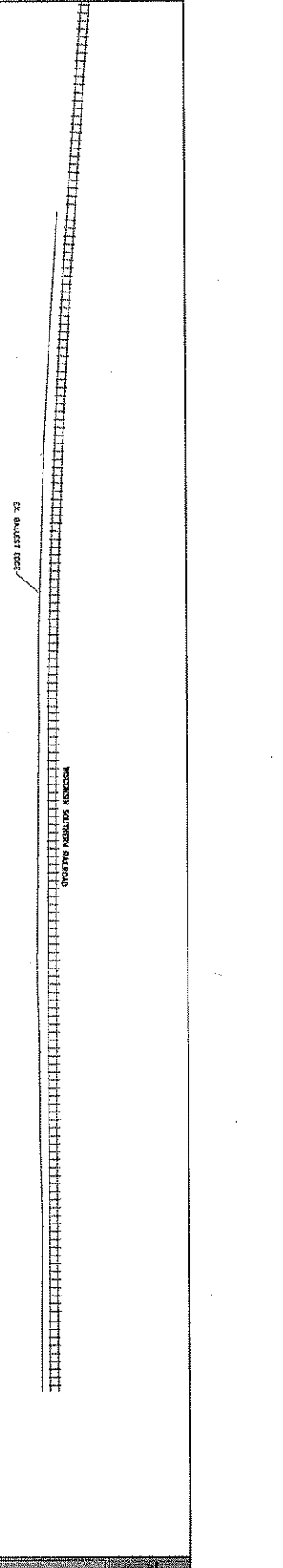
NO.	DATE	DESCRIPTION
1	09/09/08	ISSUED FOR PERMIT

HILTON GARDEN INN
 610 JOHN NOLEN DRIVE
 MADISON, WISCONSIN

ICON

SCALE: AS SHOWN
 DATE: 09/09/08
 DRAWN BY: J. QUAM
 CHECKED BY: J. QUAM
 APPROVED BY: J. QUAM

5



PROPOSED ASPHALT
 1/2" ASPHALT SURFACE & 1 1/2" ASPHALT BRASS

EXISTING ASPHALT
 1/2" ASPHALT SURFACE & 1 1/2" ASPHALT BRASS

PROPOSED CONCRETE
 4" THICK CONCRETE

EXISTING CONCRETE
 4" THICK CONCRETE

PROPOSED 18" CURB & GUTTER

EXISTING 18" CURB & GUTTER

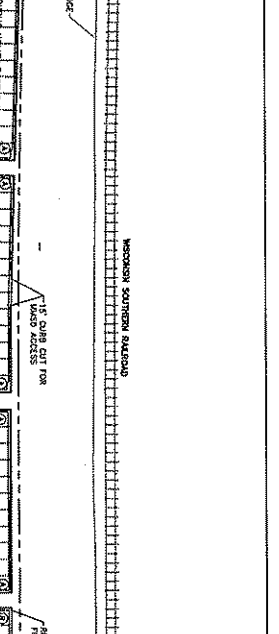
PLANNING LOT PLAIN SITE INFORMATION BLOCK

Project Name	610 JOHN NOLEN DRIVE
Project Location	MADISON, WISCONSIN
Client	HILTON GARDEN INN
Architect	QUAM ENGINEERING, LLC
Date	09/15/08
Scale	AS SHOWN
Sheet	C-102

CURB LEGEND

18" CURB AND GUTTER (A)

ACCEPT CURB AND GUTTER (B)



GENERAL NOTES:

1. ALL CURB AND GUTTER SHALL BE PLACED ON 1/2" THICK CONCRETE.

2. THE CURB AND GUTTER SHALL BE PLACED ON TOP OF THE CONCRETE.

3. THE CURB AND GUTTER SHALL BE PLACED ON TOP OF THE CONCRETE.

4. THE CURB AND GUTTER SHALL BE PLACED ON TOP OF THE CONCRETE.

HILTON GARDEN INN - MADISON, WI

PROPOSED SITE PLAN

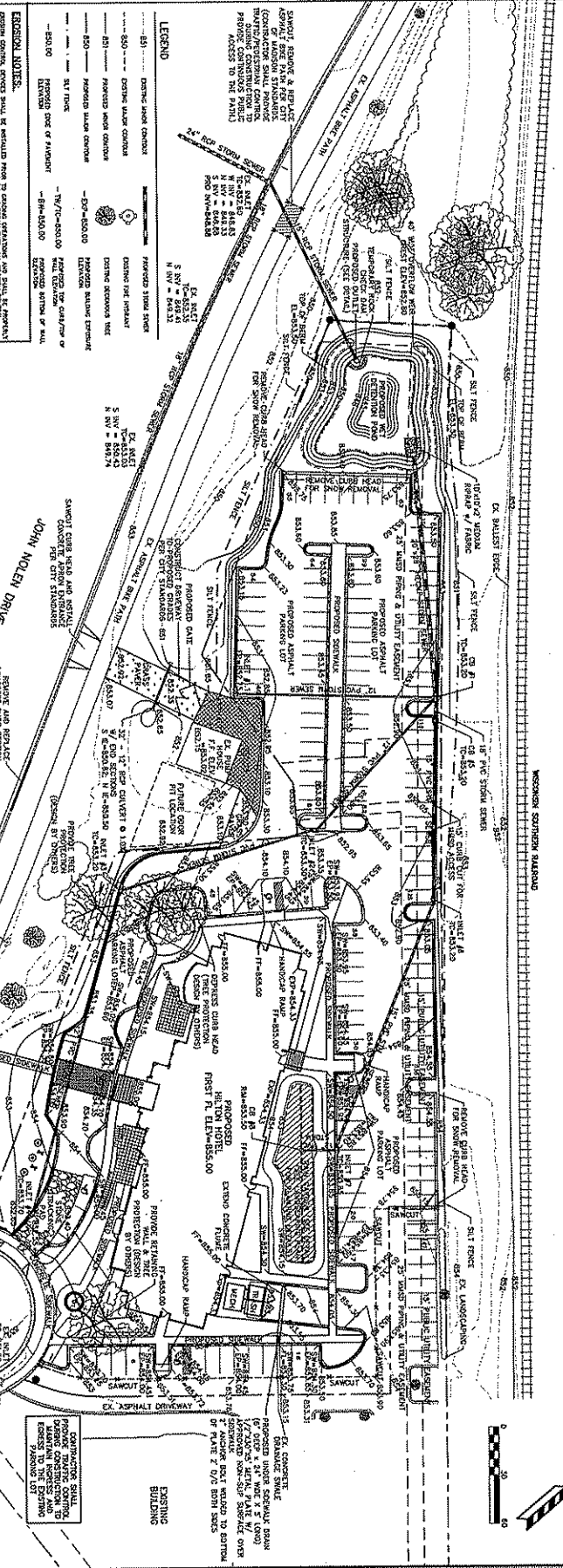
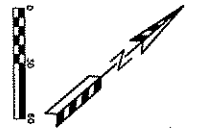
QUAM ENGINEERING, LLC
 QUAM ENGINEERING, LLC
 QUAM ENGINEERING, LLC
 QUAM ENGINEERING, LLC

4833 Lower Lakeshore Drive, Suite 300, Madison, WI 53706
 Phone: (608) 255-0121
 Fax: (608) 255-0122
 Website: www.quamengineering.com

DATE: 09/15/08
 SHEET: C-102

HILTON GARDEN INN
 610 JOHN NOLEN DRIVE
 MADISON, WISCONSIN





LEGEND

- Proposed Land Structure
- Existing Land Structure
- Proposed Utility Lines
- Existing Utility Lines
- Proposed Storm Water
- Existing Storm Water
- Proposed Sewer
- Existing Sewer
- Proposed Gas
- Existing Gas
- Proposed Electric
- Existing Electric
- Proposed Water
- Existing Water
- Proposed Storm Water
- Existing Storm Water
- Proposed Sewer
- Existing Sewer
- Proposed Gas
- Existing Gas
- Proposed Electric
- Existing Electric
- Proposed Water
- Existing Water

EXISTING UTILITIES

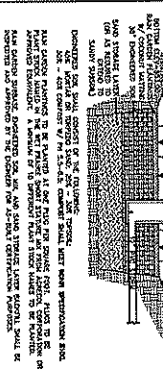
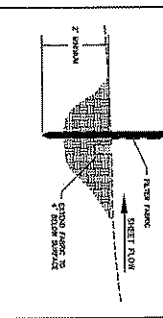
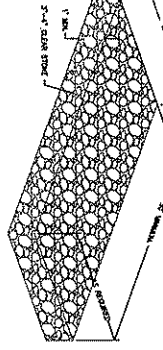
ALL UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. ANY UNIDENTIFIED UTILITIES SHALL BE STOPPED AND REPORTED TO THE ENGINEER IMMEDIATELY.

