

CITY OF MADISON

Proposed Conditional Use

Location: 5702 Raymond Road

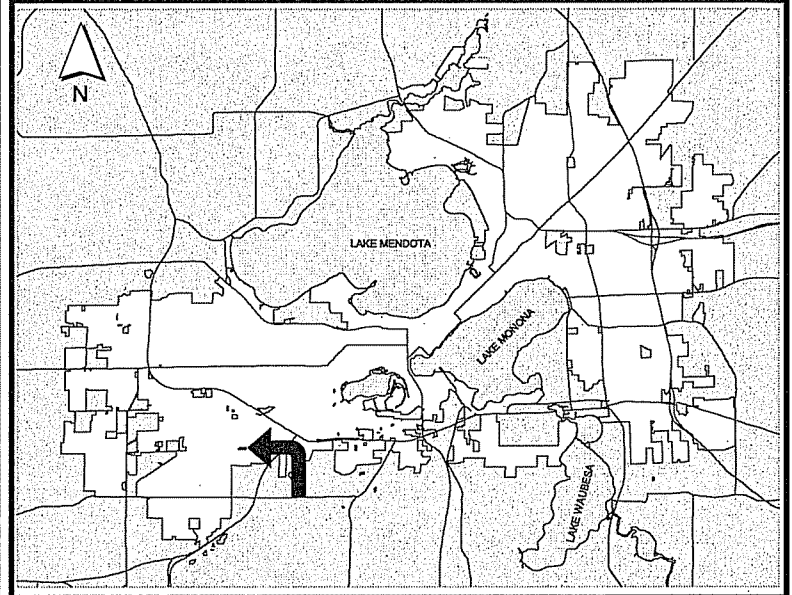
Project Name: Walgreens at Meadowood Plaza

Applicant: MLG (Meadowood) Capital, LLC/
Tammy Mauer - The Redmond Company

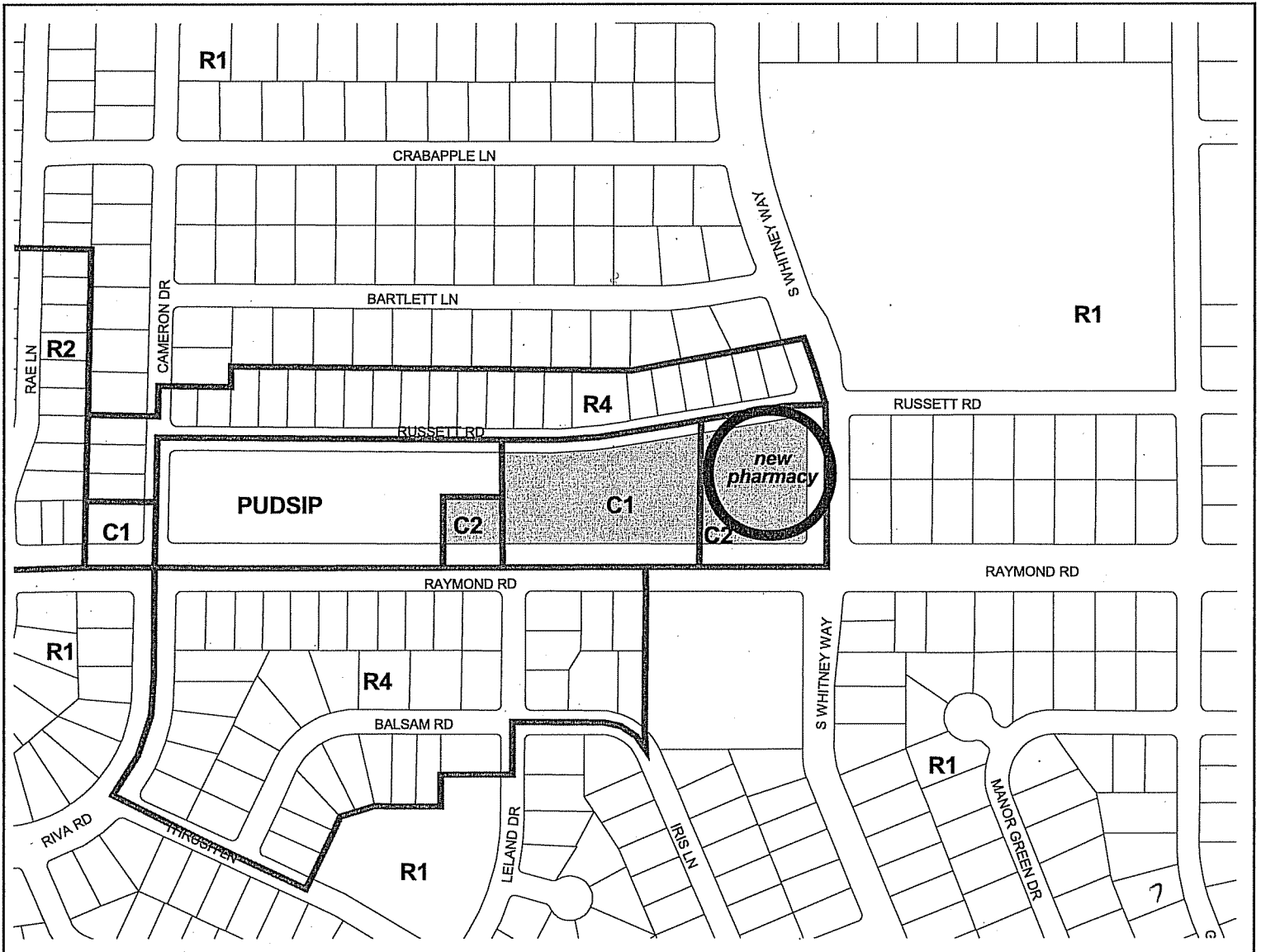
Existing Use: Shopping Center

Proposed Use: Build New 14,700 sf Pharmacy
with Drive-Up Window

Public Hearing Date:
Plan Commission 15 May 2006

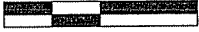


For Questions contact: Tim Parks at: 261-9632 or tparks@cityofmadison.com or City Planning at 266-4635

