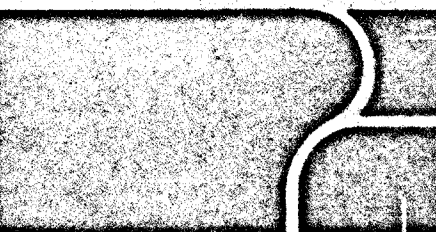


555 W Washington Ave  
10-3-83

# MADISON TELCO CREDIT UNION

555 WEST WASHINGTON AVENUE  
MADISON, WISCONSIN

SHEET INDEX	
SHEET	TITLE
A1	SITE PLAN
A2	FOUNDATION PLAN, FIRST FLOOR PLAN
A3	SECOND FLOOR PLAN, SCHEDULES
A4	FRAMING PLANS
A5	DETAILS & SECTIONS
A6	ELEVATIONS
A7	BUILDING SECTIONS
A8	SECTIONS
A9	SECTIONS
L1	LANDSCAPE PLAN
H1	HEATING, VENTILATING & COOLING
F1	FOOTING & FOUNDATION AND FIRST FLOOR PLANS
P2	SECOND FLOOR PLAN
E1	LIGHTING PLANS
E2	POWER PLANS
E3	SERVICE & RISERS



**Planning  
Associates  
Inc.**

Architects · Planners

1602 W. Beltline Hwy.  
Madison Wisc. 53713  
608 · 257 · 0704

#4 METAL FRAMING  
SHEET E3

### CITY OF MADISON APPROVAL

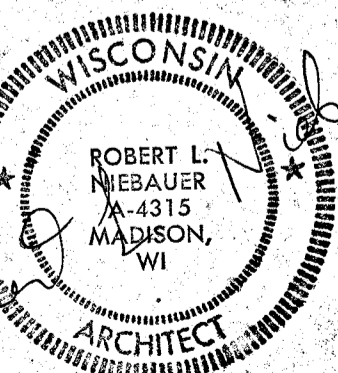
ENGINEERING Arnold E. Miller, Sr. 10/3/83  
TRAFFIC Floyd I. Lewis, Sr. 10/3/83  
FIRE DEPARTMENT J.M. Olson 10-3-83  
PLANNING Charles R. Duran, per Res Comm 5/16/83  
ZONING H.C. Carran 10/3/83

Project No 8214

Drawn by

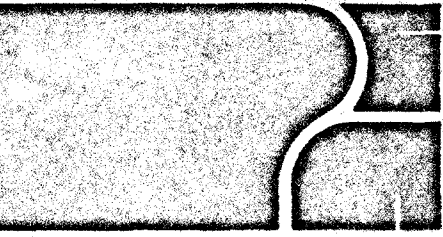
Date 10-11-83

Revisions



TITLE SHEET





**Planning  
Associates  
Inc.**

Architects · Planners

1602 W. Beltline Hwy.  
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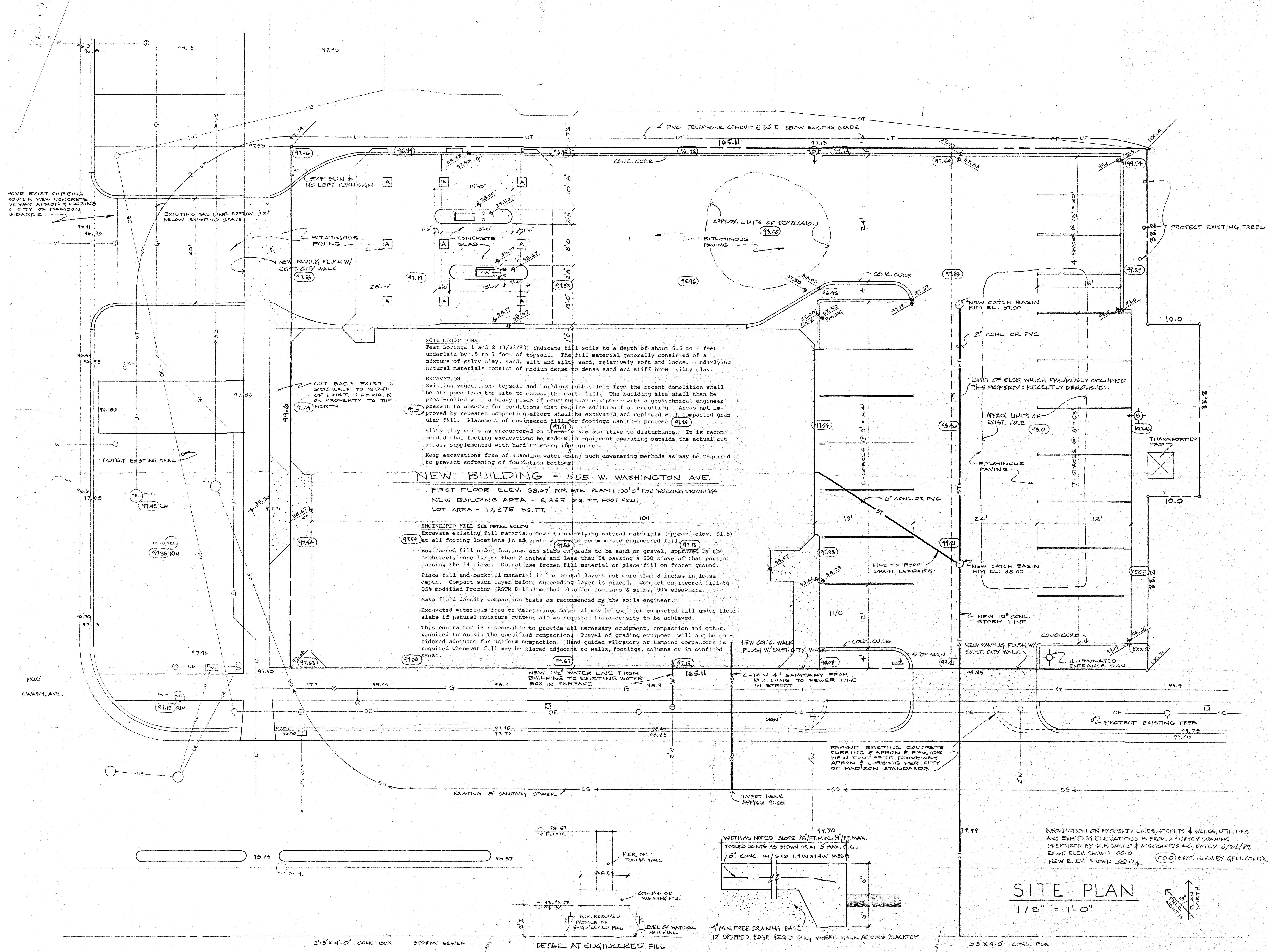
Project **OFFICE BUILDING &  
DRIVE - UP FACILITY**  
Client **MADISON TELCO CREDIT UNION  
555 W. WASHINGTON AVENUE  
MADISON, WISCONSIN**

Project No **8214**

Drawn by

Date **10-11-83**

Revisions



**SOIL CONDITIONS**  
Test Borings 1 and 2 (3/23/83) indicate fill soils to a depth of about 5.5 to 6 feet underlain by .5 to 1 foot of topsoil. The fill material generally consisted of a mixture of silty clay, sandy silt and silty sand, relatively soft and loose. Underlying natural materials consist of medium dense to dense sand and stiff brown silty clay.

