

Ryan Signs, Inc.

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Madison, WI 53713
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f 608-271-7853
mbgrowneyselene@ryansugns.net

November 27, 2018

TO: Ms. Janine Glaeser, Secretary to the City of Madison Urban Design Commission
FROM: Mary Beth Growney Selene, Serving as Agent to Gebhardt Development
RE: **Alteration to an Urban Design Commission Approved Comprehensive Plan in UDD #8
THE GALAXIE Development
810 E. WASHINGTON AVENUE**

Dear Urban Design Commission Members;

Following is a request for the approval of an **Alteration to an Approved Comprehensive Design Plan for The Galaxie Development at 810 E. Washington Avenue.**

BACKGROUND

The Galaxie Building is the second of three projects developed by Gebhardt Development along the E. Washington Avenue Corridor (The Constellation and The Gebhardt Building being the other two).

The Constellation and The Galaxie are similarly designed in that each building has a strong commercial/professional services presence on the lower floors with residential living on the upper floors. The Gebhardt Building is a commercial/professional services (only) development. Additionally, each lot is adjacent to at least three street frontages. The Galaxie development sits on a square block.

The intent of each signage plan has been identical:

1. To provide for commercial tenant building signage and
2. To provide for multi-tenant freestanding signage

Through the development of three separate Comprehensive Design Plans, each project has provided for freestanding signage to meet Chapter 31 requirements. Those requirements are limited to:

- Area: Not to exceed 72/144 shared area of monument signage, not to exceed two monument signs
Height: Not to exceed 11'-0" in overall height

OMISSION in The Galaxie Submittal

The spreadsheet included in the approved CDR states the monument signage will comply with Chapter 31 requirements and the narrative text states the 72 square foot measurement. We believe the intent was not to limit the monument signage to a total "gross" area of 72 sf2, rather to provide for the maximum allowed by code which would be 72/144 sf2 (calculating the signable area of both sides of no more than two monument signs). Please note that the reference to 72 sf2 and 11'-0" in overall height is mentioned, along with the specific reference to the area in the sign ordinance where the calculations can be found.

The 72 square foot measurement is not an arbitrary number, rather, it is the exact number that complies with Chapter 31 requirements for E. Washington Avenue (based on six [6] traffic lanes and a speed limit of 35 MPH).

REQUEST FOR APPROVAL FOR AN ALTERATION TO AN APPROVED COMPREHENSIVE DESIGN PLAN

To amend the existing Comprehensive Design Plan for The Galaxie development to allow for up to two monument signs whose area shall not exceed 72/144 square feet. The overall height of each sign shall not exceed 11'-0".

COMPREHENSIVE DESIGN REVIEW STANDARDS

31.043(4)(b) Comprehensive Design Review Criteria. The UDC shall apply the following criteria upon review of an application for a Comprehensive Sign Plan:

1. The Sign Plan shall create visual harmony between the signs, building(s), and building site through unique and exceptional use of materials, design, color, any lighting, and other design elements; and shall result in signs of appropriate scale and character to the uses and building(s) on the zoning lot as well as adjacent buildings, structures and uses.
 - Each sign creates visual harmony between the signs, the building and the site. The Sign Plan meets the specific needs of retail/commercial tenants located on the first, second and third floors, using a combination of wall signs, projecting signs and freestanding monument signs.
 - Each sign is designed to be compatible with the horizontal and vertical lines of the architectural design. Each sign meets the needs of the specific tenants and are designed with the use of materials and color that integrate and complement the architectural design elements of the building.

- Each sign is modest in size, relative to the scale of the building, and works with architectural elements on the building and on the site.
 - The signs are similar in size and scale to those of adjacent buildings, structures and uses.
2. Each element of the Sign Plan shall be found to be necessary due to unique or unusual design aspects in the architecture or limitations in the building site or surrounding environment; except that when a request for an Additional Sign Code Approval under Sec. 31.043.(3) is included in the Comprehensive Design Review, the sign(s) eligible for approval under Sec. 31.043(3) shall meet the applicable criteria of Sec. 31.043(3), except that sign approvals that come to Comprehensive Design Review from MXC and EC districts pursuant to 31.13(3) and (7) need not meet the criteria of this paragraph.
 - The development is unique in that it occupies a square block with commercial accessibility on E. Washington Avenue, Livingston Street and Patterson Street.
 - The original Sign Plan approval limited the number of projecting signs to one level and, as necessary, includes multiple tenants on one sign.
 - The projecting signs incorporate the vertical lines of the building's architecture without cluttering the façade.
 - The two monument signs compliment the horizontal and vertical architectural detail and help to identify the main building entrances on E. Washington Avenue and Patterson Street.
 3. The Sign Plan shall not violate any of the stated purposes described in Secs. 31.02(1) and 33.24(2).
 - It does not
 4. All signs must meet minimum construction requirements under Sec. 31.04(5).
 - They do
 5. The Sign Plan shall not approve Advertising beyond the restrictions in Sec. 31.11 or Off-Premise Directional Signs beyond the restrictions in Sec. 31.115.
 - It does not
 6. The Sign Plan shall not be approved if any element of the plan:
 - a. presents a hazard to vehicular or pedestrian traffic on public or private property,
 - It does not
 - b. obstructs views at points of ingress and egress of adjoining properties,
 - It does not
 - c. obstructs or impedes the visibility of existing lawful signs on adjacent property, or
 - It does not
 - d. negatively impacts the visual quality of public or private open space.
 - It does not
 7. The Sign Plan may only encompass signs on private property of the zoning lot or building site in question, and shall not approve any signs in the right of way or on public property.
 - The Sign Plan only includes signs on private property and does not impede on any public property or ROW