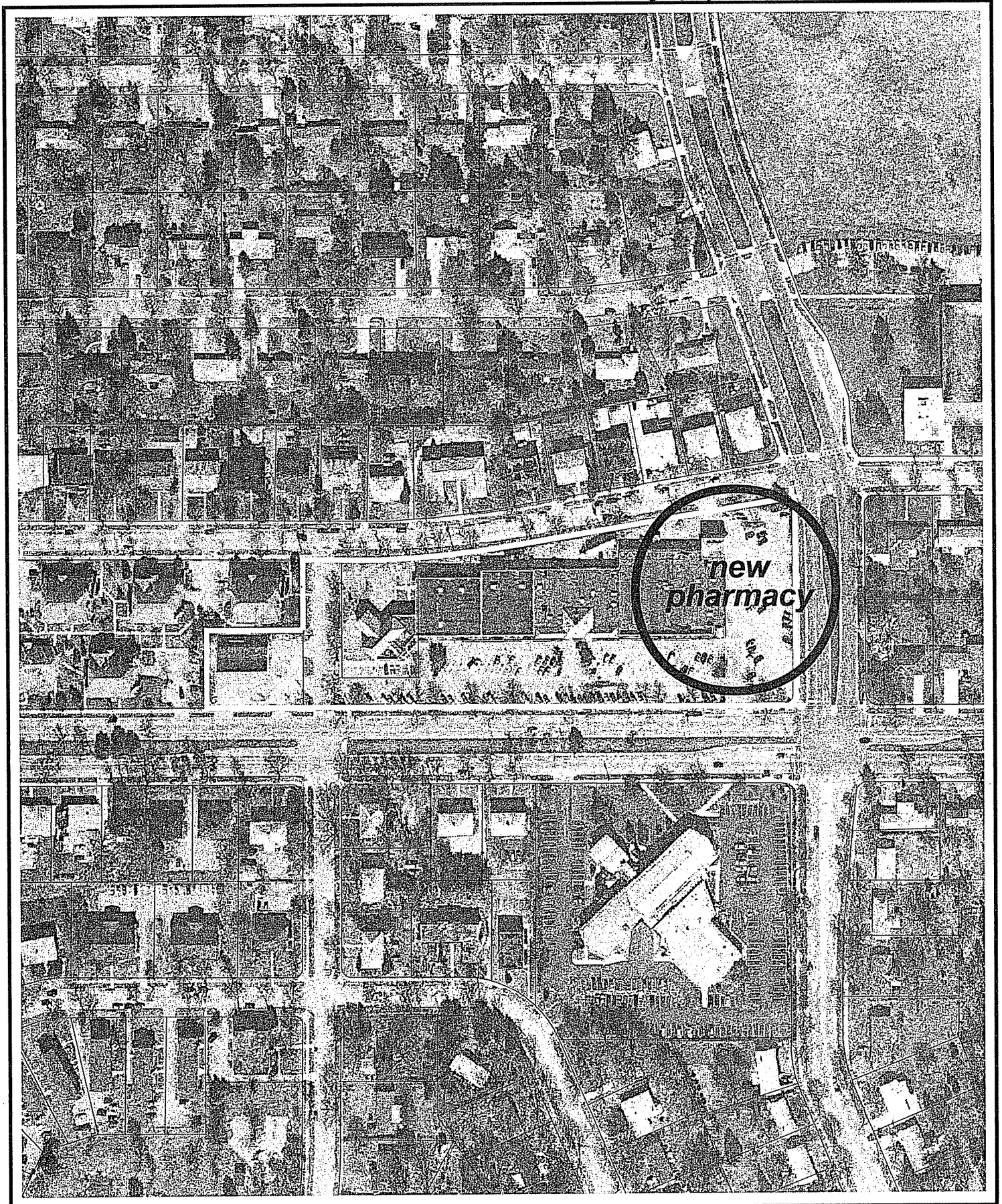


5702 Raymond Road

100 0 100 Feet



Date of Aerial Photography - April 2000



LAND USE APPLICATION Madison Plan Commission

215 Martin Luther King Jr. Blvd; Room 1.L-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- The following information is required for all applications for Plan Commission review.
- Please read all pages of the application completely and fill in all required fields.
- This application form may also be completed online at www.cityofmadison.com/planning/plan.html
- All zoning application packages should be filed directly with the Zoning Administrator's desk.
- All applications will be reviewed against the applicable standards found in the City Ordinances to determine if the project can be approved.

FOR OFFICE USE ONLY:

Amt. Paid \$ 550 Receipt No. 69230
 Date Received 3.22.06
 Received By ST
 Parcel No. 0709.313.110L.6
 Aldermanic District 20 Cindy Thomas
 GQ OK!
 Zoning District C2
For Complete Submittal
 Application Letter of Intent
 IDUP N/A Legal Descript.
 Plan Sets Zoning Text N/A
 Alder Notification Waiver _____
 Nbrhd. Assn Not. Waiver _____
 Date Sign Issued 3.22.06

1. **Project Address:** 5702 Raymond Road **Project Area in Acres:** 4.6

Project Title (if any): Walgreens at Meadowood Plaza

2. **This is an application for:** (check at least one)

Zoning Map Amendment (check only ONE box below for rezoning and fill in the blanks accordingly)

Rezoning from _____ to _____ Rezoning from _____ to PUD/PCD-SIP

Rezoning from _____ to PUD/PCD-GDP Rezoning from PUD/PCD-GDP to PUD/PCD-SIP

Conditional Use Special Use Permit Other Requests (Specify): _____

3. **Applicant, Agent & Property Owner Information:**

Applicant's Name: Tammy Mauer Company: The Redmond Company
 Street Address: W228 N745 Westmound Drive City/State: Waukesha, WI Zip: 53186
 Telephone: (262) 549-9600 Fax: (262) 549-1314 Email: tmauer@theredmondco.com

Project Contact Person: same as applicant Company: _____
 Street Address: _____ City/State: _____ Zip: _____
 Telephone: () _____ Fax: () _____ Email: _____

Property Owner (if not applicant): MLG Capital (Meadowood) LLC.
 Street Address: 13400 Bishop's Lane, Suite 100 City/State: Brookfield, WI Zip: 53005

4. **Project Information:**

Provide a general description of the project and all proposed uses of the site: Demolition of East portion of existing shopping center and construction new Walgreens store in its place. Remodel of the existing facade of the shopping center and re-configure parking as well as access to the site.