**EXCAVATION**  
Existing vegetation, topsoil and building rubble left from the recent demolition shall be stripped from the site to expose the earth fill. The building site shall then be proof-rolled with a heavy piece of construction equipment with a geotechnical engineer present to observe for conditions that require additional undercutting. Areas not improved by repeated compaction effort shall be excavated and replaced with compacted granular fill. Placement of engineered fill for footings can then proceed. (41.6)

Silty clay soils as encountered on these are sensitive to disturbance. It is recommended that footing excavations be made with equipment operating outside the actual cut areas, supplemented with hand trimming if required.

Keep excavations free of standing water using such dewatering methods as may be required to prevent softening of foundation bottoms.

**NEW BUILDING - 555 W. WASHINGTON AVE.**

FIRST FLOOR ELEV. 38.67' FOR SITE PLAN: 100'-0" FOR WORKING DRAWINGS  
NEW BUILDING AREA - 6,355 SQ. FT. FOOT PRINT  
LOT AREA - 17,275 SQ. FT. 101'

**ENGINEERED FILL SEE DETAIL BELOW**  
Excavate existing fill materials down to underlying natural materials (approx. elev. 91.5) at all footing locations in adequate width to accommodate engineered fill. (41.13)

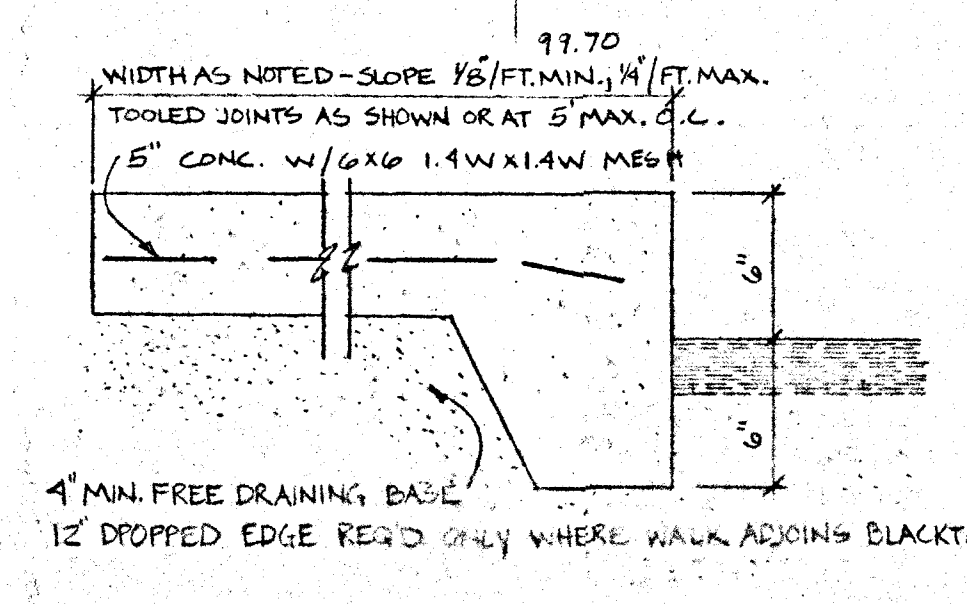
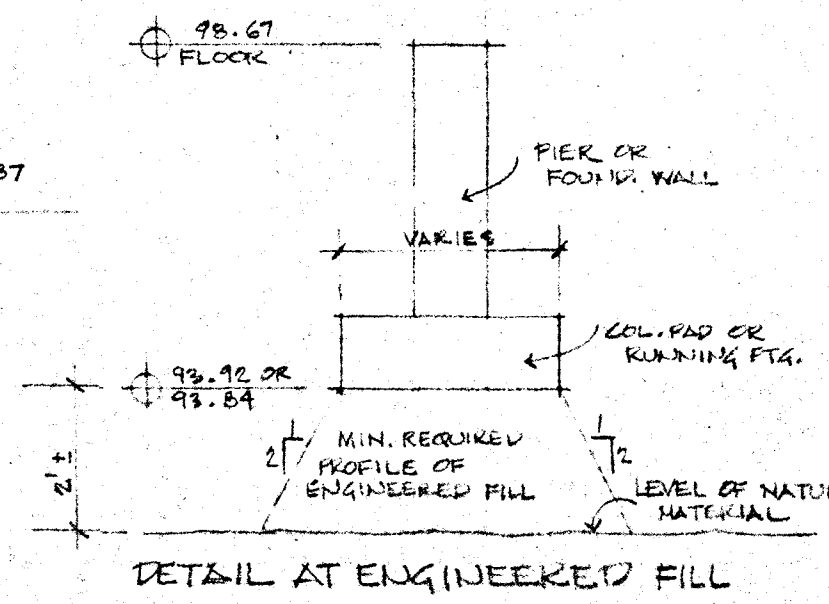
Engineered fill under footings and slabs on grade to be sand or gravel, approved by the architect, none larger than 2 inches and less than 5% passing a 200 sieve of that portion passing the #4 sieve. Do not use frozen fill material or place fill on frozen ground.

Place fill and backfill material in horizontal layers not more than 8 inches in loose depth. Compact each layer before succeeding layer is placed. Compact engineered fill to 95% modified Proctor (ASTM D-1557 method D) under footings & slabs, 90% elsewhere.

Make field density compaction tests as recommended by the soils engineer.

Excavated materials free of deleterious material may be used for compacted fill under floor slabs if natural moisture content allows required field density to be achieved.

This contractor is responsible to provide all necessary equipment, compaction and other, required to obtain the specified compaction. Travel of grading equipment will not be considered adequate for uniform compaction. Hand guided vibratory or tamping compactors is required whenever fill may be placed adjacent to walls, footings, columns or in confined areas.



**SITE PLAN**  
1/8" = 1'-0"

INFORMATION ON PROPERTY LINES, STREETS & WALKS, UTILITIES AND EXISTING ELEVATIONS IS FROM A SURVEY DRAWING PREPARED BY R.F. SULLIVAN & ASSOCIATES INC., DATED 6/21/82. EXIST. ELEV. SHOWN 00.0 (C.O.D.) EXIST. ELEV. BY GENL. CONTR.