IMPERVIOUS AREAS

ALL IMPERVIOUS AREAS SHALL BE CONSTRUCTED TO MEET THE REQUIREMENTS OF THE CITY OF MADISON. THE CONTRACTOR SHALL SUBMIT A LETTER OF SUBMITTAL FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.

RESTORATION NOTES

ALL RESTORATION WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES. ANY DAMAGE TO EXISTING VEGETATION OR SOIL SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION.



RAIN GARDEN DETAIL

THE RAIN GARDEN SHALL BE CONSTRUCTED TO CAPTURE AND FILTER RAINWATER FROM THE ADJACENT PAVEMENT. THE GARDEN SHALL BE MAINTAINED AND REVEGETATED AS PART OF THE PROJECT.

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON ORDINANCES AND SPECIFICATIONS.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

3. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE CITY ENGINEER.

CONTRACTOR'S OBLIGATIONS

THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES. ANY DAMAGE TO EXISTING VEGETATION OR SOIL SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION.

CONTRACTOR'S OBLIGATIONS

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THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES. ANY DAMAGE TO EXISTING VEGETATION OR SOIL SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION.

NOT FOR CONSTRUCTION

DATE: 09/09/08
SHEET: C-103

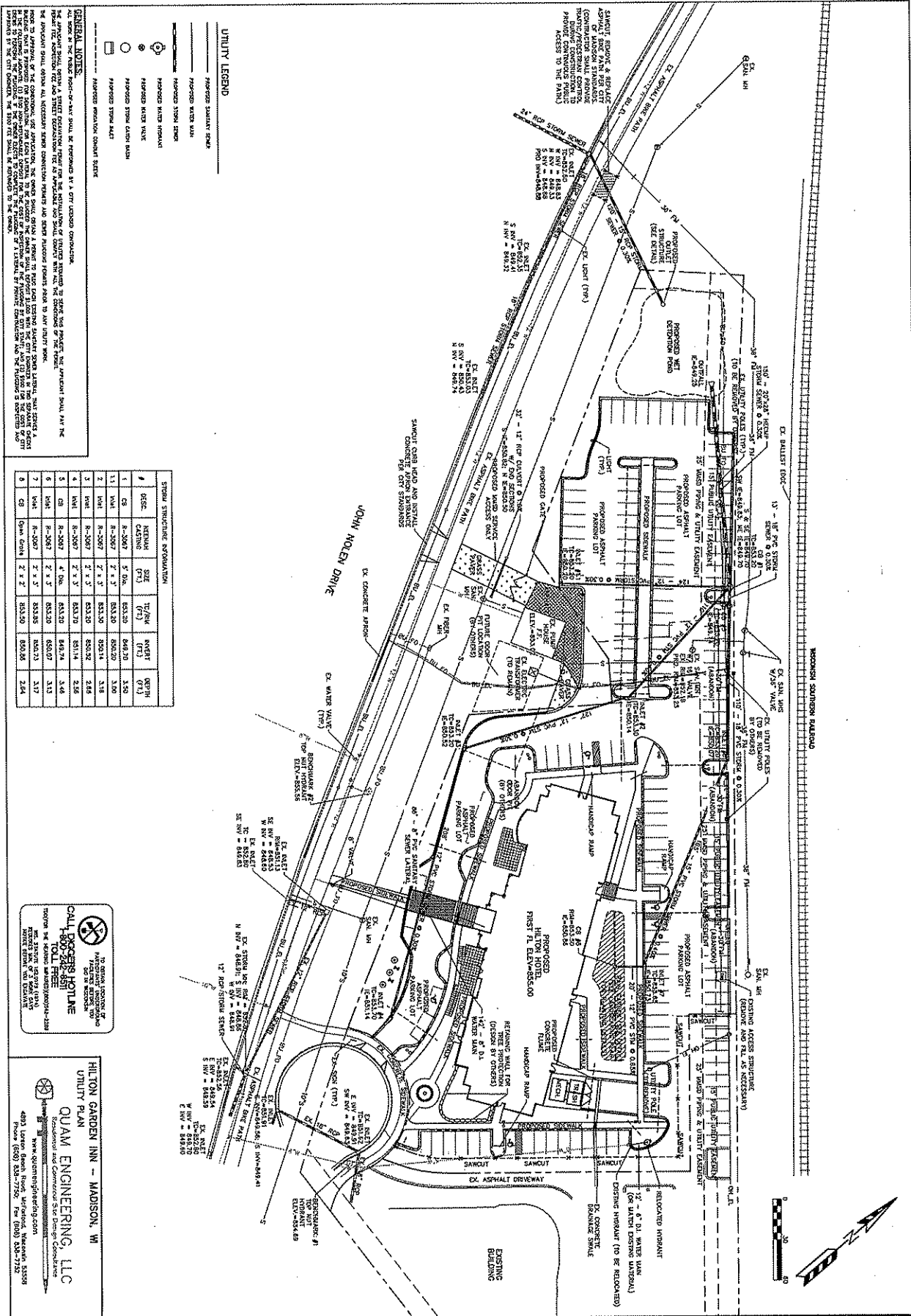
HILTON GARDEN INN
610 JOHN NOLEN DRIVE
MADISON, WISCONSIN

