

RECENT ADMINISTRATION
COURTYARD IMPROVEMENTS

PROPOSED PROJECT
AREA IMPROVEMENT
FOR ADMINISTRATION BUILDING
ADDITION & RENOVATION



RECENT ADJACENT POOL AND FITNESS BUILDING AREA IMPROVEMENT



ADMINISTRATION BUILDING PROJECT AREA



ADMINISTRATION BUILDING & COURTYARD



POOL AND FITNESS BUILDING AREA COURTYARD



ADMINISTRATION BUILDING AREA



ADMINISTRATION BUILDING AREA

MADISON COLLEGE ADMINISTRATION BUILDING ADDITION & RENOVATION

CITY OF MADISON, WISCONSIN



MADISON COLLEGE
ADMINISTRATION BUILDING
ADDITION AND RENOVATION
Madison, Wisconsin



Issued for: BID

Issue date: 07-14-2022
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MC Project No.: RFB22-006
Bid Pkg No.: -

REVISION DATE

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A201	BUILDING ELEVATION



PROJECT AREA
NOT TO SCALE



PROJECT INFORMATION

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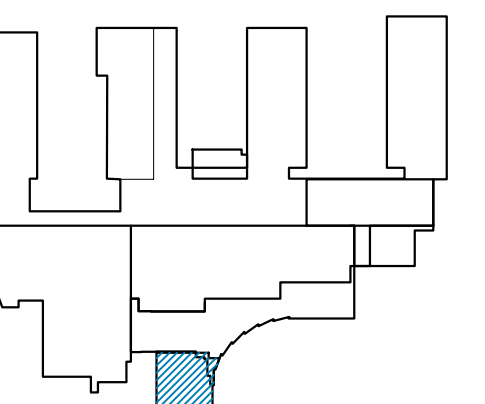
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SCALE

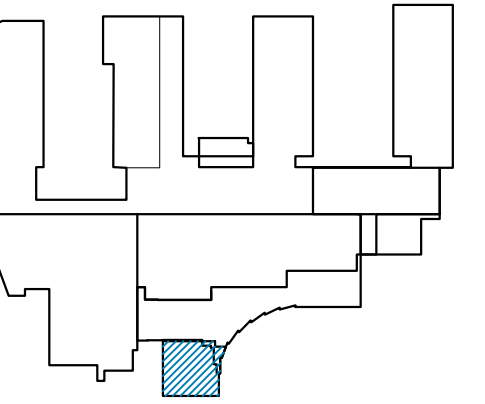
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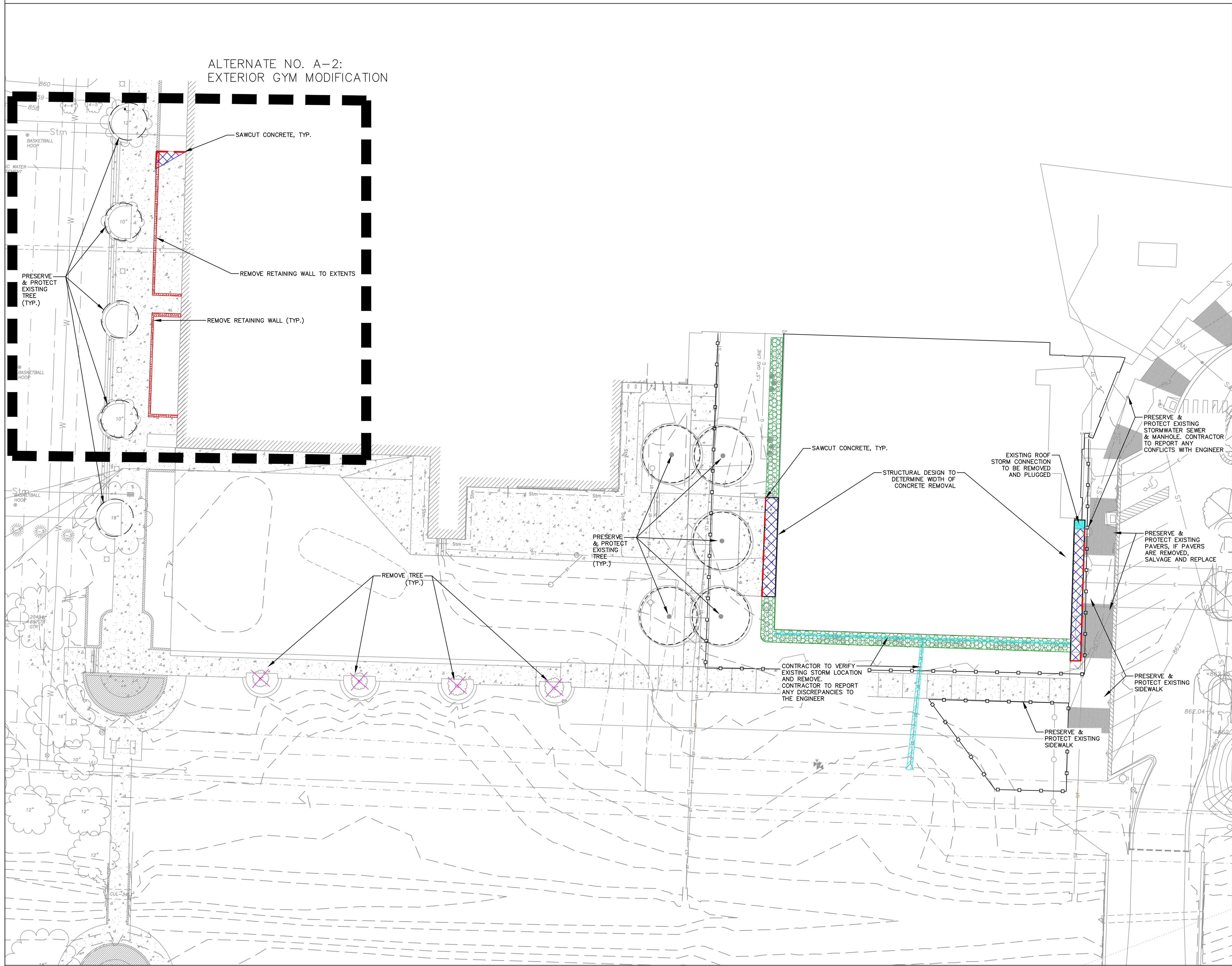


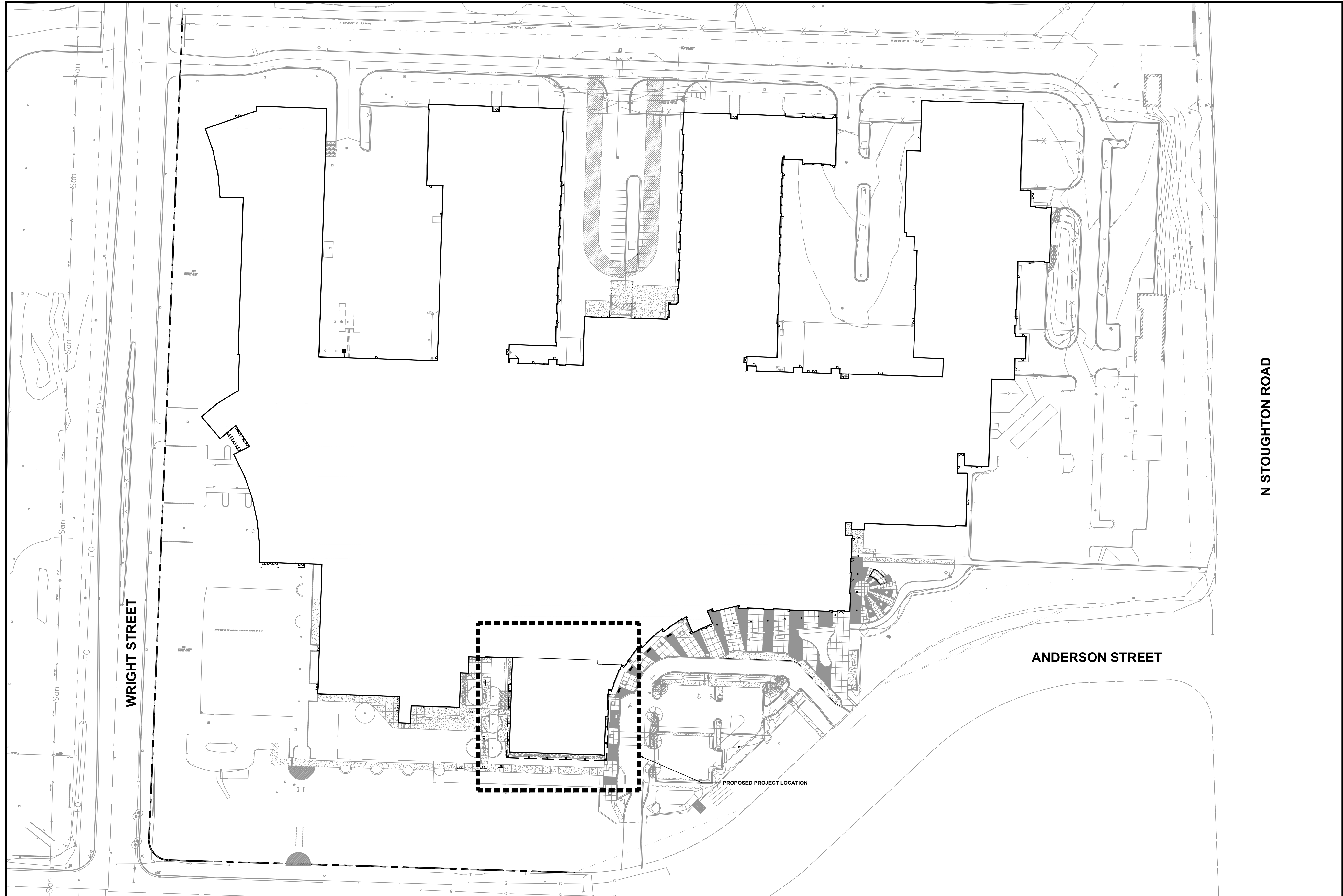
DEMOLITION NOTES

- THIS PLAN INDICATES ITEMS ON THE PROPERTY INTENDED FOR DEMOLITION BASED ON THE CURRENT SITE DESIGN THAT HAVE BEEN IDENTIFIED BY A REASONABLE OBSERVATION OF THE EXISTING CONDITIONS THROUGH FIELD SURVEY RECONNAISSANCE, "DIGGER'S HOTLINE" LOCATION, AND GENERAL "STANDARD OF CARE". THERE MAY BE ADDITIONAL ITEMS THAT CAN NOT BE IDENTIFIED BY A REASONABLE ABOVE GROUND OBSERVATION, OF WHICH THE ENGINEER WOULD HAVE NO KNOWLEDGE OR MAY BE A PART OF ANOTHER DESIGN DISCIPLINE. IT IS THE CONTRACTOR'S/BIDDER'S RESPONSIBILITY TO REVIEW THE PLANS, INSPECT THE SITE AND PROVIDE THEIR OWN DUE DILIGENCE TO INCLUDE IN THEIR BID WHAT ADDITIONAL ITEMS, IN THEIR OPINION, MAY BE NECESSARY FOR DEMOLITION. ANY ADDITIONAL ITEMS IDENTIFIED BY THE CONTRACTOR/BIDDER SHALL BE IDENTIFIED IN THE BID AND REPORTED TO THE ENGINEER OF RECORD. JSD TAKES NO RESPONSIBILITY FOR ITEMS ON THE PROPERTY THAT COULD NOT BE LOCATED BY A REASONABLE OBSERVATION OF THE PROPERTY OR OF WHICH THEY WOULD HAVE NO KNOWLEDGE.
- CONTRACTOR SHALL KEEP ALL STREETS AND PRIVATE DRIVES FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.
- ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GROUND TO PROPOSED SUBGRADE.
- ABANDONED/REMOVED ITEMS SHALL BE DISPOSED OF OFF SITE UNLESS OTHERWISE NOTED.
- CONTRACTOR TO REPLACE ALL SIDEWALK AND CURB AND GUTTER ABUTTING THE PROPERTIES, WHICH IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER THAT THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINE ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCIES. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCIES ARE RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO THE REMOVAL OF ANY UNDERGROUND UTILITIES.
 - NOTIFYING THE DESIGN ENGINEER AND LOCAL CONTROLLING MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION.
- ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF THESE IMPROVEMENTS.
- CONTRACTOR TO COORDINATE PRIVATE UTILITY REMOVAL / ABANDONMENT AND NECESSARY RELOCATION WITH RESPECTIVE UTILITY COMPANY. COORDINATION REQUIRED PRIOR TO CONSTRUCTION.
- ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE APPROVED MUNICIPALITY RECYCLING PLAN.
- ANY CONTAMINATED SOILS SHALL BE REMOVED IN ACCORDANCE WITH FEDERAL AND STATE REGULATIONS TO AN APPROVED LANDFILL.
- ALL EXISTING UTILITIES TO BE FIELD LOCATED AND FLAGGED BY CONTRACTOR.
- EXISTING FIBER OPTIC LINE TO BE CLEARLY MARKED PRIOR TO ANY EXCAVATION. CONTRACTOR TO NOTIFY ENGINEER IMMEDIATELY IF ANY DISCREPANCIES OCCUR IN THE LOCATION SHOWN OR PROPOSED IMPROVEMENTS IMPACTING EXISTING FIBER OPTIC LINE LOCATION.
- ALL PERIMETER EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO THE START OF DEMOLITION ACTIVITIES. CONTRACTOR SHALL KEEP ALL STREETS AND PAVEMENT FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.

LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY
- EASEMENT LINE
- DEMOLITION - REMOVAL OF RETAINING WALL
- DEMOLITION - REMOVAL OF CONCRETE SURFACES
- DEMOLITION - REMOVAL OF UTILITIES
- DEMOLITION - PRESERVE AND PROTECT LANDSCAPE BEDDING
- TREE REMOVAL
- PROTECT EXISTING TREE
- SAW CUT

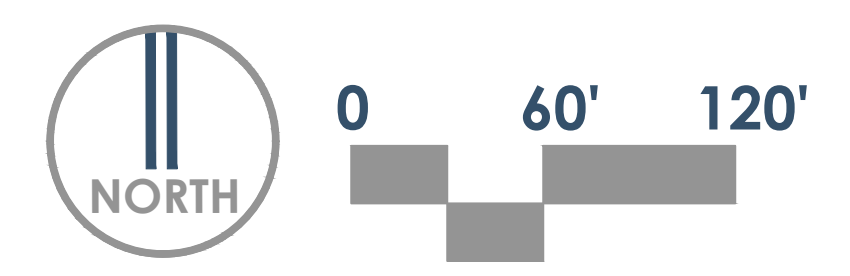




File: N:\PROJECTS\2222211690\DWG\2211690 LAYOUT-Admin.dwg Layout: Overall Site User: c:\pines Plotted: Jul 20, 2022 - 10:58am Xrefs:

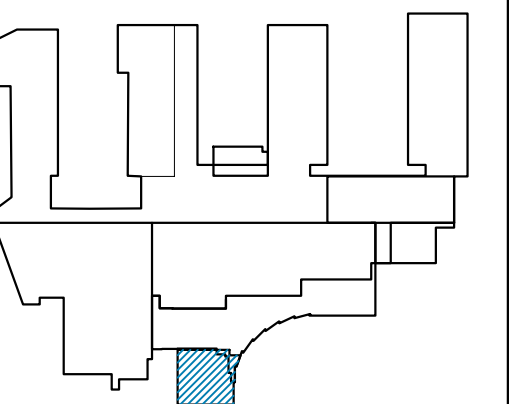
MC-Adimn. Building Addition & Renovation
Madison, WI

Overall Site Plan
DATE: 07.20.2022



22-11690





GENERAL NOTES

1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS.
2. ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN AND MUNICIPAL REQUIREMENTS.
3. EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
4. NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.
5. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

PAVING NOTES

1. GENERAL
 - 1.1. ALL PAVING SHALL CONFORM TO "STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION, LATEST EDITION, APPLICABLE CITY OF MADISON ORDINANCES AND THE GEOTECHNICAL REPORT.
 - 1.2. ALL PAVING DIMENSIONS ARE TO FACE OF CURB UNLESS SPECIFIED OTHERWISE.
 - 1.3. SURFACE PREPARATION - NOTIFY ENGINEER/OWNER OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.
2. CONCRETE PAVING SPECIFICATIONS
 - 2.1. CONCRETE PAVING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 415 AND 416 OF THE STATE HIGHWAY SPECIFICATIONS.
 - 2.2. CONCRETE PAVEMENT SHALL BE REINFORCED WITH NOVOMESH 950 (OR EQUAL) FIBER REINFORCEMENT AT A RATE OF 5 LBS/CUBIC YARD.
 - 2.3. CURING COMPOUNDS SHALL CONFORM TO SECTION 415 OF THE STATE HIGHWAY SPECIFICATIONS.
 - 2.4. CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINT OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER.
 - 2.5. CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 25' ON CENTER.
 - 2.6. EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED.
 - 2.7. ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK-28UV CONCRETE SEALANT.

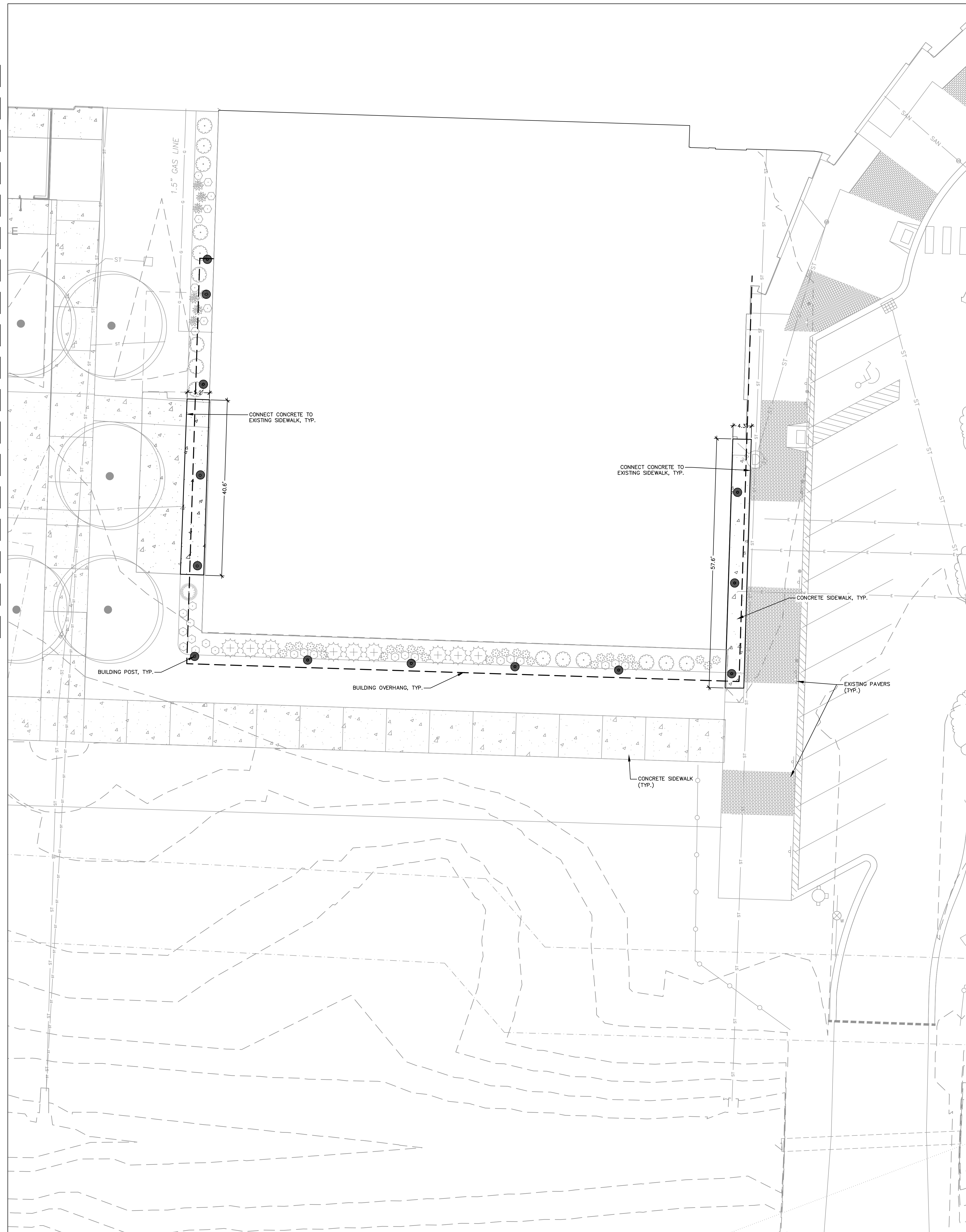
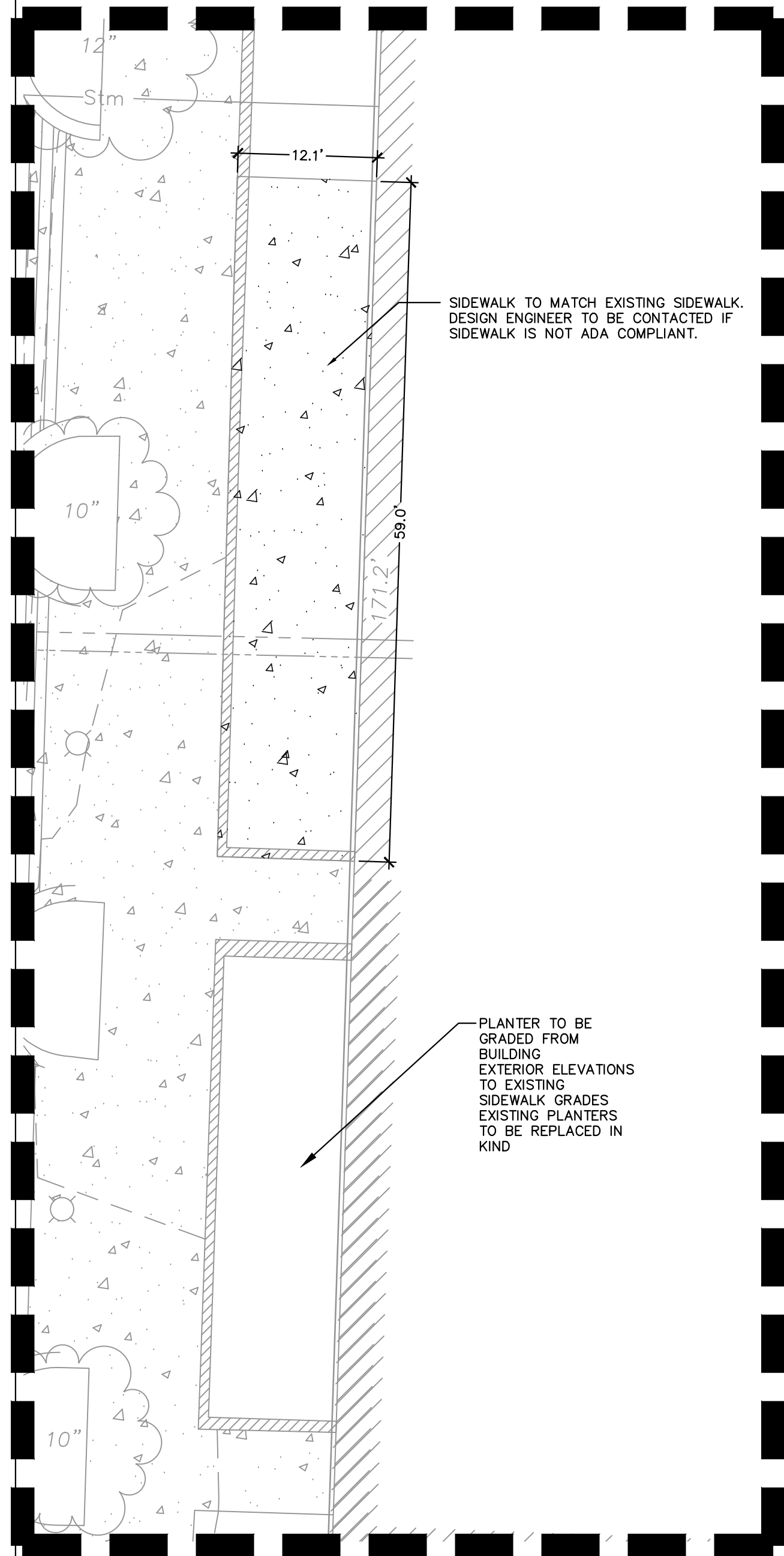
SITE INFORMATION BLOCK