555 W Washington Ave  
4-14-98

**TJK**  
DESIGN AND  
CONSTRUCTION

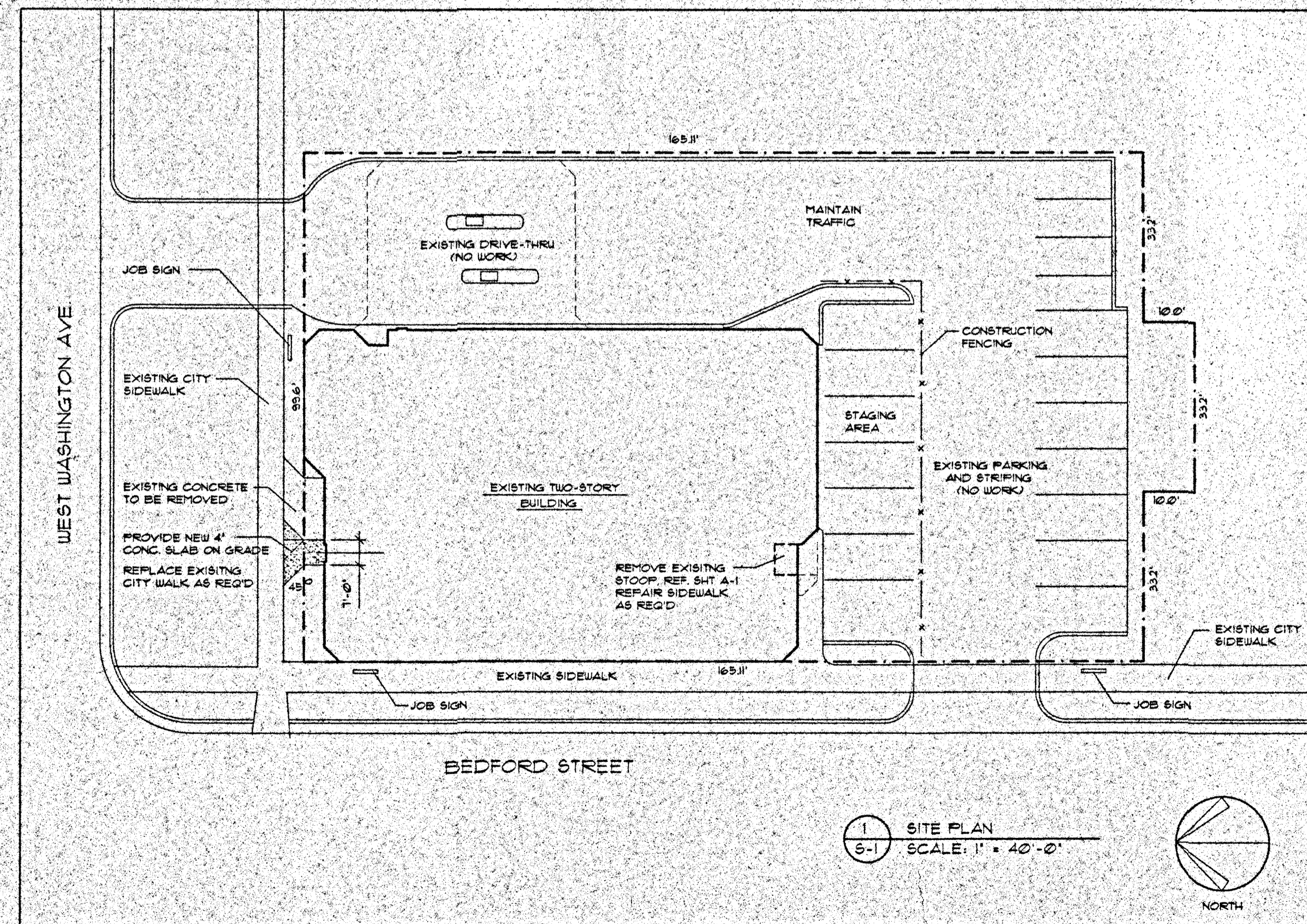
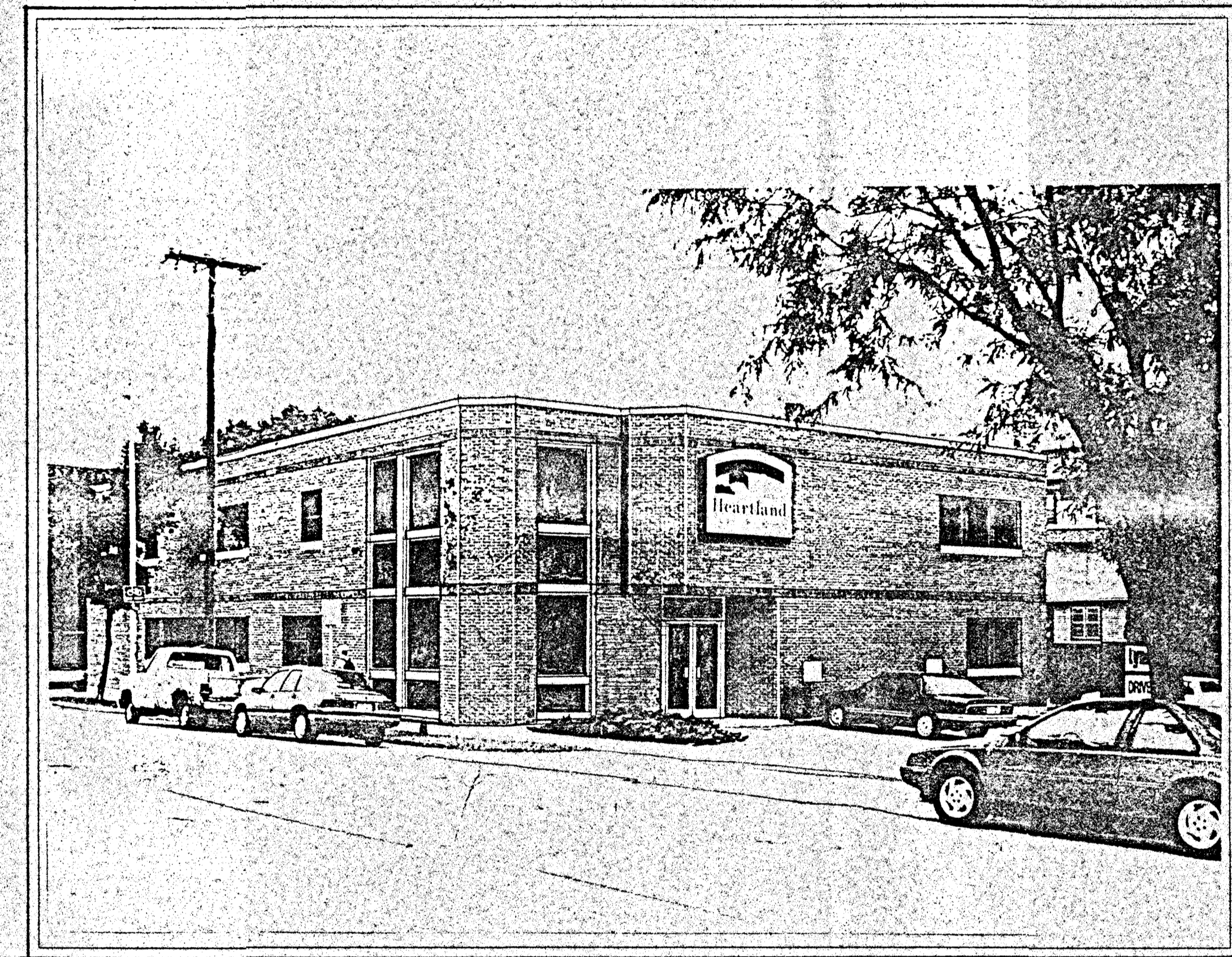
PROPOSED REMODEL FOR:

# HEARTLAND CREDIT UNION

555 W. WASHINGTON AVE.  
MADISON, WISCONSIN

**TJK** TJK Design and Construction  
634 W. Main  
Madison, WI 53703  
608-257-1090 FAX 608-257-1092

634 W. MAIN  
Madison, WI 53703  
608-257-1090  
FAX 608-257-1092



### INDEX OF DRAWINGS:

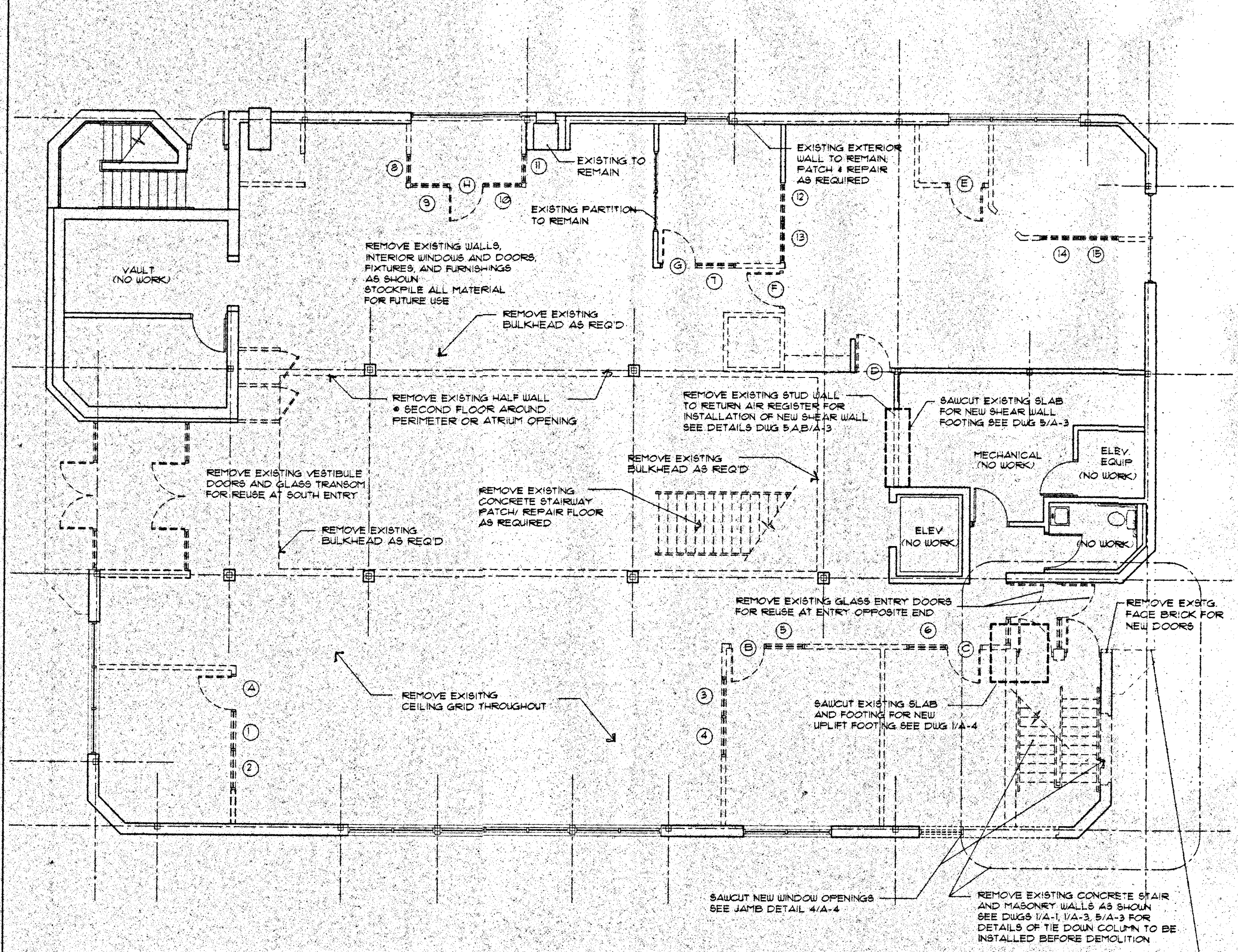
- S-1 SITE PLAN
- A-1 FLOOR PLANS, DEMOLITION PLANS
- A-2 ELEVATIONS
- A-3 STRUCTURAL DETAILS
- A-4 SECTIONS, DETAILS- MAIN ENTRY ATRIUM
- A-5 WALL SECTIONS NORTH ENTRY, WINDOW DETAILS
- A-6 STAIR AND RAIL DETAILS
- A-7 INTERIOR ATRIUM SECTIONS, DOOR & SIDELITE DETAILS
- A-8 REFLECTED CEILING PLANS, FINISH & DOOR SCHEDULES