Development Schedule: Commencement 08/01/06 Completion 3/30/07

CONTINUE →

5. Required Submittals:

- Site Plans** submitted as follows below and depicts all lot lines; existing, altered, demolished or proposed buildings; parking areas and driveways; sidewalks; location of any new signs; existing and proposed utility locations; building elevations and floor plans; landscaping, and a development schedule describing pertinent project details:
 - **Seven (7) copies** of a full-sized plan set drawn to a scale of one inch equals 20 feet (collated and folded)
 - **Seven (7) copies** of the plan set reduced to fit onto 11 inch by 17 inch paper (collated, stapled and folded)
 - **One (1) copy** of the plan set reduced to fit onto 8 1/2 inch by 11 inch paper
- Letter of Intent:** **Twelve (12) copies** describing this application in detail but not limited to, including: existing conditions and uses of the property; development schedule for the project; names of persons involved (contractor, architect, landscaper, business manager, etc.); types of businesses; number of employees; hours of operation; square footage or acreage of the site; number of dwelling units; sale or rental price range for dwelling units; gross square footage of building(s); number of parking stalls, etc.
- Legal Description of Property:** Lot(s) of record or metes and bounds description prepared by a land surveyor.
- Filing Fee:** \$ 550.00 See the fee schedule on the application cover page. Make checks payable to: *City Treasurer.*

IN ADDITION, THE FOLLOWING ITEMS MAY ALSO BE REQUIRED WITH YOUR APPLICATION; SEE BELOW:

- For any applications proposing demolition of existing (principal) buildings, photos of the structure(s) to be demolished shall be submitted with your application. Be advised that a *Reuse and Recycling Plan* approved by the City's Recycling Coordinator is required to be approved by the City prior to issuance of wrecking permits.
- A project proposing **ten (10) or more dwelling units** may be required to comply with the City's Inclusionary Zoning requirements outlined in Section 28.04 (25) of the Zoning Ordinance. A separate **INCLUSIONARY DWELLING UNIT PLAN** application detailing the project's conformance with these ordinance requirements shall be submitted concurrently with this application form. Note that some IDUP materials will coincide with the above submittal materials.
- A **Zoning Text** must accompany **all** Planned Community or Planned Unit Development (PCD/PUD) submittals.

FOR ALL APPLICATIONS: All applicants are required to submit copies of all items submitted in hard copy with their application (including this application form, the letter of intent, complete plan sets and elevations, etc.) as **INDIVIDUAL** Adobe Acrobat PDF files compiled either on a non-returnable CD to be included with their application materials, or in an e-mail sent to pcapplications@cityofmadison.com. The e-mail shall include the name of the project and applicant. Applicants who are unable to provide the materials electronically should contact the Planning Unit at (608) 266-4635 for assistance.

6. Applicant Declarations:

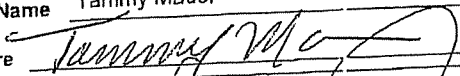
Conformance with adopted City plans: Applications shall be in accordance with all adopted City of Madison plans:
→ The site is located within the limits of _____ Plan, which recommends:
Commercial use per the comprehensive land use plan _____ for this property.

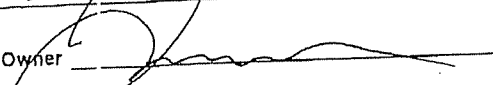
Pre-application Notification: Section 28.12 of the Zoning Ordinance requires that the applicant notify the district alder and any nearby neighborhood or business associations by mail no later than **30 days** prior to filing this request:
→ List below the Alderperson, Neighborhood Association(s), Business Association(s) AND dates you sent the notices:
Cindy Thomas, notified 12/27/05; Neighborhood was notified via newsletter and a meeting was held 3/13/06.
If the alder has granted a waiver to this requirement, please attach any such correspondence to this form.

Pre-application Meeting with staff: Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning Counter and Planning Unit staff; note staff persons and date.
Planner Bill Roberts Date 12/7/05 | Zoning Staff Ron Toole Date 12/7/05

The signer attests that this form has been completed accurately and all required materials have been submitted:

Printed Name Tammy Mauer Date 3/22/06

Signature  Relation to Property Owner Agent

Authorizing Signature of Property Owner  Date 3-22-06

March 22, 2006

Madison Plan Commission
215 Martin Luther King, Jr. Blvd.
Room LL-100
Madison, WI 53701-2985

RE: Letter of Intent

Name of Project

Walgreens at Meadowood Plaza

Construction Schedule

Construction schedule would include a start date of August 1, 2006 and completion date of March 31, 2007.

Description of Existing Conditions

Meadowood shopping center is a one-story masonry building with a building area of 50,504 square feet located at 5702 Raymond Road. Current access is from right turn only heading Westbound on Raymond Road, full access at the West from private drive between Russett Road and Raymond Road and a service drive access off of Russett Road. There currently are 194 regular parking stalls and 10 handicap stalls for a total of 204 parking stall.

People involved in project

Property Owner: MLG Capital/Meadowood LLC.
13400 Bishops Lane, Suite 100
Brookfield, WI 53005

Design / Builder: The Redmond Company
W228 N745 Westmound Drive
Waukesha, WI 53186

Architect: The Albion Group
338 North Milwaukee Street, Suite 503
Milwaukee, WI 53202

Civil Engineer: Jenkins Survey & Design Inc.
161 Horizon Drive, Suite 101
Verona, WI 53593

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Uses of all areas

Proposed

The intended use of the property proposed is a 14,740 square foot Walgreens retail drug / convenience store with pharmacy drive-thru. This will eliminate tenant spaces at 5702 and 5704 to accommodate the development.

Existing

5750 – Bank – 3,800 SF; 5740 – Library – 5,940 SF; 5734 – Food / deli – 3,150 SF; 5726 – Hardware store – 8,000 SF; 5724 – Vacant – 2,023 SF; 5722 – Services – 1,200 SF; 5718 – Pharmacy / retail – 4,000 SF; 5716 – Services – 480 SF; 5712 – Pet clinic – 4,000 SF; 5710 – Restaurant – 1,500 SF; 5708A – Vacant – 3,269 SF; 5708 – Exercise classes – 3,521 SF; 5706 – Restaurant – 2,792 SF; 5704 – Dry cleaner – 3,150 SF; 5702 – Medical clinic – 7,620 SF.