SITE ADDRESS	1701 WRIGHT STREET
BUILDING ADDITION SQUARE FOOTAGE	1396 SF.
PROPOSED NEW IMPERVIOUS SITE COVERAGE	
BUILDING ADDITION REPLACING PERVIOUS	794 SF.
TOTAL NEW IMPERVIOUS ADDITION	1396 SF.
TOTAL SITE DISTURBANCE	0.133 ACRES

LEGEND

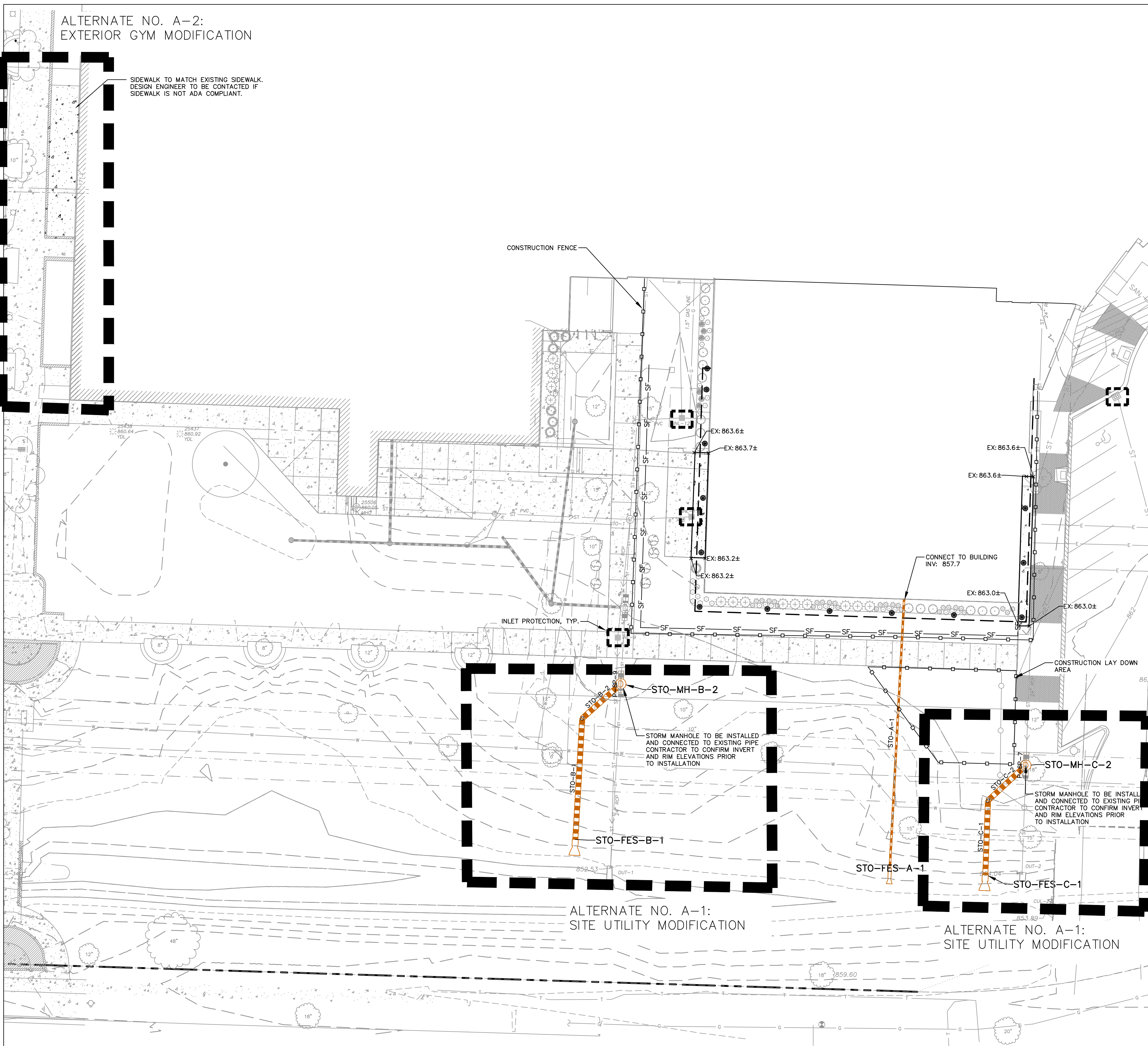
	PROPERTY LINE
	RIGHT-OF-WAY
	EASEMENT LINE
	BUILDING OUTLINE
	BUILDING OVERHANG
	EDGE OF PAVEMENT
	CONCRETE PAVEMENT

ALTERNATE NO. A-2:
EXTERIOR GYM MODIFICATION



ALTERNATE NO. A-2:
EXTERIOR GYM MODIFICATION

SIDEWALK TO MATCH EXISTING SIDEWALK.
DESIGN ENGINEER TO BE CONTACTED IF
SIDEWALK IS NOT ADA COMPLIANT.



ALTERNATE NO. A-1:
SITE UTILITY MODIFICATION

ALTERNATE NO. A-1:
SITE UTILITY MODIFICATION

EROSION CONTROL NOTES

- CONTRACTOR IS RESPONSIBLE TO NOTIFY ENGINEER OF RECORD AND OFFICIALS OF ANY CHANGES TO THE EROSION CONTROL PLANS. ENGINEER OF RECORD AND APPROPRIATE CITY OF MADISON OFFICIALS MUST APPROVE ANY CHANGES PRIOR TO DEVIATION FROM THE APPROVED PLANS.
- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) TECHNICAL STANDARDS (REFERRED TO AS BMP'S) AND CITY OF MADISON ORDINANCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL EROSION CONTROL MEASURES WHICH MAY BE NECESSARY TO MEET UNFORESEEN FIELD CONDITIONS.
- INSTALL PERIMETER EROSION CONTROL MEASURES (SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND EXISTING INLET PROTECTION) PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE COVER, AS SHOWN ON PLAN. MODIFICATIONS TO THE APPROVED EROSION CONTROL DESIGN IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS IS ALLOWED IF MODIFICATIONS CONFORM TO BMP'S. ALL DESIGN MODIFICATIONS MUST BE APPROVED BY THE CITY OF MADISON PRIOR TO DEVIATION OF THE APPROVED PLAN.
- ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, COUNTY INSPECTORS AND/OR ENGINEER OF RECORD SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
- INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
- ALL EROSION AND SEDIMENT CONTROL ITEMS SHALL BE INSPECTED WITHIN 24 HOURS OF ALL RAIN EVENTS EXCEEDING 0.5 INCHES. ANY DAMAGED EROSION CONTROL MEASURES SHALL BE REPAIRED OR REPLACED IMMEDIATELY UPON INSPECTION.
- PAVED SURFACES ADJACENT TO CONSTRUCTION SITE VEHICLE ACCESS SHALL BE SWEEP AND/OR SCRAPPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST AFTER THE END OF EACH WORK DAY AND AS REQUESTED BY THE CITY OF MADISON.
- INLET PROTECTION SHALL BE IMMEDIATELY FITTED AT THE INLET OF ALL INSTALLED STORM SEWER AND SILT FENCE SHALL BE IMMEDIATELY FITTED AT ALL INSTALLED CULVERT INLETS TO PREVENT SEDIMENT DEPOSITION WITHIN STORM SEWER SYSTEMS.
- CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO WORK TECHNICAL STANDARD 1068.
- EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY AT THE SITE HAS BEEN COMPLETED AND THAT A UNIFORM PERENNIAL VEGETATIVE COVER HAS BEEN ESTABLISHED WITH A DENSITY OF AT LEAST 70% FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES OR THAT EMPLOY EQUIVALENT PERMANENT STABILIZATION MEASURES.
- EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
 - PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
 - BACKFILL, COMPACT AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
 - DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD NO. 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
- STABILIZATION PRACTICES
 - STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. NO MORE THAN SEVEN (7) DAYS SHALL PASS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS CEASED UNLESS:
 - THE INITIATION STABILIZATION MEASURES BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS CEASED IS PRECLUDED BY SNOW COVER. IN THAT EVENT, STABILIZATION SHALL BE INITIATED AS SOON AS PRACTICABLE.
 - CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN FOURTEEN (14) DAYS FROM WHEN ACTIVITY CEASED, (I.E. THE TOTAL TIME PERIOD THAT THE CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN FOURTEEN (14) DAYS. IN THAT EVENT, STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED.
 - THE INITIATION STABILIZATION MEASURES BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS CEASED, INCLUDING BUT NOT LIMITED TO WEATHER CONDITIONS AND LENGTH OF TIME MEASURE MUST BE EFFECTIVE. THE FOLLOWING ARE ACCEPTABLE STABILIZATION MEASURES:
 - PERMANENT SEEDING, IN ACCORDANCE WITH APPROVED CONSTRUCTION SPECIFICATION
 - TEMPORARY SEEDING, MAY CONSIST OF SPRING OATS(100LB/ACRE) AND/OR WHEAT OR CEREAL RYE (150LB/ACRE)
 - HYDRO-MULCHING WITH A TACKIFIER
 - GEOTEXTILE EROSION MATTING
 - SODDING

CONSTRUCTION SEQUENCING

- INSTALL PERIMETER SILT FENCE AND INLET PROTECTION.
- INSTALL UTILITY PIPING AND STRUCTURES.
- COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PLACEMENT OF CURBS, PAVEMENTS, WALKS, ETC.
- PLACE TOPSOIL AND IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROL MEASURES AS INDICATED ON PLANS.
- EROSION CONTROLS SHALL NOT BE REMOVED UNTIL SITE IS FULLY STABILIZED OR 70% VEGETATIVE COVER IS ESTABLISHED. CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM NO. 1 AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS.

GRADING AND SEEDING NOTES

- ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR COMPUTATIONS OF ALL GRADING QUANTITIES, WHILE JSD PROFESSIONAL SERVICES, INC. ATTEMPTS TO PROVIDE A COST EFFECTIVE APPROACH TO BALANCE EARTHWORK. GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFETY, AESTHETICS, AND COMMON ENGINEERING STANDARDS OF CARE. THEREFORE, NO GUARANTEE CAN BE MADE FOR A BALANCED SITE.
- ANY WORK WITHIN RIGHT-OF-WAY SHALL BE PROPERLY PERMITTED AND COORDINATED WITH THE APPROPRIATE OFFICIALS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. ALL GRADING WITHIN RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY SAID OFFICIALS.
- CONTRACTOR SHALL PROVIDE NOTICE TO THE MUNICIPALITY IN ADVANCE OF ANY SOIL DISTURBING ACTIVITIES, IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS.
- ALL DISTURBED AREAS SHALL BE SODDED AND/OR SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SOO/SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
- CONTRACTOR SHALL WATER ALL NEWLY SODDED/SEEDING AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
- CONTRACTOR TO DEEP TILL ALL COMPACTED PAVED SURFACES PRIOR TO SODDING AND/OR SEEDING AND MULCHING.
- ALL SLOPES 2:0% OR GREATER SHALL BE TEMPORARILY SEEDING, MULCHED, OR OTHER MEANS OF COVER PLACED ON THEM WITHIN 2 WEEKS OF DISTURBANCE.
- ALL EXPOSED SOIL AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 30 DAYS AND REQUIRE VEGETATIVE COVER FOR LESS THAN 1 YEAR, REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1059 AND CITY OF MADISON ORDINANCE.

UTILITY NOTES

- ALL EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATIONS OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THEREOF. CONTRACTOR/OWNER SHALL CALL "DIGGERS' HOTLINE" PRIOR TO ANY CONSTRUCTION.
 - PRIOR TO CONSTRUCTION, THE PRIME CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
 - VERIFYING ALL ELEVATIONS, LOCATIONS AND SIZES OF SANITARY, WATER AND STORM LATERALS AND CHECKING ALL CROSSINGS WITH MUNICIPALITY. NOTIFY ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
 - COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
- ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN - AND ALL STATE AND LOCAL CODES AND SPECIFICATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS AND CODES APPLY, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES.
- SPECIFICATIONS SHALL COMPLY WITH THE CITY OF MADISON SPECIAL PROVISIONS.
- LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
- CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED IN CONSTRUCTION SITES WHERE THE POTENTIAL FOR PEDESTRIAN INJURY EXISTS.
- CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT ALL UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE BOX COVERS, ETC.) TO MATCH THE FINISHED GRADES OF THE AREAS EFFECTED BY THE CONSTRUCTION.
- THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
- ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
- STORM SEWER SPECIFICATIONS -
 - PIPE - HIGH DENSITY DUAL-WALL POLYETHYLENE CORRUGATED PIPE SHALL BE AS MANUFACTURED BY AISE OR EQUAL WITH WATER TIGHT JOINTS, AND SHALL MEET THE REQUIREMENTS OF AASHTO DESIGNATION M-224 TYPE "S"
 - BACKFILL AND BEDDING - STORM SEWER SHALL BE CONSTRUCTED WITH GRAVEL BACKFILL AND CLASS "B" BEDDING IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.5 OF THE "STANDARD SPECIFICATIONS".
 - MANHOLE FRAMES AND COVERS - MANHOLE FRAMES AND COVERS SHALL BE NEENAH R-1556 SEALING LIDS, NON-ROCKING OR EQUAL.
 - FIELD TILE CONNECTION - ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE INCLUDED IN THE UNIT PRICE(S) FOR STORM SEWER. TILE LINES CROSSED BY THE TRENCH SHALL BE REPLACED WITH THE SAME MATERIAL AS THE STORM SEWER.

LABEL	RIM EL. (FT)	INVERT EL. (FT)	DEPTH (FT)	STRUCTURE DESC.	FRAME & GRATE
STO-FES-A-1	856.08	N INV: 855.54 (8')	12	12 IN HDPE FES	
STO-FES-B-1	857.17	N INV: 855.00 (24')	24	24 IN HDPE FES	
STO-FES-C-1	857.44	N INV: 855.27 (24')	24	24 IN HDPE FES	
STO-MH-B-2	862.66	SW INV: 856.00 (24') S INV: 853.34 (24') N INV: 853.38 (24')	9.3	60 IN MH (FLAT)	R-1556 SOLID LID
STO-MH-C-2	862.18	SW INV: 856.00 (24') S INV: 854.47 (24') N INV: 854.51 (24')	7.7	60 IN MH (FLAT)	R-1556 SOLID LID

LABEL	FROM	TO	LENGTH	INVERT EL. (FT)	DISCHARGE EL. (FT)	SLOPE	SIZE & MATERIAL
STO-A-1	BUILDING	STO-FES-A-1	104'	857.70	855.54	2.08%	8 IN HDPE
STO-B-1	BEND	STO-FES-B-1	47'	855.70	855.00	1.50%	24 IN HDPE
STO-B-2	STO-MH-B-2	BEND	20'	856.00	855.70	1.50%	24 IN HDPE
STO-C-1	BEND	STO-FES-C-1	29'	855.70	855.27	1.50%	24 IN HDPE
STO-C-2	STO-MH-C-2	BEND	20'	856.00	855.70	1.50%	24 IN HDPE

LEGEND

- PROPERTY LINE
- - - RIGHT-OF-WAY
- - - EASEMENT LINE
- BUILDING OUTLINE
- - - BUILDING OVERHANG
- EDGE OF PAVEMENT
- CONCRETE PAVEMENT
- STORM SEWER
- SF --- SILT FENCE
- CONSTRUCTION FENCE
- INLET PROTECTION

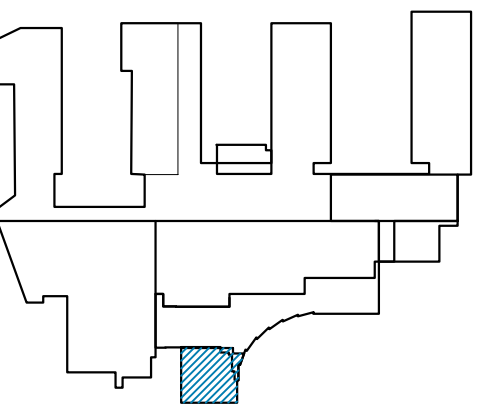


MADISON COLLEGE
ADMINISTRATION BUILDING
ADDITION AND RENOVATION
Madison, Wisconsin



Issued for: BID
Issue date: 07-14-2022
AA Project No.: 2021-088
MC Project No.: RFB22-006
Bid Pkg No.:

REVISION DATE

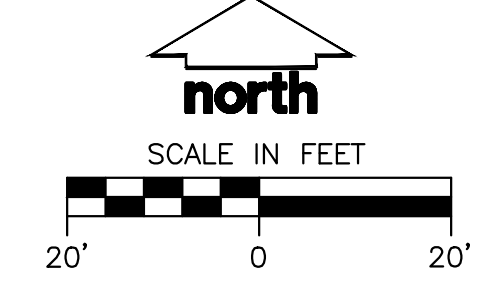


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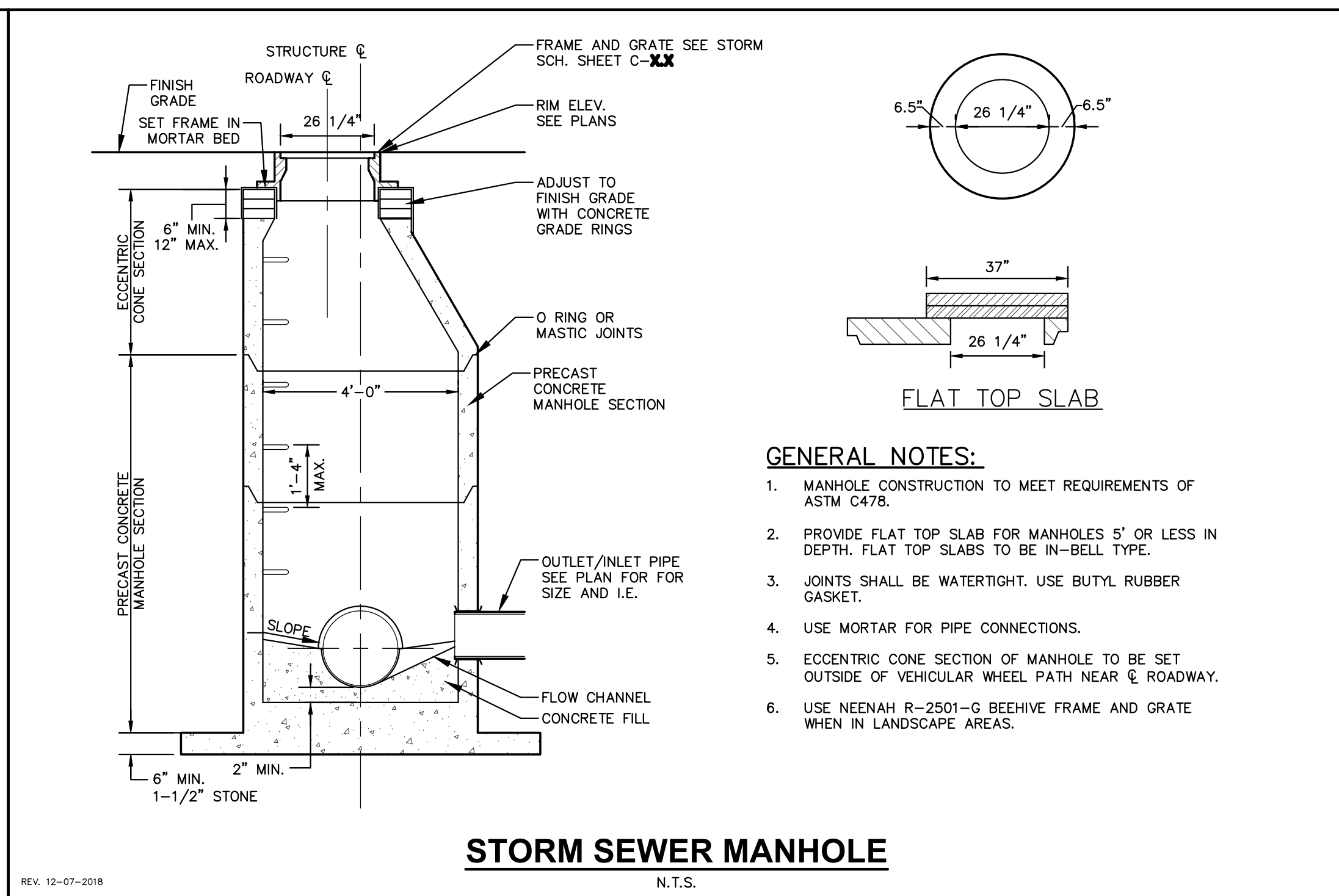
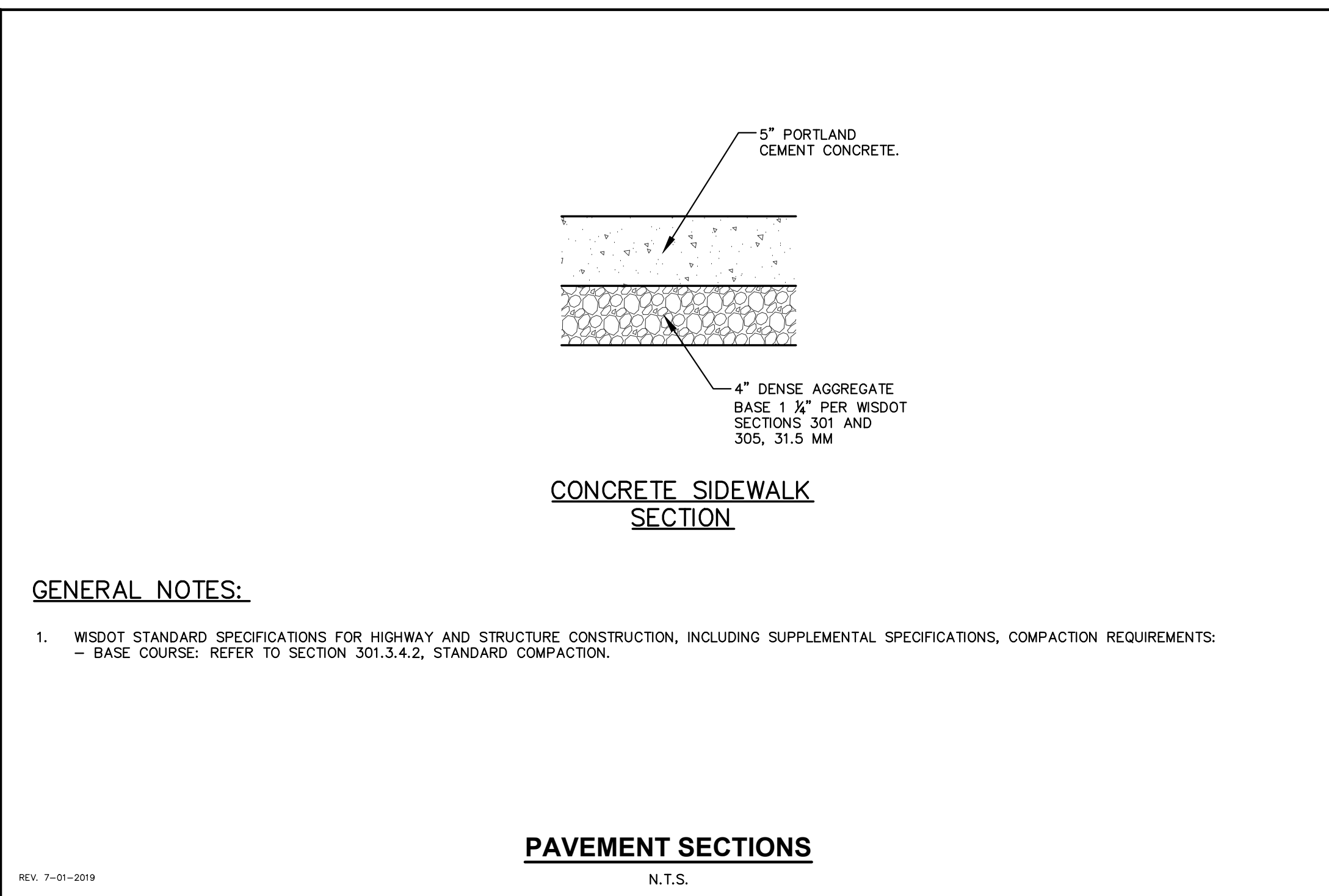
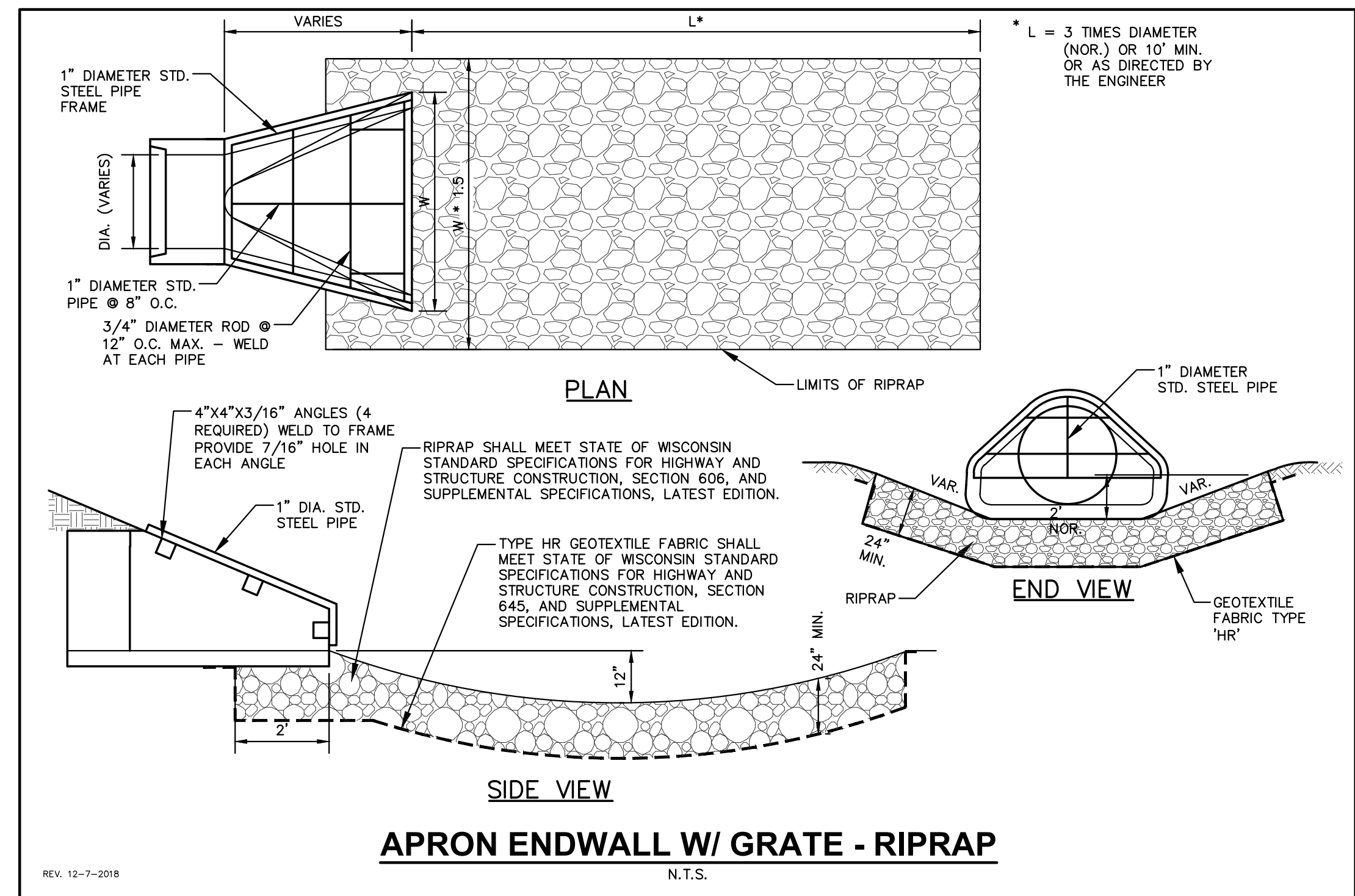
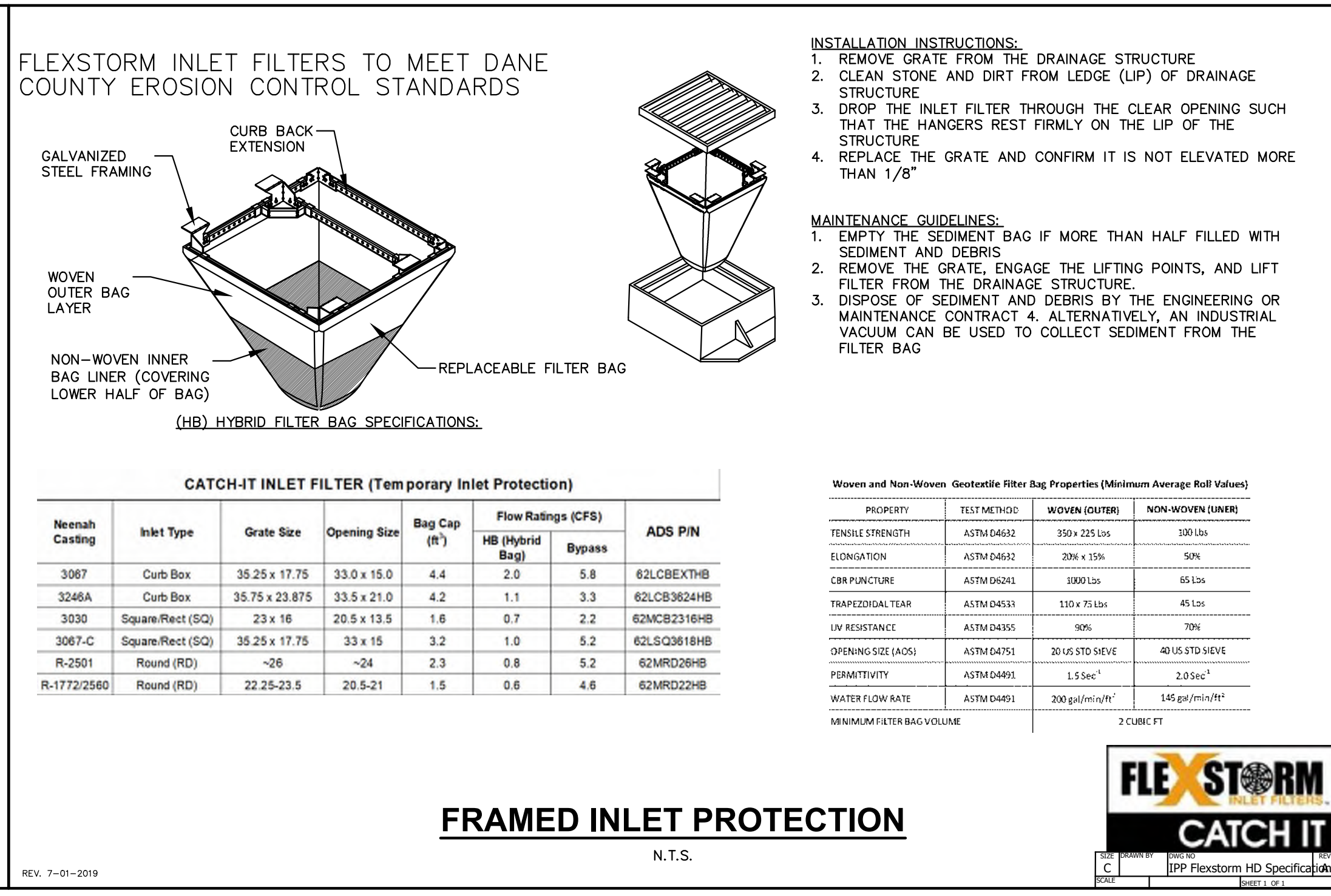
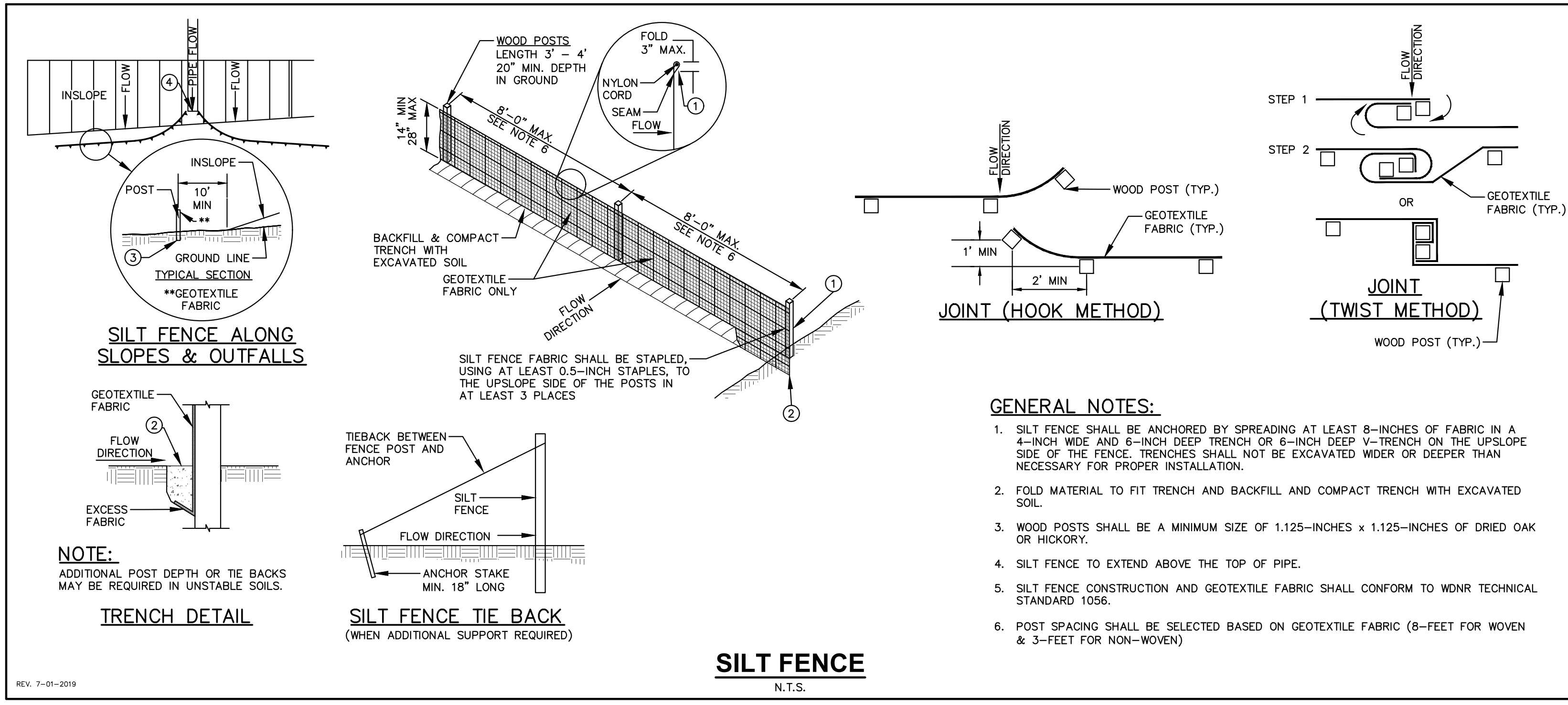
SCALE
AS NOTED

SHEET TITLE
GRADING, EROSION
CONTROL & UTILITY
PLAN

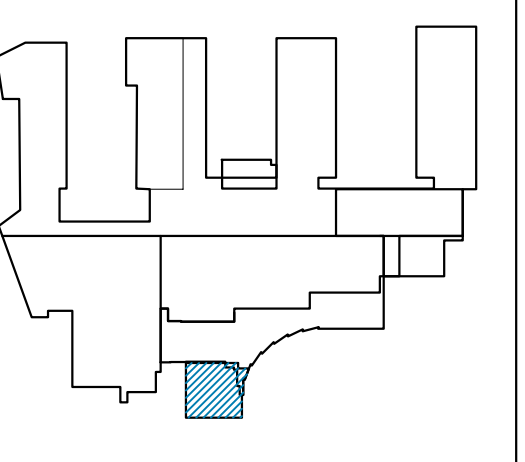
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C300

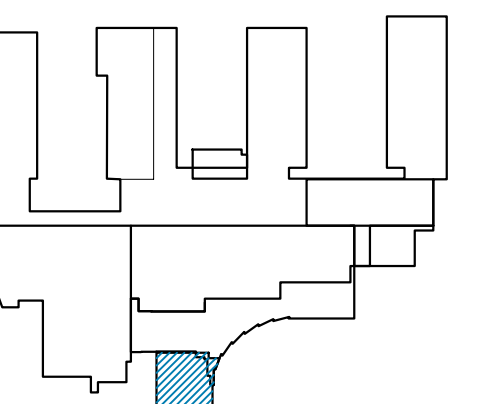


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SCALE

SHEET TITLE
LANDSCAPE PLAN

SHEET NUMBER

L100

GENERAL NOTES

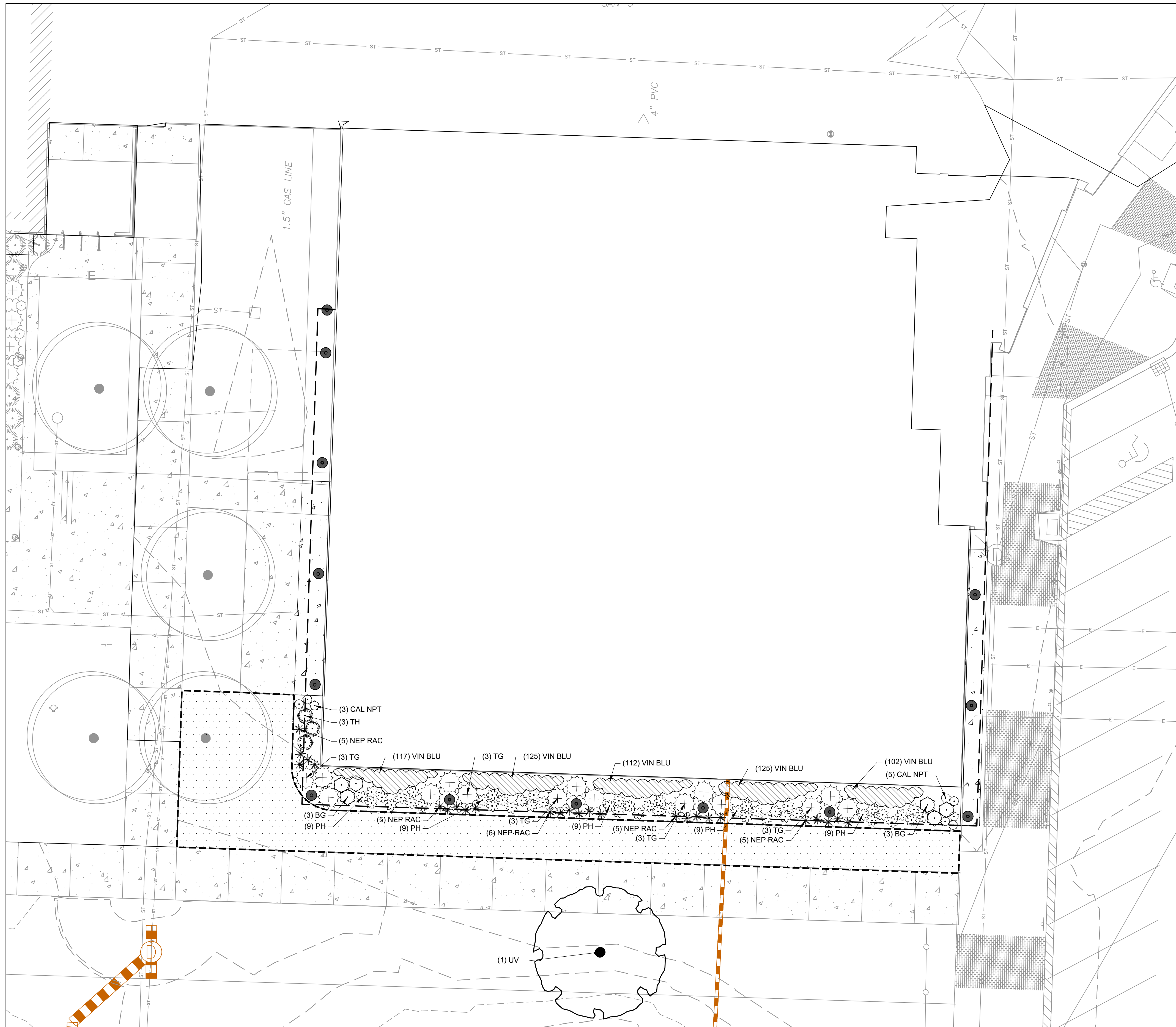
- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
- ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE MUNICIPAL STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
- DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
- THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOLING WITH GENERAL CONTRACTOR
- REFER TO "LANDSCAPE DETAILS AND NOTES" SHEET FOR ADDITIONAL DETAILS, NOTES AND SPECIFICATION INFORMATION INCLUDING MATERIALS, GUARANTEE AND EXECUTION RELATED TO LANDSCAPE PLAN
- CONTRACTOR SHALL REVIEW SITE CONDITIONS FOR UTILITY CONFLICTS, DRAINAGE ISSUES, SUBSURFACE ROCK, AND PLANT PLACEMENT CONFLICTS PRIOR TO PLANT INSTALLATION. REPORT ANY CONDITIONS THAT MAY HAVE ADVERSE IMPACT ON PLANTING OPERATIONS TO LANDSCAPE ARCHITECT
- DO NOT COMMENCE PLANTING OPERATIONS UNTIL ALL ADJACENT SITE IMPROVEMENTS, IRRIGATION INSTALLATION (IF APPLICABLE), AND FINISH GRADING ARE COMPLETE
- THE CONTRACTOR SHALL WATER ALL NEWLY SEEDED AREAS UNTIL SUBSTANTIAL COMPLETION AND THE SITE IS TURNED OVER TO THE OWNER.