URBAN DESIGN DISTRICT #8 SIGNAGE GUIDELINES

1. Preferred sign types include building mounted signs, window signs, projecting signs, and awning signs.
 - The Sign Plan includes projecting and building mounted signs, window signs and monument signs.
2. Signs should be simple and easy to read.
 - Each sign is limited to the business name, including branding logos and colors.
3. Sign colors should relate to and complement the primary colors of the building façade.
 - Each sign is designed so that the structure the sign utilizes the primary building colors.
4. Sign design and placement should fit the character of the building and not obscure architectural detail.
 - The signs fit the character of the building and none of the sign obstruct any architectural detail.

5. Signage should generally be centered within the prescribed signable area of the building.
 - The signs are located with uniform placement on the building façade.
 - Due to the limitation of projecting signs only being located on one level of the building, the sign locations may not be directly aligned with a tenant's occupancy space.
6. Plastic box signs are highly discouraged.
 - There are no plastic box signs included in the development.
7. Signs displaying illuminated copy should be designed so that when illuminated, the sign appears to have light-colored copy on a dark or non-illuminated background.
 - All projecting and monument signs have opaque or dark-color backgrounds.
8. Individually mounted backlit letters are an encouraged form of signage.
 - As approved by the landlord, tenants will be allowed to have internally illuminated or back-lit letter signage.
9. The use of small, well-designed building mounted light fixtures is a preferred method of illuminating signage.
 - The signage does not currently include any building mounted light fixtures.
10. Freestanding signs should be attractively designed. Signs should be coordinated with adjoining properties and public street signage to avoid visual clutter.
 - The monument signs included in the Sign Plan are attractively designed. With the wide sidewalk, and the setback of the building façade, the signs are setback to allow for placement on the property without creating any visual clutter.
 - The signs are coordinated with adjoining properties.

Respectfully Submitted,

RYAN SIGNS, INC.