Gross Square Footage

The gross square footage of the Walgreens building is 14,740 sq.ft. Meadowood Plaza is 40,912 sq.ft. Existing uses of Plaza are described above under Uses of all areas.

Number of Employees

Number of employees for the new Walgreens store will be a total of (35), including (1) Store Manager, (5) Assistant Managers, (5) Pharmacists, (5) Pharmacy Technicians, (1) Bookkeeper, (18) Cashiers and Stockers.

Capacity

Capacity, as determined by the International building code for mercantile is 290 persons.

Parking

The number of the existing parking spaces on site is 194 regular parking stalls and 10 handicap parking stalls for a total of 204 parking stalls.

The proposed site will have 190 regular stalls and 10 handicap parking stalls for a total of 200 parking stalls. Based upon 1 stall per 300 square foot of gross floor area, the site requires a total of 185 stalls.

Hours of Operation

The hours of operation for the Walgreens store are Monday through Sunday, 5:00 a.m. – 12 midnight, with option for a 24-hour operation in the future.

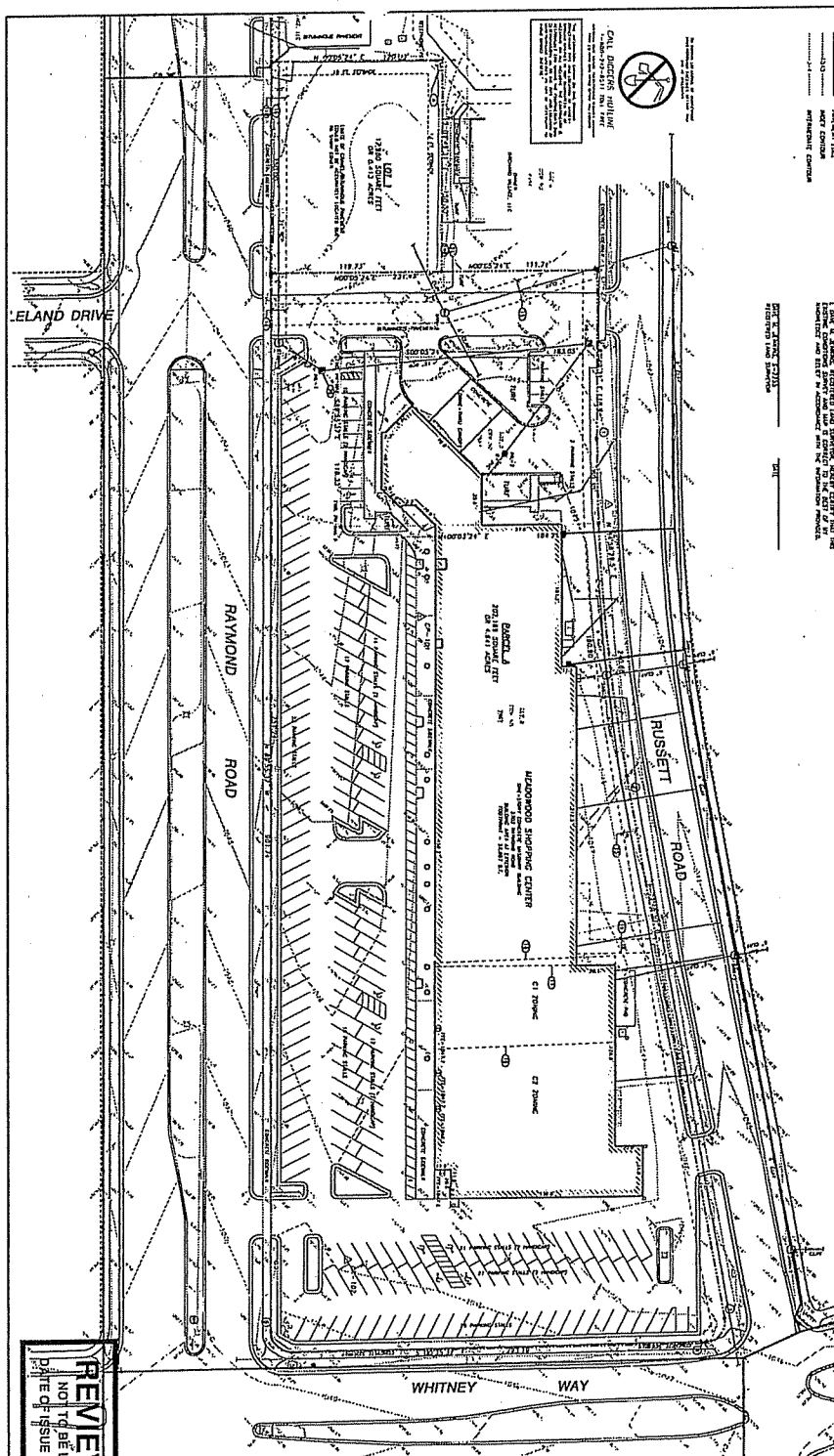
Site

The development consists of 4.6 acres or 201,866 square feet.

Trash removal and storage, snow removal and maintenance equipment

Snow removal & salting services are provided for the plaza by Massey's in Verona, Wisconsin. Trash removal is accomplished by (1) common dumpster for mall maintenance use that is changed out by Waste Management in Madison, Wisconsin. In addition, individual tenants have their own dumpster facilities and servicing. Lawn and landscaping maintenance including weed control, lawn mowing, trimming and fertilization is contracted thru David J. Frank out of Verona, Wisconsin.