LEGEND

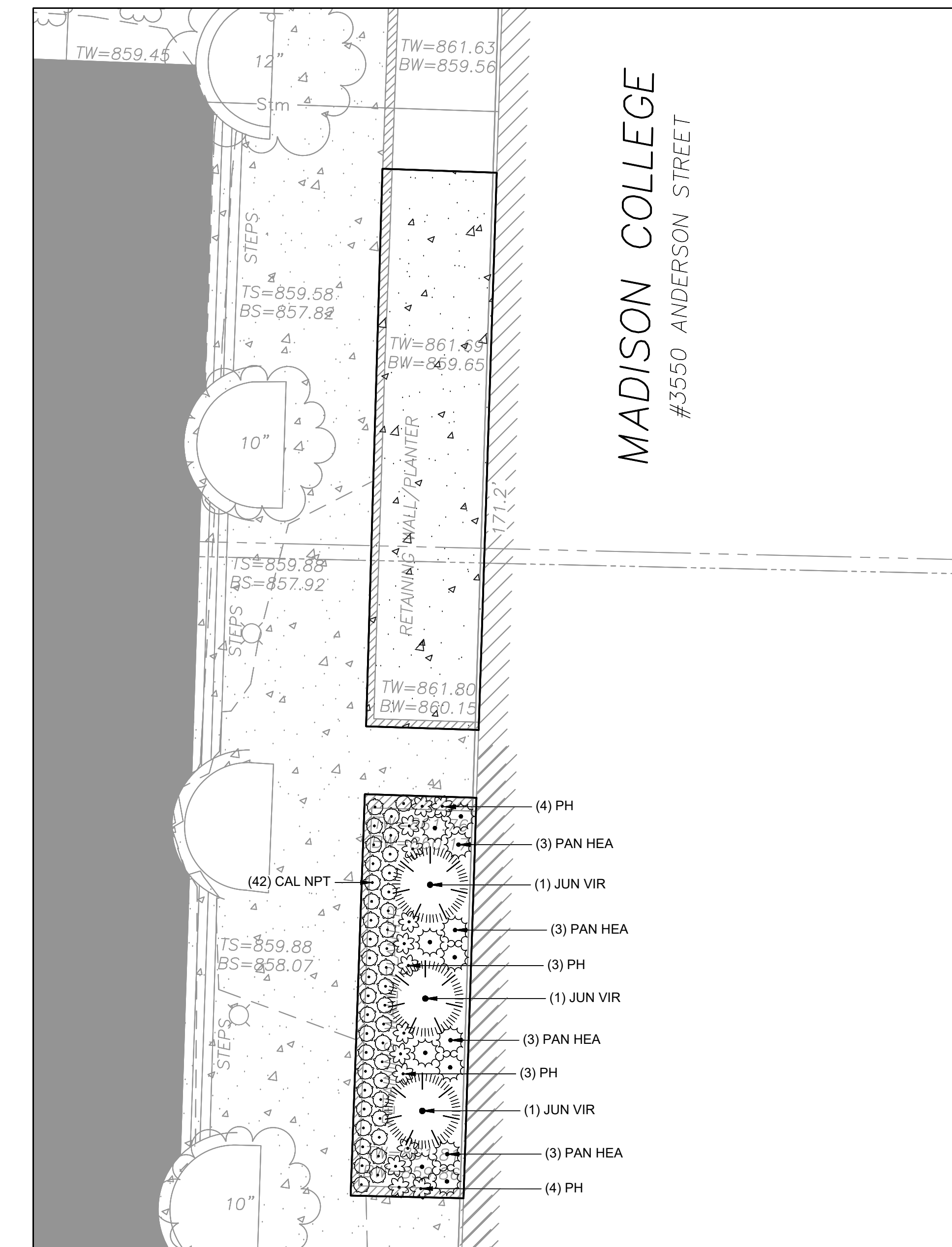
	KENTUCKY BLUEGRASS BLEND (SEED)
	WITH NORTH AMERICAN GREEN D575 EROSION CONTROL BLANKET

PLANT SCHEDULE

EVERGREEN TREE	CODE	BOTANICAL / COMMON NAME	ROOT CONDITION	SIZE AT PLANTING	QTY
	JUN VIR	<i>Juniperus virginiana</i> 'Canaertii' / Canaerti Eastern Redcedar	B & B	Min. 5' tall	3
OVERSTORY DECIDUOUS TREES	CODE	BOTANICAL / COMMON NAME	ROOT CONDITION	SIZE AT PLANTING	QTY
	UV	<i>Ulmus americana</i> 'Valley Forge' / Valley Forge American Elm	B & B	2.5' Cal	1
EVERGREEN SHRUBS	CODE	BOTANICAL / COMMON NAME	CONT	SIZE AT PLANTING	QTY
	BG	<i>Buxus microphylla</i> koreana 'Green Gem' / Green Gem Boxwood	B & B	Min. 12"-18"	6
	TG	<i>Taxus x media</i> 'Dark Green' / Dark Green Spreader Yew	B & B	Min. 18"-24"	15
	TH	<i>Thuja occidentalis</i> 'Hetz Midget' / Hetz Midget Arborvitae	#05/5 gal.	Min. 12"-18"	3
ORNAMENTAL GRASSES	CODE	BOTANICAL / COMMON NAME	CONT	SIZE AT PLANTING	QTY
	PAN HEA	<i>Panicum virgatum</i> 'Heavy Metal' / Heavy Metal Switch Grass	#03/3 gal.	Min. 24"	12
	PH	<i>Pennisetum alopecuroides</i> 'Hameln' / Hameln Dwarf Fountain Grass	#01/1 gal.	Min. 12"-18"	59
PERENNIALS	CODE	BOTANICAL / COMMON NAME	CONT	SIZE AT PLANTING	QTY
	CAL NPT	<i>Calamintha nepeta nepeta</i> / Lesser Calamint	#01/1 gal.		50
	NEP RAC	<i>Nepeta racemosa</i> 'Walker's Low' / Walker's Low Catmint	#01/1 gal.		26
GROUND COVERS	CODE	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
	VIN BLU	<i>Vinca minor</i> 'Blue and Gold' / Blue and Gold Periwinkle	24 Flat	8" o.c.	581

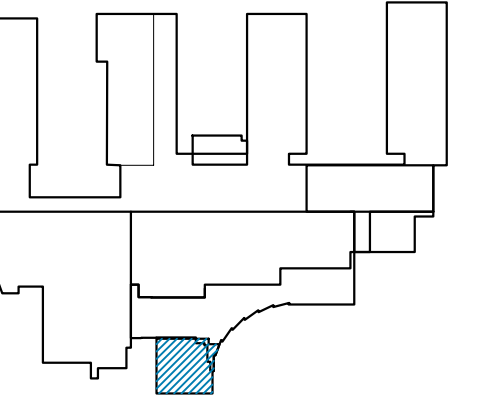


1
LANDSCAPE PLAN
L1.0



2
LANDSCAPE PLAN
L1.0

REVISION	DATE



SCALE

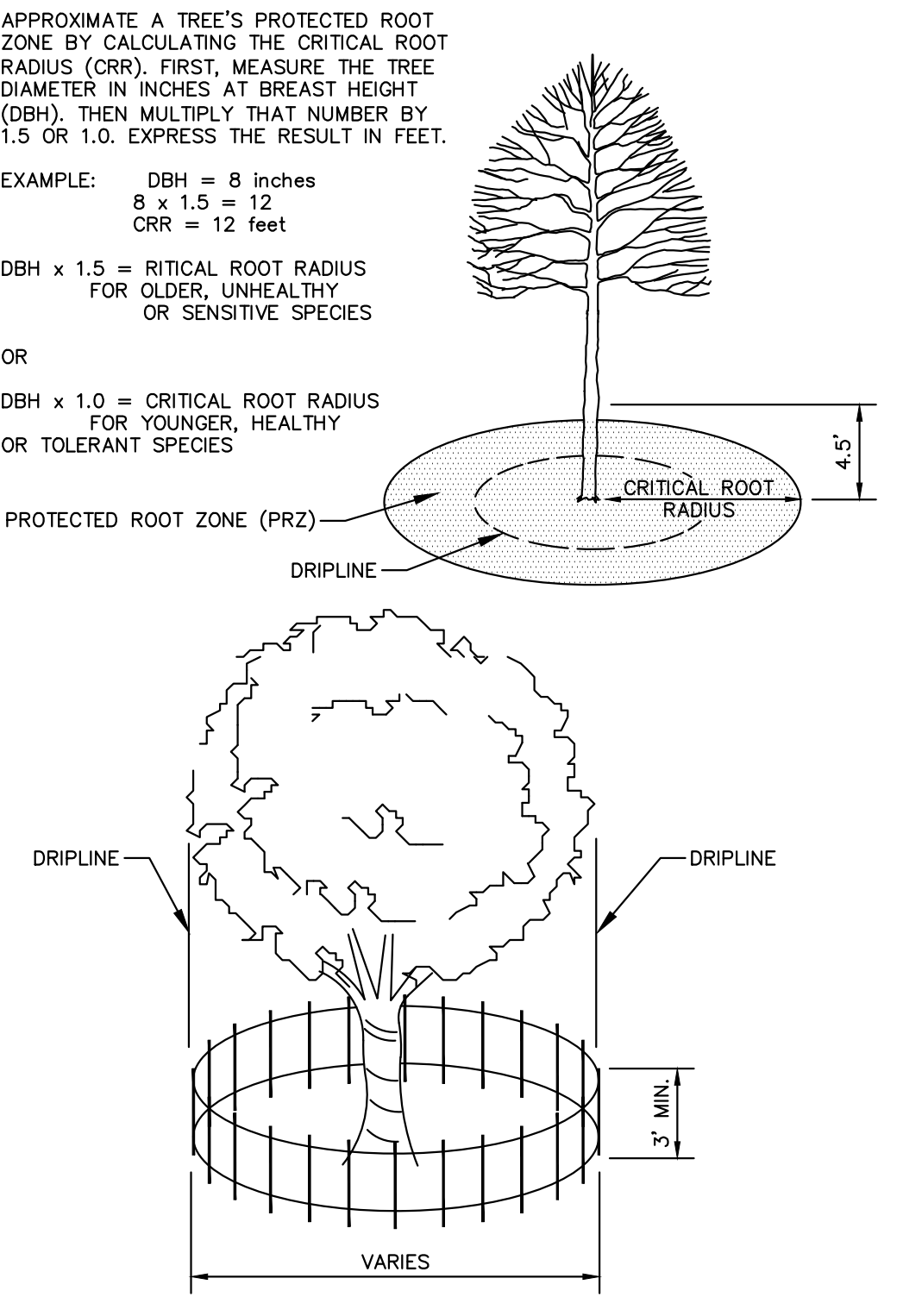
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**LANDSCAPE NOTES
& DETAILS**

SHEET NUMBER

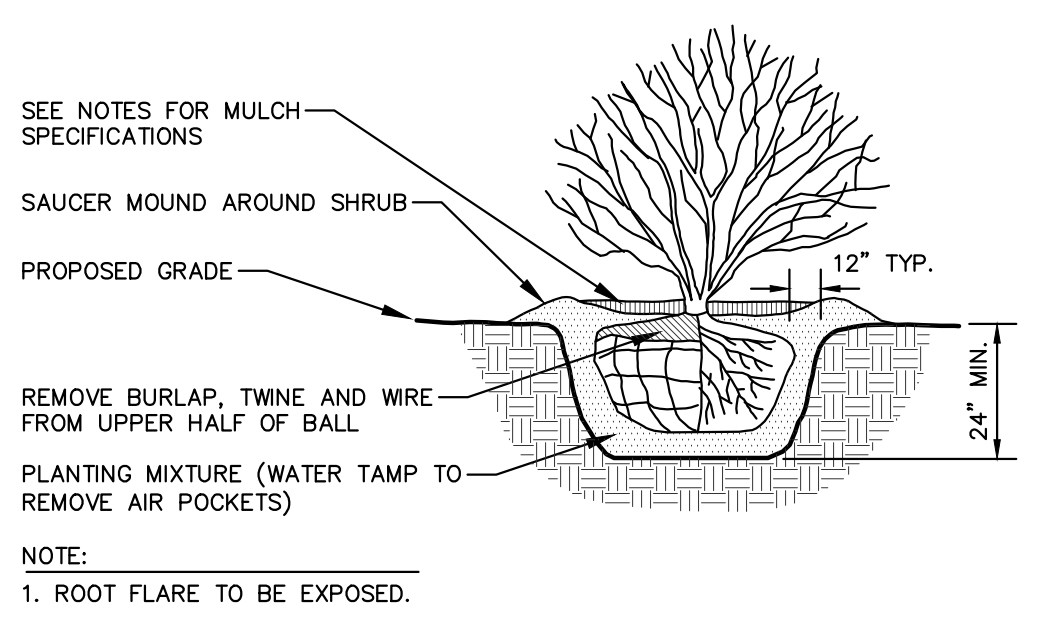
L200

GENERAL NOTES

- GENERAL: ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-242-8811 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- DELIVERY AND HANDLING: DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY, UNLESS ADEQUATE, APPROPRIATE AND SECURE STORAGE IS PROVIDED AND APPROVED BY OWNER'S REPRESENTATIVE. AT ALL TIMES, PROTECT ALL PLANT MATERIALS FROM WIND AND DIRECT SUN. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY. IF THIS IS NOT POSSIBLE, PROTECT THE PLANT MATERIALS NOT PLANTED BY STORING THEM IN A SHADED, SECURE AREA, PROTECTING THE ROOT MASS WITH WET SOIL, MULCH, HAY OR OTHER SUITABLE MEDIUM. CONTRACTOR TO KEEP ALL PLANT MATERIALS ADEQUATELY WATERED TO PREVENT ROOT DESICCATION. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINERS OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE CONTAINER OR BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED BEST HORTICULTURAL PRACTICES.
- MATERIALS - PLANTS: ALL PLANTS SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DUG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL-BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH OR PREMATURE MORTALITY. PLANTS SHALL BE OF THE HIGHEST QUALITY, POSSESS TYPICAL GROWTH HABITS AND FORM FOR THEIR SPECIES AND BE FREE OF INJURY. PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
- PRUNING: THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS, SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH MAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCARS ON BARK, TRACE THE INJURED CAMBIAL TISSUE AND REMOVE. SMOOTH AND SHARP EDGES. REMOVE WOUNDS SO AS NOT TO RETAIN WATER. TREAT THE AREA WITH AN APPROVED INCONSPICUOUS LATEX BASED ANTISEPTIC TREE PAINT. IF PRUNING OCCURS "IN SEASON", DO NOT PRUNE ANY OAK TREES DURING THE MONTHS FROM APRIL TO OCTOBER.
- CLEANUP: THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES. DISPOSED OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL AND BRANCHES, BIND AND WRAP THESE MATERIALS. ANY REJECTED PLANTS, AND ANY OTHER DEBRIS RESULTING FROM ALL PLANTING TASKS AND PROMPTLY CLEAN UP AND REMOVE FROM THE PROJECT SITE. UNDER NO CIRCUMSTANCES SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC SAFETY HAZARD OR DAMAGE. UNLESS, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.
- ANY SUBSTITUTIONS IN PLANT TYPE, LOCATION, OR SIZE SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR TO VERIFY PLANT MATERIAL QUANTITIES AND SQUARE FOOTAGES. QUANTITIES SHOWN ON PLAN TAKE PRECEDENCE OVER THOSE ON SCHEDULE.

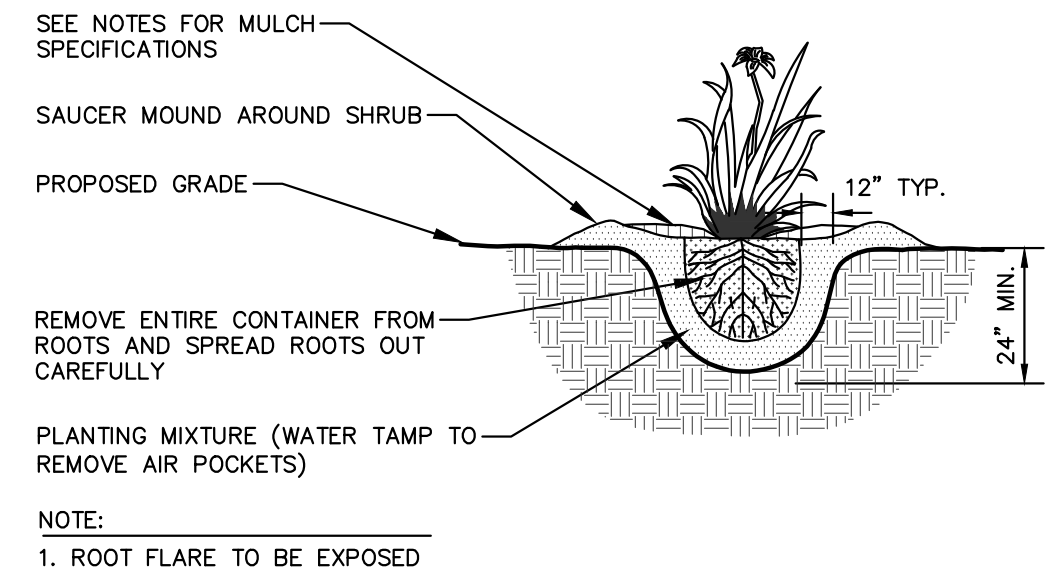


NOTE:
1. CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA SURROUNDING THE TREE WITHIN THE CRITICAL ROOT RADIUS
2. NO EXCAVATION IS PERMITTED WITHIN THE CRITICAL ROOT RADIUS
3. IF EXCAVATION WITHIN THE CRITICAL ROOT RADIUS OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTER PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM.



NOTE:
1. ROOT FLARE TO BE EXPOSED.

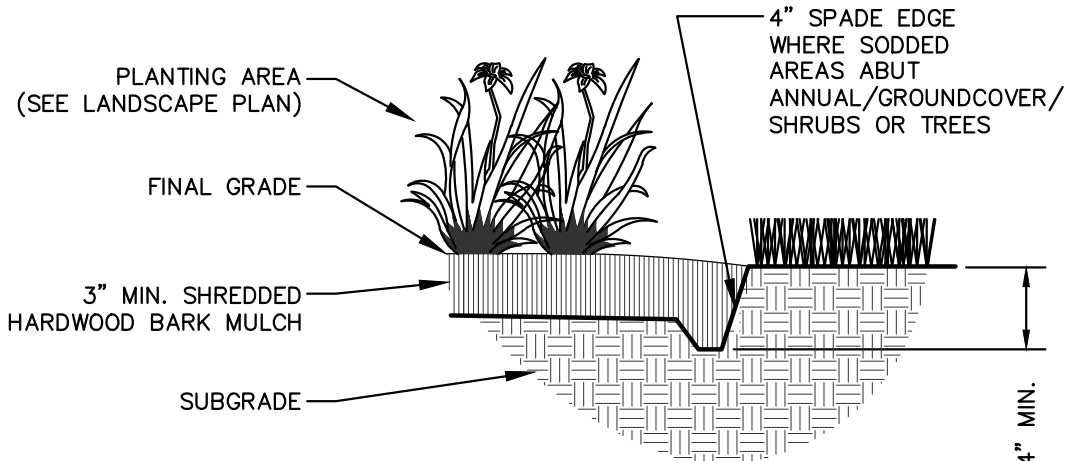
1 L2.0 TREE PROTECTION FENCING
NTS



NOTE:
1. ROOT FLARE TO BE EXPOSED

3 L2.0 PERENNIAL/ORNAMENTAL GRASS
NTS

2 L2.0 DECIDUOUS/EVERGREEN SHRUB
NTS



4 L2.0 NATURAL SPADE EDGE
NTS

LANDSCAPE MATERIAL NOTES

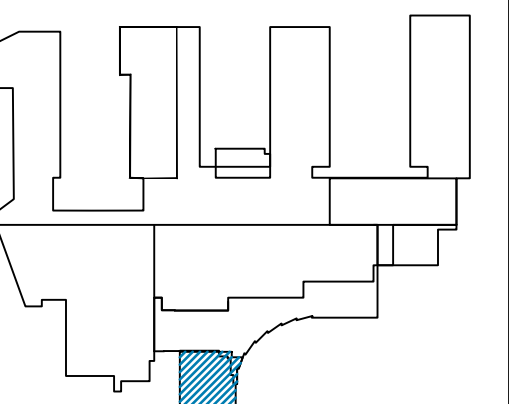
- MATERIALS - PLANTING MIXTURE: ALL HOLES EXCAVATED FOR TREES, SHRUBS, PERENNIALS AND ORNAMENTAL GRASSES SHALL BE BACKFILLED WITH TWO (2) PARTS TOPSOIL, ONE (1) PART SAND AND ONE (1) PART COMPOST. SOIL MIXTURE SHALL BE WELL BLENDED PRIOR TO INSTALLATION.
- MATERIALS - TOPSOIL: TOPSOIL TO BE CLEAN, FRIABLE LOAM FROM A LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TONNS OR OTHER DELETERIOUS MATERIALS. TOPSOIL SHALL HAVE A PH VALUE BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO ENSURE CONFORMANCE WITH THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. PROVIDE TEST RESULTS TO OWNER'S REPRESENTATIVE PRIOR TO PLACEMENT. DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE AREAS PER SOIL TEST.
- MATERIALS - SHREDDED HARDWOOD BARK MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE CERTIFIED WEED FREE, SHREDDED HARDWOOD BARK MULCH INSTALLED TO A MINIMUM AND CONSISTENT DEPTH OF 3-INCHES. SHREDDED HARDWOOD BARK MULCH SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS. SHREDDED HARDWOOD BARK MULCH AREAS SHALL NOT RECEIVE WOVEN WEED BARRIER FABRIC.
- MATERIALS - TREE PROTECTION: ALL TREES TO BE INSTALLED WITH LDPE TREE GUARDS AS MANUFACTURED BY A.M. LEONARD HORTICULTURAL TOOL & SUPPLY CO., OR APPROVED EQUAL.

SEEDING

- MATERIALS - TURFGRASS SEED: DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL RECEIVE 6" OF TOPSOIL AND EARTH CARPETS "MADISON PARKS" GRASS SEED, OR EQUIVALENT AS APPROVED BY THE OWNER'S REPRESENTATIVE. INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. IN ADDITION TO TURFGRASS SEED, ANNUAL RYE SHALL BE APPLIED TO ALL DISTURBED AREAS AT A RATE OF 1 1/2 LBS PER 1000 SQUARE FEET. FERTILIZE AND MULCH PER MANUFACTURER'S RECOMMENDATIONS. MULCH SHALL BE CERTIFIED NOXIOUS WEED SEED-FREE.

CONTRACTOR AND OWNER RESPONSIBILITY NOTES

- GUARANTEE: THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PLANTS SHALL BE ALIVE AND IN HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE (AT NO COST TO OWNER) ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, ETC. REPLACE PLANTS DAMAGED AT TIME OF PLANTING. REPAIR AREAS DISTURBED IN ANY WAY DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A ONE (1)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
- CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER'S REPRESENTATIVE PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- MAINTENANCE: (CONTRACTOR) FOR ALL PLANTINGS, SEEDED AND/OR SODDED LAWN AREAS. THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR A MINIMUM TIME PERIOD OF 60 DAYS, UNTIL FINAL ACCEPTANCE BY OWNER'S REPRESENTATIVE. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN/TURFGRASS DURING THIS 60 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHAPING AND/OR REPLACEMENT OR SUPPLEMENT OF DEFICIENT SHREDDED HARDWOOD BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION UNTIL THE TIME WHEN THE OWNER'S ACCEPTANCE IS GIVEN.
- MAINTENANCE: (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.