PROPOSED REMODEL FOR:  
HEARTLAND CREDIT UNION

555 W. WASHINGTON  
MADISON, WISCONSIN

**S-1**  
3/05/98

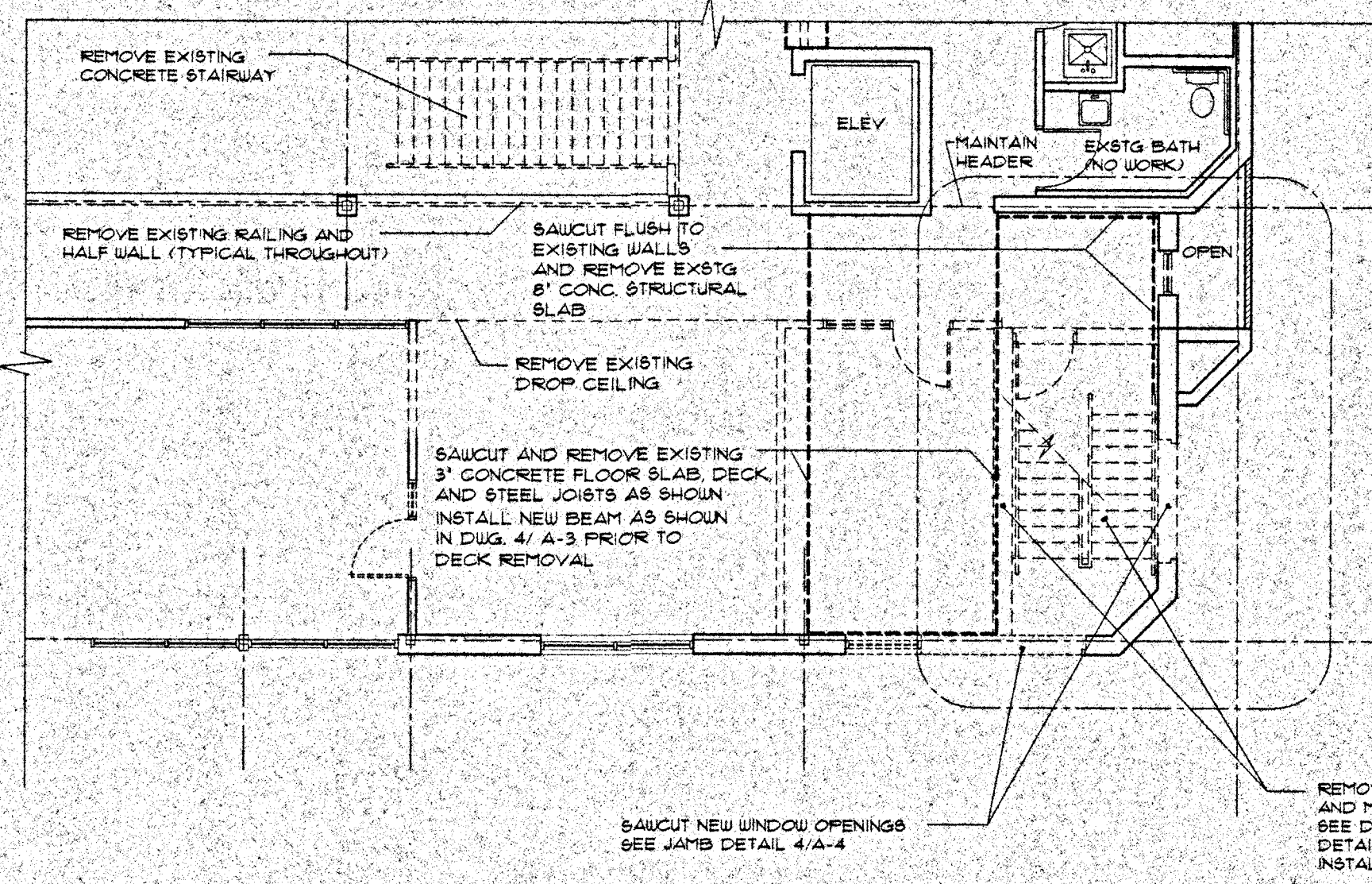




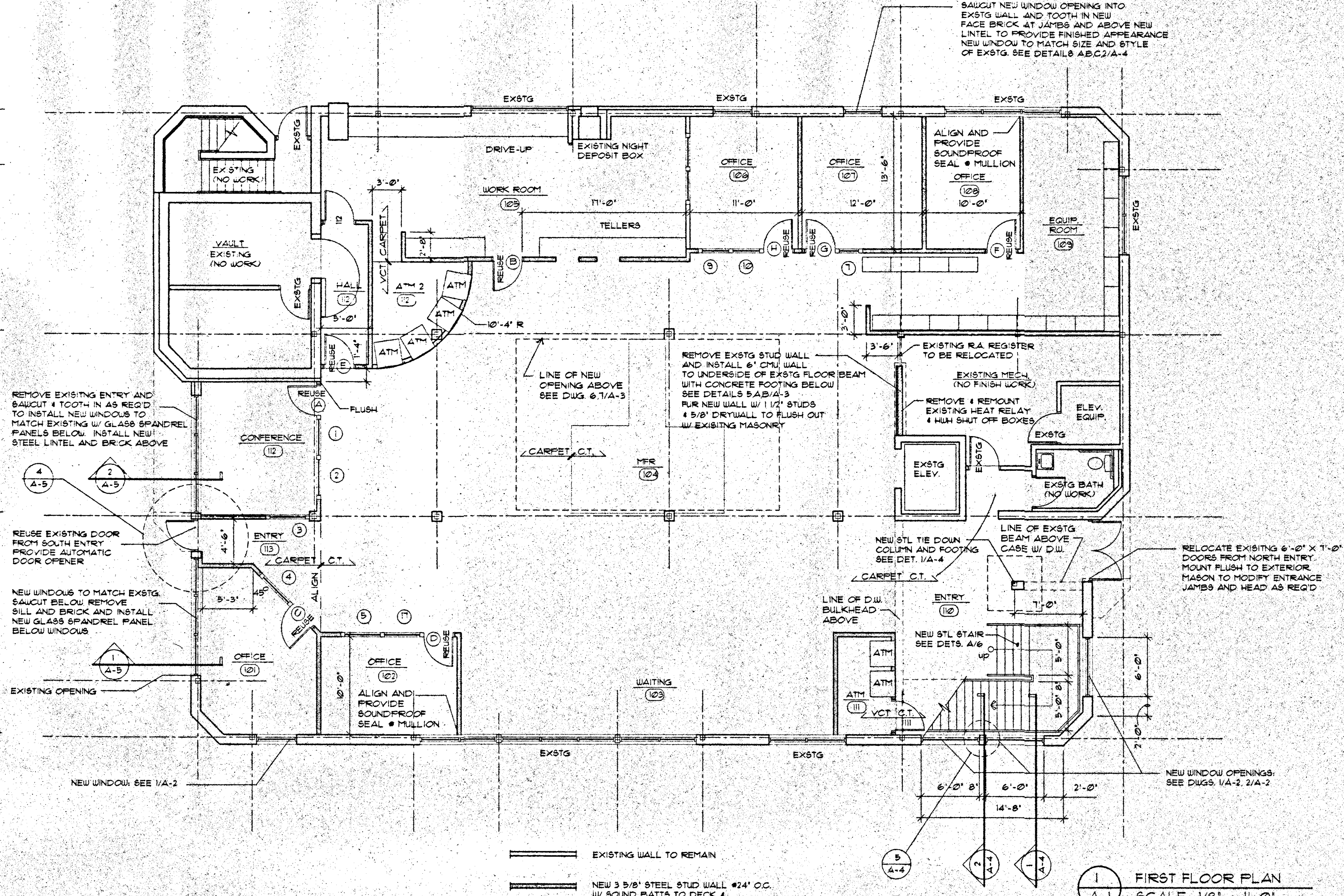
**3 FIRST FLOOR DEMOLITION PLAN**  
SCALE: 1/8" = 1'-0"

- DEMOLITION NOTES - FIRST FLOOR**
- \* REMOVE ALL EXISTING CARPETING, PADDING AND FLOOR FINISHES AS REQ'D
  - \* REMOVE EXISTING CEILING GRID THROUGHOUT
  - \* REMOVE & SAVE EXISTING INTERIOR DOORS, HARDWARE AND CASING FOR FUTURE REUSE
  - \* REMOVE & SAVE EXISTING INTERIOR GLASS PANELS AND CASING FOR FUTURE REUSE

