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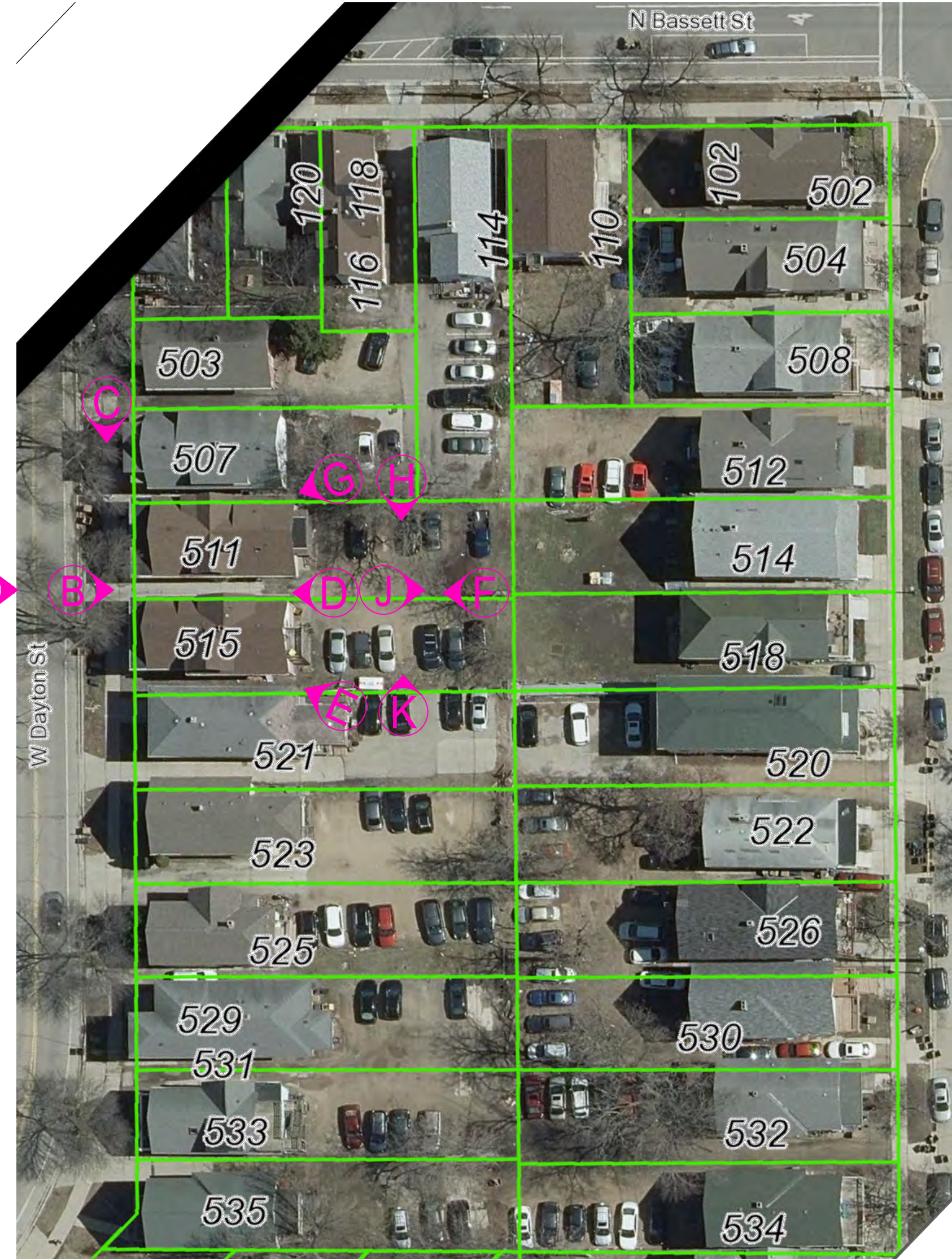
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CāS₄

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General Contractor
Daniels Construction
919 Applegate Road
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phone: 608-271-4800

515 W. Dayton Housing

515 West Dayton Street
Madison, WI 53703

Project #: 25009.00

LU & UDC Applications NOT FOR CONSTRUCTION

Issued for:

No.	Description	Date
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2	LU & UDC Applications	8-25-2025

Drawn by: CaS4 Architecture
Checked by: CaS4 Architecture

Existing Site &
Context Image

G002

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**LU & UDC Applications
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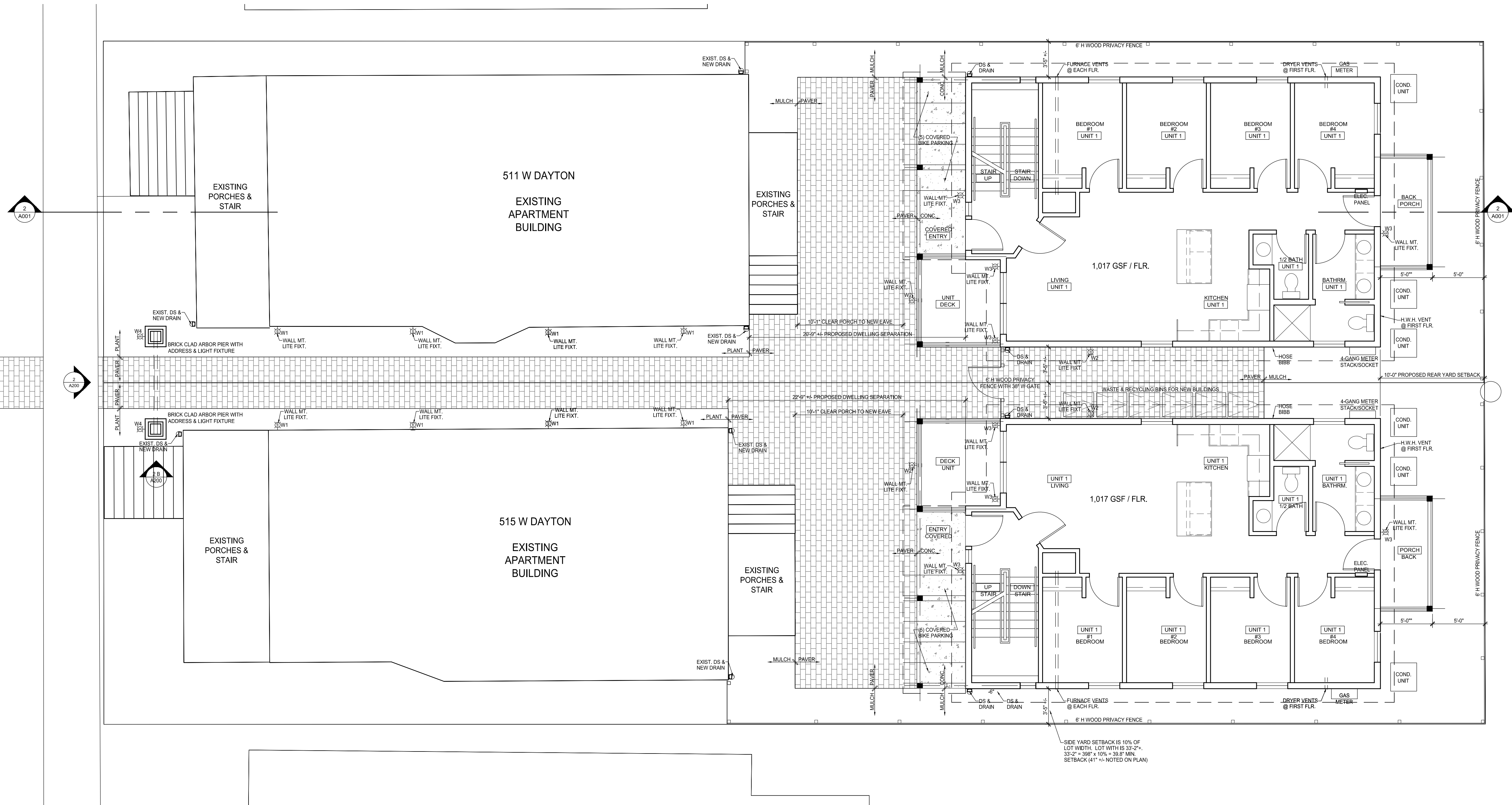
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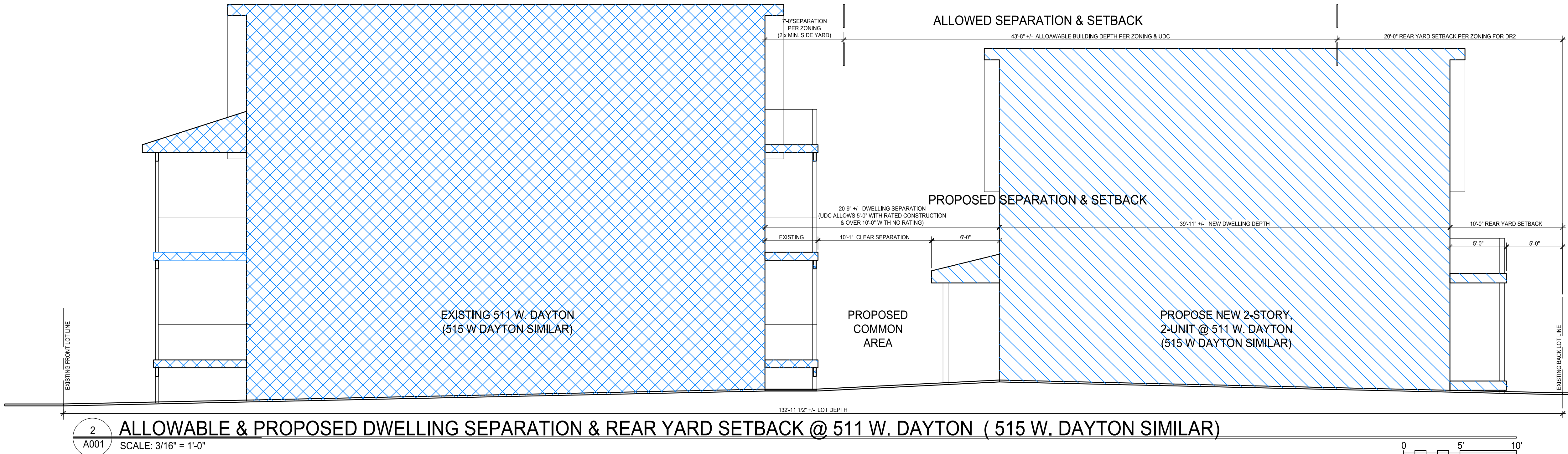
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**Combined Site Plan with
Setbacks & Dwelling
Separation**