QUAM ENGINEERING, LLC
Registered and Certified Site Design Consultants
4693 Lakeview Drive, Madison, WI 53706
Tel: (608) 255-7200 Fax: (608) 255-7202

CALL POOPER'S HOTLINE
1-800-282-2811

ICON

STRUTUP
REVISIONS
ELECTRICAL



UTILITY LEGEND

- PROPOSED SANITARY SEWER
- PROPOSED WATER MAIN
- PROPOSED WATER SERVICE
- PROPOSED WATER METER
- PROPOSED WATER VALVE
- PROPOSED STREET WATER VALVE
- PROPOSED STREET WATER METER

GENERAL NOTES:

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE WISCONSIN STATE BUILDING CODE AND ALL APPLICABLE ORDINANCES.

2. THE CONTRACTOR SHALL VERIFY ALL UTILITIES SHOWN ON THIS PLAN BY FIELD SURVEY PRIOR TO CONSTRUCTION.

3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES AT ALL TIMES DURING CONSTRUCTION.

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF MADISON.

5. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES AT ALL TIMES DURING CONSTRUCTION.

6. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES AT ALL TIMES DURING CONSTRUCTION.

7. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES AT ALL TIMES DURING CONSTRUCTION.

8. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES AT ALL TIMES DURING CONSTRUCTION.

9. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES AT ALL TIMES DURING CONSTRUCTION.

10. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES AT ALL TIMES DURING CONSTRUCTION.

STANDARD STRUCTURE INFORMATION

#	DESC.	AREA/LENGTH (SQ FT)	DEPTH (FT)	INVERT (FT)	DEPTH (FT)
1	18" DIA. R-2087	57.0	65.33	64.87	1.50
2	18" DIA. R-2087	7.3	65.33	65.14	1.19
3	18" DIA. R-2087	2.7	65.33	65.14	1.19
4	18" DIA. R-2087	2.7	65.33	65.14	1.19
5	18" DIA. R-2087	2.7	65.33	65.14	1.19
6	18" DIA. R-2087	2.7	65.33	65.14	1.19
7	18" DIA. R-2087	2.7	65.33	65.14	1.19
8	18" DIA. R-2087	2.7	65.33	65.14	1.19
9	18" DIA. R-2087	2.7	65.33	65.14	1.19
10	18" DIA. R-2087	2.7	65.33	65.14	1.19