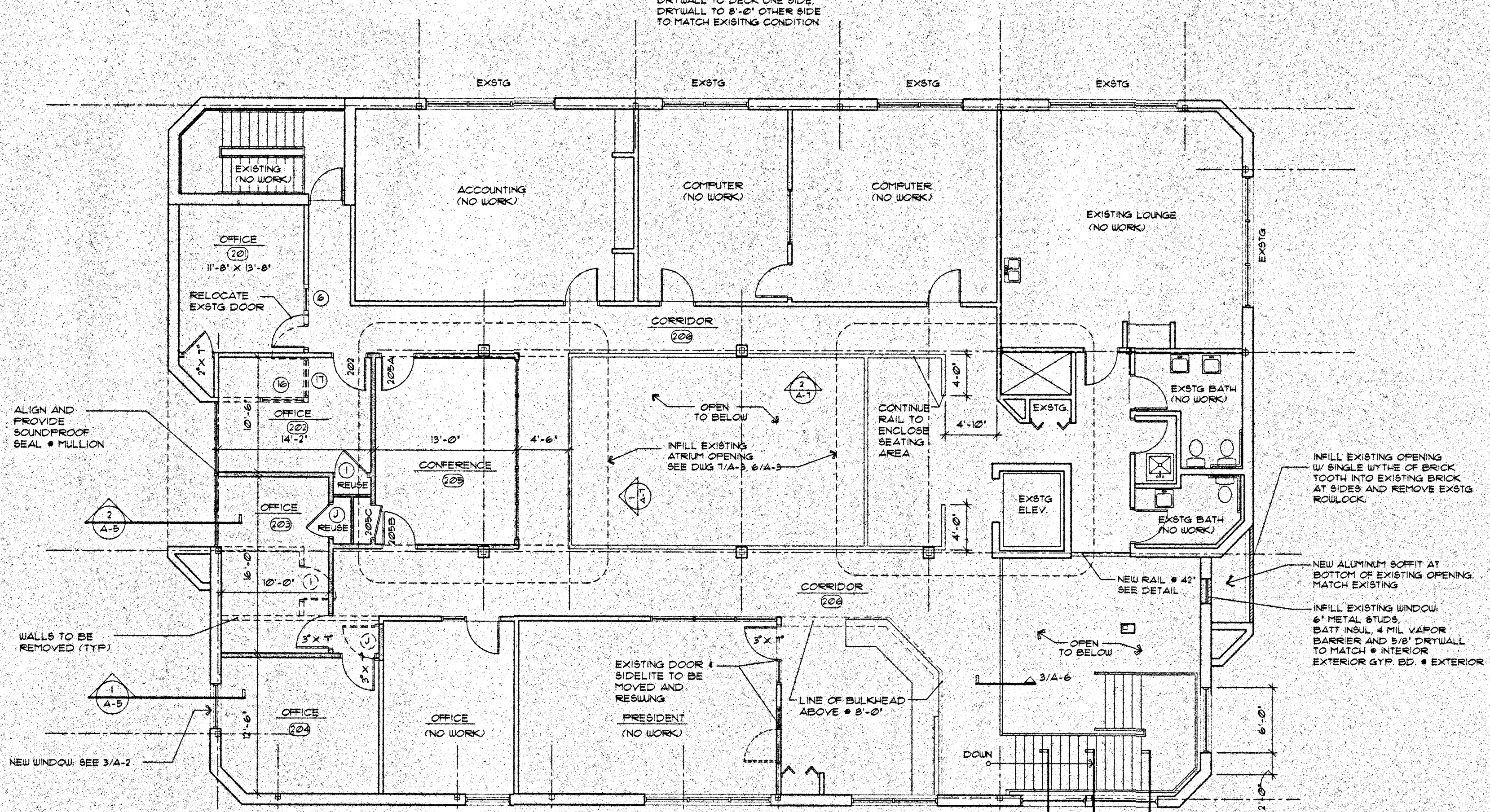
- GENERAL NOTES:**
- REUSE EXISTING DOORS, HARDWARE, AND CASING WHERE NOTED AS: (A)
  - NEW DOORS ARE 3'-0" x 7'-0" FLUSH OAK SOLID CORE W/ CASING AND HARDWARE TO MATCH EXISTING SEE DETAIL 6 A-1
  - EXISTING INTERIOR GLASS AND CASING TO BE REUSED NOTED AS: (1)
  - NEW CARPETING AND VINYL BASE THROUGHOUT FIRST FLOOR EXCEPT CERAMIC TILE AS NOTED
  - NEW CARPETING AND VINYL BASE THROUGHOUT CORRIDOR, OPEN AREAS, AND NEW OFFICES SECOND FLOOR



**4 SECOND FLOOR PARTIAL DEMOLITION PLAN**  
SCALE: 1/8" = 1'-0"

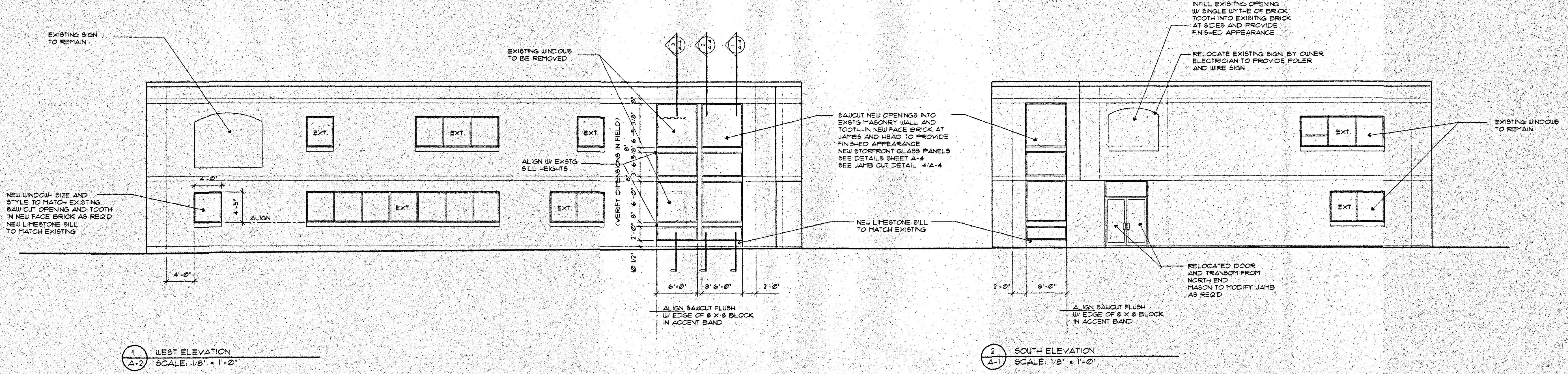


**1 FIRST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



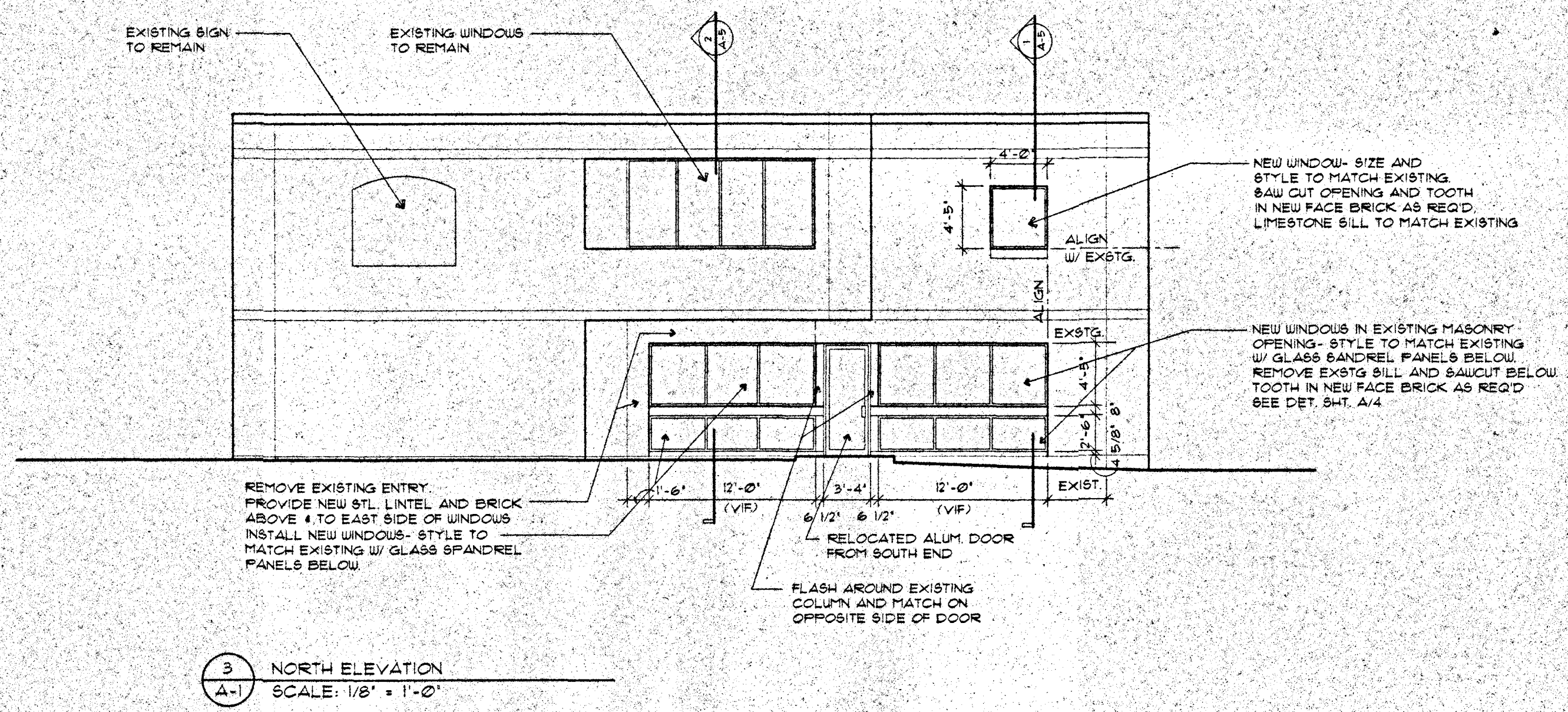
**2 SECOND FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