A001



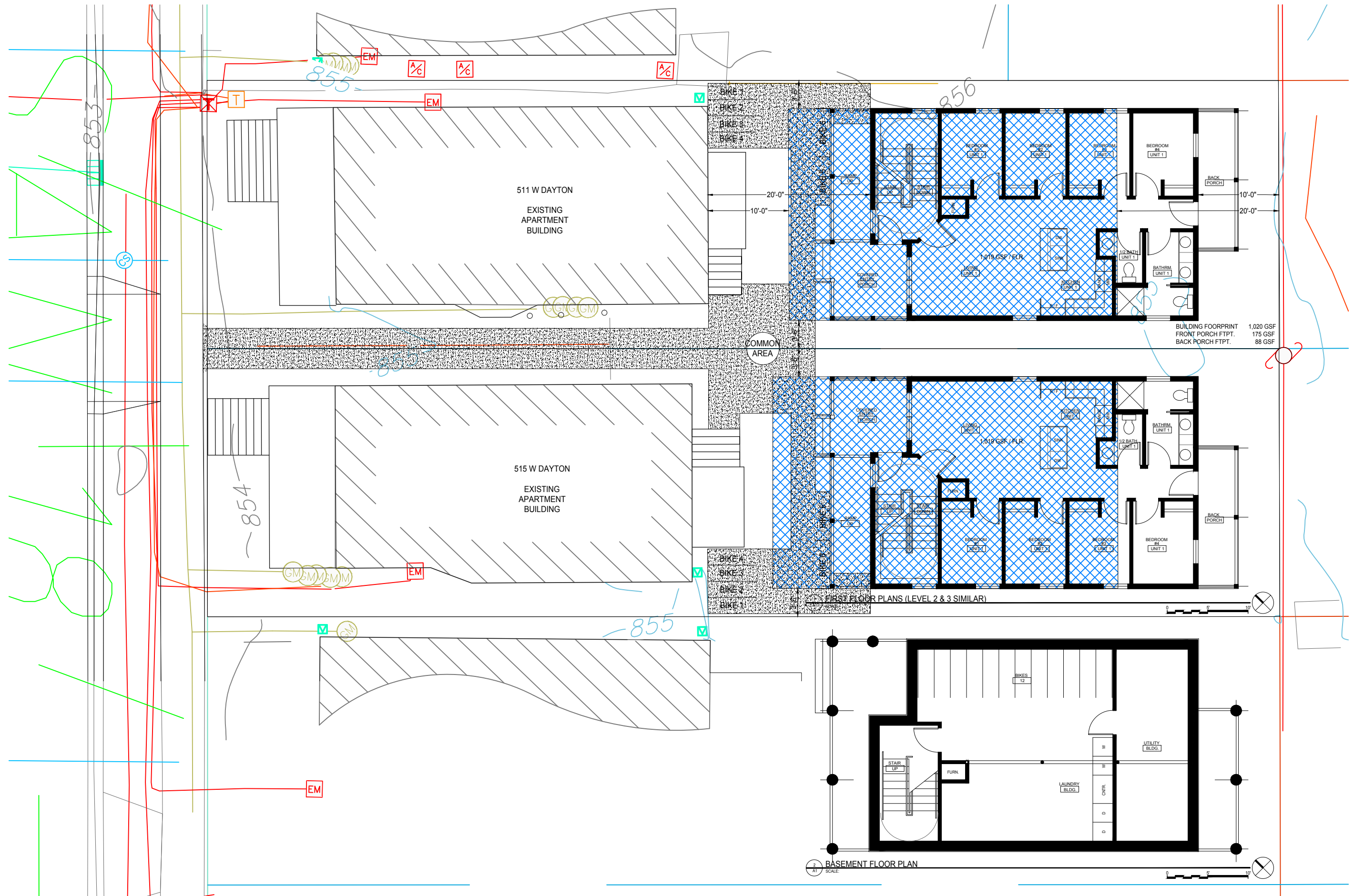
1 ARCHITECTURAL SITE PLAN WITH SETBACKS AND DWELLING SEPARATION
A001 SCALE: 3/16" = 1'-0"

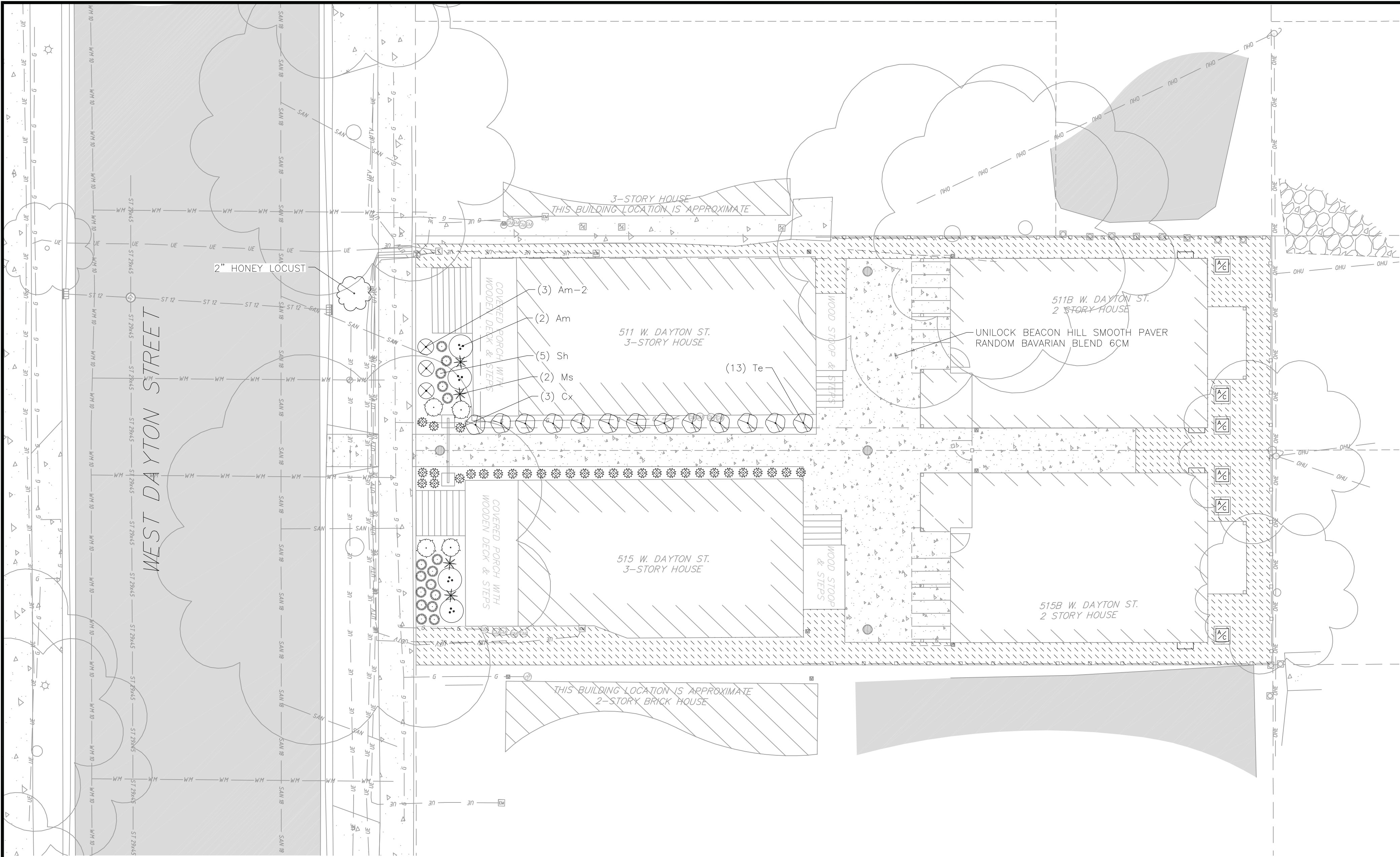


2 ALLOWABLE & PROPOSED DWELLING SEPARATION & REAR YARD SETBACK @ 511 W. DAYTON (515 W. DAYTON SIMILAR)
A001 SCALE: 3/16" = 1'-0"

SITE & TYPICAL FLOOR PLANS

W Dayton New Housing Expansion





PLANT MATERIAL NOTES:

- ALL PLANTINGS SHALL CONFORM TO QUALITY REQUIREMENTS AS PER ANSI Z60.1.
- ALL PLANT MATERIAL SHALL BE TRUE TO SPECIES, VARIETY AND SIZE SPECIFIED, NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES, AND UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE OF THE PROJECT SITE.
- CONTACT LANDSCAPE ARCHITECT, IN WRITING, TO REQUEST ANY PLANT MATERIAL SUBSTITUTIONS DUE TO AVAILABILITY ISSUES.
- ALL PLANTS SHALL BE GUARANTEED TO BE IN HEALTHY AND FLOURISHING CONDITION DURING THE GROWING SEASON FOLLOWING INSTALLATION. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR FROM THE TIME OF INSTALLATION.
- EXACT LOCATIONS OF EACH PLANT ARE GIVEN IN PLAN. WHILE SLIGHT DEVIATIONS ARE ACCEPTABLE, OVERALL SCHEMATIC/ORIENTATION TO BE ADHERED TO AS ACCURATELY AS POSSIBLE. NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS.

LANDSCAPE MATERIAL NOTES:

- CONTRACTOR SHALL PROVIDE A SUITABLE AMENDED TOPSOIL BLEND FOR ALL PLANTING AREAS WHERE SOIL CONDITIONS ARE UNSUITABLE FOR PLANT GROWTH. TOPSOIL SHALL CONFORM TO QUALITY REQUIREMENTS AS PER SECTION 625.2(1) OF THE "STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION." PROVIDE A MINIMUM OF 18" OF TOPSOIL IN ALL PLANTING AREAS AND 6" OF TOPSOIL IN AREAS TO BE SEEDED/SODDED.
- SUBSOIL UNDER TURF AND PLANTING BEDS MUST BE FREE DRAINING AND LOOSE TO ALLOW ROOT PENETRATION AND DRAINAGE. LANDSCAPE CONTRACTOR SHOULD NOTIFY GENERAL CONTRACTOR IF SUBSURFACE COMPACTION IS UNFIT FOR PLANTING. LANDSCAPE CONTRACTOR IS NOT RESPONSIBLE FOR SUBSURFACE SOIL PREPARATION.
- LANDSCAPE BEDS TO BE MULCHED WITH UNDYED SHREDDED HARDWOOD BARK MULCH TO 3" DEPTH MIN. DO NOT ALLOW MULCH TO COVER LEAVES, STEMS, OR TRUNKS OF INSTALLED PLANTS. NO LANDSCAPE FABRIC TO BE INSTALLED WITHIN PLANTED AREAS.
- LANDSCAPE AREAS IDENTIFIED AS DECORATIVE STONE ARE TO BE INSTALLED USING 3/4" "GRANITE MIST" AS SUPPLIED BY 'MIDWEST DECORATIVE STONE OR EQUAL TO A DEPTH OF 3" MINIMUM. LAY COMMERCIAL GRADE LANDSCAPE FABRIC BETWEEN GRADE AND STONE.
- AREAS LABELED ARTIFICIAL TURF ARE TO BE INSTALLED USING POLYTURF - 'GARDEN GRASS PET & PLAY' OR EQUAL PER MANUFACTURER INSTRUCTIONS.