7



- LEGEND**
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 - 2. Existing building, frame, 2nd floor
 - 3. Existing building, frame, 3rd floor
 - 4. Existing building, frame, 4th floor
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 - 49. Existing building, frame, 49th floor
 - 50. Existing building, frame, 50th floor

- NOTES**
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON, WISCONSIN, ORDINANCE NO. 11.01, AS AMENDED BY ORDINANCE NO. 11.02, 11.03, 11.04, 11.05, 11.06, 11.07, 11.08, 11.09, 11.10, 11.11, 11.12, 11.13, 11.14, 11.15, 11.16, 11.17, 11.18, 11.19, 11.20, 11.21, 11.22, 11.23, 11.24, 11.25, 11.26, 11.27, 11.28, 11.29, 11.30, 11.31, 11.32, 11.33, 11.34, 11.35, 11.36, 11.37, 11.38, 11.39, 11.40, 11.41, 11.42, 11.43, 11.44, 11.45, 11.46, 11.47, 11.48, 11.49, 11.50, 11.51, 11.52, 11.53, 11.54, 11.55, 11.56, 11.57, 11.58, 11.59, 11.60, 11.61, 11.62, 11.63, 11.64, 11.65, 11.66, 11.67, 11.68, 11.69, 11.70, 11.71, 11.72, 11.73, 11.74, 11.75, 11.76, 11.77, 11.78, 11.79, 11.80, 11.81, 11.82, 11.83, 11.84, 11.85, 11.86, 11.87, 11.88, 11.89, 11.90, 11.91, 11.92, 11.93, 11.94, 11.95, 11.96, 11.97, 11.98, 11.99, 12.00.

- NOTES CONTINUED IN SCHEDULE A - SECTION 2, ATTACHED**
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON, WISCONSIN, ORDINANCE NO. 11.01, AS AMENDED BY ORDINANCE NO. 11.02, 11.03, 11.04, 11.05, 11.06, 11.07, 11.08, 11.09, 11.10, 11.11, 11.12, 11.13, 11.14, 11.15, 11.16, 11.17, 11.18, 11.19, 11.20, 11.21, 11.22, 11.23, 11.24, 11.25, 11.26, 11.27, 11.28, 11.29, 11.30, 11.31, 11.32, 11.33, 11.34, 11.35, 11.36, 11.37, 11.38, 11.39, 11.40, 11.41, 11.42, 11.43, 11.44, 11.45, 11.46, 11.47, 11.48, 11.49, 11.50, 11.51, 11.52, 11.53, 11.54, 11.55, 11.56, 11.57, 11.58, 11.59, 11.60, 11.61, 11.62, 11.63, 11.64, 11.65, 11.66, 11.67, 11.68, 11.69, 11.70, 11.71, 11.72, 11.73, 11.74, 11.75, 11.76, 11.77, 11.78, 11.79, 11.80, 11.81, 11.82, 11.83, 11.84, 11.85, 11.86, 11.87, 11.88, 11.89, 11.90, 11.91, 11.92, 11.93, 11.94, 11.95, 11.96, 11.97, 11.98, 11.99, 12.00.

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| ITEM NO. | DESCRIPTION | QUANTITY | UNIT PRICE | TOTAL PRICE |
|---------------------------|-------------------------|----------|------------|-----------------|
| 1 | Excavation | 100 | 10.00 | 1000.00 |
| 2 | Foundation | 200 | 20.00 | 4000.00 |
| 3 | Structural Steel | 500 | 50.00 | 25000.00 |
| 4 | Roofing | 1000 | 10.00 | 10000.00 |
| 5 | Interior Finishes | 1500 | 15.00 | 22500.00 |
| 6 | Exterior Finishes | 800 | 8.00 | 6400.00 |
| 7 | MEP Installation | 300 | 30.00 | 9000.00 |
| 8 | Site Work | 100 | 10.00 | 1000.00 |
| 9 | Construction Management | 100 | 10.00 | 1000.00 |
| 10 | Contingency | 100 | 10.00 | 1000.00 |
| TOTAL PROJECT COST | | | | 65000.00 |

JSD Architects & Engineers, Inc.
 1100 North Lincoln Street
 Madison, WI 53703
 (608) 258-5500

Walgreens Store
 Raymond Road Shopping Center
 Raymond Road, Madison, WI

Project Information

| | |
|---------------|----------------|
| PROJECT NO. | 2006-001 |
| DATE OF ISSUE | MARCH 22, 2006 |
| SCALE | AS SHOWN |
| DRAWING NO. | C-10 |

REVIEW DRAWING
 NOT TO BE USED FOR CONSTRUCTION
 DATE OF ISSUE: MARCH 22, 2006

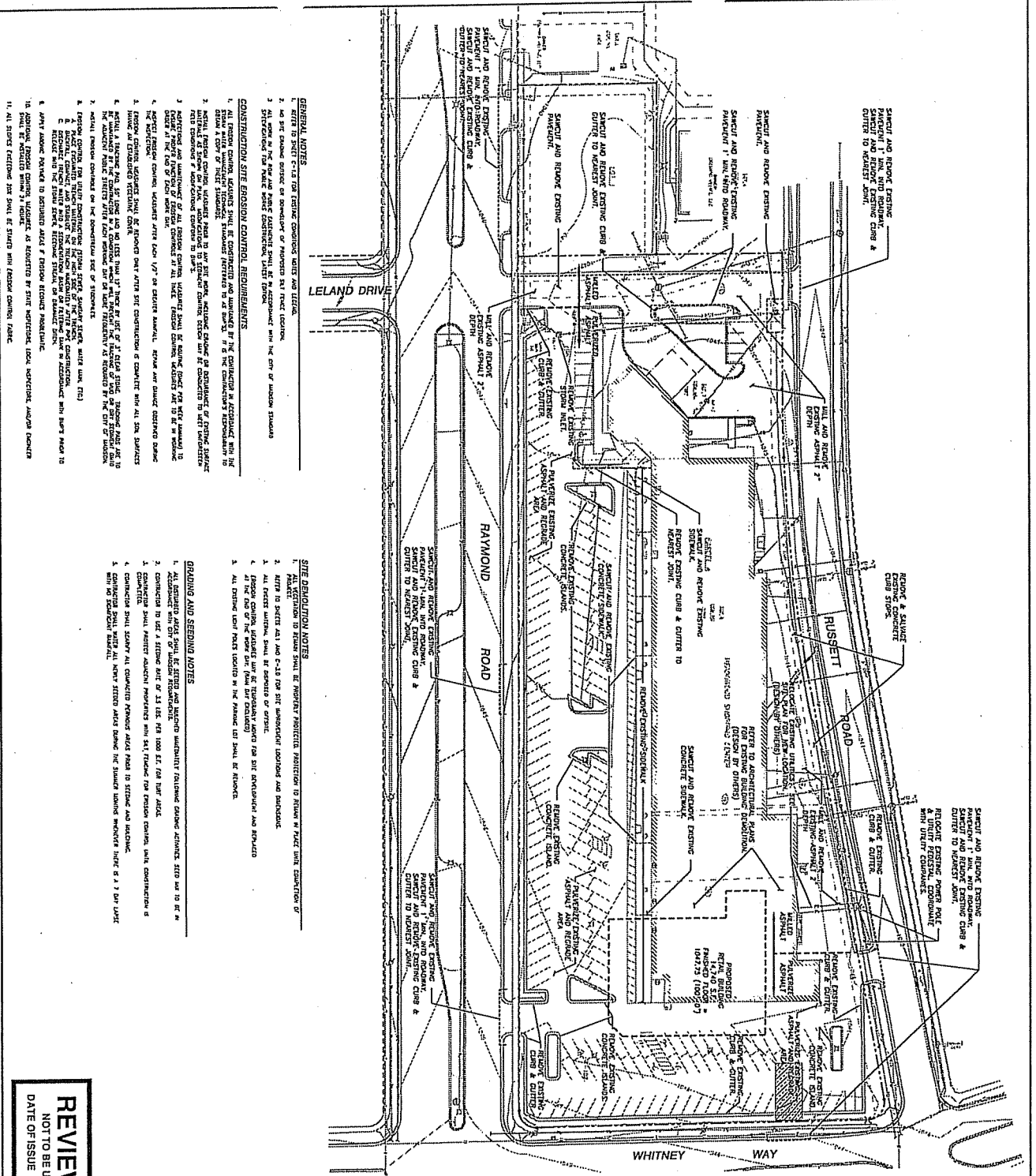
ARCHITECTS
 303 North Monona Street
 Madison, WI 53702
 (608) 258-5500