Mary Beth Growney Selene
President

Attachments

cc: Mr. Lee Christiansen, Gebhardt Development

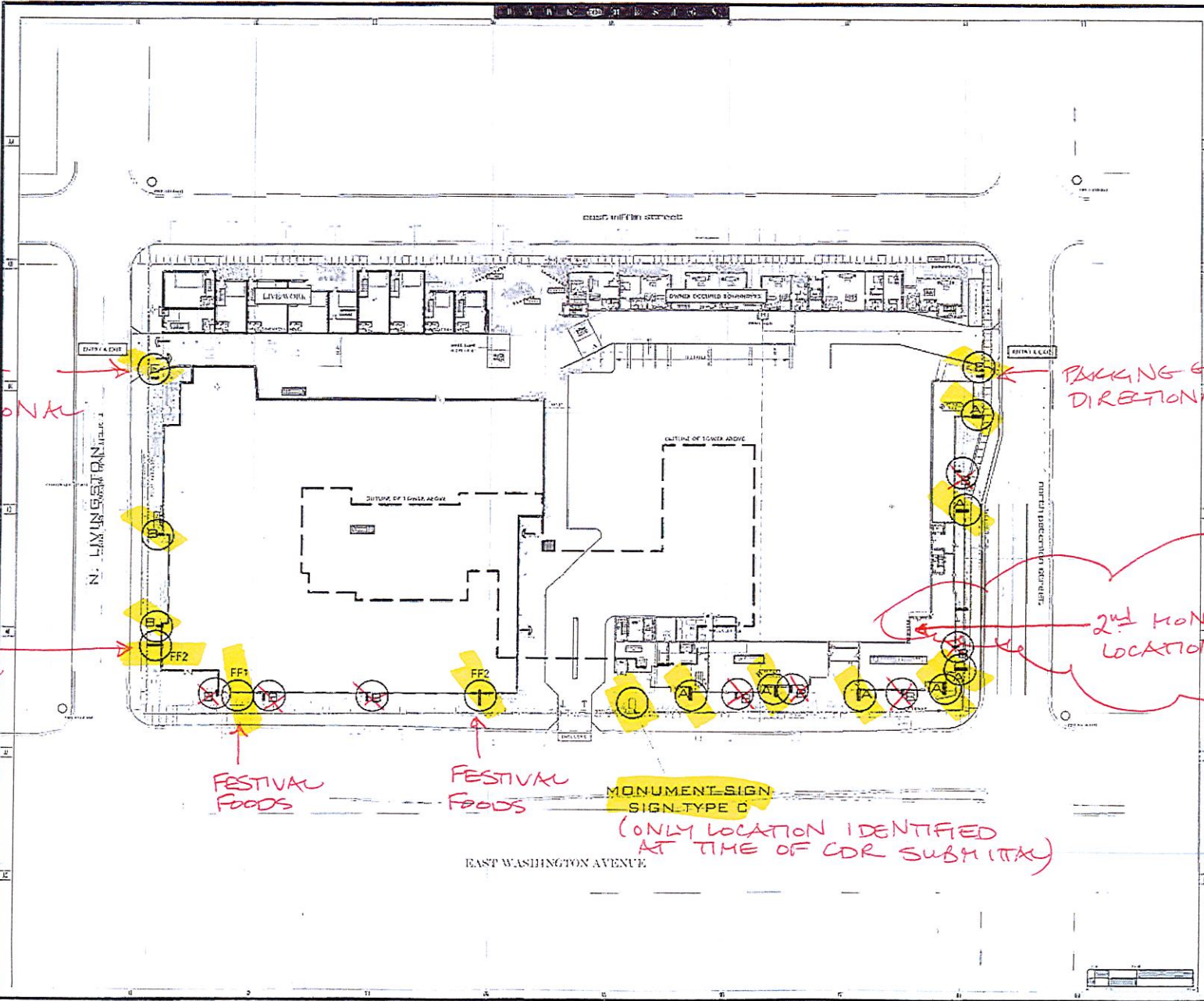


GENERAL NOTES

BUILDING SUMMARY:
 7000 S.F. COMMERCIAL RETAIL
 2000 S.F. LOBBY
 63,600 S.F. PARKING
 25,000 S.F. GROCERY STORE
 7,000 S.F. OWNER OCCUPIED HOUSING
 4,600 S.F. LIVE/WORK HOUSING

AUTO PARKING STALLS:
 DESIGNATED GROCERY STORE
 1400 IN
 1700 ACCESSIBLE
 SEE COVER SHEET FOR PARKING BRACKETING

RAMP PARKING STALLS:
 100 OFF-STRUCTURE
 100 ON-STRUCTURE
 100 ON-FLOOR PARKING (PARKING 10)



PARKING GARAGE DIRECTIONAL

PARKING GARAGE DIRECTIONAL

FESTIVAL FOODS

FESTIVAL FOODS

FESTIVAL FOODS

MONUMENT SIGN SIGN TYPE C (ONLY LOCATION IDENTIFIED AT TIME OF COR SUBMITTAL)

2nd MONUMENT SIGN LOCATION

SIGNAGE AND LIGHTING

WWW.BARKDESIGN.COM
 1000-1000-1000
 09.02.11
 SIGNAGE/LOCATIONS
C100-Z

PROPOSED
ALTERATION
ADDRESSES
Sign Type C

The signs may be internally illuminated using low-voltage LED. If illuminated, sign backgrounds shall be dark or opaque.

Signs may or may not be aligned directly with tenant's lease space. Tenants are allowed one sign per tenant space. All signs may include commercial tenant logos and colors as approved by the landlord.

MONUMENT SIGN – INTERNALLY ILLUMINATED

Up to (2) monument signs allowed. The total combined area of one or two signs shall not exceed 72 square feet and 11'-0" in overall height. The signs will be internally illuminated using low-voltage LED.

The sign shall include colors as designated by the landlord.

Sign Type D ADDRESS NUMERALS

Each separately addressed entrance will have appropriately labeled address numerals complying with necessary regulations.

Sign Type E PARKING GARAGE DIRECTIONAL

Parking Lot Directional signage up to 9 sf at E. Washington Avenue, N. Livingston and Paterson Streets. The approval will also allow a zero setback from the property line.

TEMPORARY REAL ESTATE TEMPORARY COMMERCIAL & RESIDENTIAL REAL ESTATE SIGNS

When space is available for lease, and in addition to permanent signage, commercial and residential real estate signs shall be allowed as follows:

Commercial or Residential Real Estate Signs. There shall be no more than one real estate sign per street frontage, and the sign shall not exceed an area of 32 square feet and the height of signs shall not exceed 15'-0".

FESTIVAL FOODS

SIGN TYPE #FF1: BUILDING SIGN
TENANT IDENTIFICATION

The Building sign shall not exceed 135 square feet. One building sign shall be allowed on the E. Washington Avenue elevation.