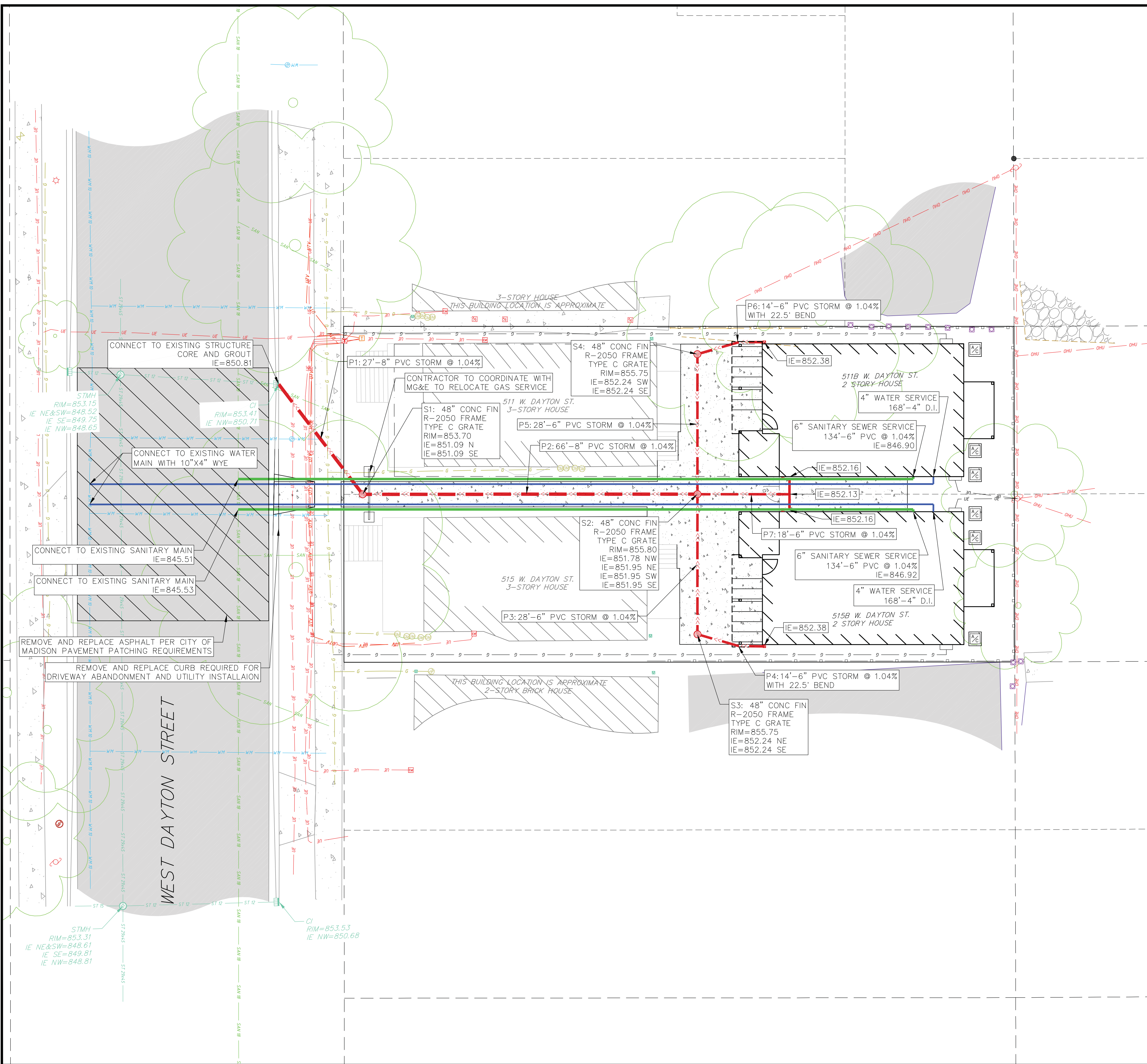
GENERAL LANDSCAPE NOTES:

- CONTRACTOR SHALL VERIFY ALL UTILITIES WITHIN SCOPE OF CONTRACT.
- CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER CONTRACTORS AT SITE AND COMPLETE WORK PER SCHEDULE.
- CONTRACTOR SHALL CLEAN ALL PAVEMENT AREAS WITHIN SITE AFTER COMPLETION. CONTRACTOR SHALL CLEAN ANY AFFECTED PAVED AREAS OUTSIDE OF DISTURBANCE DELINEATION DAILY.
- ALL MATERIAL QUANTITIES AND AREA MEASUREMENTS SHOWN ON LANDSCAPE PLAN ARE TO BE CONFIRMED BY LANDSCAPE CONTRACTOR. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND ADJUSTING FOR ANY QUANTITATIVE DISCREPANCIES BETWEEN PLAN, SCHEDULES, AND PREPARED CONDITIONS PRIOR TO INSTALLATION.
- PLANTS SHALL BE INSTALLED WHEN ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED WITHIN THE IMMEDIATE VICINITY.
- ANY PREPARED SITE CONDITIONS THAT CONTRADICT THE LANDSCAPE PLAN AND NEGATIVELY AFFECT THE SUCCESS OF PLANTINGS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- LANDSCAPE CONTRACTOR TO PROVIDE 60 DAYS OF INITIAL MAINTENANCE PERIOD FOLLOWING LANDSCAPE INSTALLATION. CONTRACTOR IS RESPONSIBLE FOR WATERING ALL SEEDINGS AND PLANTINGS, AS WELL AS MOWING, WEEDING AND MATERIAL CLEAN UP.

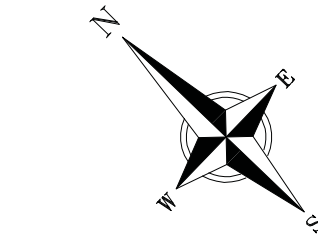
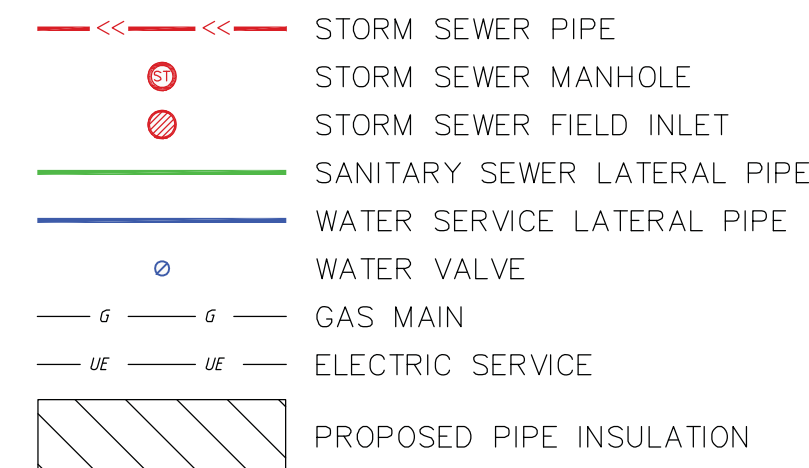
PLANT SCHEDULE 511 W DAYTON

CODE	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	QTY
DECIDUOUS SHRUBS				
Am	Aronia melanocarpa / Black Chokeberry	Cont.	5 Gal.	2
Am-2	Aronia melanocarpa 'UCONNAM012' / Ground Hug® Black Chokeberry	Cont.	2 Gal.	3
La	Lonicera diervilla / Honeysuckle	Cont.	3 Gal.	2
EVERGREEN SHRUBS				
Te	Taxus x media 'Everlow' / Everlow Anglo-Japanese Yew	Cont.	#3	13
PERENNIALS				
MS	Matteuccia struthiopteris / Ostrich Fern	Cont.	1 Gal.	2
Sh	Sporobolus heterolepis / Prairie Dropseed	Cont.	1 Gal.	5

City of Madison Landscape Worksheet							
Address:	511 W Dayton St.		Date:	8/20/2025			
Total Square Footage of Developed Area:	(Site Area)	-	(Building Footprint at Grade)		=	2241	sf
		4400			2159		
Total Landscape Points Required (<5 ac):	2,241	/ 300 =	7	x 5 =	37	37	
Landscape Points Required >5 ac:		/ 100 =	0	x 1 =	-		
			Credits/ Existing Landscaping		New/ Proposed Landscaping		
Plant Type/ Element	Min. Size at Installation	Points	Quantity	Points Achieved	Quantity	Points Achieved	
Overstory deciduous tree	2.5" cal	35		0		0	
Tall Evergreen Tree	5-6 feet tall	35		0		0	
Ornamental tree	1.5" cal	15		0		0	
Upright evergreen shrub	3-4 feet tall	10		0		0	
Shrub, deciduous	#3 gallon	3		0	7	21	
Shrub, evergreen	#3 gallon	4		0	13	52	
Ornamental grasses/perennials	#1 gallon	2		0	7	14	
Ornamental/decorative fencing or wall	n/a	4 per 10 LF		0		0	
Existing significant specimen tree	Min. Size 2.5" cal.	14 per caliper inch.		0		0	
Landscape Furniture for public seating and/or transit connections		5 points per "seat"		0		0	
Sub Totals				0		87	
		Total Points Provided:			87		



PROPOSED UTILITY LEGEND



GRAPHIC SCALE, FEET

Drink Type	Number of people
Fruit juice	10
Soft drink	15
Tea	5
Coffee	5

ABBREVIATIONS

STMH - STORM MANHOLE
FI - FIELD INLET
CI - CURB INLET
CB - CATCH BASIN
EW - ENDWALL
SMH - SANITARY MANHOLE

UTILITY NOTES:

1. CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT OF WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING AND ABANDONMENT PERMITS PRIOR TO CONSTRUCTION.
2. CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS AND ELEVATIONS PRIOR TO STARTING WORK.
3. SANITARY & STORM SEWER LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. STORM SEWER END SECTIONS ARE INCLUDED IN THE LENGTH AND SLOPE OF THE PIPE.
4. CONTRACTOR SHALL INVESTIGATE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL UTILITY STRUCTURES TO FINISHED GRADE (MANHOLE RIMS, WATER VALVES, AND CURB STOPS), IF NECESSARY.
6. IF DEWATERING OPERATIONS EXCEED 70 GALLONS PER MINUTE OF PUMPING CAPACITY, A DEWATERING WELL PERMIT SHALL BE OBTAINED PRIOR TO STARTING ANY DEWATERING ACTIVITIES.
7. A COPY OF THE APPROVED UTILITY PLANS, SPECIFICATIONS AND PLUMBING PERMIT APPROVAL LETTER SHALL BE ON-SITE DURING CONSTRUCTION AND OPEN TO INSPECTION BY AUTHORIZED REPRESENTATIVES OF THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES AND OTHER LOCAL INSPECTORS.
8. PROPOSED UTILITY SERVICE LINES SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS, COORDINATE THE LOCATION WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
9. STORM BUILDING SEWER PIPE SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-6 OF SPS 384.30(3)(c).
10. UNDERGROUND DRAIN AND VENT PIPE/TUBING SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-2 OF SPS 384.30(2).
11. PRIVATE WATER SERVICES AND PRIVATE WATER MAINS SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-7 OF SPS 384.30(4)(d).
12. PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-3 OF SPS 384.30(2)(c).
13. A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER SPS 382.30(11)(H) AND SPS 382.40(8)(k).
14. EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SPS 382.40(8)(b.).
15. NO PERSON MAY ENGAGE IN PLUMBING WORK IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PER S.145.06.
16. SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE, LOCATION, AND INVERT ELEVATION OF PROPOSED SANITARY AND WATER LATERALS.
17. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING VALVES WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. THE CITY IS NOT RESPONSIBLE FOR ANY COSTS INCURRED DUE TO THE CONTRACTOR NOT VERIFYING THAT THE EXISTING VALVE WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. IF A NEW VALVE IS REQUIRED, THE APPLICANT WILL BE REQUIRED TO INSTALL ONE AT THEIR EXPENSE, AT THE POINT OF CONNECTION.
18. CONTRACTOR TO CHLORINATE AND BACTERIA TEST BEFORE DOMESTIC SUPPLY PURPOSES
19. CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
20. SANITARY SEWER MAIN AT BURY DEPTHS GREATER THAN 15' SHALL BE SDR 26. ALL OTHER SANITARY SEWER MAIN SHALL BE SDR 35.
21. CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED.
22. ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GRADE ELEVATION TO TOP OF MAIN. PROVIDE 1.5' CLEAR SEPARATION IF WATER CROSSES BELOW SEWER AND MINIMUM 0.5' IF WATER CROSSES ABOVE.
23. INSTALL 1 SHEET OF 4'x8'x4" HIGH DENSITY STYROFOAM INSULATION AT ALL LOCATIONS WHERE STORM SEWER CROSSES WATER MAIN OR WATER LATERALS.