Walgreens Store
 Raymond Road Shopping Center
 Raymond Road, Madison, WI

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- GENERAL NOTES**
1. REFER TO SHEET C-1.1 FOR EXISTING CONDITIONS, UTILITIES AND UTILITIES.
 2. ALL SITE DEMOLITION SHALL BE ACCORDING TO THE CITY OF MADISON STANDARDS.
 3. ALL WORK SHALL BE ACCORDING TO THE CITY OF MADISON STANDARDS.
 4. ALL DEMOLITION SHALL BE ACCORDING TO THE CITY OF MADISON STANDARDS.
- CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS**
1. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE CITY OF MADISON STANDARDS.
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- SITE DEMOLITION NOTES**
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REVIEW DRAWING
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 DATE OF ISSUE: MARCH 22, 2006

JSD Architects & Builders, Inc.
 1000 Valley Road, Suite 200
 Madison, WI 53705
 Phone: 608.261.1234
 Fax: 608.261.1235
 Website: www.jstdesign.com

PROJECT RECORD OFFICE
 1000 Valley Road, Suite 200
 Madison, WI 53705
 Phone: 608.261.1234
 Fax: 608.261.1235
 Website: www.jstdesign.com

ARCHITECTS
 1000 Valley Road, Suite 200
 Madison, WI 53705
 Phone: 608.261.1234
 Fax: 608.261.1235
 Website: www.jstdesign.com

| NO. | DATE | DESCRIPTION | BY | CHECKED |
|-----|----------|-------------------------|-----|---------|
| 1 | 03/22/06 | ISSUED FOR PERMIT | JSD | JSD |
| 2 | 03/22/06 | ISSUED FOR CONSTRUCTION | JSD | JSD |

PROJECT INFORMATION

PROJECT NAME: WALGREENS STORE
 PROJECT ADDRESS: RAYMOND ROAD & WHITNEY WAY
 PROJECT CITY: MADISON, WI

CLIENT INFORMATION

CLIENT NAME: WALGREENS STORE
 CLIENT ADDRESS: RAYMOND ROAD & WHITNEY WAY
 CLIENT CITY: MADISON, WI

DESIGNER INFORMATION

DESIGNER NAME: JSD ARCHITECTS & BUILDERS, INC.
 DESIGNER ADDRESS: 1000 VALLEY ROAD, SUITE 200
 DESIGNER CITY: MADISON, WI

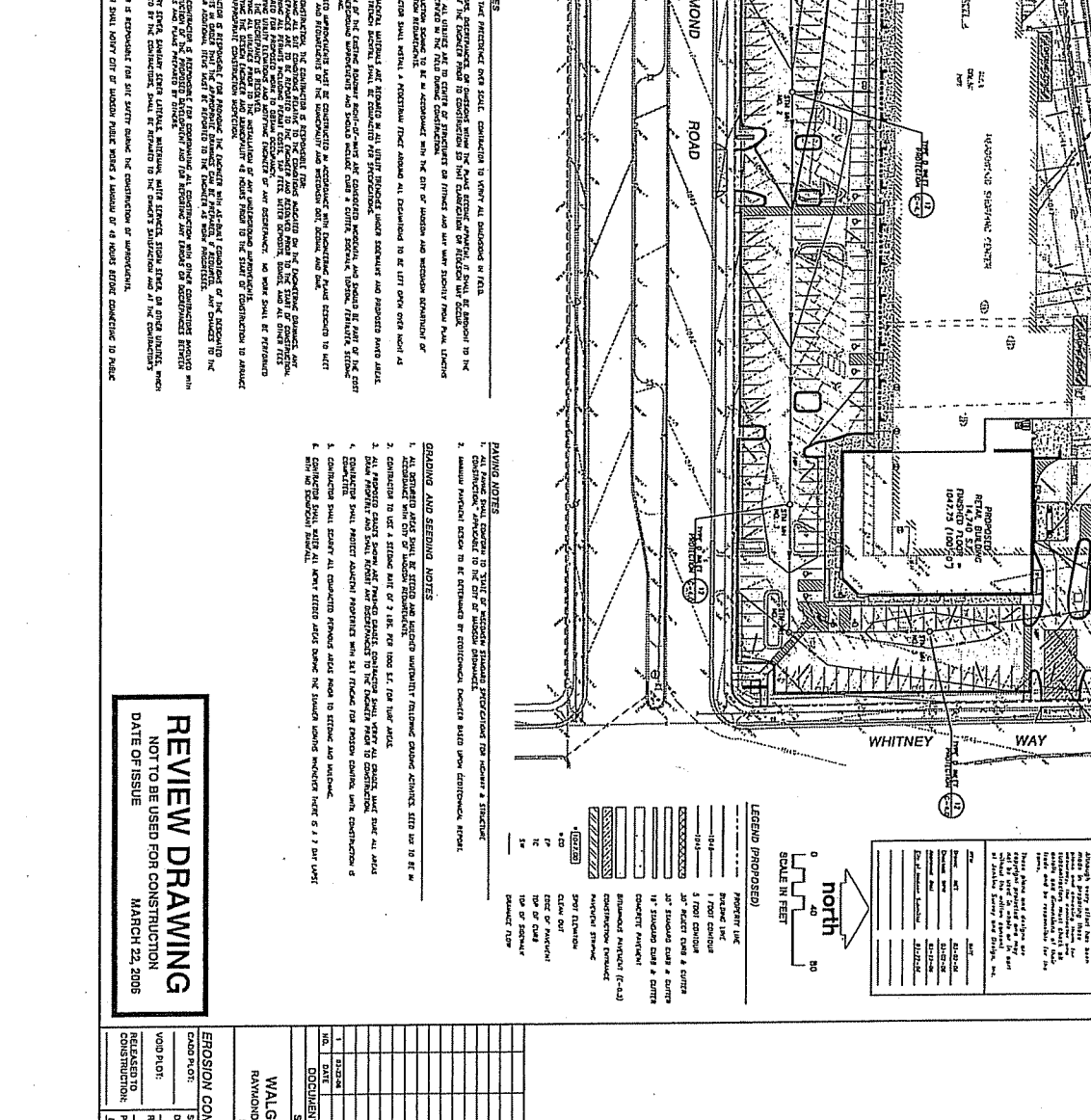
SCALE
 SCALE: AS SHOWN
 DRAWING NO.: C-2.0