CALL BOB'S HOTLAE

1-800-231-4511

TOLL FREE

FOR ALL INFORMATION

CALL 1-800-231-4511

HILTON GARDEN INN - MADISON, WI

UTILITY PLAN

QUAM ENGINEERING, LLC

Engineers and Architects

4801 Linnway South, Suite 200, Madison, Wisconsin 53705

Phone: (608) 238-7752 Fax: (608) 238-7752

NOT FOR CONSTRUCTION

DATE: 09/09/08

SHEET: C-104

HILTON GARDEN INN

610 JOHN NOLEN DRIVE

MADISON, WISCONSIN

ICON

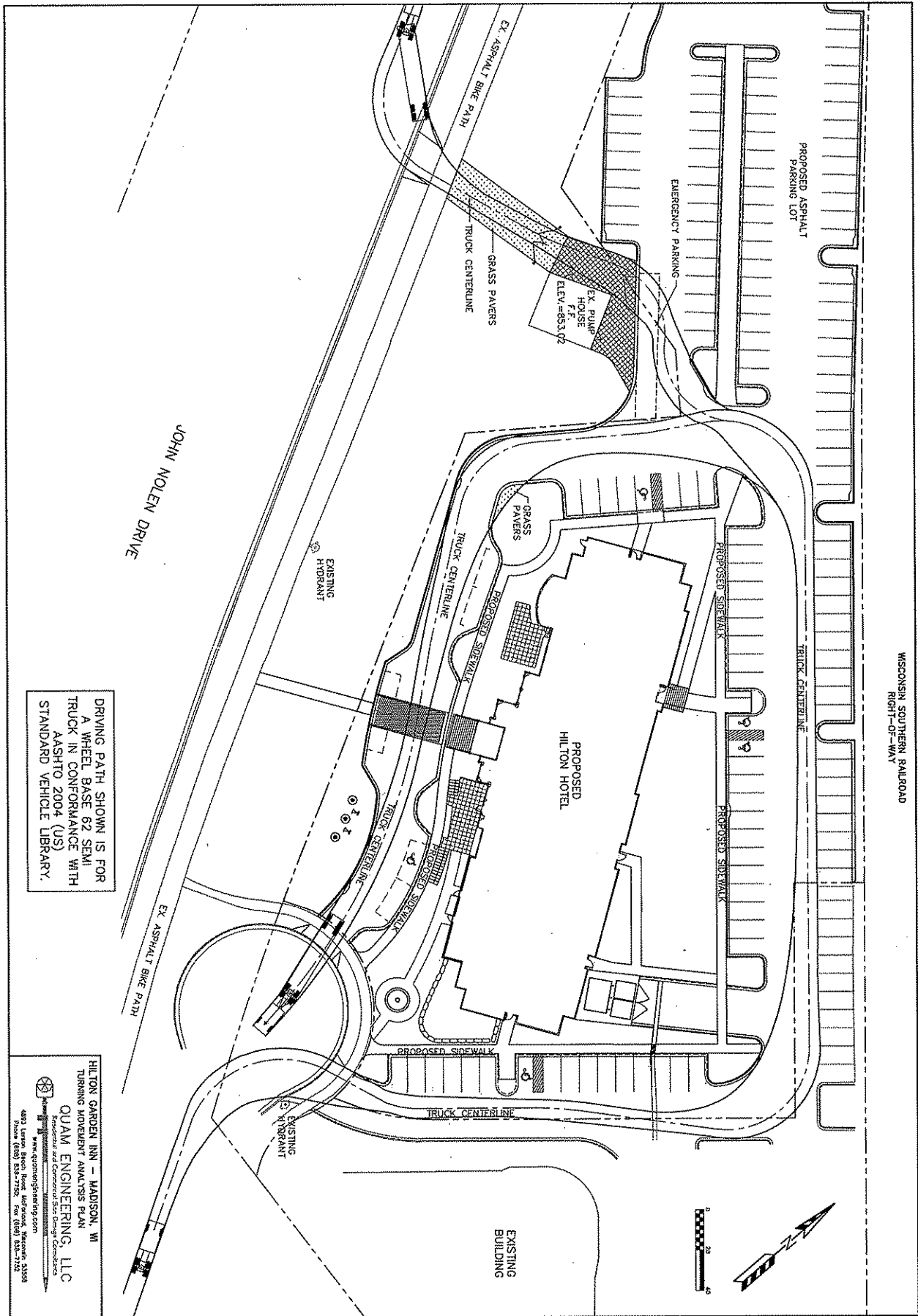
STREET MAP

CONSTRUCTION

DATE: 09/09/08

SHEET: C-104

9



DRIVING PATH SHOWN IS FOR
A WHEEL BASE 62 SEMI
TRUCK IN CONFORMANCE WITH
ASHTO 2004 (US)
STANDARD VEHICLE LIBRARY.