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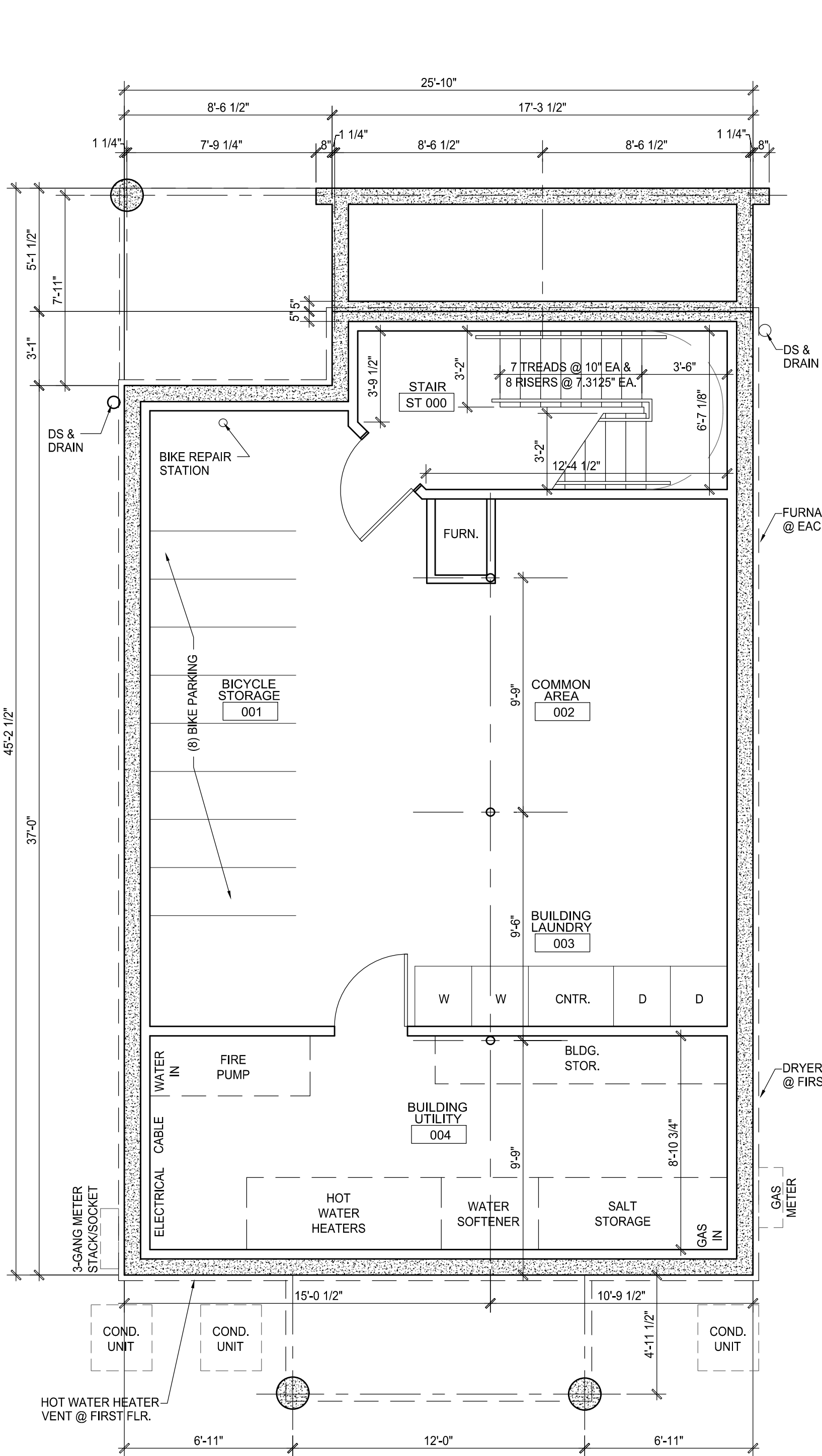
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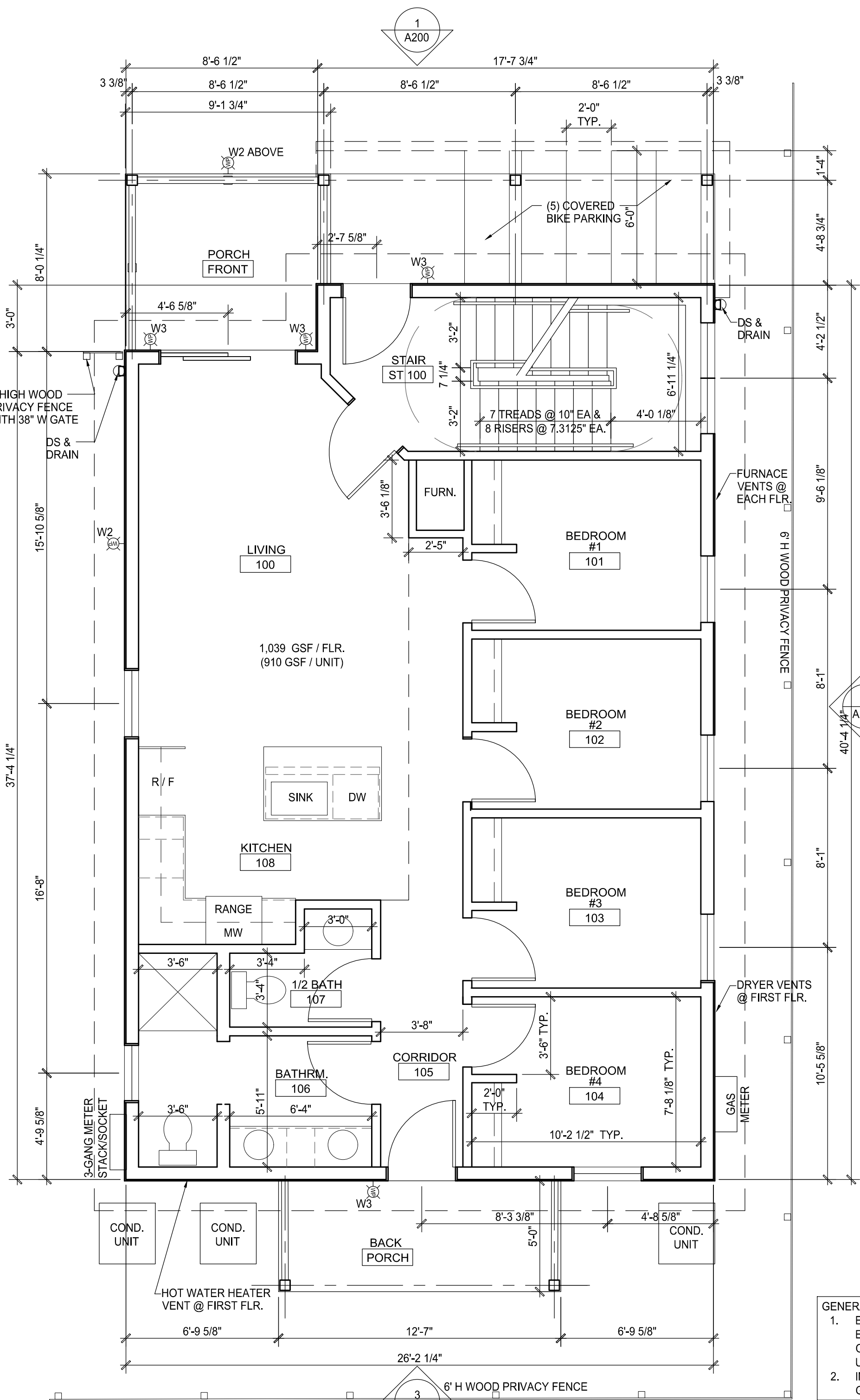
511 - New Floor Plans &
Notes