JSD Architects & Engineers
 Architects & Engineers
 238 North Milwaukee St.
 Suite 502 Waukesha, WI 53090
 Phone: (262) 546-2323
 Fax: (262) 546-2324
 Website: www.jsdarchitects.com

Prepared for: **Walgreens**
 1412323240
 414-223-2300
 1412323240
 414-223-2300

DATE: 03/22/2005
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT NO. C-3.0
 SHEET NO. [Number]

REVIEW DRAWING
 NOT TO BE USED FOR CONSTRUCTION
 MARCH 22, 2005



- GENERAL NOTES**
1. REFER TO SHEET C-3.2 FOR TRAFFIC CONTROL MEASURES AND TIE-IN.
 2. NO SET BACKS SHALL BE MAINTAINED AT ANY TIME.
 3. PREPARE FOR THE FUTURE ADJUSTMENT OF THE CONSTRUCTION PLAN.
- CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS**
1. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE REQUIREMENTS OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION (DOWT) AND THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (DNR).
 2. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE REQUIREMENTS OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION (DOWT) AND THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (DNR).
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 4. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE REQUIREMENTS OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION (DOWT) AND THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (DNR).
 5. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE REQUIREMENTS OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION (DOWT) AND THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (DNR).

- UTILITY NOTES**
1. LOCATIONS OF ALL UTILITIES SHALL BE IDENTIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
 2. ALL UTILITIES SHALL BE PROTECTED AND MAINTAINED THROUGHOUT CONSTRUCTION.
 3. ALL UTILITIES SHALL BE REPAIRED OR REPLACED AS NECESSARY.
 4. ALL UTILITIES SHALL BE MAINTAINED AT ALL TIMES.
 5. ALL UTILITIES SHALL BE PROTECTED AND MAINTAINED THROUGHOUT CONSTRUCTION.
- PAVING NOTES**
1. ALL PAVING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION (DOWT).
 2. ALL PAVING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION (DOWT).
 3. ALL PAVING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION (DOWT).
 4. ALL PAVING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION (DOWT).
 5. ALL PAVING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION (DOWT).
- GRADING AND SEEDING NOTES**
1. ALL GRADING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION (DOWT).
 2. ALL GRADING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION (DOWT).
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 4. ALL GRADING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION (DOWT).
 5. ALL GRADING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION (DOWT).