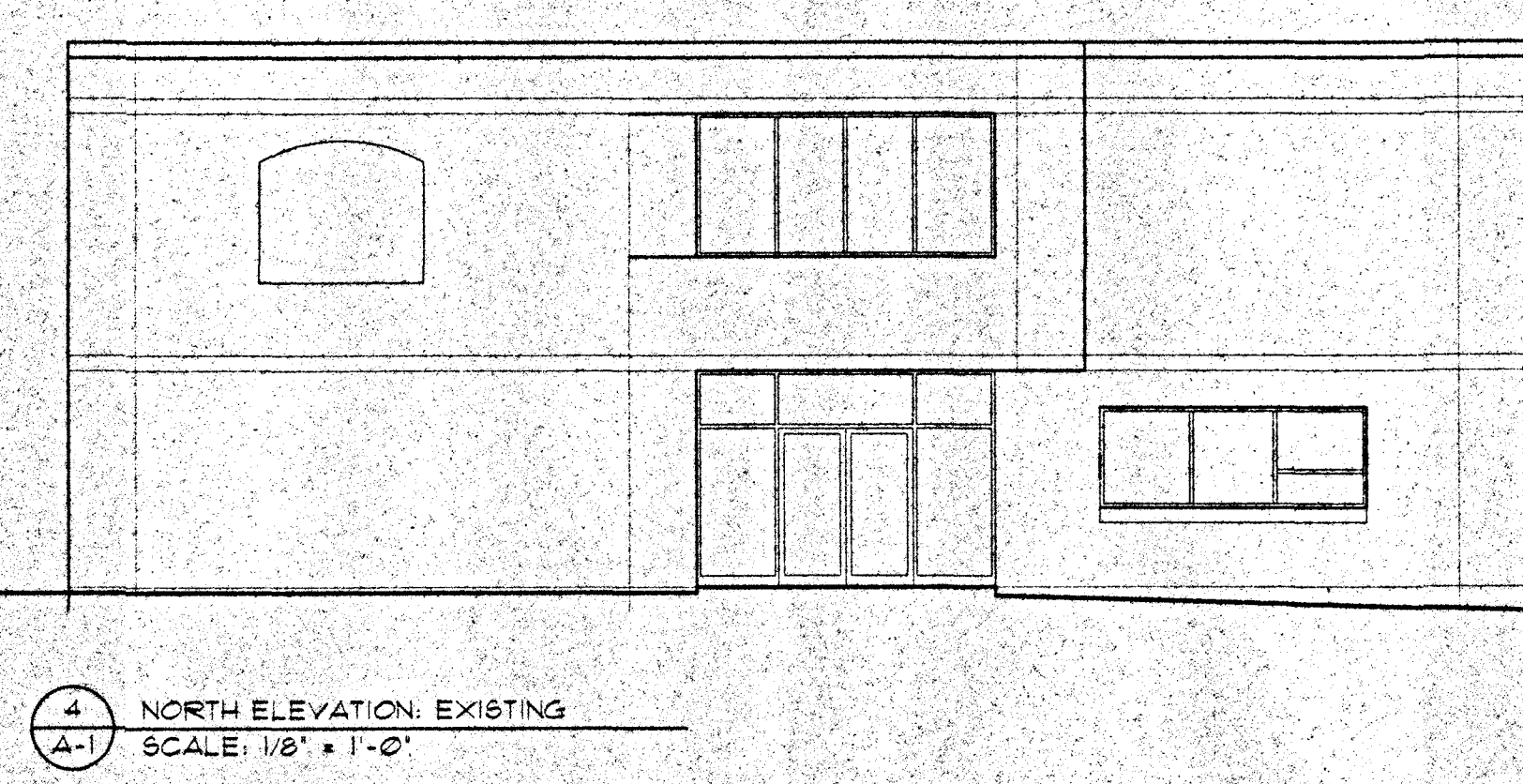


1 WEST ELEVATION  
SCALE: 1/8" = 1'-0"

2 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



3 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



4 NORTH ELEVATION: EXISTING  
SCALE: 1/8" = 1'-0"



APPLICATION FOR ALTERATION OF EXISTING CONDITIONAL USE  
City of Madison

Date 3-24-98

TO ZONING ADMINISTRATOR:

The undersigned owner (contract owner) of property herein described hereby applies for approval to make minor alterations to an existing conditional use.

- (1) Location of Property:  
Street Address 555 W. Washington Avenue Ald. District 4
- (2) Legal Description of Property NA
- (3) Existing Conditional Use:  
Credit Union With Drive-up Facility
- (4) Proposed Alteration (Describe):  
Provide New Window Opening and Modify Entrances to Existing Credit Union
- (5) Zoning District: C2

This application must be accompanied by two (2) sets of construction and plot plans indicating the proposed alteration.

Section 28.12(10)(h)2. states: "No alteration of a conditional use shall be permitted unless approved by the City Plan Commission provided, however, the Zoning Administrator may issue permits for minor alterations or additions which are approved by the Planning Unit Director and are compatible with the concept approved by the City Plan Commission and the standards in Section 28.12(10)(g).

Respectfully submitted,

Name Heartland Credit Union

Address 555 W. Washington Avenue  
Madison, WI 53703

Telephone No. 608-282-7000

ZONING ADMINISTRATOR'S COMMENTS:

Occupancy Certificate Status Issued

Outstanding Orders none

Conditions of approval met OK

Compatibility of proposed alteration with concept approved by Plan Commission  
OK

Compatibility of proposed alteration with standards of 28.12(10)(g)  
OK - Al Corvan 4-14-98

Alderman's Recommendation Approval  
Michael Verner

TRAFFIC ENGINEER'S COMMENTS:

Approved according to 28.12(10)(h)2.