A100



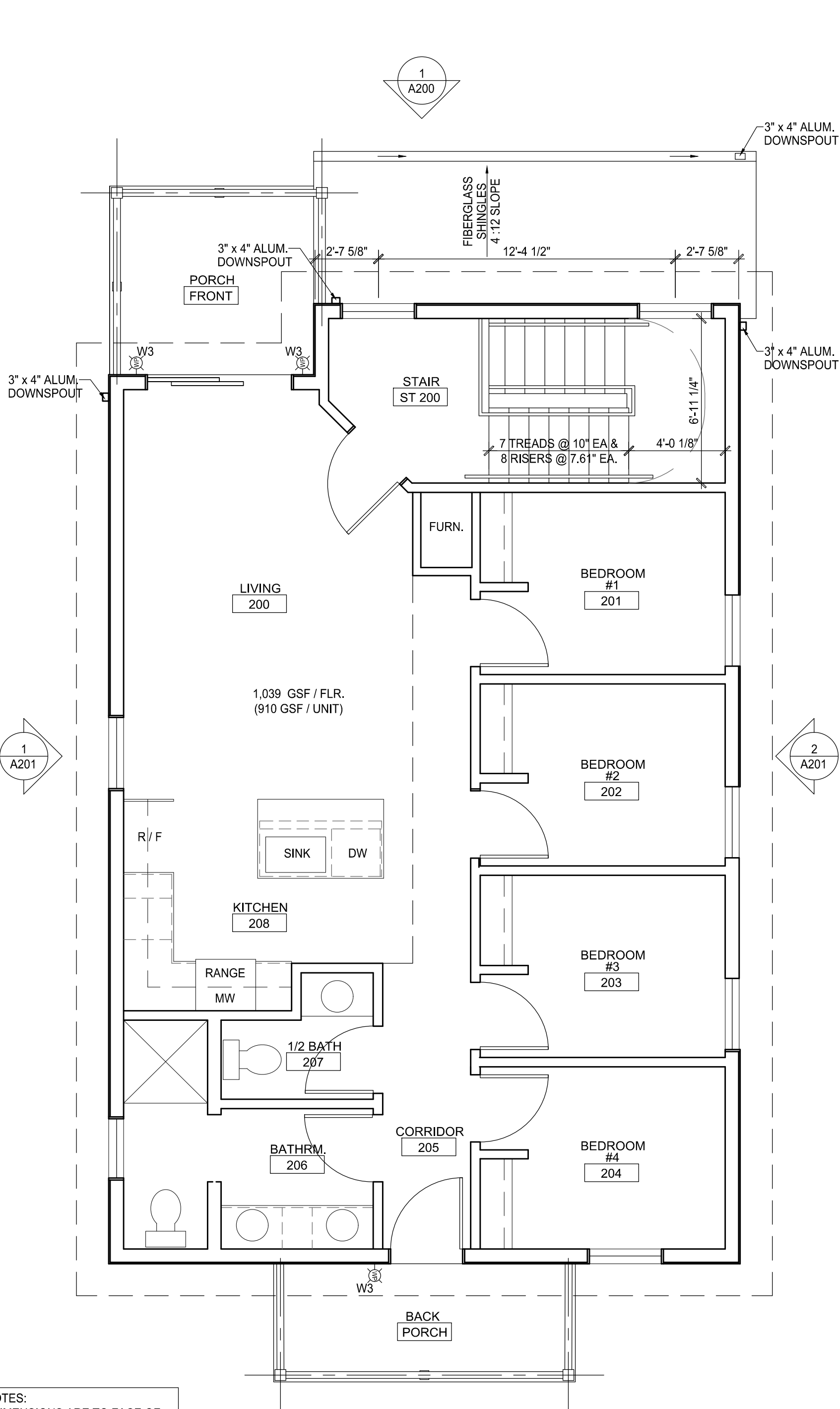
1
A100
511 - BASEMENT FLOOR PLAN

SCALE: 1/4" = 1'-0"



2
A100
511 - FIRST FLOOR PLAN

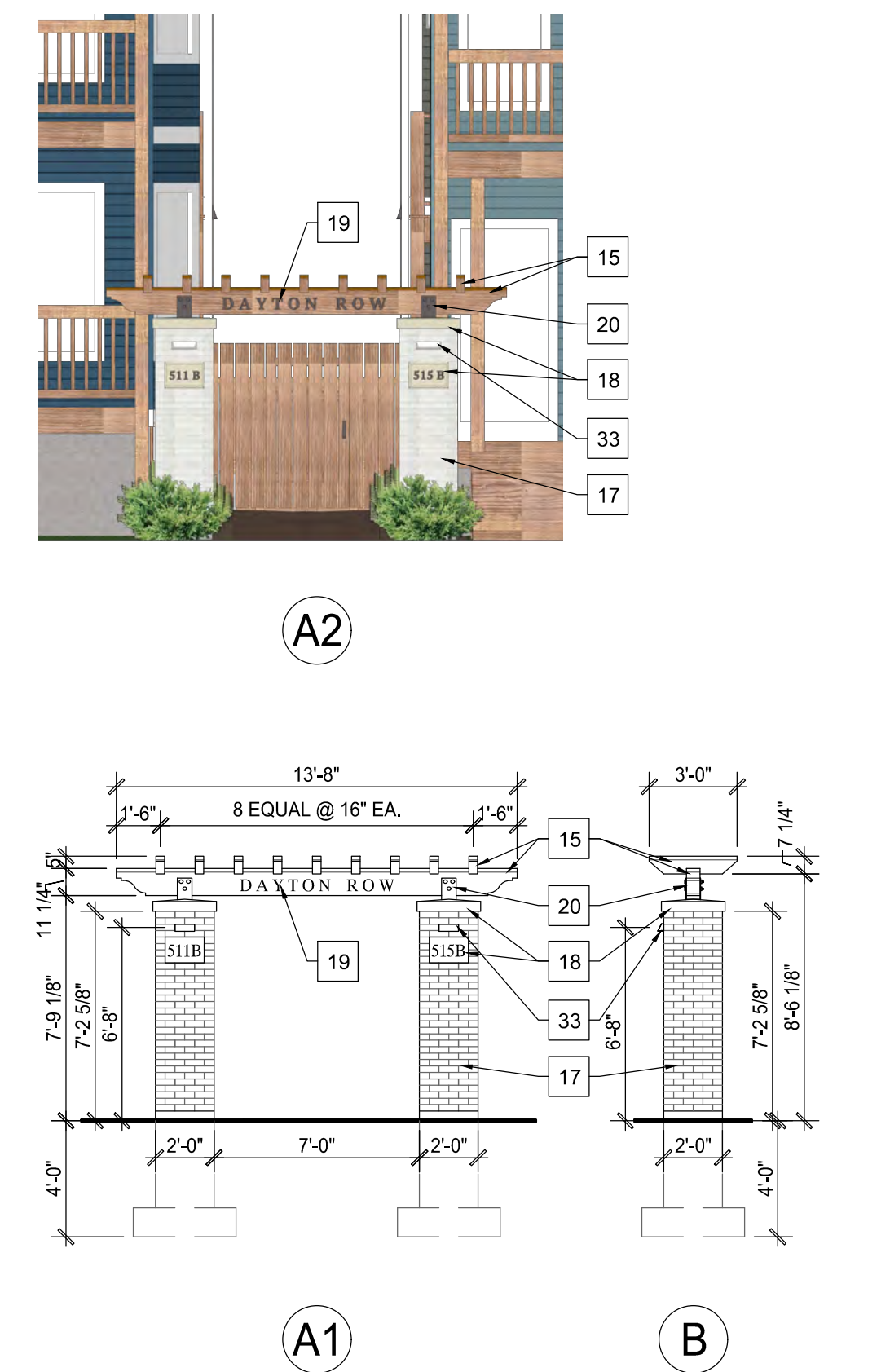
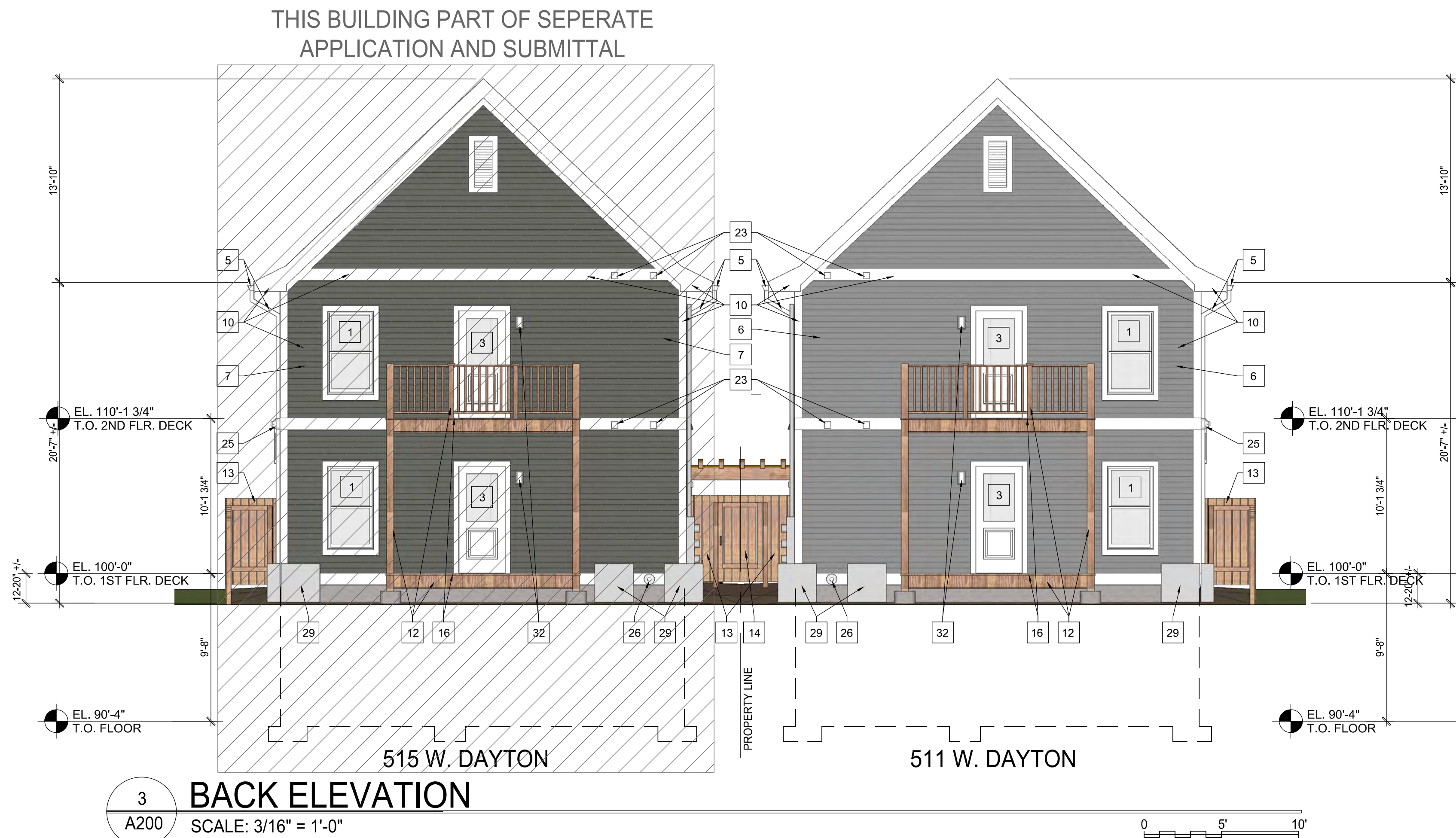
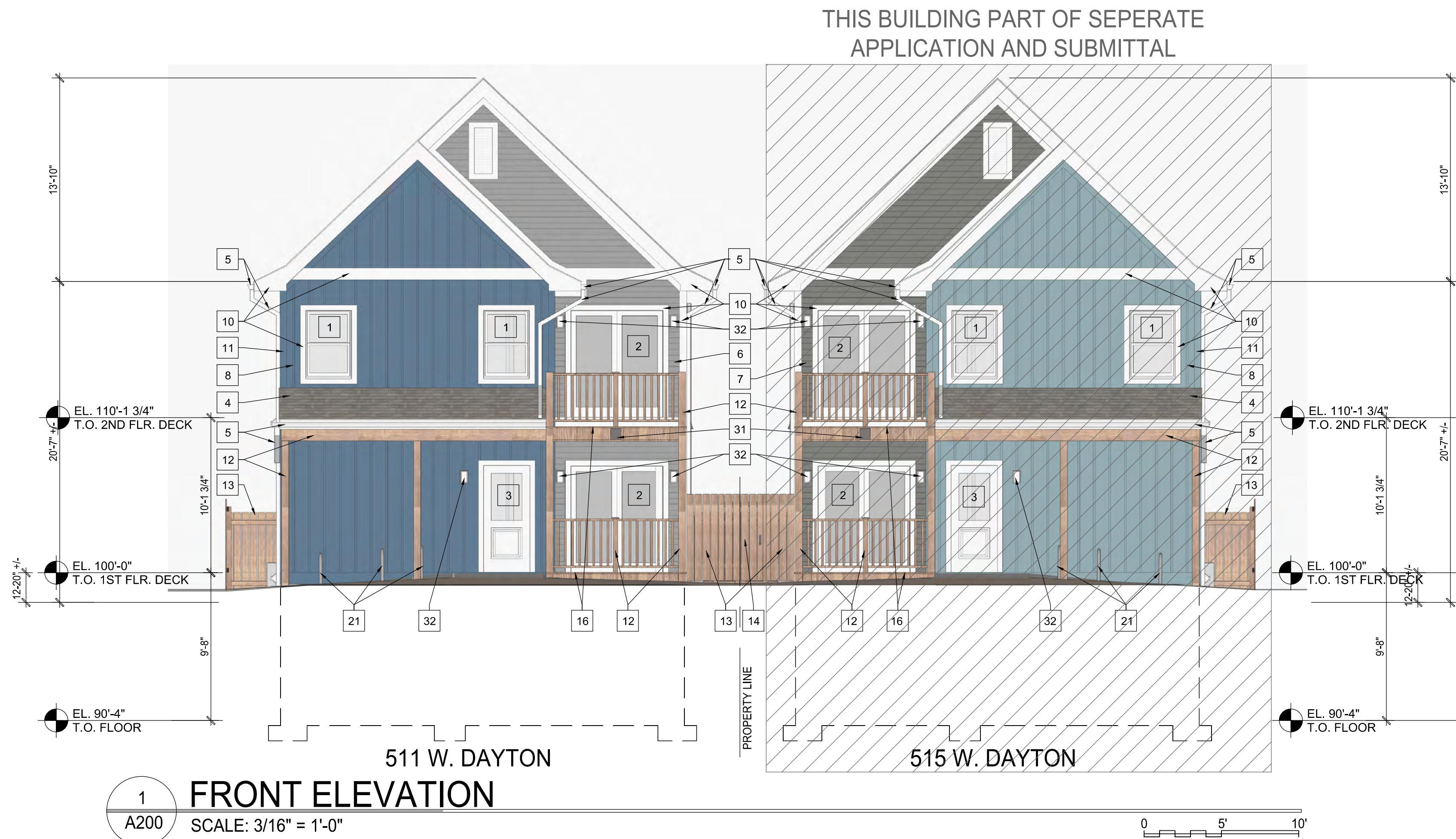
SCALE: 1/4" = 1'-0"