SYMBOLS LEGEND

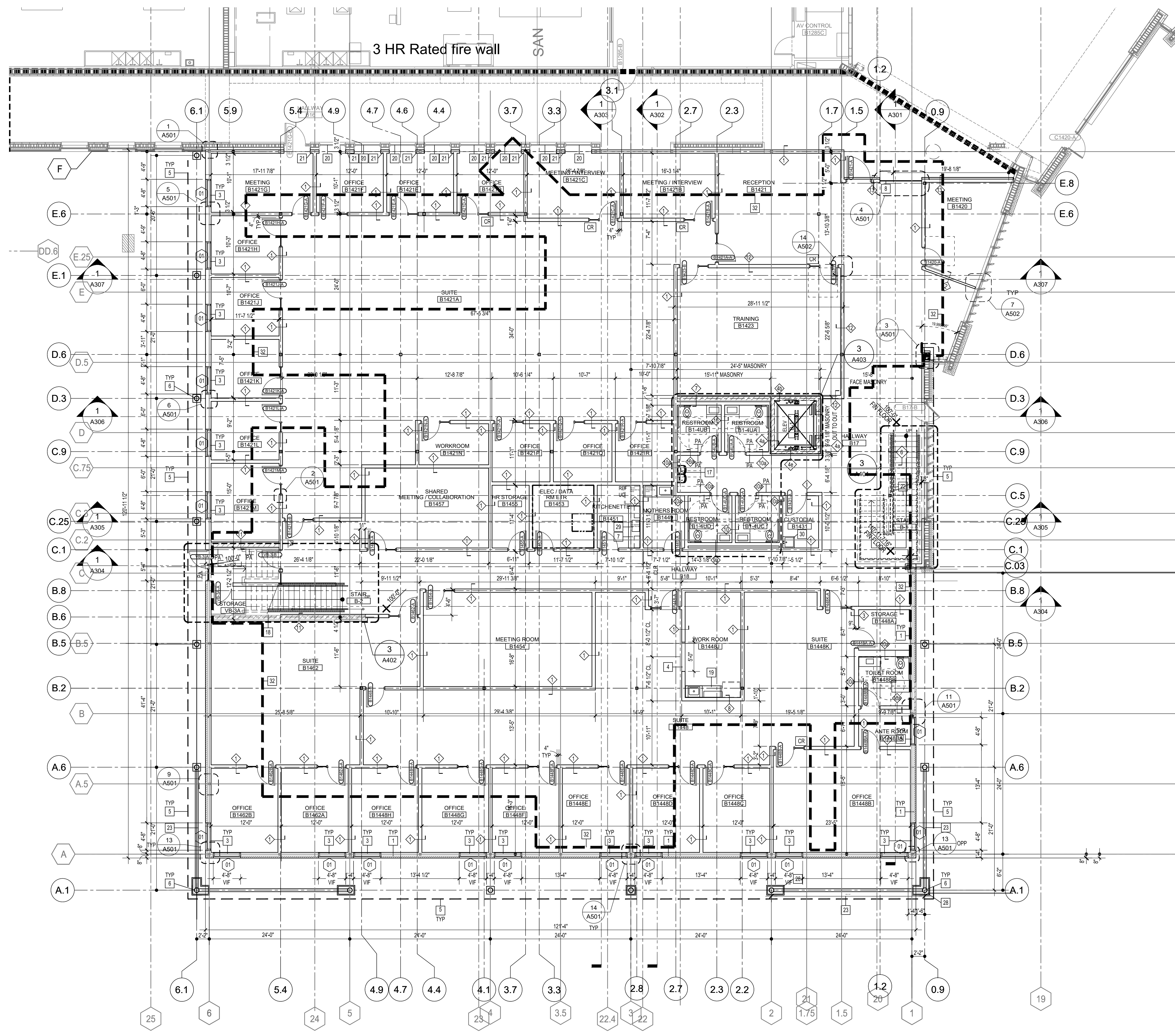
- DOOR NUMBER ICON
- INTERIOR ELEVATION ICON
- EXTERIOR ELEVATION ICON
- SECTION ICON
- PARTITION TYPE ICON
- KEYED NOTE ICON
- WINDOW TYPE ICON
- SPOT ELEVATION ICON
- FIN FLOOR MAIN ENTRY ELEV. = 100'-0"
- SECTION ELEVATION ICON
- CEILING HEIGHT ICON

GENERAL NOTES:

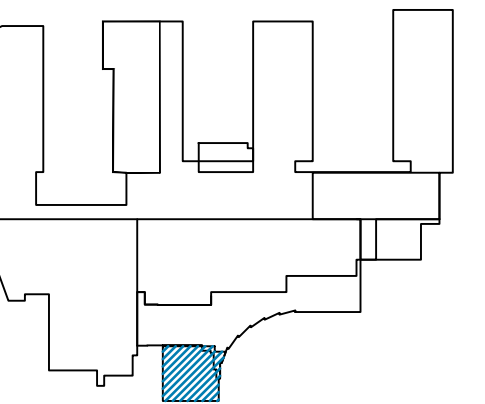
1. VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE. AS PORTIONS OF EXISTING CONSTRUCTION MAY HAVE BEEN REMOVED BY OWNER.
2. COORDINATE DEMOLITION DRAWINGS WITH ARCHITECTURAL AND MEPS DRAWINGS FOR EXTENTS AND LIMITATIONS AS WELL AS ADDITIONAL DEMOLITION NOTES AND DETAILS.
3. GC SHALL COORDINATE MECHANICAL, ELECTRICAL, PLUMBING ROOF, WALL SLEEVE AND SHAFTS WITH OTHER TRADES AND DOCUMENTS.
4. MAINTAIN CONTINUITY OF UTILITY SERVICE TO ALL ADJACENT AND RELATED SPACES NOT AFFECTED BY THIS WORK. COORDINATE ANY DISRUPTION REQUIRED TO PERFORM WORK OR TO MODIFY EXISTING PIPING, DUCTWORK OR ANY ASSOCIATED EQUIPMENT.
5. CONSTRUCT AND MAINTAIN A DUST-PROOF PARTITION TO SEPARATE AREAS OF CONSTRUCTION FROM ADJACENT OCCUPIED AREAS OUTSIDE THE SCOPE OF CONSTRUCTION.
6. FINISHED FIRST FLOOR ELEVATION IS ASSUMED 100'-0" IN THESE DRAWINGS.
7. REFER TO DRAWING A601 FOR PARTITION TYPES AND DETAILS.
8. REFER TO PROJECT'S GENERAL REQUIREMENTS FOR PROJECT CONSTRUCTION SEQUENCING DIMENSIONS ARE TO FINISHED FACE UNLESS OTHERWISE NOTED.
9. REFER TO ROOM FINISH SCHEDULE FOR FINAL FINISHES. PREP SURFACES TO RECEIVE FINAL FINISH.
11. PROVIDE BLOCKING AND REINFORCING TO ACCOMMODATE CASEWORK, EQUIPMENT AND OTHER DEVICES.
12. COORDINATE OWNER SUPPLIED EQUIPMENT.
13. REFER TO FINISH PLAN AND SCHEDULE FOR INTERIOR FINISHES.

KEYED FLOOR PLAN NOTES:

- 1 NEW 6" STUD FRAMING AT 16" O.C. WITH BATTING INSULATION, VAPOR RETARDER AND 5/8" MILDEW RESISTANT GWB. TYP. EXISTING STUD FRAMING AND EXTERIOR SHEATHING TO REMAIN UNLESS NOTED OTHERWISE.
- 2 NEW STUD FURRING, VAPOR RETARDER AND 5/8" MILDEW RESISTANT GWB. EXISTING MASONRY TO REMAIN. REFER TO A310 SERIES WALL SECTIONS FOR ADDITIONAL INFORMATION.
- 3 NEW ALUMINUM CURTAIN WALL SYSTEM - TYP. OPENING IN PARTITION. REFER TO INTERIOR ELEVATIONS.
- 5 FACE OF BUILDING ABOVE.
- 6 PAINTED AESS COLUMN - TYP AT EXTERIOR. REFER TO STRUCT FOR ADDITIONAL INFORMATION.
- 7 CASEWORK - REFER TO INTERIOR ELEVATIONS
- 8 SALVAGED, REINSTALLED SHOE MOUNTED GLASS PARTITION SYSTEM. REFER TO DEMOLITION.
- 9 ROOF HATCH ABOVE
- 10 ACCESS LADDER WITH CAGE. ANCHOR TO CMU PER MFR REQUIREMENTS.
- 11 GLASS GUARDRAIL SYSTEM WITH SS SHOE ANCHOR TO CONC PER MFR REQUIREMENTS.
- 12 ALUMINUM CURTAIN WALL SYSTEM WITH ALUMINUM SINGLE BLADE SHADING DEVICE - BOD: KAWNEER VERSOLIEL - SEE ALTERNATE.
- 13 EPDM ROOF SYSTEM - REFER TO A103 FOR ADDITIONAL INFORMATION.
- 14 PREFINISHED METAL COPING SYSTEM BELOW - REFER TO A103 FOR ADDITIONAL INFORMATION.
- 15 EXISTING EPDM ROOF SYSTEM TO REMAIN. REFER TO A103 FOR ADDITIONAL INFORMATION.
- 16 1/2" LAMINATED GLASS TRANSOM SET IN ALUMINUM CHANNEL ALL SIDES. REFER TO P-TYPES FOR ADDITIONAL INFORMATION.
- 17 EWC - REFER TO PLUMBING FOR ADDITIONAL INFORMATION
- 18 SHAFT WALL UNDER STAIR
- 19 SALVAGED CASEWORK
- 20 EXISTING WINDOW SYSTEM TO REMAIN
- 21 NEW 6" METAL STUD FURRING AT 16" O.C. WITH BATT INSULATION, VAPOR RETARDER AND 5/8" GWB.
- 22 SS CANE DETECTION RAIL SYSTEM.
- 23 PAINTED AESS DIAGONAL BRACING. REFER TO STRUCTURAL.
- 24 CONCRETE HOUSEKEEPING PAD.
- 25 KNOCK OUT PANEL WITH STRUCTURAL HEADER ABOVE STUD FRAMING.
- 26 N/A
- 27 PROVIDE ACCESS PANELS IN WALL ABOVE CEILING - REFER TO MECHANICAL.
- 28 CONCRETE BASE - REFER TO STRUCTURAL.
- 29 SINK - REFER TO PLUMBING
- 30 JANITOR SINK - REFER TO PLUMBING
- 31 CONCRETE COLUMN - REFER TO STRUCTURAL
- 32 EXTENT OF NEW 6" CONCRETE SLAB ON GRADE WITH 15 MIL VAPOR BARRIER - REFER TO STRUCTURAL.



1 FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



SYMBOLS LEGEND

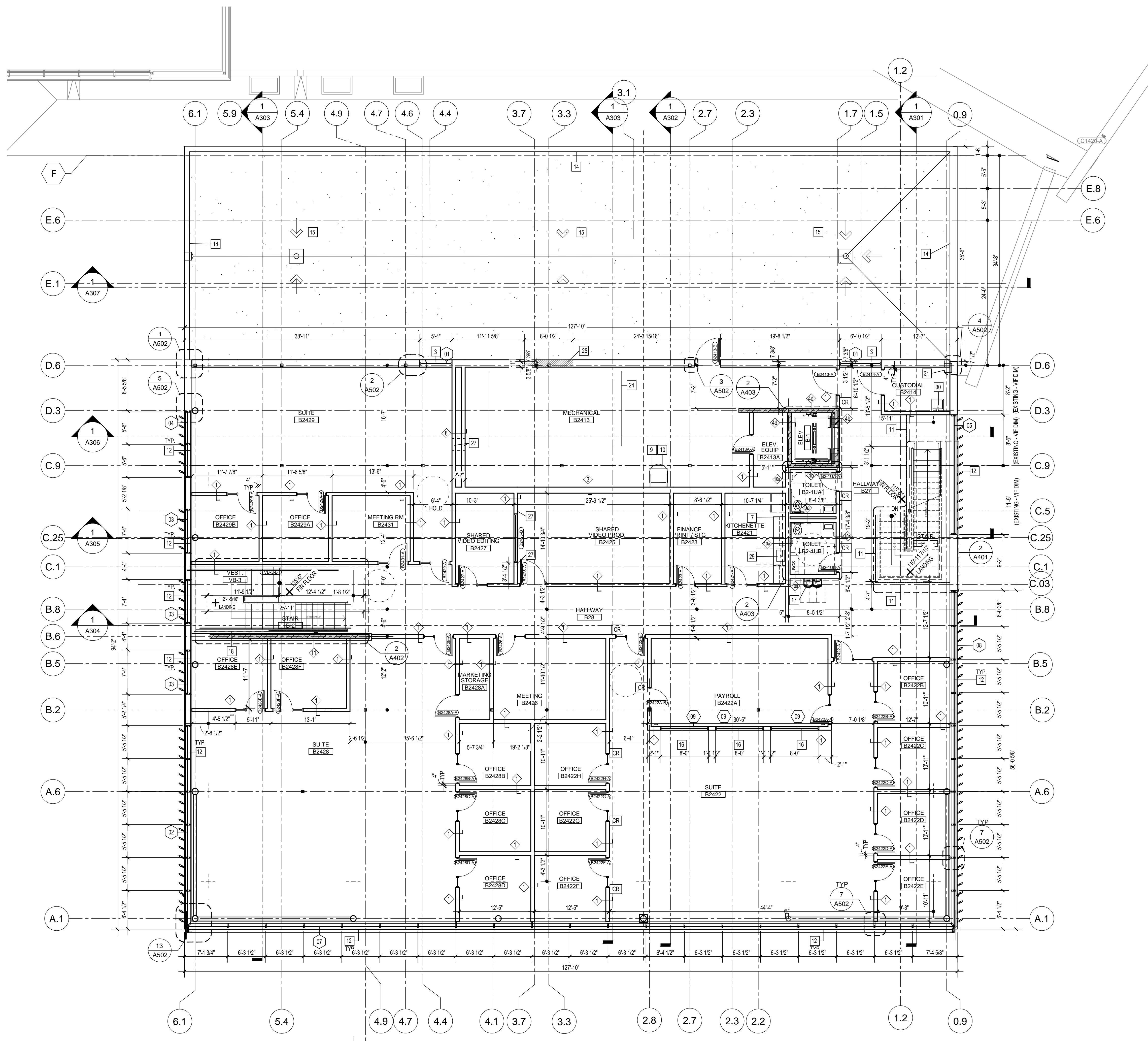
- DOOR NUMBER ICON
- INTERIOR ELEVATION ICON
- EXTERIOR ELEVATION ICON
- SECTION ICON
- PARTITION TYPE ICON
- KEYED NOTE ICON
- WINDOW TYPE ICON
- SPOT ELEVATION ICON
- SECTION ELEVATION ICON
- CEILING HEIGHT ICON
- EXISTING COLUMN GRID ICON
- NEW COLUMN GRID ICON
- POWER ACTUATOR
- CARD READER

GENERAL NOTES:

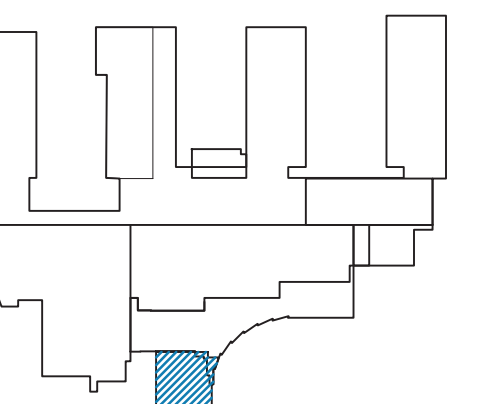
1. VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE. AS PORTIONS OF EXISTING CONSTRUCTION MAY HAVE BEEN REMOVED BY OWNER.
2. COORDINATE DEMOLITION DRAWINGS WITH ARCHITECTURAL AND MEPS DRAWINGS FOR EXTENTS AND LIMITATIONS AS WELL AS ADDITIONAL DEMOLITION NOTES AND DETAILS.
3. GC SHALL COORDINATE MECHANICAL, ELECTRICAL, PLUMBING ROOF, WALL SLEEVE AND SHAFTS WITH OTHER TRADES AND DOCUMENTS.
4. MAINTAIN CONTINUITY OF UTILITY SERVICE TO ALL ADJACENT AND RELATED SPACES NOT AFFECTED BY THIS WORK. COORDINATE ANY DISRUPTION REQUIRED TO PERFORM WORK OR TO MODIFY EXISTING PIPING, DUCTWORK OR ANY ASSOCIATED EQUIPMENT.
5. CONSTRUCT AND MAINTAIN A DUST-PROOF PARTITION TO SEPARATE AREAS OF CONSTRUCTION FROM ADJACENT OCCUPIED AREAS OUTSIDE THE SCOPE OF CONSTRUCTION.
6. FINISHED FIRST FLOOR ELEVATION IS ASSUMED 100'-0" IN THESE DRAWINGS.
7. REFER TO DRAWING A601 FOR PARTITION TYPES AND DETAILS.
8. REFER TO PROJECT'S GENERAL REQUIREMENTS FOR PROJECT CONSTRUCTION SEQUENCING.
9. DIMENSIONS ARE TO FINISHED FACE UNLESS OTHERWISE NOTED.
10. REFER TO ROOM FINISH SCHEDULE FOR FINAL FINISHES. PREP SURFACES TO RECEIVE FINAL FINISH.
11. PROVIDE BLOCKING AND REINFORCING TO ACCOMMODATE CASEWORK, EQUIPMENT AND OTHER DEVICES.
12. COORDINATE OWNER SUPPLIED EQUIPMENT.
13. REFER TO FINISH PLAN AND SCHEDULE FOR INTERIOR FINISHES.

KEYED FLOOR PLAN NOTES:

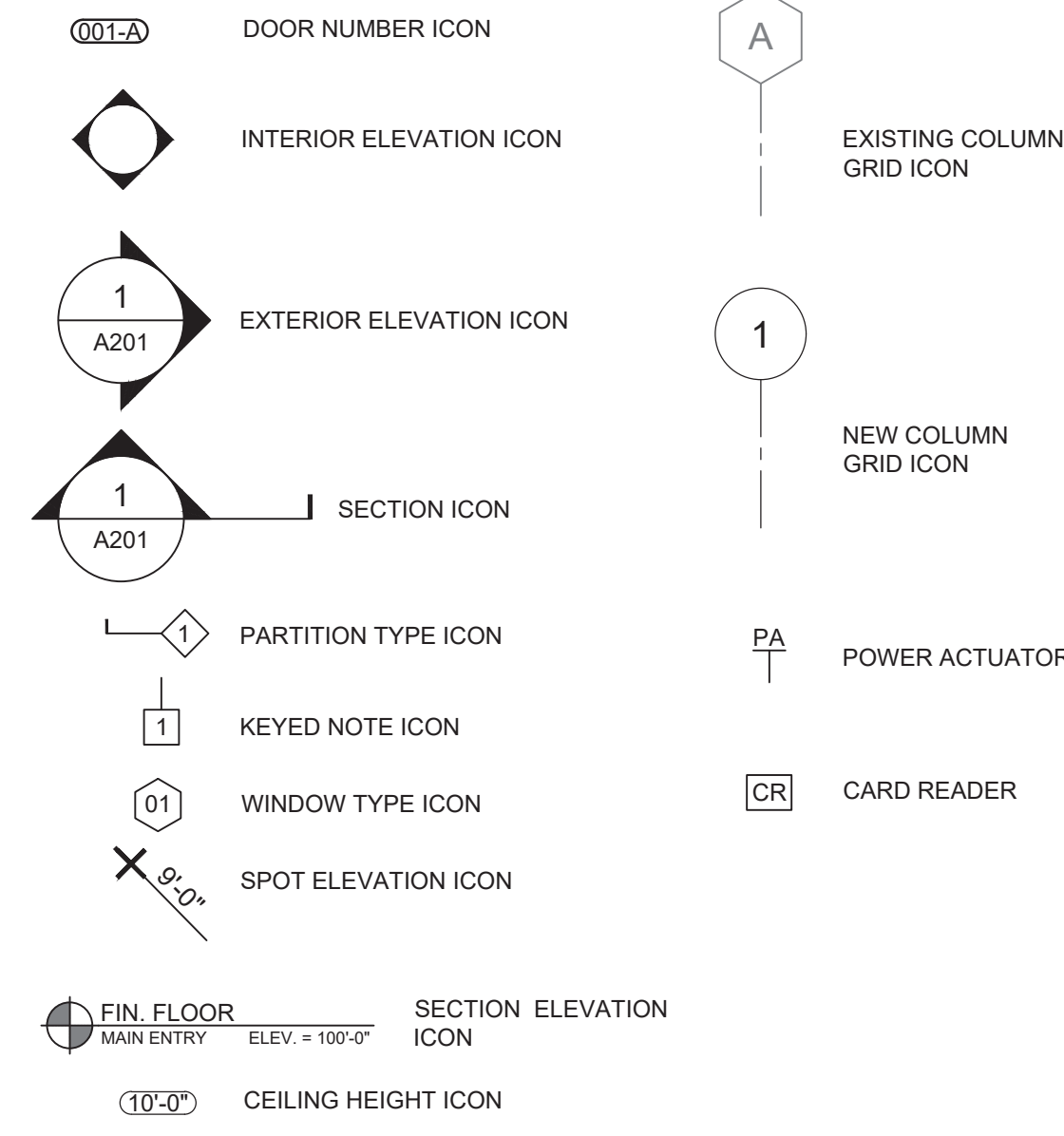
- 1 NEW 6" STUD FRAMING AT 16" O.C. WITH BATTING INSULATION, VAPOR RETARDER AND 5/8" MILDEW RESISTANT GWB. TYP. EXISTING STUD FRAMING AND EXTERIOR SHEATHING TO REMAIN UNLESS NOTED OTHERWISE.
- 2 NEW STUD FURRING, VAPOR RETARDER AND 5/8" MILDEW RESISTANT GWB. EXISTING MASONRY TO REMAIN. REFER TO A310 SERIES WALL SECTIONS FOR ADDITIONAL INFORMATION.
- 3 NEW ALUMINUM CURTAIN WALL SYSTEM - TYP.
- 4 OPENING IN PARTITION. REFER TO INTERIOR ELEVATIONS.
- 5 FACE OF BUILDING ABOVE.
- 6 PAINTED AESS COLUMN - TYP AT EXTERIOR. REFER TO STRUCT FOR ADDITIONAL INFORMATION.
- 7 CASEWORK - REFER TO INTERIOR ELEVATIONS
- 8 SALVAGED, REINSTALLED SHOE MOUNTED GLASS PARTITION SYSTEM. REFER TO DEMOLITION.
- 9 ROOF HATCH ABOVE
- 10 ACCESS LADDER WITH CAGE. ANCHOR TO CMU PER MFR REQUIREMENTS.
- 11 GLASS GUARDRAIL SYSTEM WITH SS SHOE ANCHOR TO CONC PER MFR REQUIREMENTS.
- 12 ALUMINUM CURTAIN WALL SYSTEM WITH ALUMINUM SINGLE BLADE SHADING DEVICE - BOD. KAWNEER VERSOLIEL - SEE ALTERNATE.
- 13 EPDM ROOF SYSTEM - REFER TO A103 FOR ADDITIONAL INFORMATION.
- 14 PREFINISHED METAL COPING SYSTEM BELOW - REFER TO A103 FOR ADDITIONAL INFORMATION.
- 15 EXISTING EPDM ROOF SYSTEM TO REMAIN. REFER TO A103 FOR ADDITIONAL INFORMATION.
- 16 1/2" LAMINATED GLASS TRANSOM SET IN ALUMINUM CHANNEL ALL SIDES. REFER TO P-TYPES FOR ADDITIONAL INFORMATION.
- 17 EWC - REFER TO PLUMBING FOR ADDITIONAL INFORMATION.
- 18 SHAFT WALL UNDER STAIR
- 19 SALVAGED CASEWORK
- 20 EXISTING WINDOW SYSTEM TO REMAIN
- 21 NEW 6" METAL STUD FURRING AT 16" O.C. WITH BATT INSULATION, VAPOR RETARDER AND 5/8" GWB.
- 22 SS CANE DETECTION RAIL SYSTEM.
- 23 PAINTED AESS DIAGONAL BRACING. REFER TO STRUCTURAL.
- 24 CONCRETE HOUSEKEEPING PAD.
- 25 KNOCK OUT PANEL WITH STRUCTURAL HEADER ABOVE STUD FRAMING.
- 26 N/A
- 27 PROVIDE ACCESS PANELS IN WALL ABOVE CEILING - REFER TO MECHANICAL.
- 28 CONCRETE BASE - REFER TO STRUCTURAL.
- 29 SINK - REFER TO PLUMBING.
- 30 JANITOR SINK - REFER TO PLUMBING
- 31 CONCRETE COLUMN - REFER TO STRUCTURAL
- 32 EXTENT OF NEW 5" CONCRETE SLAB ON GRADE WITH 15 MIL VAPOR BARRIER - REFER TO STRUCTURAL.