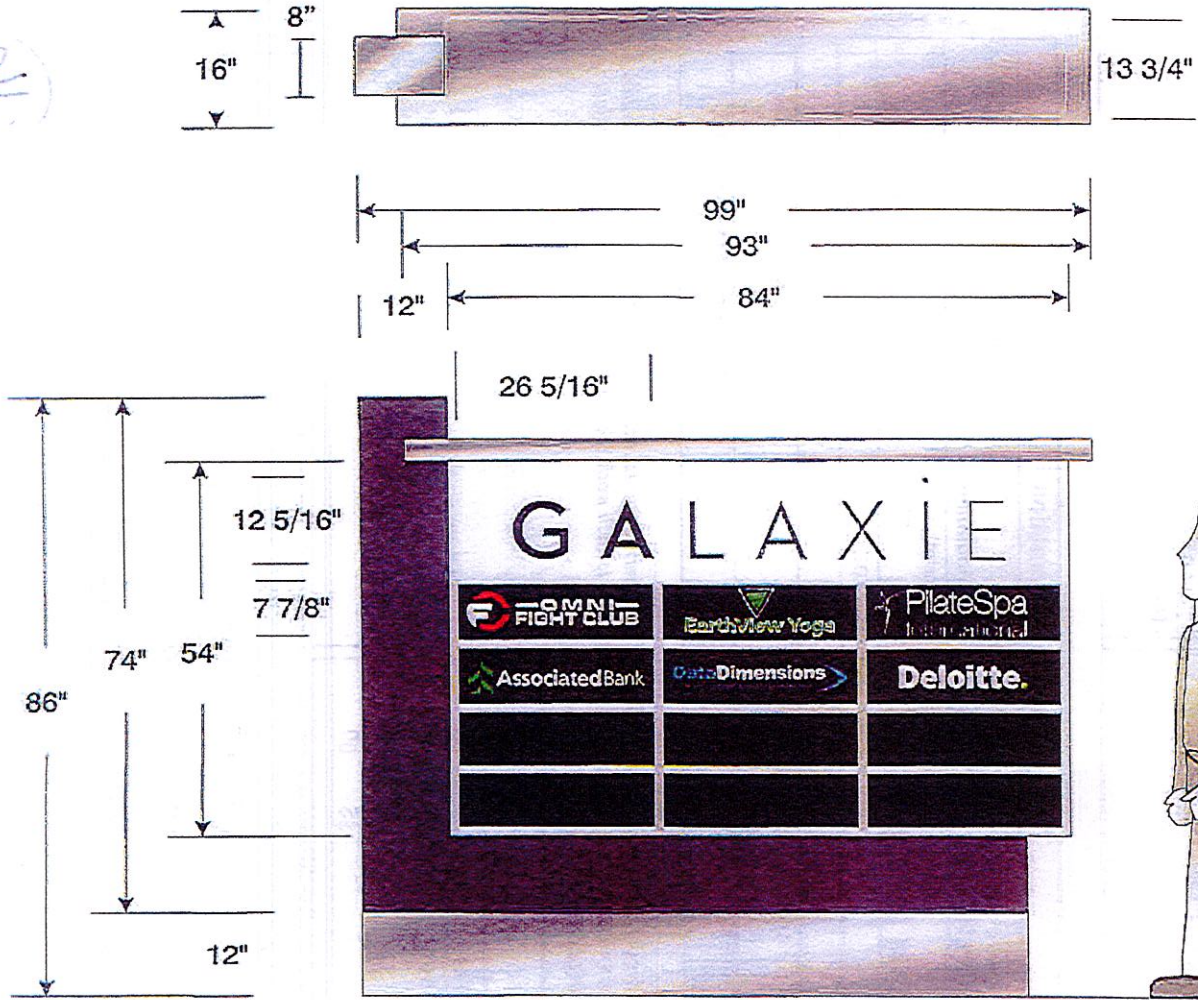
The sign may be internally illuminated using low-voltage LED. If illuminated, sign backgrounds shall be dark or opaque.

SIGN TYPE #FF2: BLADE SIGNS
TENANT IDENTIFICATION

The projecting signs shall not exceed 32 square feet each. One projecting sign shall be allowed on the E. Washington Avenue elevation and one (1) on the N. Livingston elevation.

The signs may be internally illuminated using low-voltage LED. If illuminated, sign backgrounds shall be dark or opaque.