3
A100
511 - SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

GENERAL PLAN NOTES:
1. EXTERIOR DIMENSIONS ARE TO FACE OF EXTERIOR SHEATHING, CENTERLINES OF OPENINGS AND FACE OF CONCRETE UNLESS NOTED OTHERWISE.
2. INTERIOR DIMENSIONS ARE FROM FACE OF GWB UNLESS NOTED OTHERWISE.



KEY NOTES:

- 1 FIBERGLASS DH WINDOW WITH LOW- INSULATED GLASS (WHITE)
- 2 FIBERGLASS SLIDING PATIO DOOR WITH INSULATED LOW-E GLASS (WHITE).
- 3 INSULATED FIBERGLASS DOOR WITH 1/2" LITE & INSULATED LOW-E GLASS (WHITE).
- 4 FIBERGLASS SHINGLE ROOFING (PEWTER GRAY)
- 5 PRE-FINISHED ALUMINUM GUTTER & DOWNSPOUT (WHITE)
- 6 DIAMOND KOTE LP SMART LAP SIDING (PELICAN - LIGHT GREY)
- 7 DIAMOND KOTE LP SMART LAP SIDING (SMOKY ASH - MEDIUM GREY)
- 8 LP SMART SIDING BOARD AND BATTEN (RAPIDS BLUE)
- 9 LP SMART SIDING BOARD AND BATTEN (SUMMIT BLUE)
- 10 AZEK TRIM (WHITE)
- 11 AZEK TRIM (BLUE TO MATCH BOARD AND BATTEN SIDING)
- 12 BROWN TREATED PORCH FRAMING & HAND/GUARD RAIL
- 13 BROWN TREATED PRIVACY FENCE (6'-0" HIGH);
- 14 BROWN TREATED PRIVACY GATE WITH BLACK HARDWARE.
- 15 BROWN TREATED TIMBER WITH PRE-FINISHED ALUMINUM WEATHER CAPS (BROWN)
- 16 FIBERON PROMENADE PVC DECKING (SANDY PIERO)
- 17 BRICK VENEER (WHITE)
- 18 CAST STONE CAP AND ADDRESS STONE (BUFF/LIMESTONE)
- 19 RAISED 5" METAL LETTERS (BLACK) - ADDRESS IDENTIFICATION
- 20 METAL SUPPORT BRACKET AND HARDWARE (BLACK)
- 21 GALVANIZED METAL BIKE HOOP
- 22 HOSE BIBB
- 23 BATHROOM EXHAUST VENT (COLOR TO MATCH WALL/TRIM FINISH)
- 24 DRYER VENT (COLOR TO MATCH WALL/TRIM FINISH)
- 25 FURNACE VENTS (COLOR TO MATCH WALL/TRIM FINISH)
- 26 HOT WATER HEATER VENTS (COLOR TO MATCH WALL/TRIM FINISH)
- 27 ELECTRICAL SERVICE & METERS (MG&E TO VERIFY)
- 28 GAS METERS & SERVICE (MG&E TO VERIFY)
- 29 CONDENSING UNIT
- 30 WALL MOUNTED LIGHT FIXTURE (W1) - PATH LIGHTING
- 31 WALL MOUNTED LIGHT FIXTURE (W2) - AREA LIGHTING
- 32 WALL MOUNTED LIGHT FIXTURE (W3) - LIGHTING AT EXTERIOR DOORS
- 33 PIER MOUNTED LIGHT FIXTURE (W4) - SEMI-RECESSED WASH OVER ADDRESS

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**Exterior Elevations, Notes
& Materials**

A200

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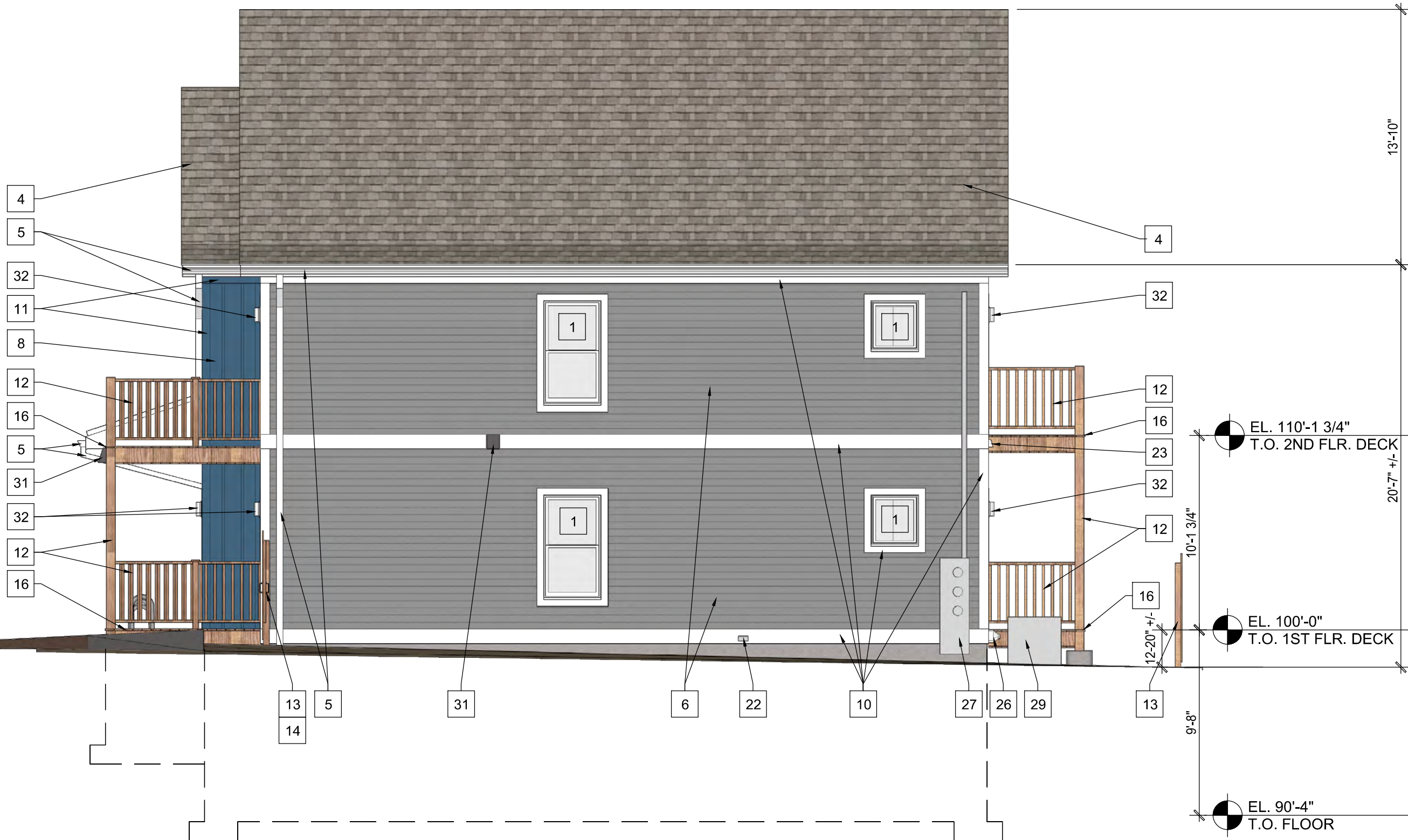
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Exterior Elevations