1 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



SYMBOLS LEGEND



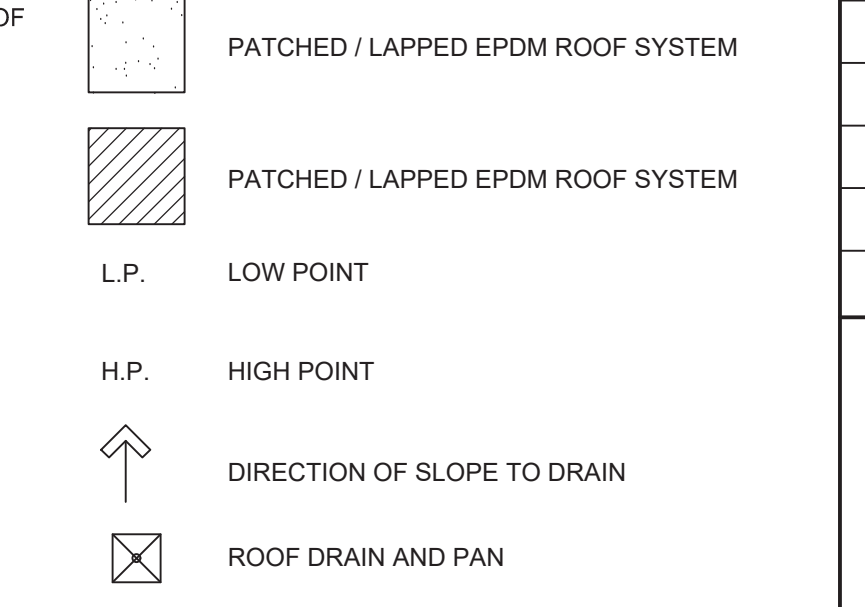
GENERAL NOTES:

1. VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE AS PORTIONS OF EXISTING CONSTRUCTION MAY HAVE BEEN REMOVED BY OWNER.
2. COORDINATE DEMOLITION DRAWINGS WITH ARCHITECTURAL AND MEPS DRAWINGS FOR EXTENTS AND LIMITATIONS AS WELL AS ADDITIONAL DEMOLITION NOTES AND DETAILS.
3. GC SHALL COORDINATE MECHANICAL, ELECTRICAL, PLUMBING ROOF, WALL SLEEVE AND SHAFTS WITH OTHER TRADES AND DOCUMENTS.
4. MAINTAIN CONTINUITY OF UTILITY SERVICE TO ALL ADJACENT AND RELATED SPACES NOT AFFECTED BY THIS WORK. COORDINATE ANY DISRUPTION REQUIRED TO PERFORM WORK OR TO MODIFY EXISTING PIPING, DUCTWORK OR ANY ASSOCIATED EQUIPMENT.
5. CONSTRUCT AND MAINTAIN A DUST-PROOF PARTITION TO SEPARATE AREAS OF CONSTRUCTION FROM ADJACENT OCCUPIED AREAS OUTSIDE THE SCOPE OF CONSTRUCTION.
6. FINISHED FIRST FLOOR ELEVATION IS ASSUMED 100'-0" IN THESE DRAWINGS.
7. REFER TO DRAWING A601 FOR PARTITION TYPES AND DETAILS.
8. REFER TO PROJECT'S GENERAL REQUIREMENTS FOR PROJECT CONSTRUCTION SEQUENCING.
9. DIMENSIONS ARE TO FINISHED FACE UNLESS OTHERWISE NOTED.
10. REFER TO ROOM FINISH SCHEDULE FOR FINAL FINISHES. PREP SURFACES TO RECEIVE FINAL FINISH.
11. PROVIDE BLOCKING AND REINFORCING TO ACCOMMODATE CASEWORK, EQUIPMENT AND OTHER DEVICES.
12. COORDINATE OWNER SUPPLIED EQUIPMENT.
13. REFER TO FINISH PLAN AND SCHEDULE FOR INTERIOR FINISHES.

ROOF PLAN GENERAL NOTES

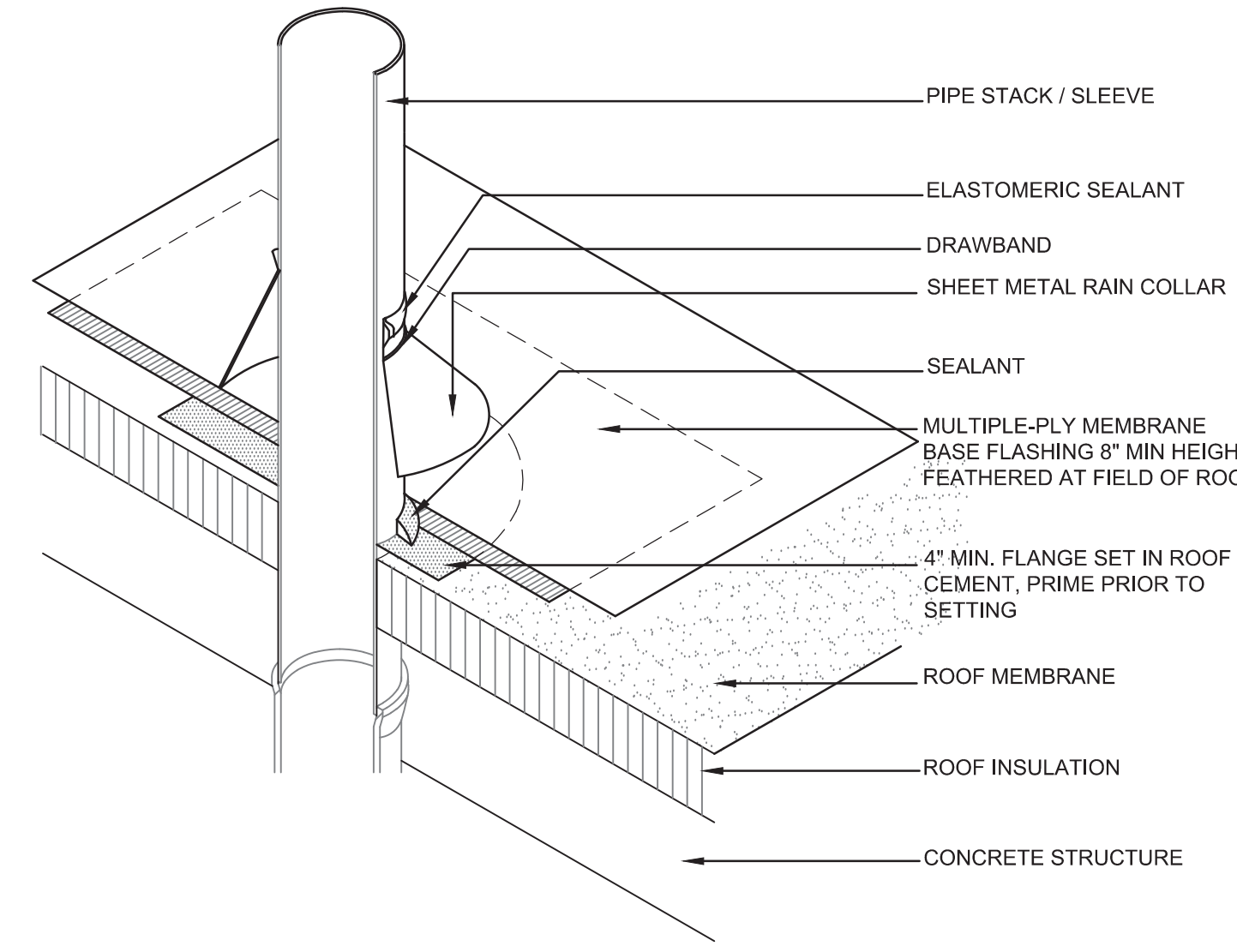
1. REFER TO ALL DRAWINGS INCLUDING ALL OTHER DISCIPLINES FOR ADDITIONAL GENERAL NOTES, ABBREVIATIONS AND SYMBOLS.
2. SEE PLUMBING DRAWINGS FOR ROOF DRAINS AND VENTS.
3. REFER TO STRUCTURAL DRAWINGS AND BUILDING SECTIONS FOR ROOF STRUCTURE.
4. TYPICAL: ROOF DECK / STRUCTURE IS FLAT, ALL DRAINAGE DONE WITH TAPERED INSULATION.
 - 4.1 TYPICAL PITCH: 1/4" PER 1'-0"
 - 4.2 SADDLES / CROCKETS MINIMUM PITCH: 1/8" PER 1'-0"

ROOF PLAN KEY

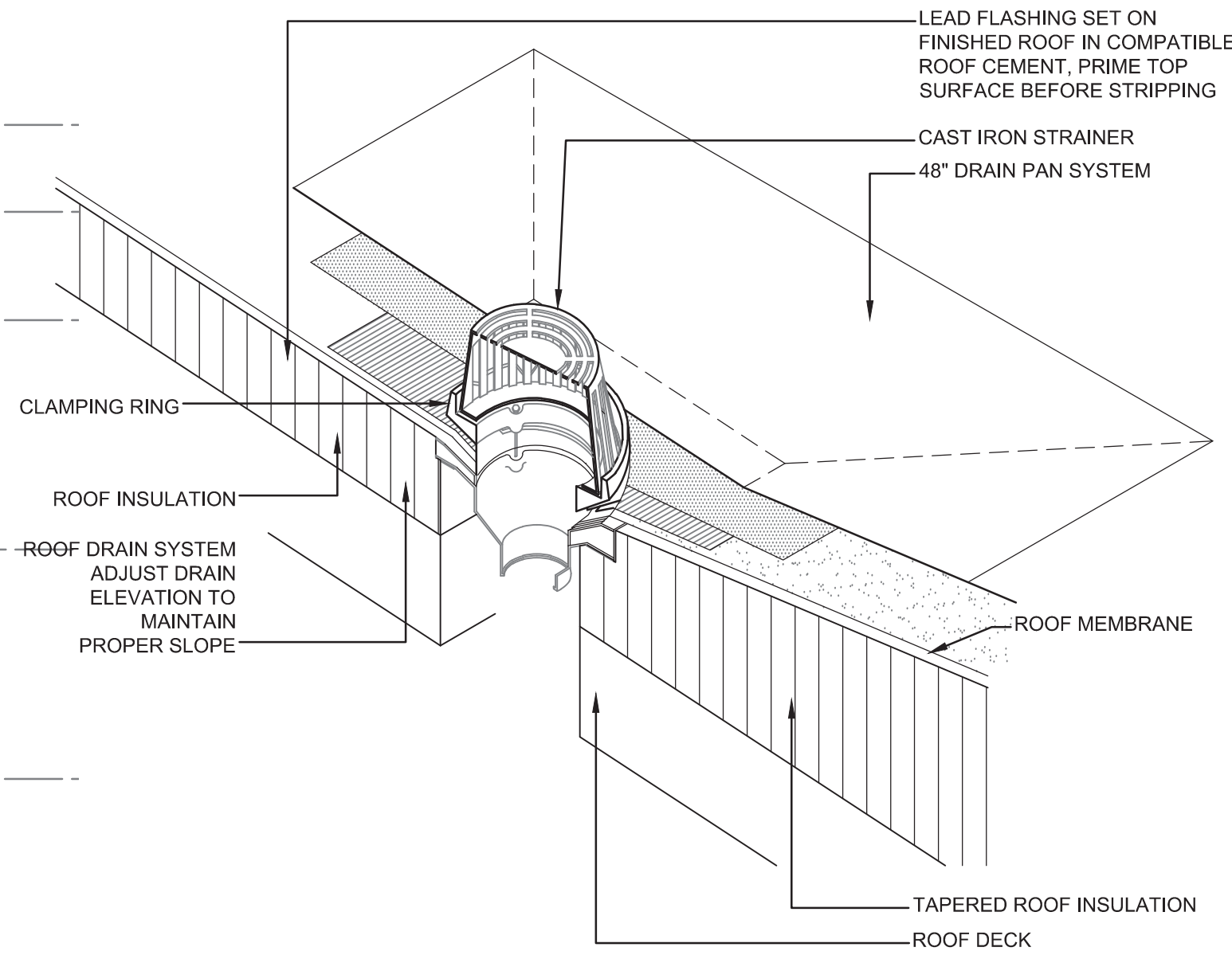


1 KEYED ROOF PLAN NOTES:

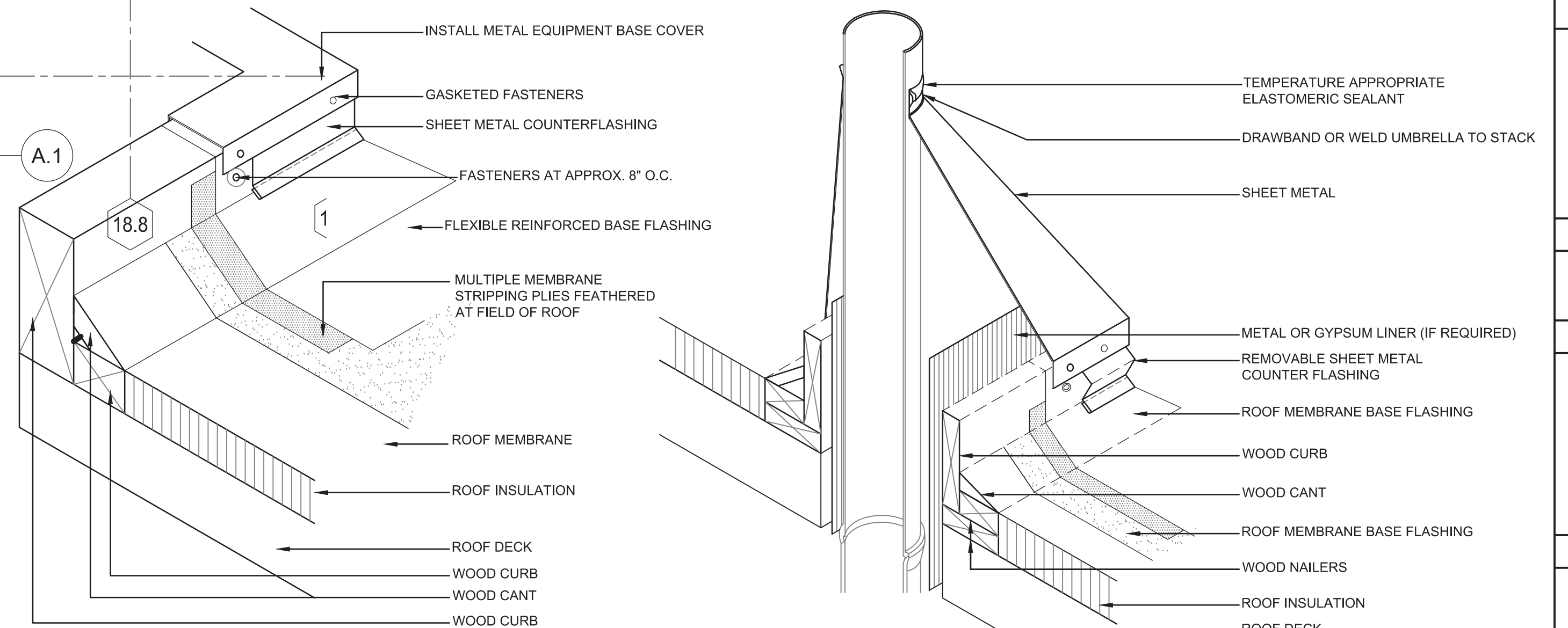
- 1 TRAFFIC PAD
- 2 WALL-FIXED LADDER TO ROOF
- 3 ROOFTOP MECHANICAL EQUIPMENT
- 4 ROOF DRAIN AND PAN - 4" MIN. INSUL. AT DRAIN
- 5 LOCKING ROOF HATCH
- 6 PHOTOVOLTAIC PANEL SYSTEM BY OWNER
- 7 PREFINISHED METAL COPING SYSTEM
- 8 FULLY ADHERED EPDM ROOF SYSTEM
- 9 ETR SKYLIGHT SYSTEM
- 10 NEW EPDM ROOF SYSTEM PATCHED TRAPPED OUT ETR EPDM ROOF SYSTEM. MAINTAIN INTEGRITY AND WARRANTY OF ETR EPDM SYSTEM.
- 10 PREFINISHED METAL ROOF EDGE SCUPPER WITH INTEGRATED FLANGE



2 ROOF DETAIL - VENT PIPE STACK
NOT TO SCALE

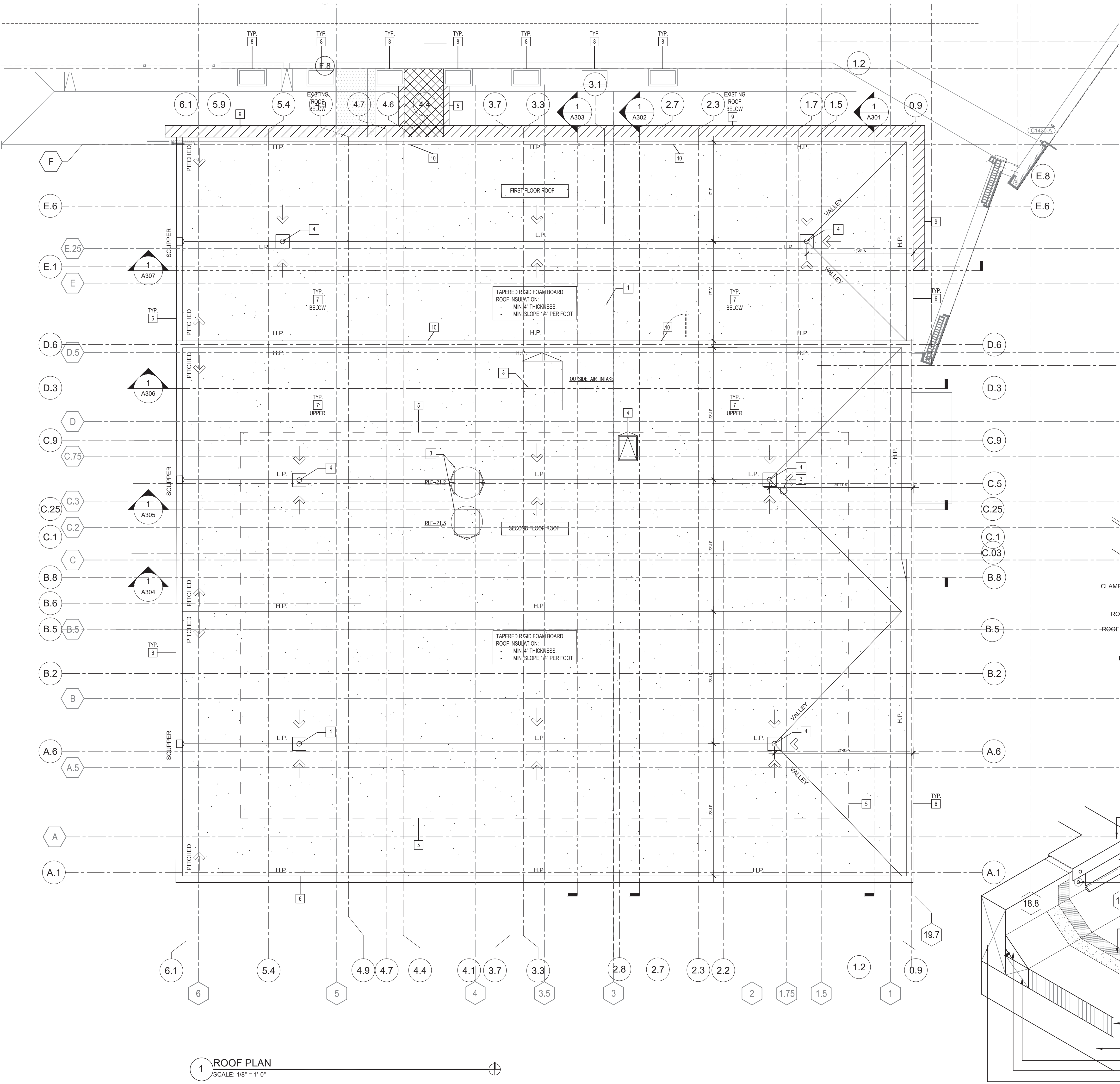


3 ROOF DETAIL - ROOF DRAIN
NO SCALE



4 ROOF DETAIL - ROOF PENETRATION CURB-TYPICAL
NOT TO SCALE

5 ROOF DETAIL - HOT PIPE STACK
NO SCALE



1 ROOF PLAN
SCALE: 1/8" = 1'-0"

- KEYED ELEVATION NOTES:**
- 1 EXISTING MASONRY VENEER TO REMAIN
 - 2 NEW MASONRY VENEER TO MATCH EXISTING
 - 3 EXISTING FENESTRATION TO REMAIN
 - 4 ALUMINUM CURTAIN WALL SYSTEM
 - 5 NEW ACM PANEL SYSTEM
 - 6 PAINTED AESS STEEL COLUMN
 - 7 SALVAGE STONE VENEER TO TOOTH INTO ADJACENT EXISTING STONE AS REQUIRED.
 - 8 EXISTING CONCRETE SILL TO REMAIN
 - 9 EXTERIOR DOOR AS SCHEDULED
 - 10 PRE-FINISHED METAL COPING SYSTEM
 - 11 ALUMINUM ENTRY SYSTEM AS SCHEDULED
 - 12 SUN SHADE DEVICE - SEE ALTERNATE
 - 13 EXISTING WALL SYSTEM TO REMAIN
 - 14 EPDM ROOF SYSTEM
 - 15 PAINTED AESS DIAGONAL BRACING, REFER TO STRUCTURAL
 - 16 KNOCKOUT PANEL, REFER TO MECHANICAL
 - 17 REMOVE AND REINSTALL STONE MASONRY TO ACCOMMODATE NEW CONCRETE COLUMN