1.4 Monument Sign



ACTUAL SIGN

■ Dark Grey	□ MAP Brushed Aluminum
Wind Load Compliance Statement: Withstand up to 75 MPH Winds	Illumination Compliance Statement: Vertical Florescent HO Lamps Meets Maximum Guidelines of City of Madison
Construction: Aluminum Cabinet & Pole Cover w/ White Loxan Face Applied Vinyl Graphics, Changeable Tenant System & Raised Concrete Base	

Ryan Signs, Inc. 3007 Perry Street • Madison, WI 53713 • Tel: (608) 271-7679 • Fax: (608) 271-7383	SCALE: 1/8" = 1'-0"	APPROVED:
GEBHART DEVELOPMENT - THE GALAXIE	DATE: 03/30/16	© Copyright 2017 by Ryan Signs, Inc.
These plans are the exclusive property of Ryan Signs, Inc. and are the result of the original design work of its employees. They are submitted as you are responsible for the safe erection of your construction of building to guidelines. Ryan Signs, Inc. makes no warranty as to the accuracy of the information provided herein. The client is responsible for the accuracy of the information provided herein. The client is responsible for the accuracy of the information provided herein. The client is responsible for the accuracy of the information provided herein.	REVISED: 10/12/17	DRAWING NUMBER: 6147A
	DRAWN BY: SW	



City of Madison

SIGN PERMIT

Ground Sign

Building Inspection Division
 Madison Municipal Building, Suite LL-100
 215 Martin Luther King, Jr. Blvd.
 P.O. Box 2984
 Madison WI 53701-2984
 Phone (608)266-4551
 Fax (608)266-6377
 www.cityofmadison.com

Permit Date: 8/1/2016	Permit Number: ZONGSN-2016-00398	Zoning District: TE; WP-24	Parcel: 0709-132-2104-3
Property Located At: 822 E Washington AVE Madison, WI 53703		Description of Text and/or Graphics: Galaxie Header, tenant panels	
Sign Owner Name: Otto Gebhardt		Contractor Name/Address: RYAN SIGNS, INC. 3007 PERRY ST MADISON, WI 53713	

General Information			
Application Type: New Sign	Sign Type: Monument	Premise Type: On	
Number of Sides: 2	Speed Limit (Posted): 35	Number of Lanes of Traffic: 6	
Sign Area			
	Box 1	Box 2	Box 3
Dim/Net	4.5 x 7 / 31.5		
	Total Net Sign Area: 31.5		
Dim/Gross	8.17 x 8.25 / 67.4 x (2)		
	Total Gross Sign Area: 134.8		

This permit is issued for the execution of the work indicated. It is hereby agreed that all work will be installed in accordance with all City of Madison Ordinances and department rules relating to such work. Section 31.041(6)—Permits are revocable at any time by the Zoning Administrator.