A201

EXISTING 3-UNIT BUILDING - NO WORK ON THIS BUILDING



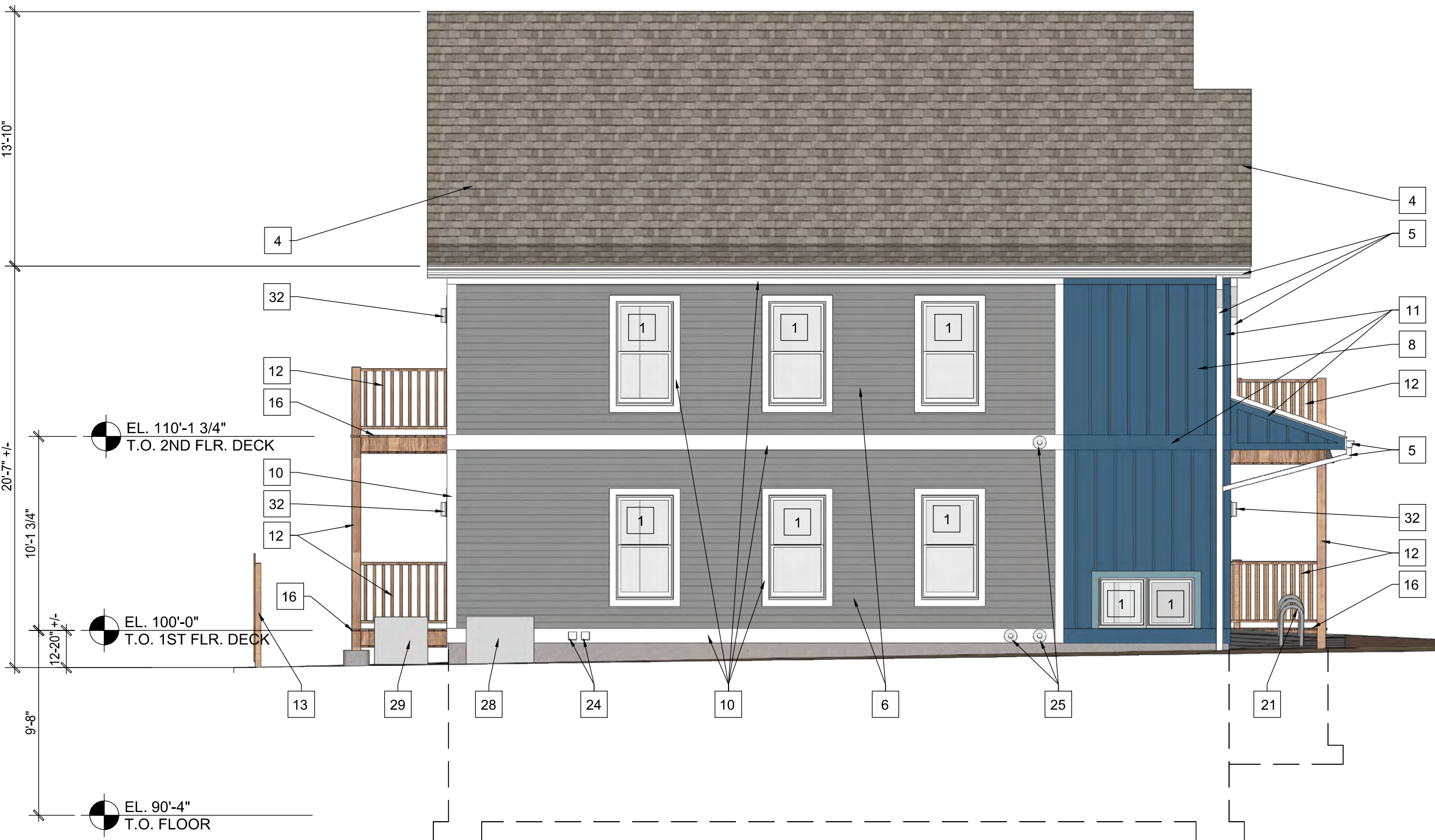
511 W. DAYTON

WEST SIDE ELEVATION

SCALE: 3/16" = 1'-0"

0 5' 10'

EXISTING 3-UNIT BUILDING - NO WORK ON THIS BUILDING

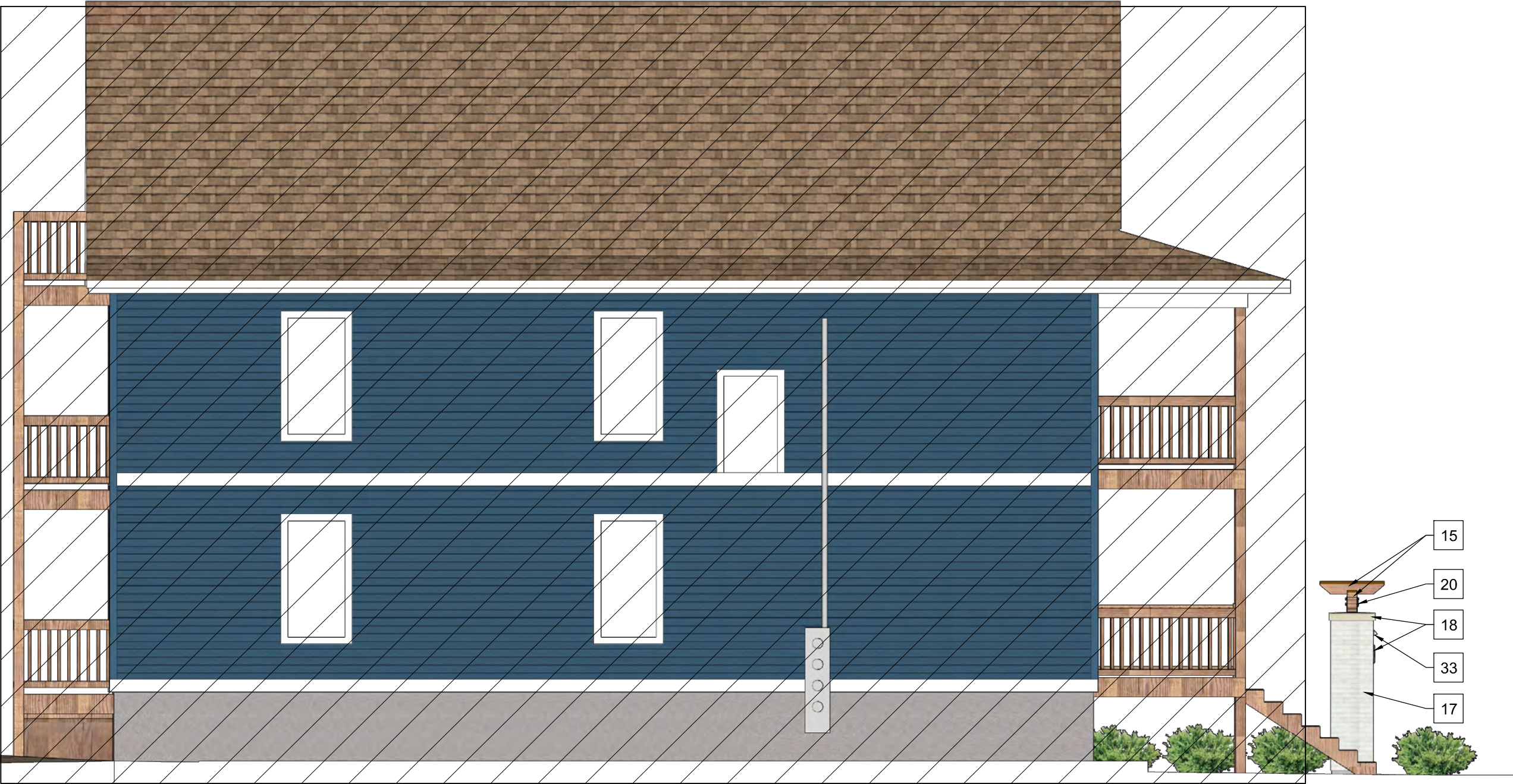


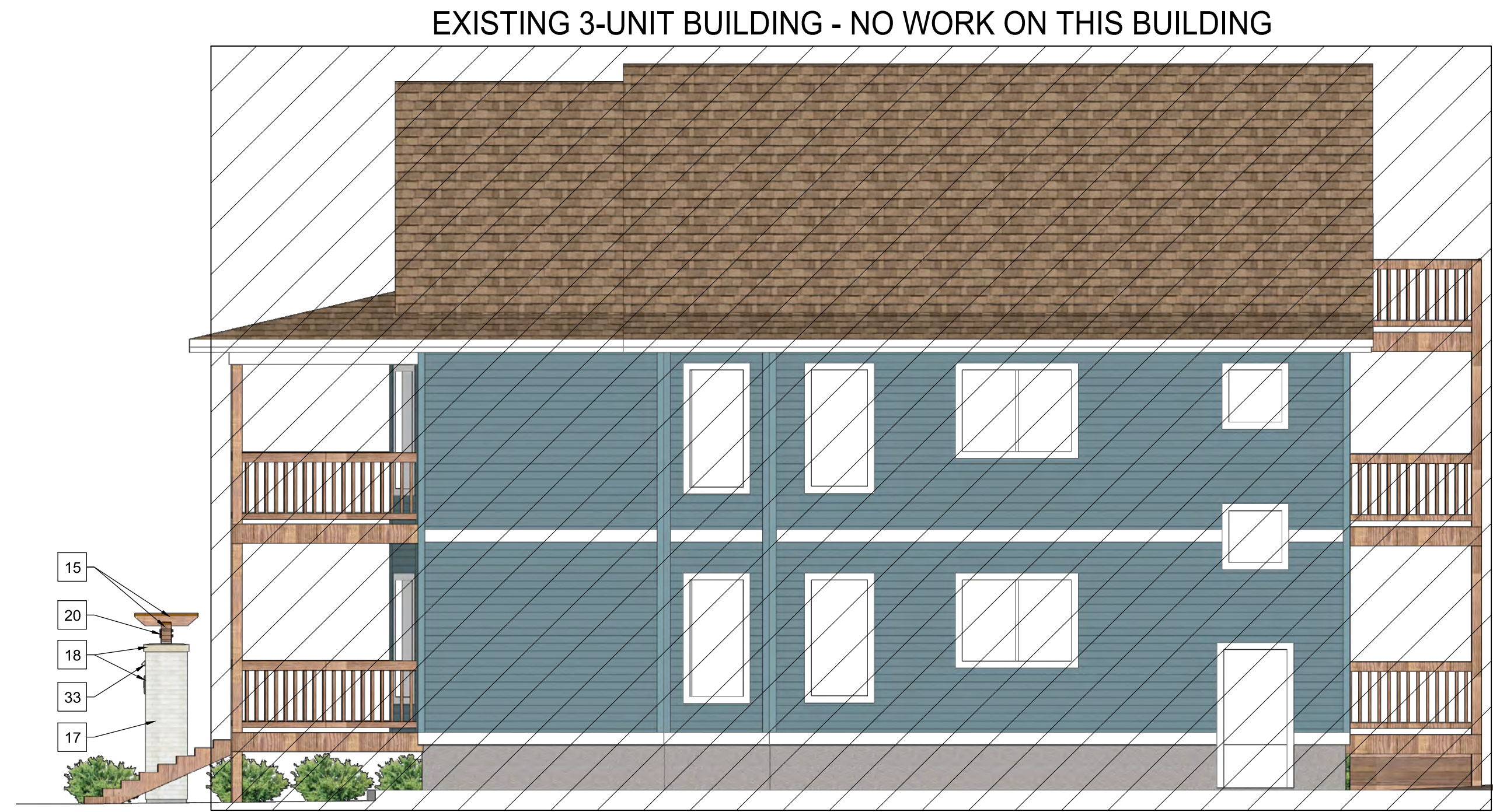
511 W. DAYTON

EAST SIDE ELEVATION

SCALE: 3/16" = 1'-0"

0 5' 10'