HILTON GARDEN INN - MADISON, WI
TURNING MOVEMENT ANALYSIS PLAN
QUAM ENGINEERING, LLC
Professional and Consulting Services
4433 Lake Monona Drive, Madison, WI 53706
Phone: (608) 833-7192, Fax: (608) 833-7122

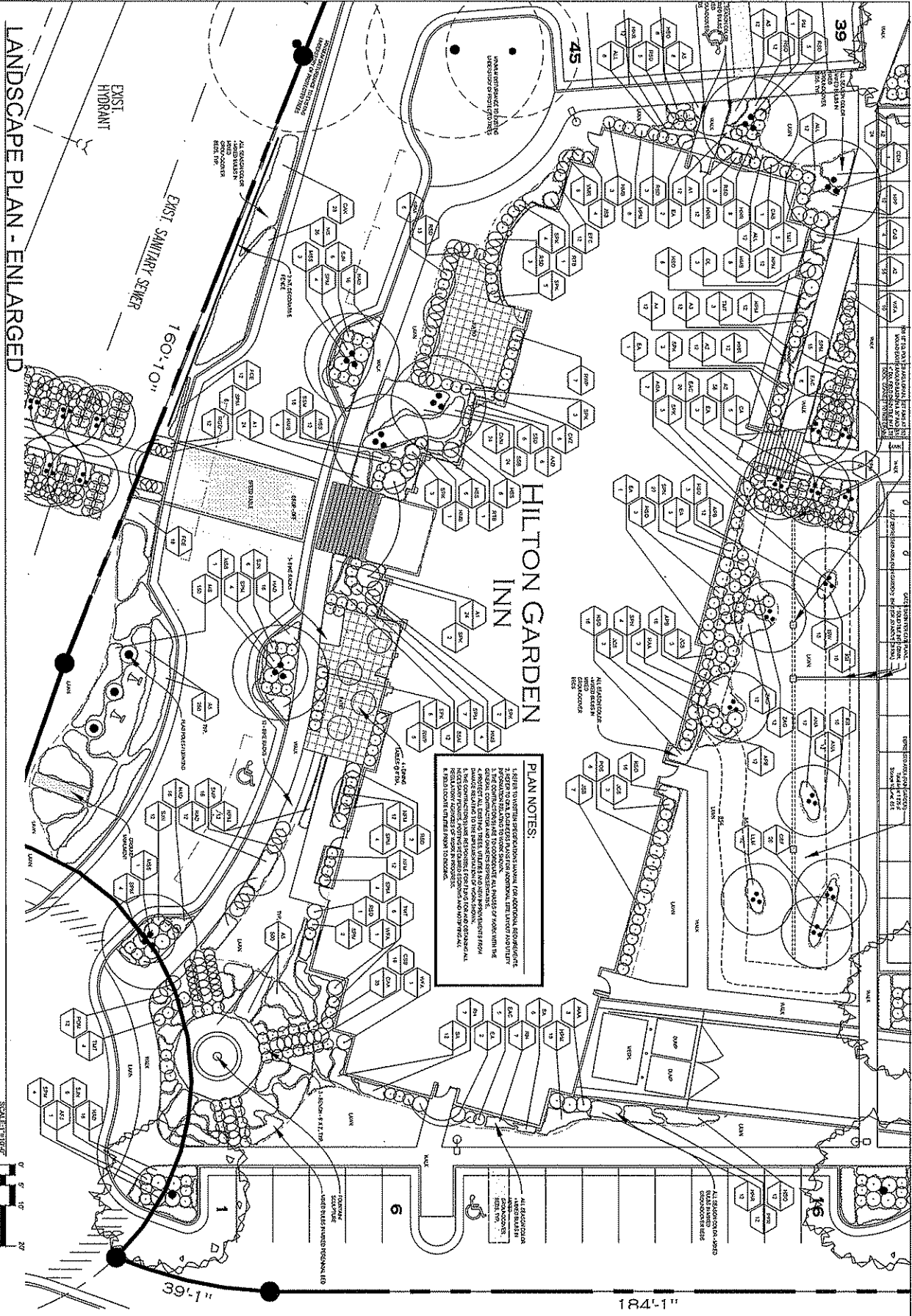
DATE
09/15/08
SHEET
C-106

NOT FOR CONSTRUCTION