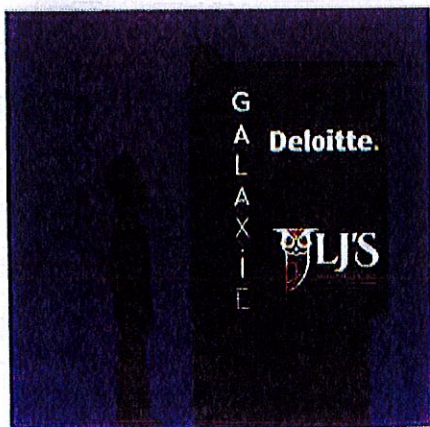
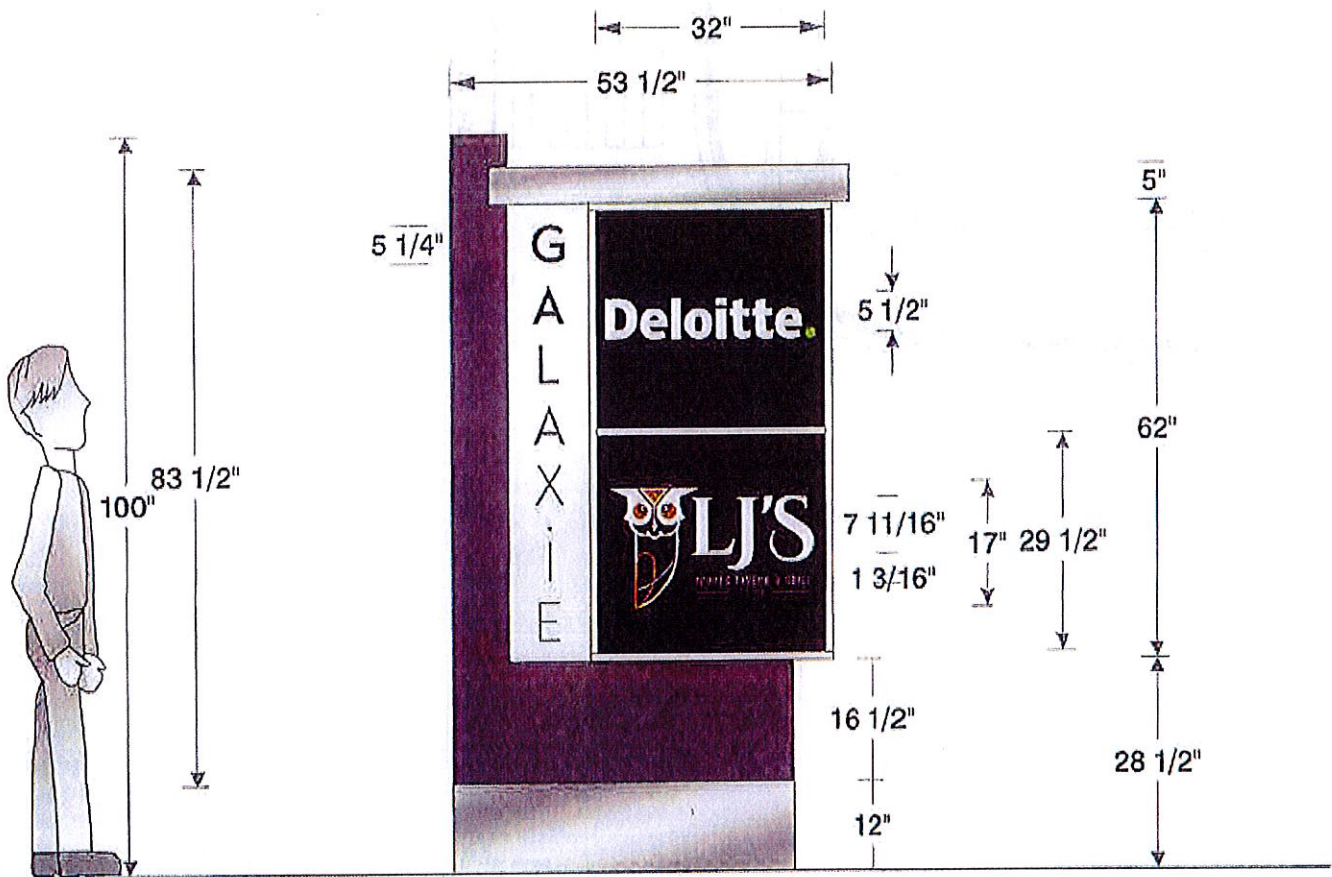
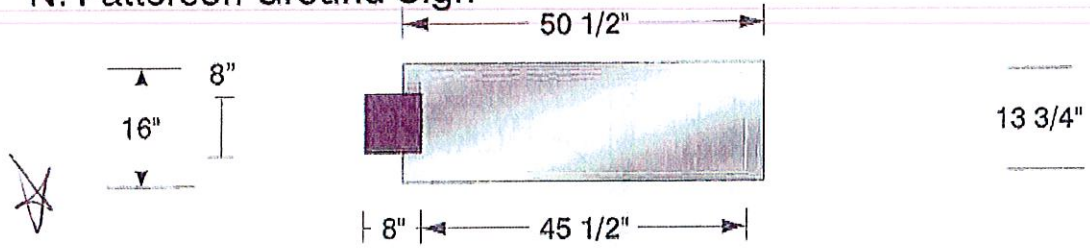
FEE SCHEDULE	
New Ground Sign Fee	\$ 236.00
Total Fee Amount	\$ 236.00
Paid	\$ 236.00
Balance Due	\$ 0

APPROVALS	
Zoning:	07/22/2016 Patrick Anderson
UDC:	07/22/2016 Patrick Anderson

A COPY OF THIS PERMIT MUST BE ON THE JOB SITE AT ALL TIMES

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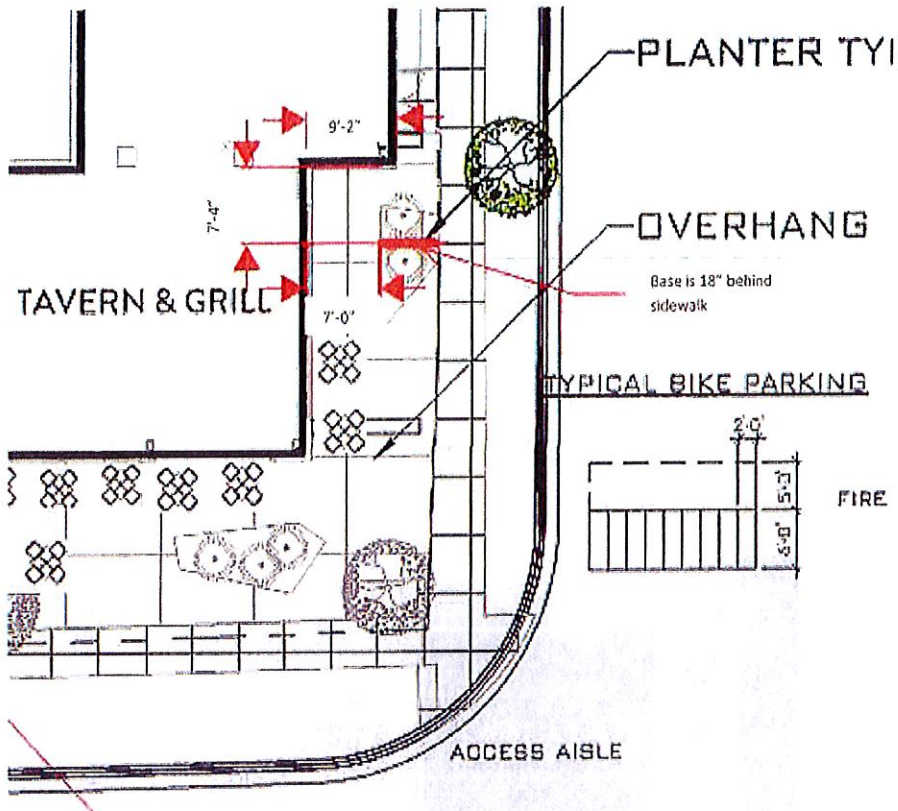
8B.3 N. Patterson Ground Sign