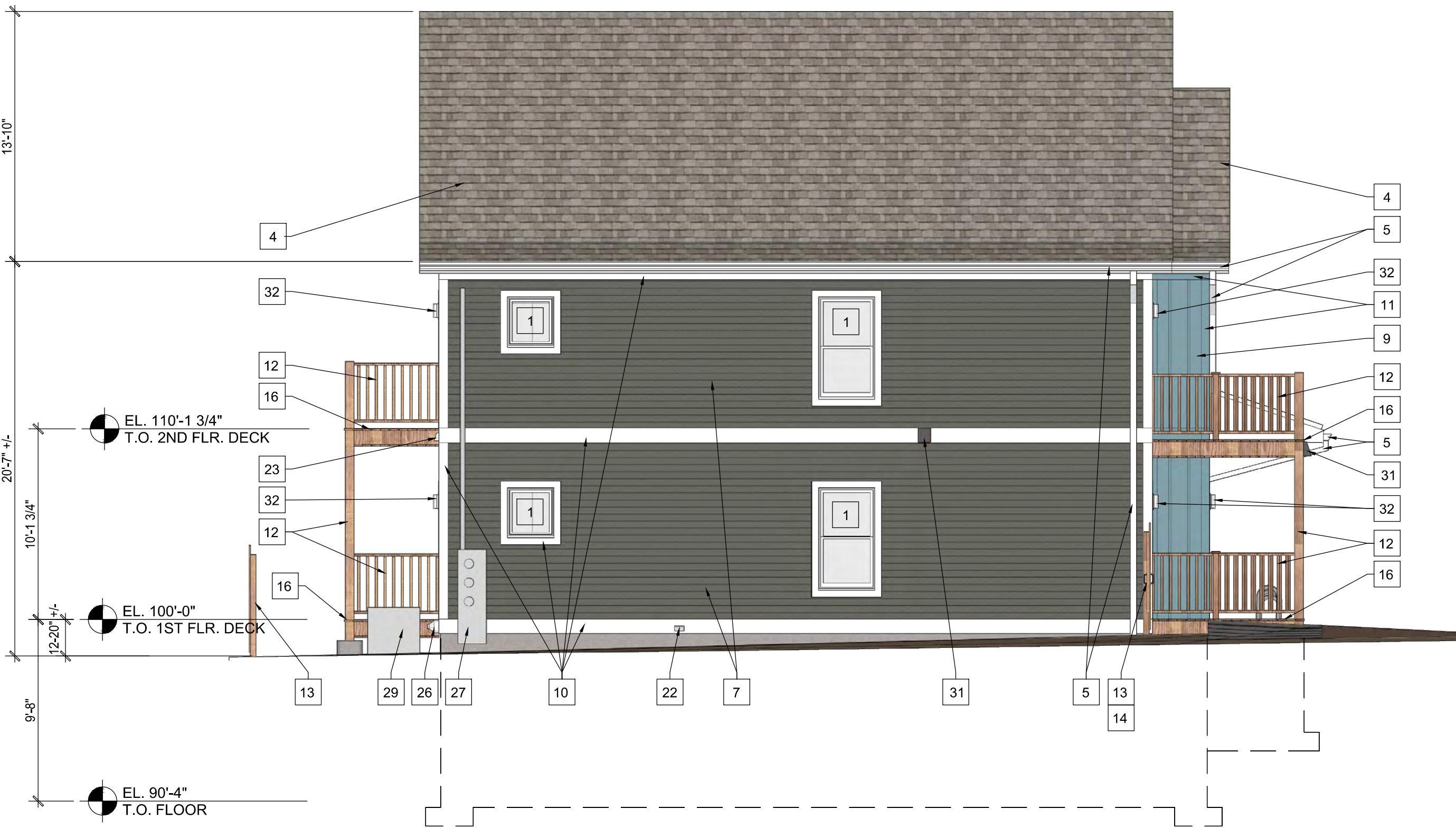
1
A202

WEST SIDE ELEVATION

SCALE: 3/16" = 1'-0"

0 5' 10'

515 W. DAYTON



2
A202

EAST SIDE ELEVATION

SCALE: 3/16" = 1'-0"

0 5' 10'

515 W. DAYTON

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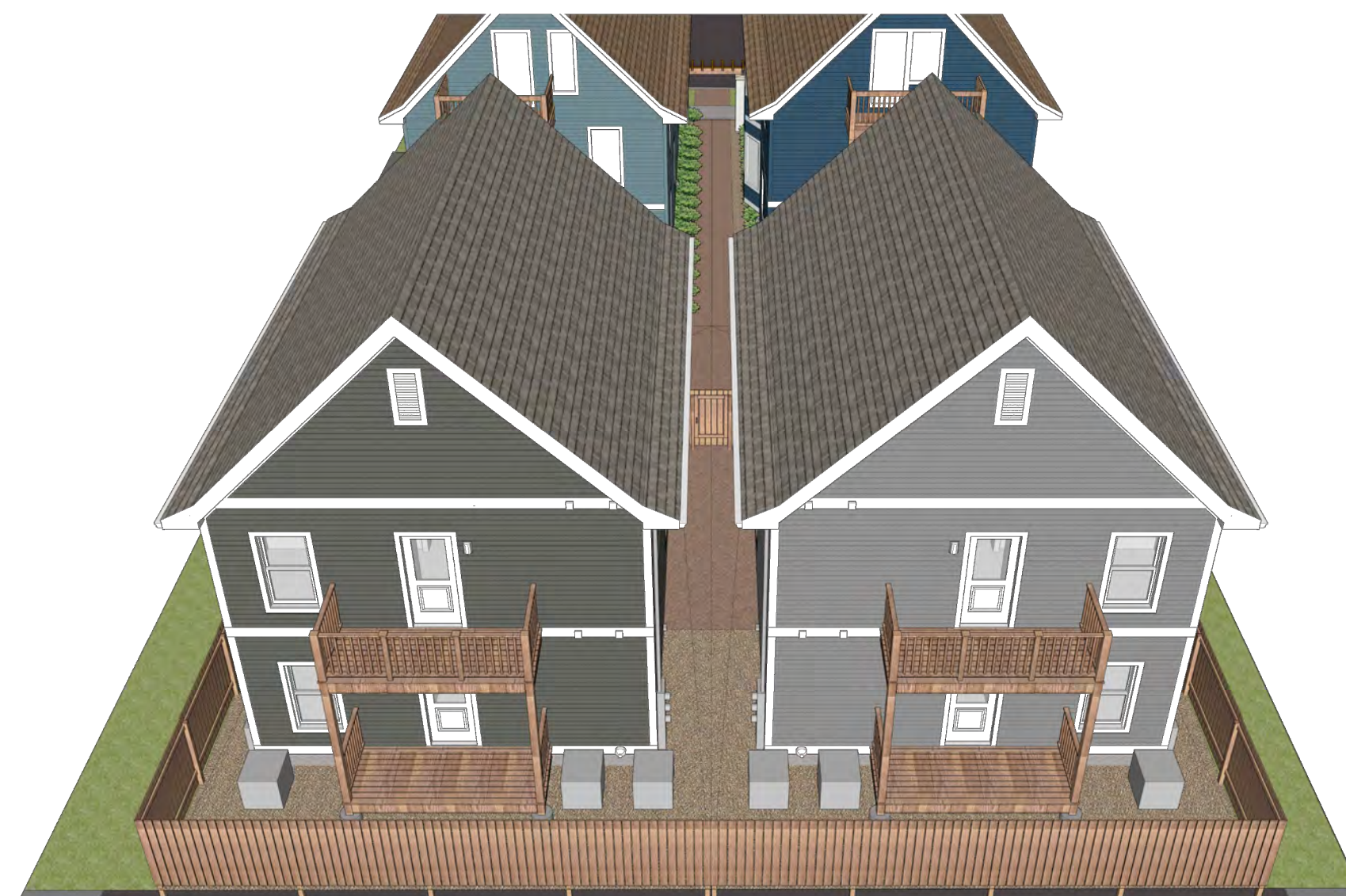
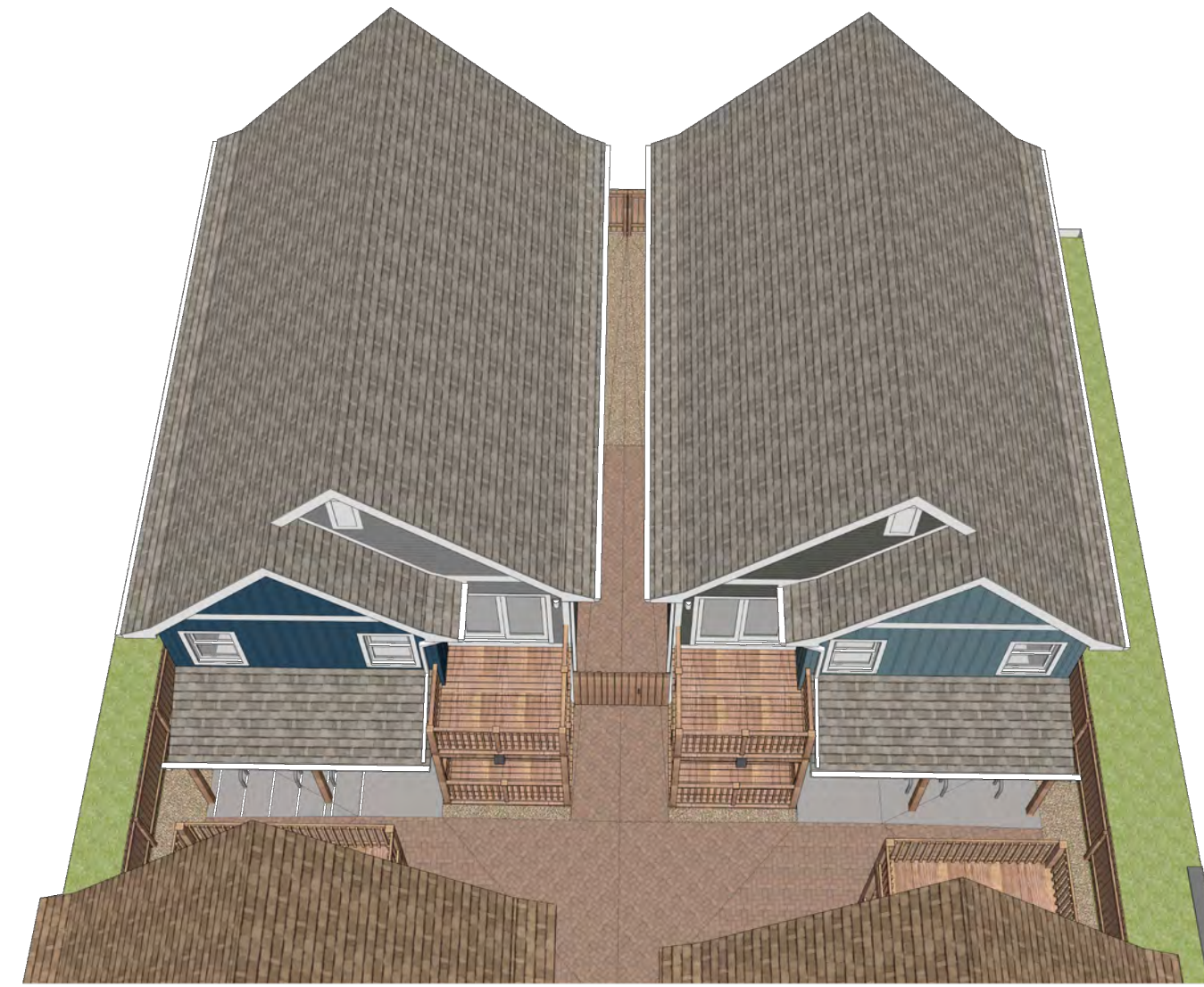
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515 - Exterior Elevations

A201



**LU & UDC Applications
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[illegible]

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3D Views

A202