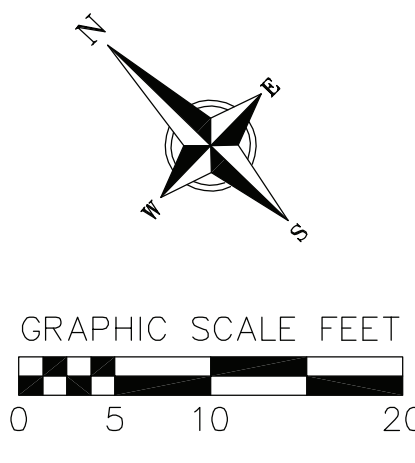
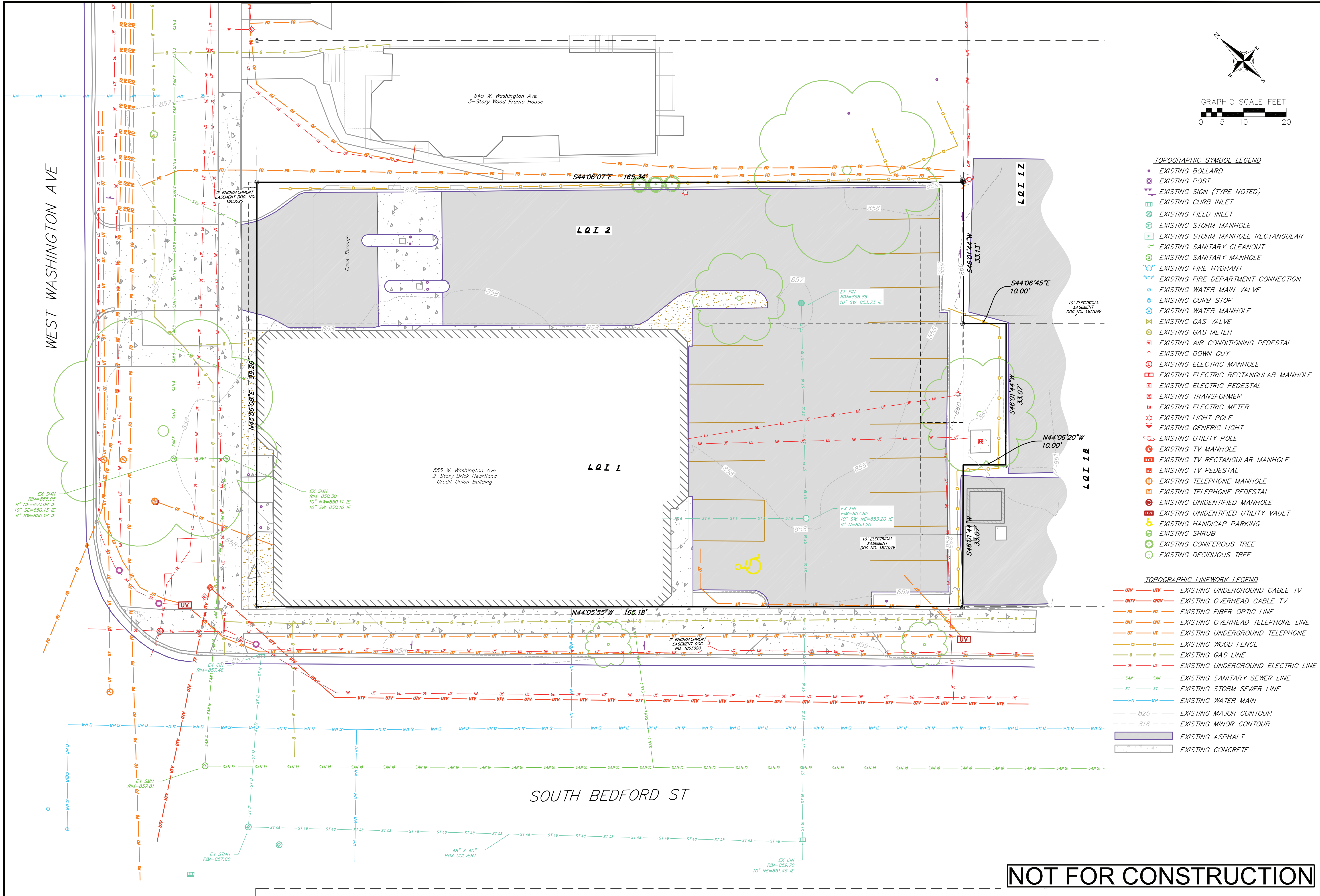
Bradley J. Murphy 4/14/98  
Director of Planning & Development Date

Disapproved - Refer to Plan Commission



Director of Planning & Development Date





- TOPOGRAPHIC SYMBOL LEGEND**
- EXISTING BOLLARD
  - EXISTING POST
  - ▲ EXISTING SIGN (TYPE NOTED)
  - EXISTING CURB INLET
  - EXISTING FIELD INLET
  - EXISTING STORM MANHOLE
  - EXISTING STORM MANHOLE RECTANGULAR
  - EXISTING SANITARY CLEANOUT
  - EXISTING SANITARY MANHOLE
  - EXISTING FIRE HYDRANT
  - EXISTING FIRE DEPARTMENT CONNECTION
  - EXISTING WATER MAIN VALVE
  - EXISTING CURB STOP
  - EXISTING WATER MANHOLE
  - EXISTING GAS VALVE
  - EXISTING GAS METER
  - EXISTING AIR CONDITIONING PEDESTAL
  - EXISTING DOWN GUY
  - EXISTING ELECTRIC MANHOLE
  - EXISTING ELECTRIC RECTANGULAR MANHOLE
  - EXISTING ELECTRIC PEDESTAL
  - EXISTING TRANSFORMER
  - EXISTING ELECTRIC METER
  - EXISTING LIGHT POLE
  - EXISTING GENERIC LIGHT
  - EXISTING UTILITY POLE
  - EXISTING TV MANHOLE
  - EXISTING TV RECTANGULAR MANHOLE
  - EXISTING TV PEDESTAL
  - EXISTING TELEPHONE MANHOLE
  - EXISTING TELEPHONE PEDESTAL
  - EXISTING UNIDENTIFIED MANHOLE
  - EXISTING UNIDENTIFIED UTILITY VAULT
  - EXISTING HANDICAP PARKING
  - EXISTING SHRUB
  - EXISTING CONIFEROUS TREE
  - EXISTING DECIDUOUS TREE

- TOPOGRAPHIC LINWORK LEGEND**
- UTV --- EXISTING UNDERGROUND CABLE TV
  - OHVTV --- EXISTING OVERHEAD CABLE TV
  - FO --- EXISTING FIBER OPTIC LINE
  - OHT --- EXISTING OVERHEAD TELEPHONE LINE
  - UT --- EXISTING UNDERGROUND TELEPHONE
  - W --- EXISTING WOOD FENCE
  - G --- EXISTING GAS LINE
  - UE --- EXISTING UNDERGROUND ELECTRIC LINE
  - SAN --- EXISTING SANITARY SEWER LINE
  - ST --- EXISTING STORM SEWER LINE
  - WM --- EXISTING WATER MAIN
  - 820 --- EXISTING MAJOR CONTOUR
  - 818 --- EXISTING MINOR CONTOUR
  - [Pattern] --- EXISTING ASPHALT
  - [Pattern] --- EXISTING CONCRETE

**Existing Conditions**  
 555 W. Washington Ave  
 City of Madison  
 Dane County, Wisconsin

NO.	DATE	REVISIONS	REMARKS

SCALE	AS SHOWN
DATE	06/20/2018
DRAFTER	JARC
CHECKED	JZAM
PROJECT NO.	180133
SHEET	1 OF 4
DWG. NO.	C-1.0

**NOT FOR CONSTRUCTION**