Second Monument Sign

<input checked="" type="checkbox"/> Dual-Color Vinyl	<input checked="" type="checkbox"/> PMS 386 C	<input type="checkbox"/> White	<input type="checkbox"/> Black
<input type="checkbox"/> TBD	<input type="checkbox"/> TBD	<input type="checkbox"/> Brushed Aluminum	<input type="checkbox"/> Dark Grey
Wind Load Compliance Statement: Withstand up to 75 MPH Winds	Illumination Containment Statement: White LEDs Meets Maximum Guidelines of City of Madison	Construction: Ground sign w/ tenants	

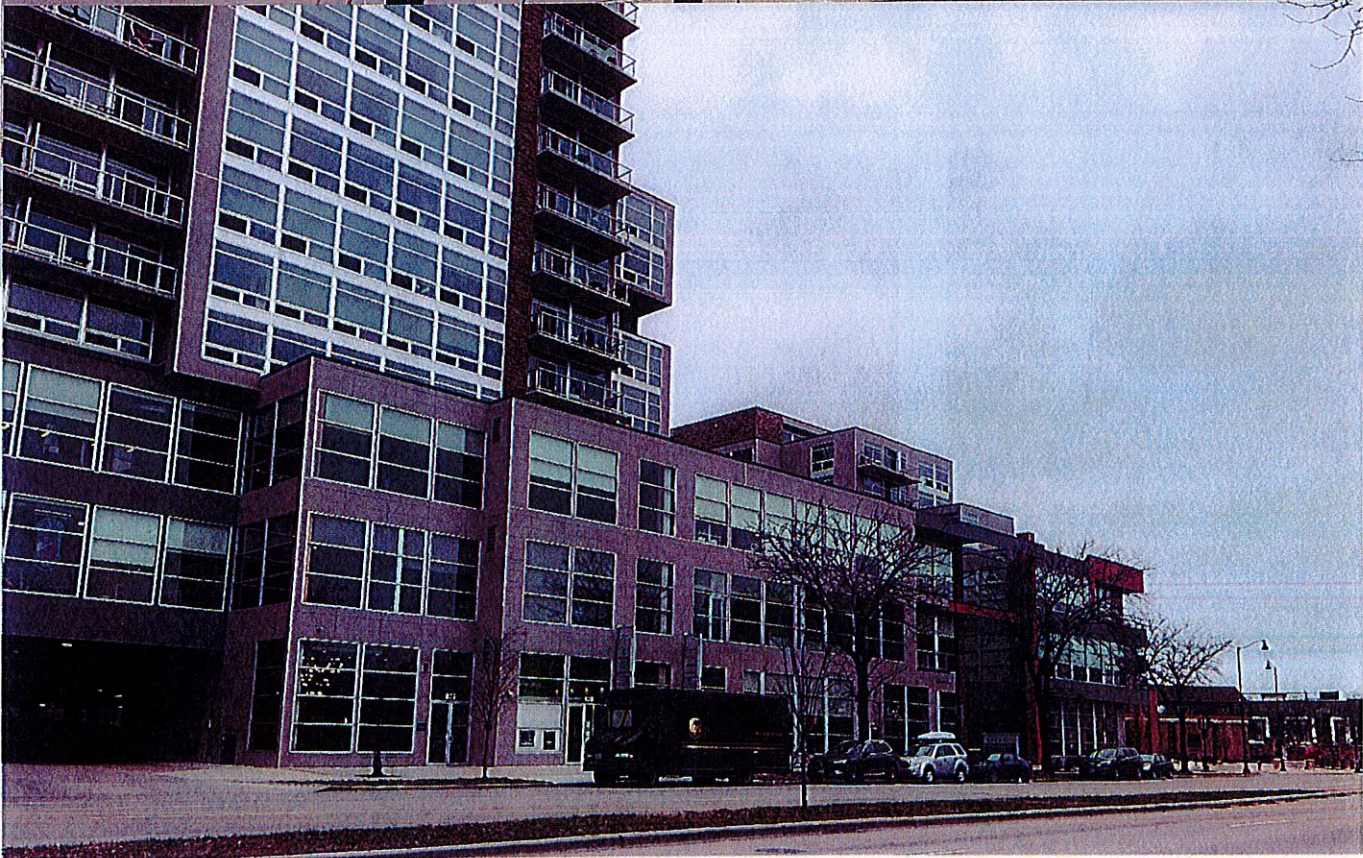
Ryan Signs, Inc. 3800 Power Street Madison, WI 53713 • Tel: (608) 871-3704 Fax: (608) 871-7853	SCALE: 1/2" = 1'-0" DATE: 08/30/16 REVISED: 05/22/18 DRAWN BY: SW	APPROVED: © Copyright 2018 by Ryan Signs, Inc. 6147H
GEBHART DEVELOPMENT - THE GALAXIE		