HILTON GARDEN INN
610 JOHN NOLEN DRIVE
MADISON, WISCONSIN

ICON
STRUCTURAL
1000 W. MOUNTAIN VIEW
MADISON, WI 53706
TEL: 608-278-8800
FAX: 608-278-8801
WWW.ICONSTRUCTURAL.COM

DATE
09/15/08
PROJECT
HILTON GARDEN INN
SHEET
C-106



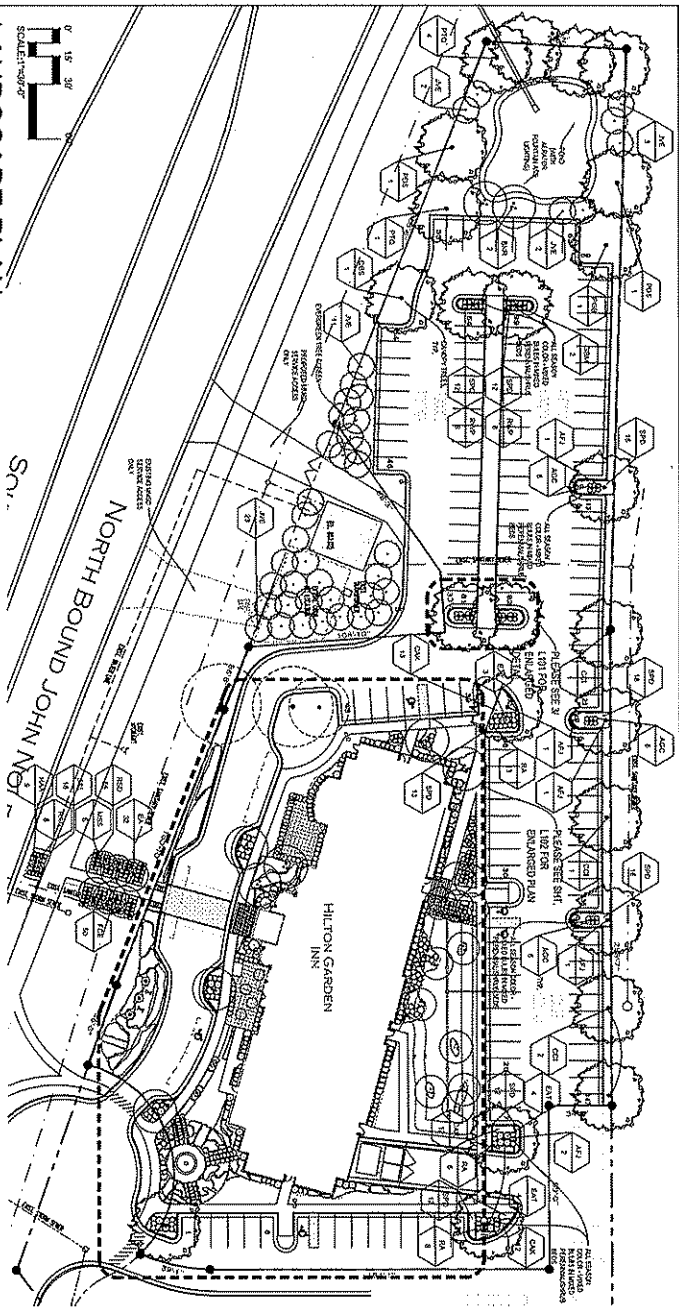
PLAN NOTES:

1. REFER TO THE PREVIOUS DRAWING FOR GENERAL INFORMATION REGARDING THE PROJECT AND THE SITE OF THE PROJECT.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AUTHORITIES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AUTHORITIES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AUTHORITIES.
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<p>ICON ARCHITECTURAL SERVICES 3000 UNIVERSITY AVENUE MADISON, WISCONSIN 53706 TEL: 608.263.1234 WWW.ICONARCHITECT.COM</p>	<p>HILTON GARDEN INN 610 JOHN NOLEN DRIVE MADISON, WISCONSIN</p>	<p>LANDSCAPE PLAN - ENLARGED 07/28/08</p>	<p>SHEET L102</p>

5

LANDSCAPE PLAN



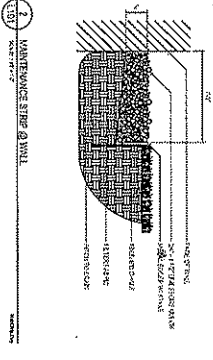
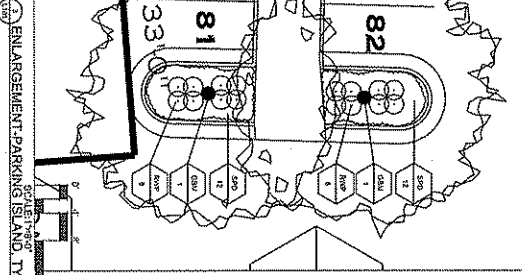
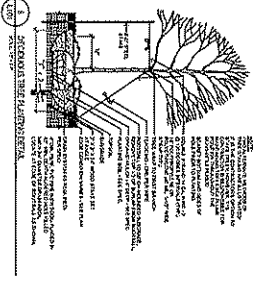
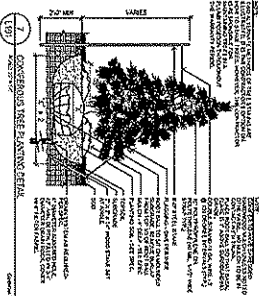
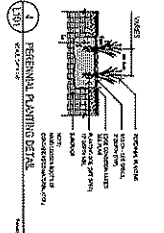
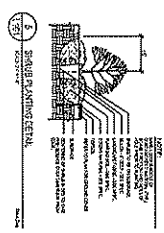
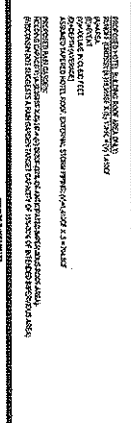
PLAN NOTES:

1. REFER TO WRITTEN SPECIFICATIONS MANUAL FOR ADDITIONAL REQUIREMENTS.
2. REFER TO CIVIL ENGINEERS PLANS FOR ADDITIONAL SITE LAYOUT AND UTILITY INFORMATION RELATING TO WORK SHOWN.
3. THE CONTRACTORS ARE TO COORDINATE ALL PHASES OF WORK WITH THE CITY ENGINEER'S OFFICE.
4. PROTECT ALL EXISTING TREES, UTILITIES AND NEW IMPROVEMENTS FROM DAMAGE RELATING TO THE INSTALLATION OF WORK SHOWN.
5. THE CONTRACTOR(S) ARE RESPONSIBLE FOR FILING FOR AND OBTAINING ALL NECESSARY PERMITS, POSTING REQUIRED ESCROWS AND NOTIFYING ALL REGULATORY AGENCIES OF WORK IN PROGRESS.
6. FIELD LOCATE UTILITIES PRIOR TO DIGGING.

LANDSCAPE WORKSHEET

I. NUMBER OF TREES REQUIRED		SPECIES	
QUANTITY	TYPE	QUANTITY	TYPE
10	SMALL TREES	10	SMALL TREES
5	MEDIUM TREES	5	MEDIUM TREES
2	LARGE TREES	2	LARGE TREES
1	SHRUBS	1	SHRUBS
1	PERENNIALS	1	PERENNIALS

RAIN GARDEN DESIGN:



MAINTENANCE STRIP & WALK

HILTON GARDEN INN
 610 JOHN NOLEN DRIVE
 MADISON, WISCONSIN

LANDSCAPE PLAN
 SHEET
 L101