Issued for: **BD**

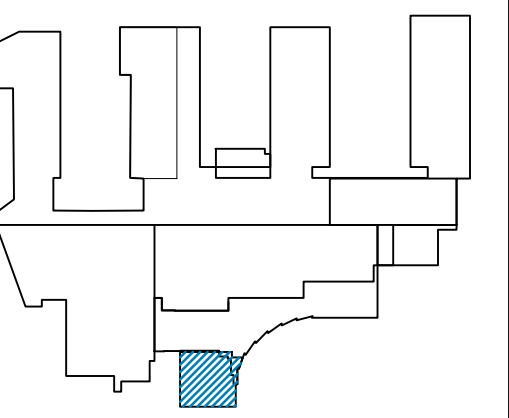
Issue date: **07-14-2022**

AA Project No.: **2021-08**

MC Project No.: **RFB22-006**

Bid Pkg No.: **-**

REVISION	DATE

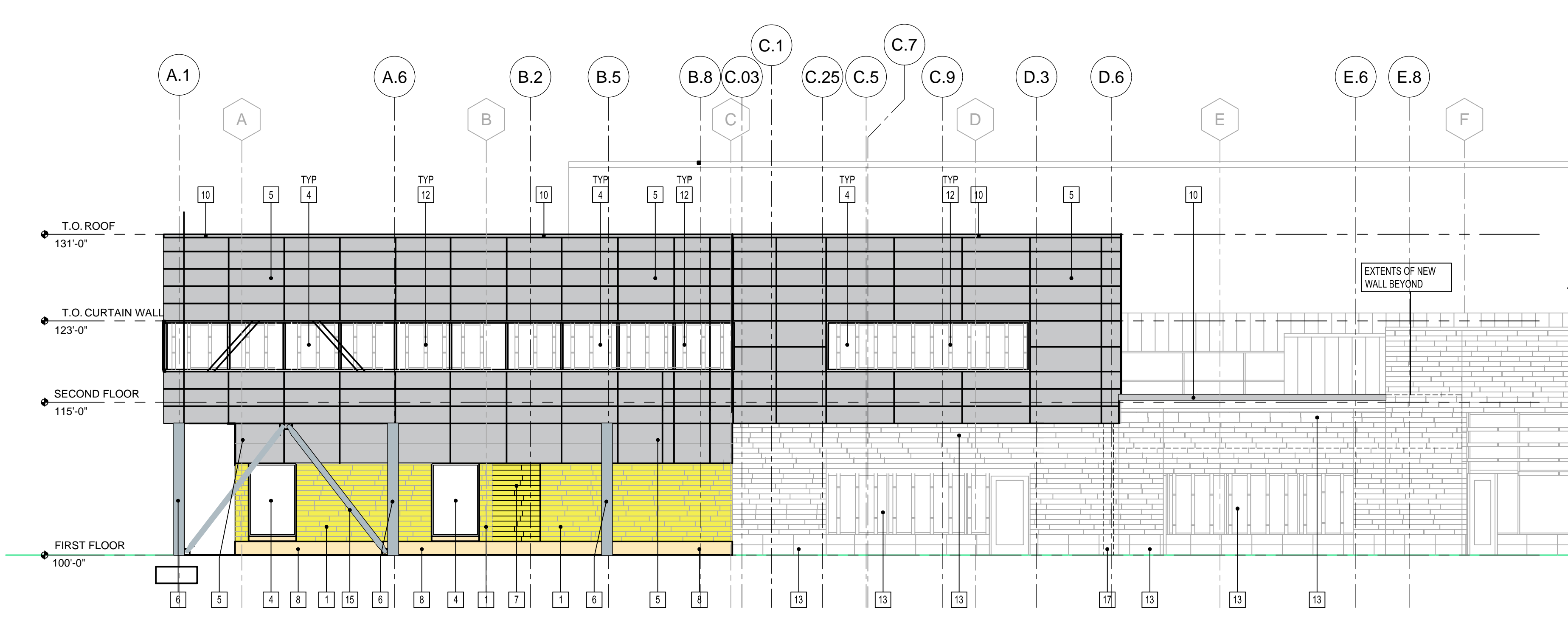


assemblage
ARCHITECTS
7433 Elmwood Avenue
Middleton, WI 53562
T 608.827.5047

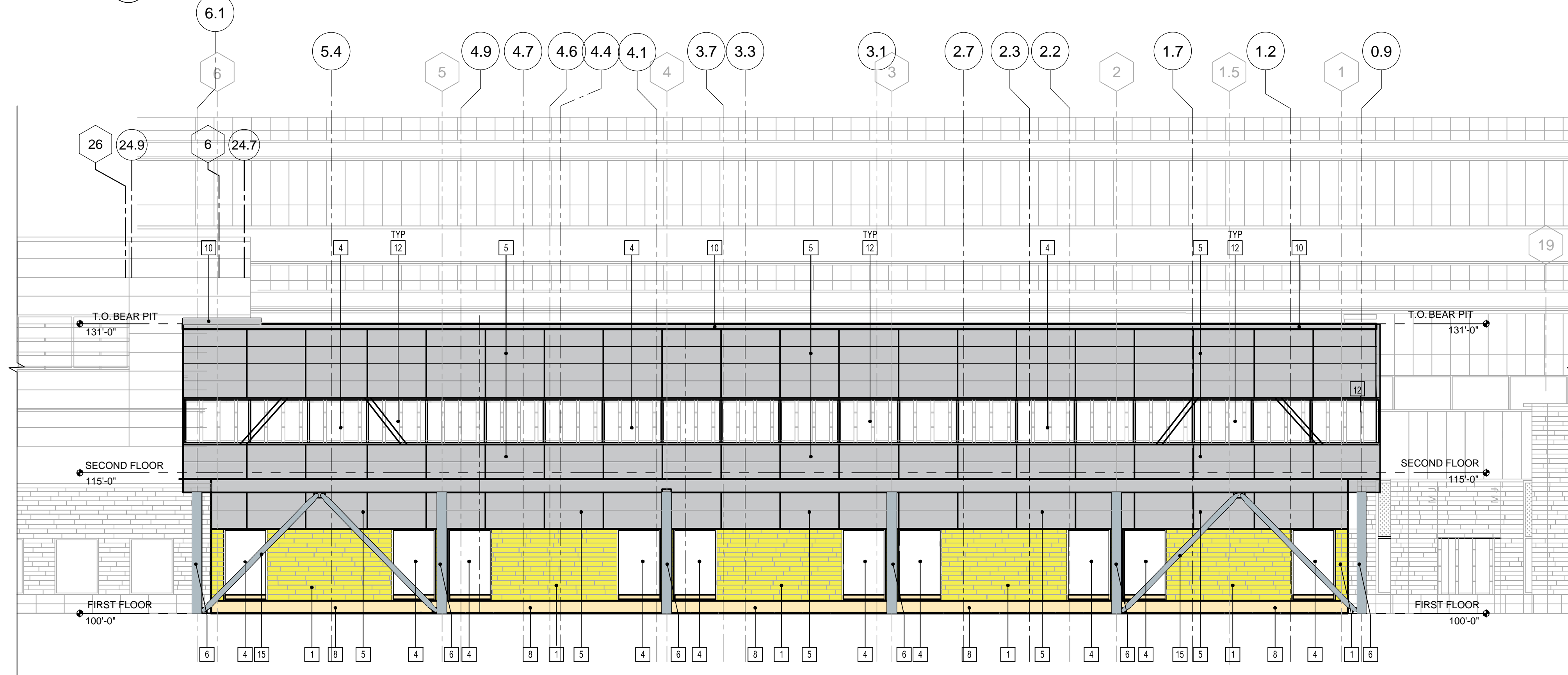
SCALE
1/8"=1'-0"

SHEET TITLE
BUILDING ELEVATIONS

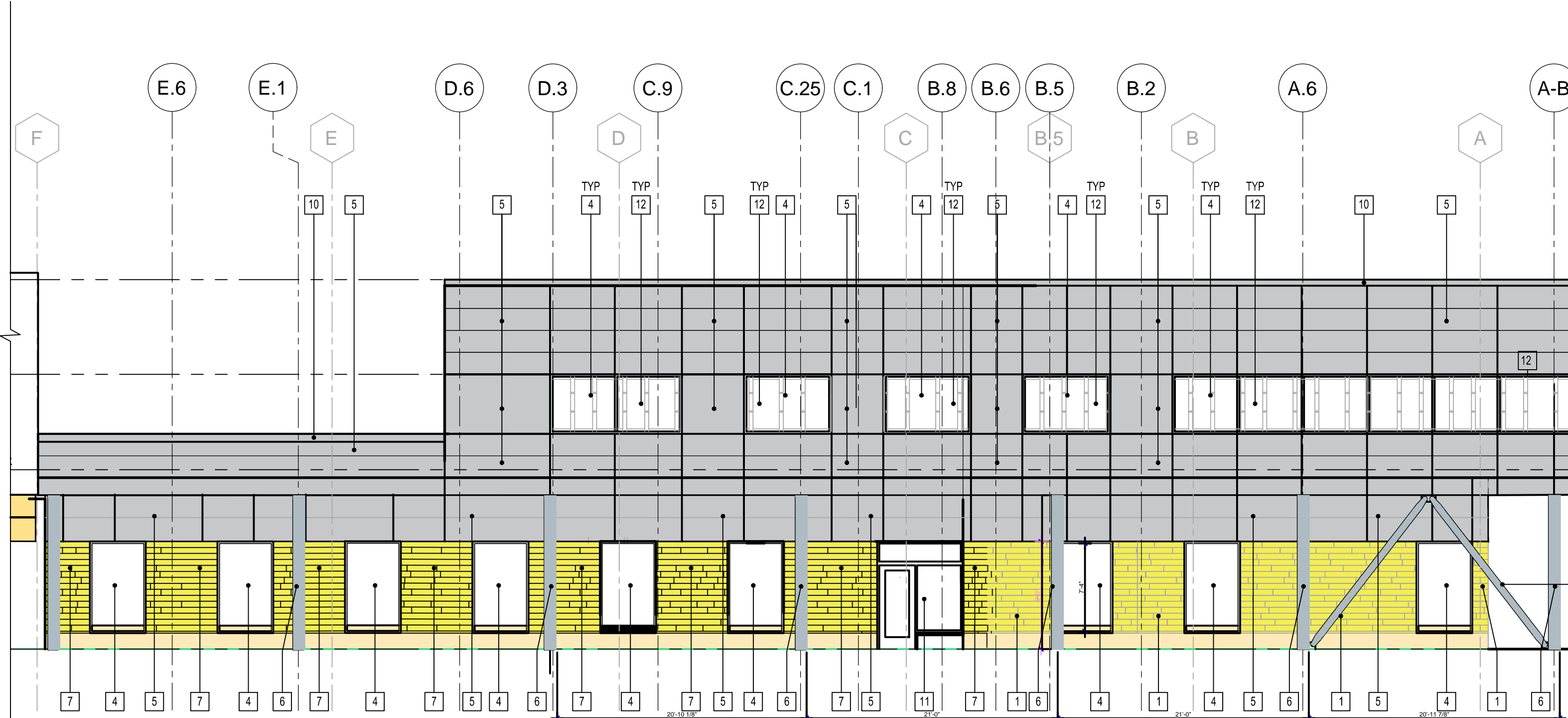
SHEET NUMBER
A201



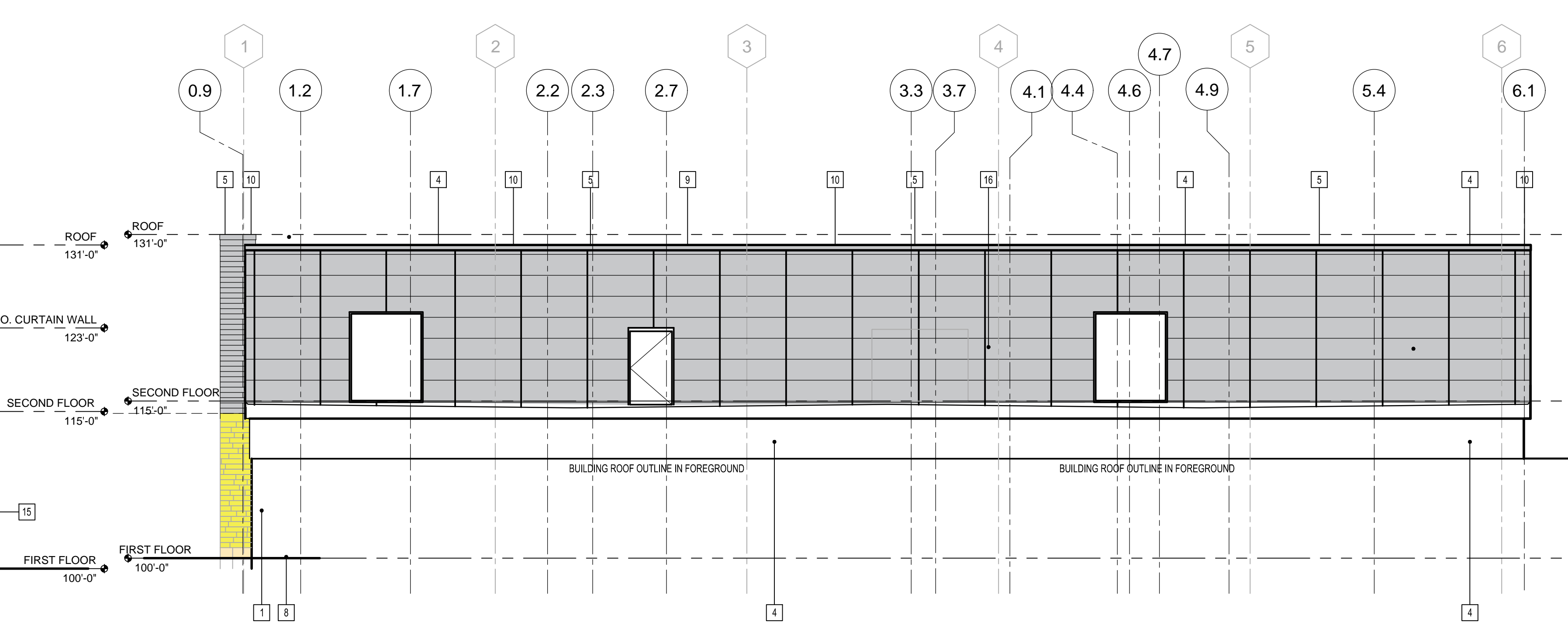
1 EAST ELEVATION
SCALE: 1/8" = 1'-0"



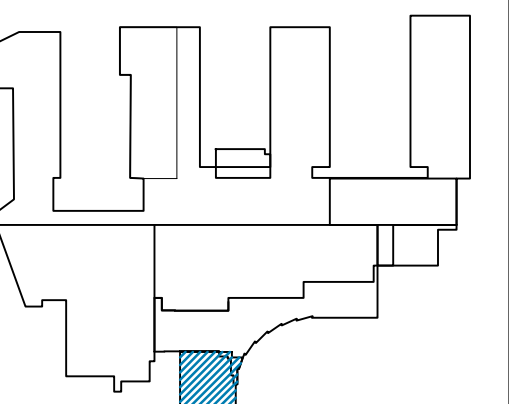
2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



3 WEST ELEVATION
SCALE: 1/8" = 1'-0"



4 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



SYMBOLS LEGEND

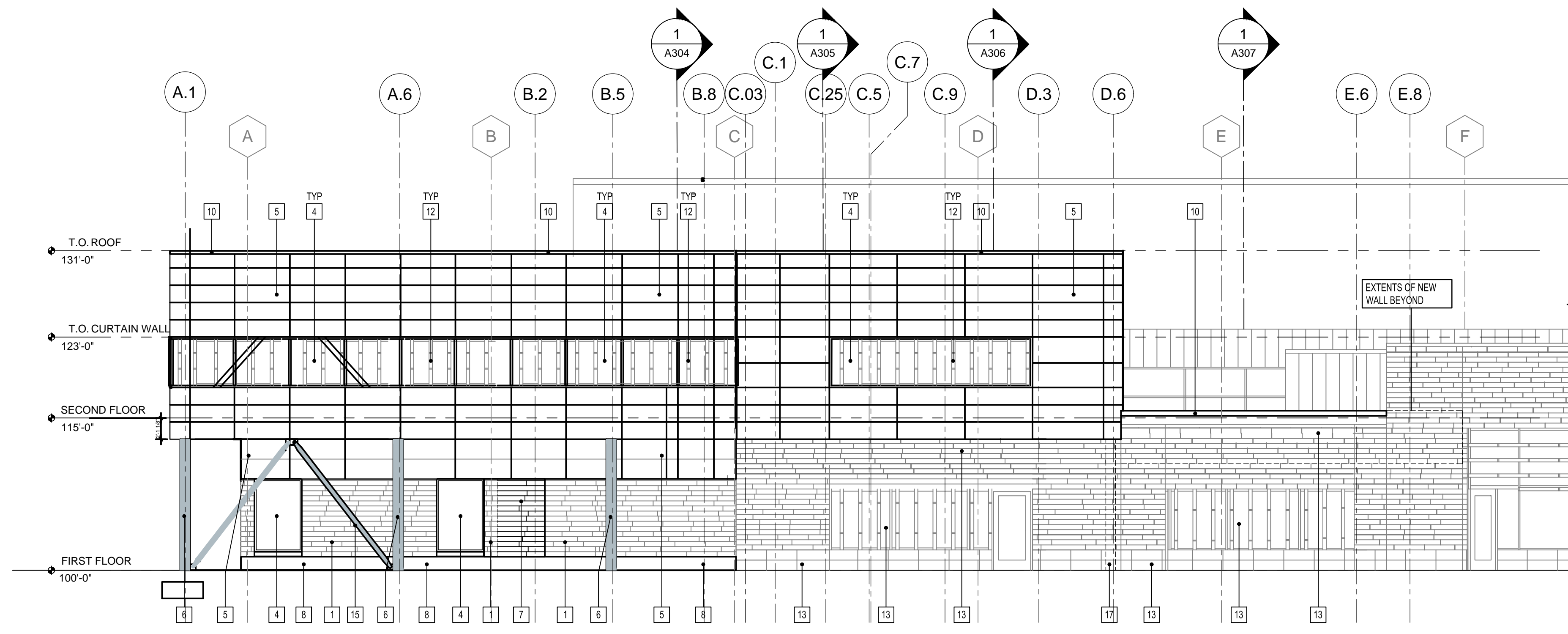
- DOOR NUMBER ICON
- INTERIOR ELEVATION ICON
- EXTERIOR ELEVATION ICON
- SECTION ICON
- PARTITION TYPE ICON
- KEYED NOTE ICON
- WINDOW TYPE ICON
- SPOT ELEVATION ICON
- FIN FLOOR MAIN ENTRY SECTION ELEVATION ICON
- CEILING HEIGHT ICON
- EXISTING COLUMN GRID ICON
- NEW COLUMN GRID ICON
- POWER ACTUATOR
- CARD READER

GENERAL NOTES:

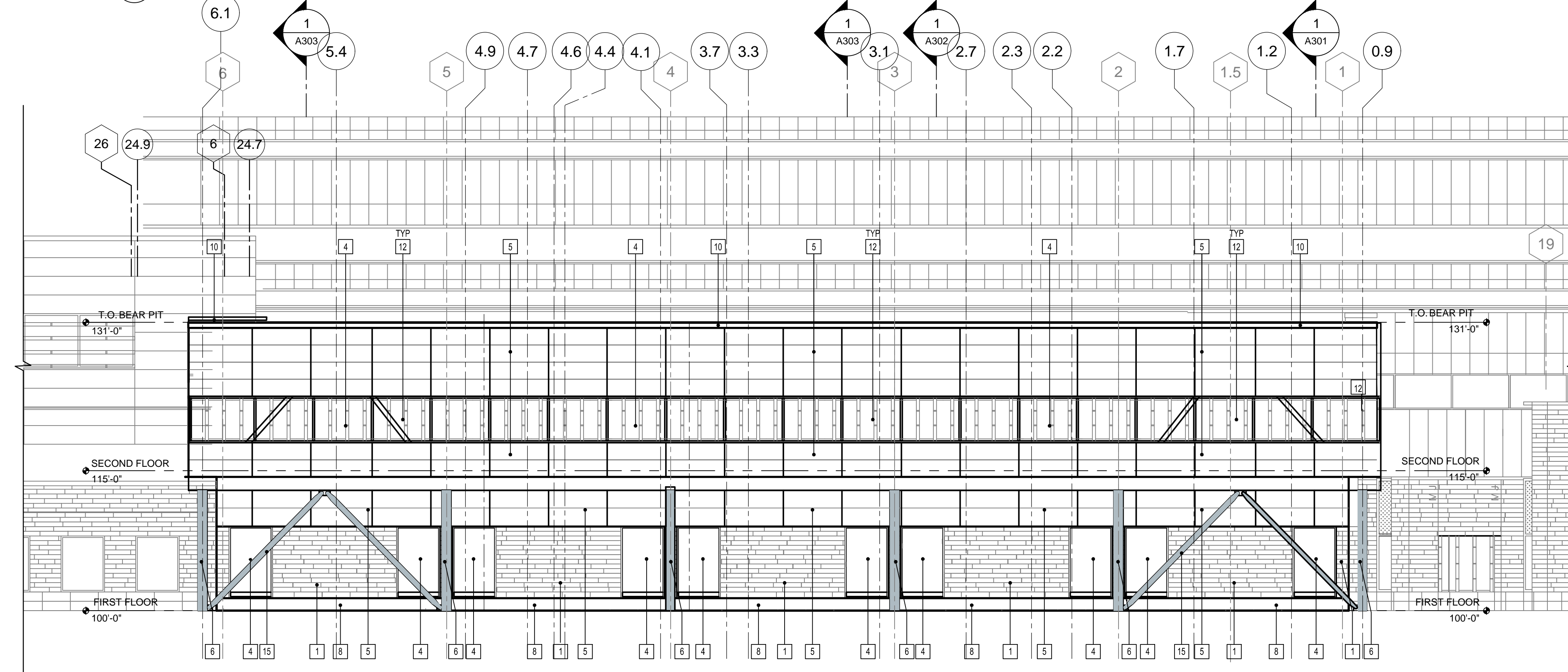
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KEYED ELEVATION NOTES:

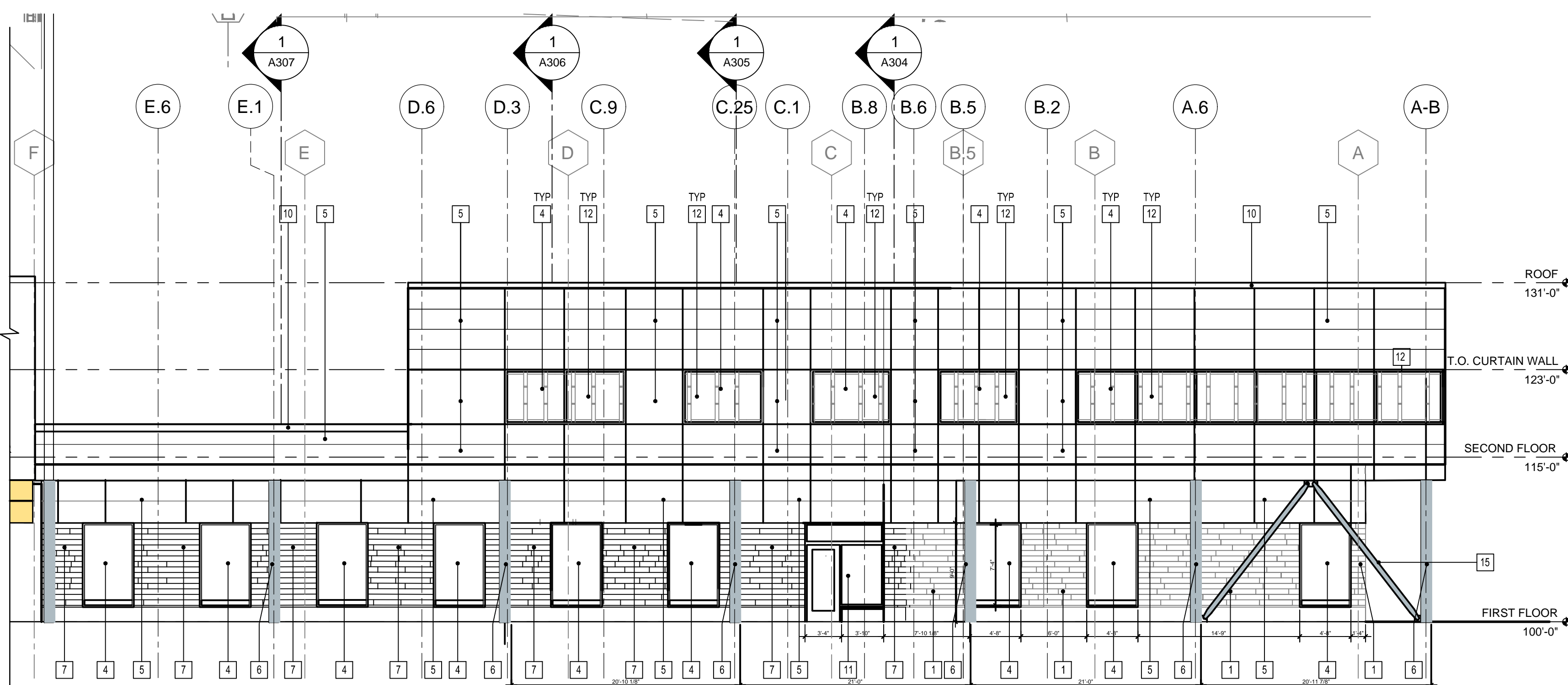
- 1 EXISTING MASONRY VENEER TO REMAIN
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- 5 NEW ACM PANEL SYSTEM
- 6 PAINTED AESS STEEL COLUMN
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- 9 EXTERIOR DOOR AS SCHEDULED
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- 15 PAINTED AESS DIAGONAL BRACING, REFER TO STRUCTURAL
- 16 KNOCKOUT PANEL, REFER TO MECHANICAL
- 17 REMOVE AND REINSTALL STONE MASONRY TO ACCOMMODATE NEW CONCRETE COLUMN



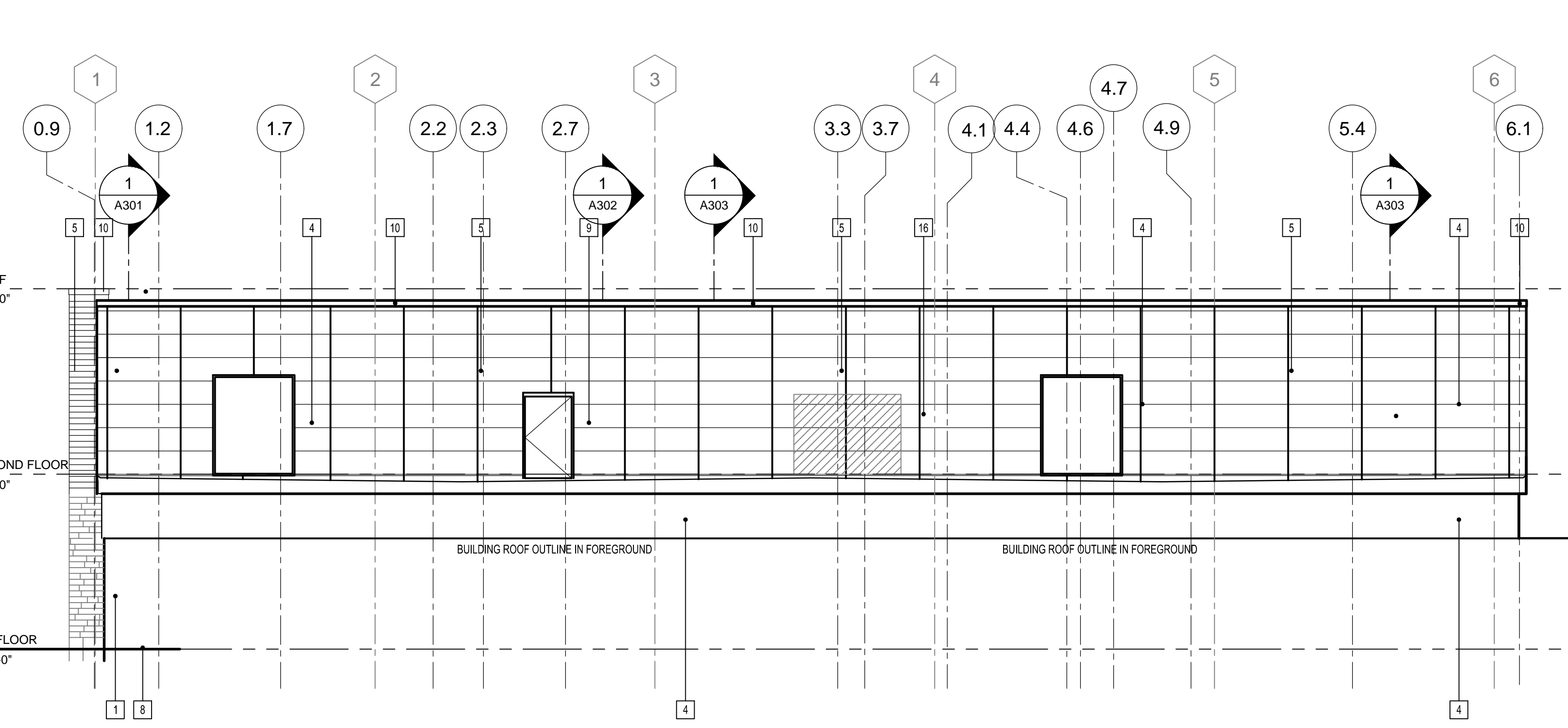
1 EAST ELEVATION
SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



3 WEST ELEVATION
SCALE: 1/8" = 1'-0"



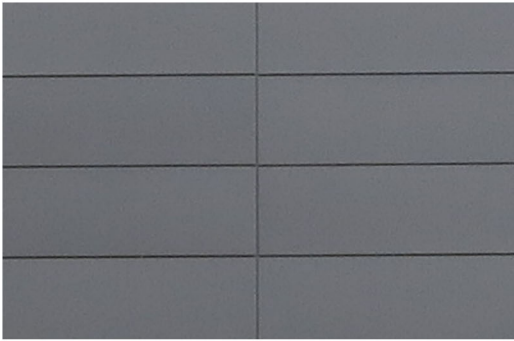
4 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



MADISON COLLEGE - ADMIN BUILDING
JUNE 22, 2022

ASSEMBLAGE ARCHITECTS

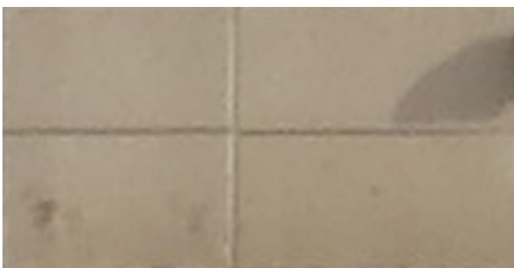
MADISON COLLEGE ADMINISTRATION BUILDING MATERIALS SAMPLE SHEET



METAL PANEL SYSTEM

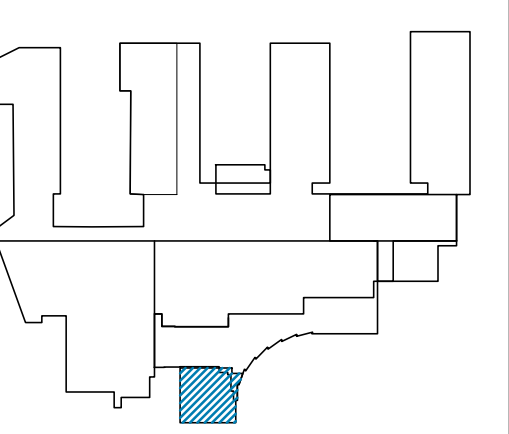
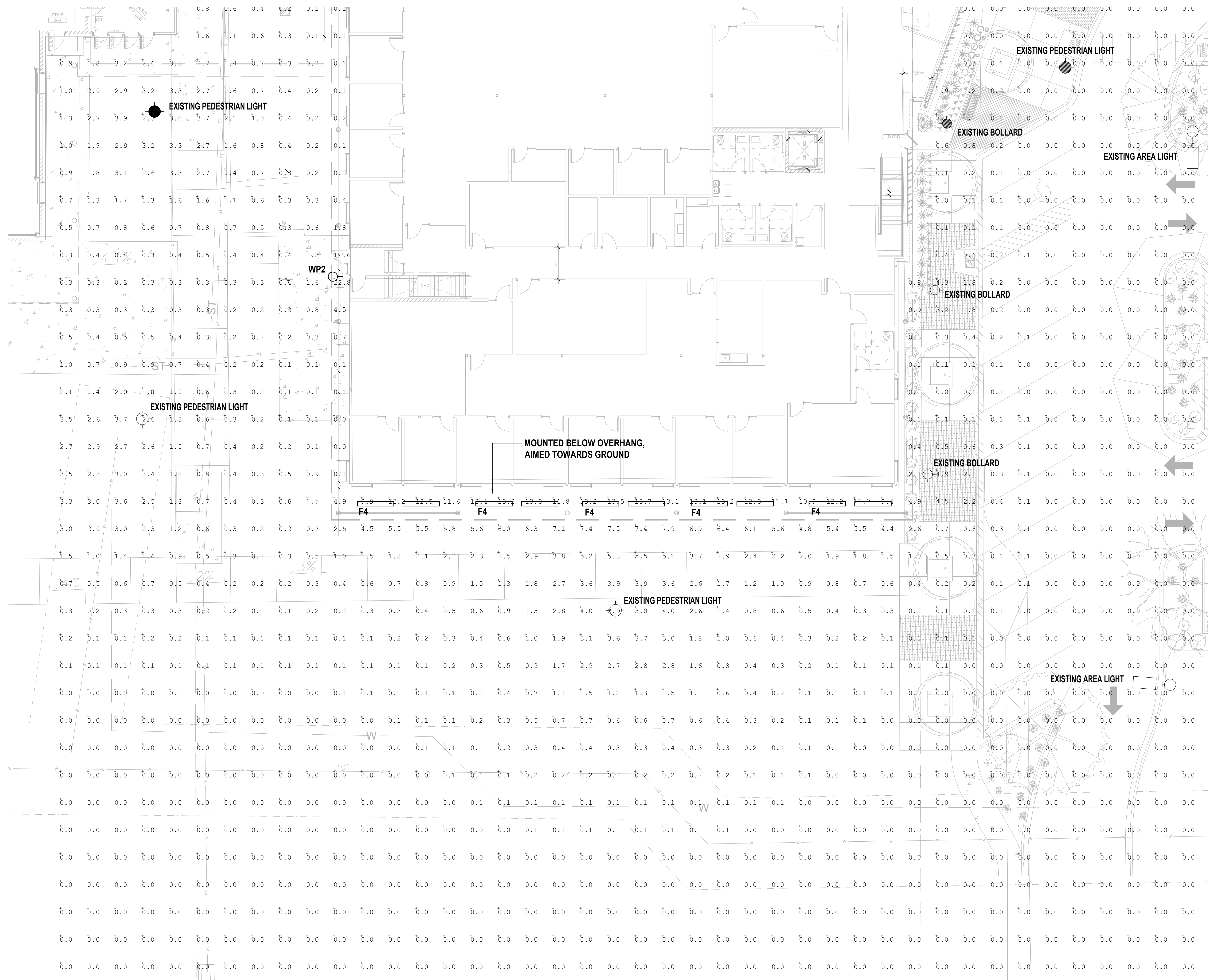


STONE VENEER SYSTEM



EXISTING CONCRETE BASE

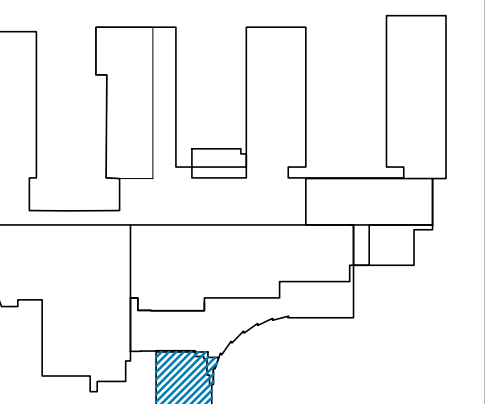
REVISION	DATE



assemblage
ARCHITECTS
7433 Elmwood Avenue
Middleton, WI 53562
T 608.827.5047

Henneman
Engineering Inc.
Madison: 1232 Fourier Drive, Suite 101
Madison, Wisconsin 53717-1960
608.833.7000 F 608.833.6996
HEI Project No.: 10183

REVISION	DATE



assemblage ARCHITECTS
7433 Elmwood Avenue
Middleton, WI 53562
T 608.827.5047

Henneman Engineering Inc.
Madison: 1232 Fourier Drive, Suite 101
Madison, Wisconsin 53717-1960
608.833.7000 F 608.833.6996

HEI Project No.: 10183

SCALE

SHEET TITLE

SITE LIGHTING LUMINAIRES

SHEET NUMBER

E002

TYPE F4

VIA WET LED SURFACE

DESCRIPTION
Via Wet offers architectural lighting for wet locations in both exterior and interior applications. With a simple 2 1/2" high by 4 1/2" wide profile of extruded aluminum, Via Wet can be installed in recessed, ceiling, wall, or pendant mounting. Fully sealed, Via Wet is suitable for extreme weather condition, -20°C/-4°F to 40°C/104°F. A choice of output options provides up to 1000 lumens per foot section.

PROJECT: _____
TYPE: _____
NOTES: _____

IMPORTANT: Fixture must be installed with lens facing down.

LUMINAIRE ID	PROTECTIVE OPTICS	OPTICS	LED	CRF	LUMEN PACKAGES	COLOR TEMP
VIAWET5 - via wet surface	TMG - Tempered Clear Glass PFC - Clear Polycarbonate	HLD - High Efficiency Lambertian Optic PMD - Precision Micro Prisms Optic	LED - High performance LED	90 - 90CRI	500 - max. low output 500lm/ft 1000 - medium output 1000lm/ft 1500 - max. high output 1500lm/ft www.lumenwerx.com	27 - 5000K 30 - 3000K 35 - 3500K 40 - 4000K 50 - 5000K

LUMINAIRE LENGTH	VOLTAGE	DRIVER	ELECTRICAL	CEILING MOUNTING	POWER FEED	FINISH
Standard sections - 3, 4 For all other specify length #FT - nominal length in feet Continuous Run - 4' sections Joint together	120 - 277V 277 - 277V 347 - 347V	D1 - Full dimming 0-10V DA - Dali	1-1 circuit +HBM - emergency light circuit +HMC - high light circuit +HTDAAA - generator transfer device, 120V or 277V	GBM - Gasketed surface mount EF - end feed TF - top feed	W - matte white AL - aluminum CFE - custom finish specify RALs	

CROSS SECTION

VIAWET5

OPTICS AND PROTECTIVE OPTICS

TMG - HLO - Tempered Clear Glass with High Efficiency Lambertian Optic

File Name: VIAWET-SURFACE-SPEC Page: 1 / 5 August 13, 2019

VIA WET LED SURFACE

DESCRIPTION
Via Wet offers architectural lighting for wet locations in both exterior and interior applications. With a simple 2 1/2" high by 4 1/2" wide profile of extruded aluminum, Via Wet can be installed in recessed, ceiling, wall, or pendant mounting. Fully sealed, Via Wet is suitable for extreme weather condition, -20°C/-4°F to 40°C/104°F. A choice of output options provides up to 1000 lumens per foot section.

PROJECT: _____
TYPE: _____
NOTES: _____

IMPORTANT: Fixture must be installed with lens facing down.

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VIAWET5 - via wet surface	TMG - Tempered Clear Glass PFC - Clear Polycarbonate	HLD - High Efficiency Lambertian Optic PMD - Precision Micro Prisms Optic	LED - High performance LED	90 - 90CRI	500 - max. low output 500lm/ft 1000 - medium output 1000lm/ft 1500 - max. high output 1500lm/ft www.lumenwerx.com	27 - 5000K 30 - 3000K 35 - 3500K 40 - 4000K 50 - 5000K

LUMINAIRE LENGTH	VOLTAGE	DRIVER	ELECTRICAL	CEILING MOUNTING	POWER FEED	FINISH
Standard sections - 3, 4 For all other specify length #FT - nominal length in feet Continuous Run - 4' sections Joint together	120 - 277V 277 - 277V 347 - 347V	D1 - Full dimming 0-10V DA - Dali	1-1 circuit +HBM - emergency light circuit +HMC - high light circuit +HTDAAA - generator transfer device, 120V or 277V	GBM - Gasketed surface mount EF - end feed TF - top feed	W - matte white AL - aluminum CFE - custom finish specify RALs	

CROSS SECTION

VIAWET5

OPTICS AND PROTECTIVE OPTICS

TMG - HLO - Tempered Clear Glass with High Efficiency Lambertian Optic

File Name: VIAWET-SURFACE-SPEC Page: 5 / 5 August 13, 2019

TYPE WP2

Wall luminaires with directed light

Housing: One piece die-cast aluminum supplied with universal mounting bracket for direct attachment to 3 1/2" or 4" octagonal wiring box. Die castings are marine grade, copper free (is 0.3% copper content) A380.0 aluminum alloy.

Enclosure: One piece die-cast aluminum cover frame secured by captive socket head, stainless steel screws threaded into stainless steel inserts. Semi-specular, anodized aluminum internal reflector. Stippled tempered clear glass. Fully gasketed for weather tight operation using a molded silicone rubber O-ring gasket.

Electrical: 17.9W LED luminaire, 22.9 total system watts, -30°C start temperature. Integral 120V through 277V electronic LED driver, 0-10V dimming. LED modules are available from factory for easy replacement. Standard LED color temperature is 3000K with an 80 CRI. Available in 4000K (90 CRI); add suffix K4 to order.

Note: LEDs supplied with luminaire. Due to the dynamic nature of LED technology, LED luminaire data on this sheet is subject to change at the discretion of BEGA-US. For the most current technical data, please refer to www.bega-us.com.

Finish: All BEGA standard finishes are polyester powder coat with minimum 3 mil thickness. Available in four standard BEGA colors: Black (B4), White (W1), Bronze (B52), Silver (SL). To specify, add appropriate suffix to catalog number. Custom colors supplied on special order.

Custom colors supplied on special order.
CSA certified to U.S. and Canadian standards, suitable for wet locations. Protection class IP65.

Weight: lbs.

Luminaire Lumens: 1893

Type: _____
BEGA Product: _____
Project: _____
Voltage: _____
Color: _____
Options: _____
Modified: _____

LED output	Color Temp	Watts	Nominal Delivered Lumens	Efficacy LPW
low output	3000K	23	2000	86
low output	3500K	22.5	2000	89
low output	4000K	22	2000	92
low output	5000K	21	2000	95

LED output	Color Temp	Watts	Nominal Delivered Lumens	Efficacy LPW
medium output	3000K	35.5	3000	84
medium output	3500K	34.5	3000	87
medium output	4000K	33.5	3000	90
medium output	5000K	32	3000	94

LED output	Color Temp	Watts	Nominal Delivered Lumens	Efficacy LPW
high output	3000K	49	4000	82
high output	3500K	47	4000	85
high output	4000K	45.5	4000	88
high output	5000K	43.5	4000	92

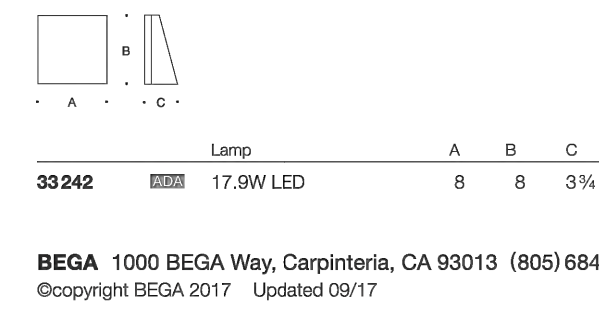
CROSS SECTION

VIAWET5

OPTICS AND PROTECTIVE OPTICS

TMG - HLO - Tempered Clear Glass with High Efficiency Lambertian Optic

File Name: VIAWET-SURFACE-SPEC Page: 5 / 5 August 13, 2019



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