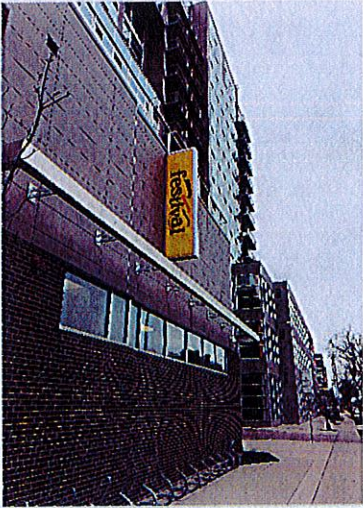
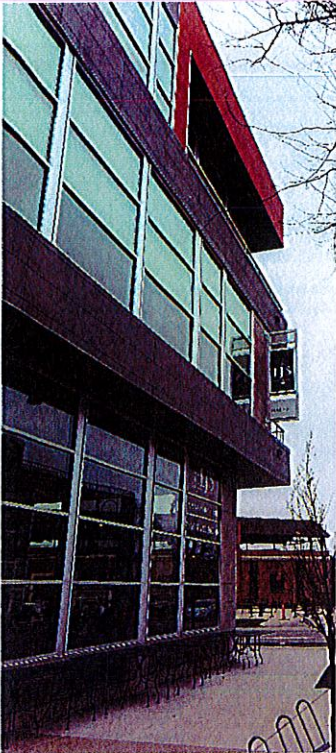
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OVERALL BUILDING

- East Washington Ave. -



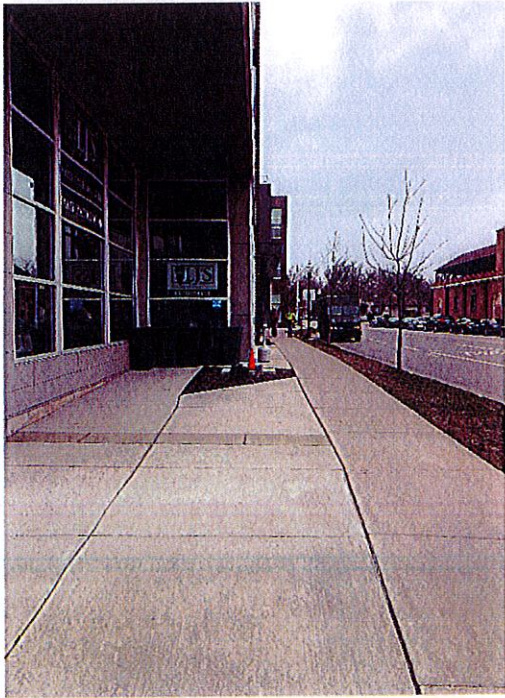
EAST WASHINGTON AVE.



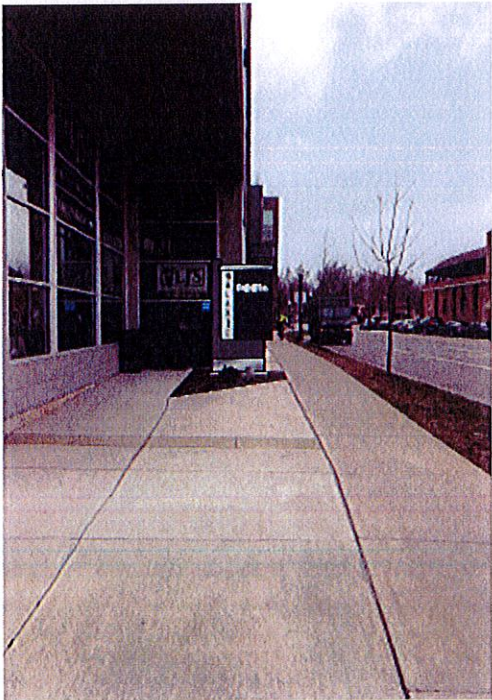
LIVINGSTON ST.



PATTERSON ST.



Proposed Location



Proposed Ground Sign