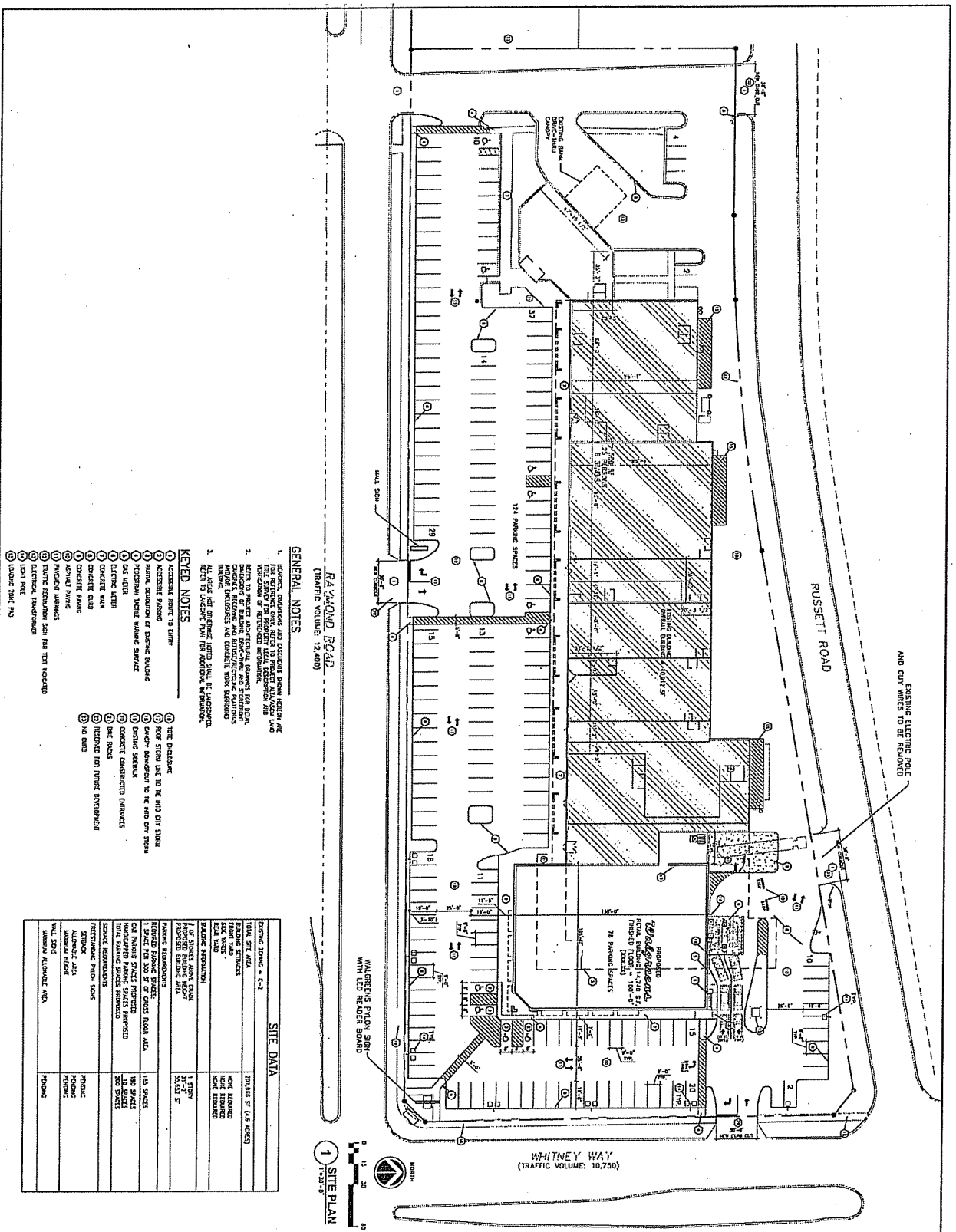
LEGEND (PROPOSED)

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|-----|------------------------|
| --- | PROPOSED PROPERTY LINE |
| --- | 1" SILT FENCE |
| --- | 2" SILT FENCE |
| --- | 3" SILT FENCE |
| --- | 4" SILT FENCE |
| --- | 5" SILT FENCE |
| --- | 6" SILT FENCE |
| --- | 7" SILT FENCE |
| --- | 8" SILT FENCE |
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| --- | 24" SILT FENCE |
| --- | 25" SILT FENCE |
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| --- | 27" SILT FENCE |
| --- | 28" SILT FENCE |
| --- | 29" SILT FENCE |
| --- | 30" SILT FENCE |

NOTES

1. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE REQUIREMENTS OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION (DOWT) AND THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (DNR).
2. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE REQUIREMENTS OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION (DOWT) AND THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (DNR).
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|-------------------------------------------|---------------------|
| WALGREENS STORE | |
| RAYMOND ROAD & WHITNEY WAY | |
| DRAWING TITLE | |
| EROSION CONTROL & GRADING PLAN | |
| DRAWING NO. C-3.0 | SCALE |
| DRAWN BY: [Name] | DRAWN BY: [Name] |
| DESIGNED BY: [Name] | DESIGNED BY: [Name] |
| CHECKED BY: [Name] | CHECKED BY: [Name] |
| DATE: 03/22/2005 | DATE: 03/22/2005 |
| PROJECT NO. C-3.0 | PROJECT NO. C-3.0 |
| SHEET NO. [Number] | SHEET NO. [Number] |



GENERAL NOTES

1. EXISTING, PROPOSED AND PROTECTIVE SIGNAGE SHALL BE INSTALLED IN ACCORDANCE WITH THE SIGNAGE REGULATIONS OF THE VIRGINIA DEPARTMENT OF TRANSPORTATION AND THE VIRGINIA DEPARTMENT OF HIGHWAYS.
2. SIGNAGE SHALL BE INSTALLED IN ACCORDANCE WITH THE SIGNAGE REGULATIONS OF THE VIRGINIA DEPARTMENT OF TRANSPORTATION AND THE VIRGINIA DEPARTMENT OF HIGHWAYS.
3. ALL SIGNS SHALL BE INSTALLED WITHIN THE SPECIFIED LOCATIONS AND SHALL BE INSTALLED IN ACCORDANCE WITH THE SIGNAGE REGULATIONS OF THE VIRGINIA DEPARTMENT OF TRANSPORTATION AND THE VIRGINIA DEPARTMENT OF HIGHWAYS.

KEYED NOTES

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| 1. ACCESSIBLE SIGNAGE | 2. SIGNAGE |
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| 95. SIGNAGE | 96. SIGNAGE |
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| 99. SIGNAGE | 100. SIGNAGE |

SITE DATA

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|-----------------|----------------------------|
| OWNER | WALGREENS STORE |
| PROJECT NAME | WALGREENS STORE |
| PROJECT ADDRESS | RAYMOND ROAD & WHITNEY WAY |
| PROJECT CITY | LEESBURG, VA |
| PROJECT STATE | VA |
| PROJECT ZIP | 22081 |
| PROJECT PHONE | |
| PROJECT FAX | |
| PROJECT E-MAIL | |
| PROJECT WEBSITE | |
| PROJECT CONTACT | |
| PROJECT DATE | |
| PROJECT TIME | |
| PROJECT COST | |
| PROJECT STATUS | |
| PROJECT NOTES | |

ARCHITECTS
NALBION
 500 N. 400 W. SUITE 500
 4142313100
 4142313140
 www.nalbion.com

SCALE: 1/8" = 1'-0"
DATE: 08/20/20
REVISIONS:
 1. 08/20/20
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| SYMBOL | COUNTY | SIZE | ROOT | THREATS | COMMODOR VALUE | SCIENTIFIC VALUE |
|--------|--------|------|------|---------|----------------|------------------|
| | | | | | | |

| CITY OF MADISON GENERAL LANDSCAPE ORDINANCE |
|---------------------------------------------|
| LANDSCAPE PLANT SPECIES |
| PLANT LABEL |
| SYMBOL |
| COUNTY |
| SIZE |
| ROOT |
| THREATS |
| COMMODOR VALUE |
| SCIENTIFIC VALUE |

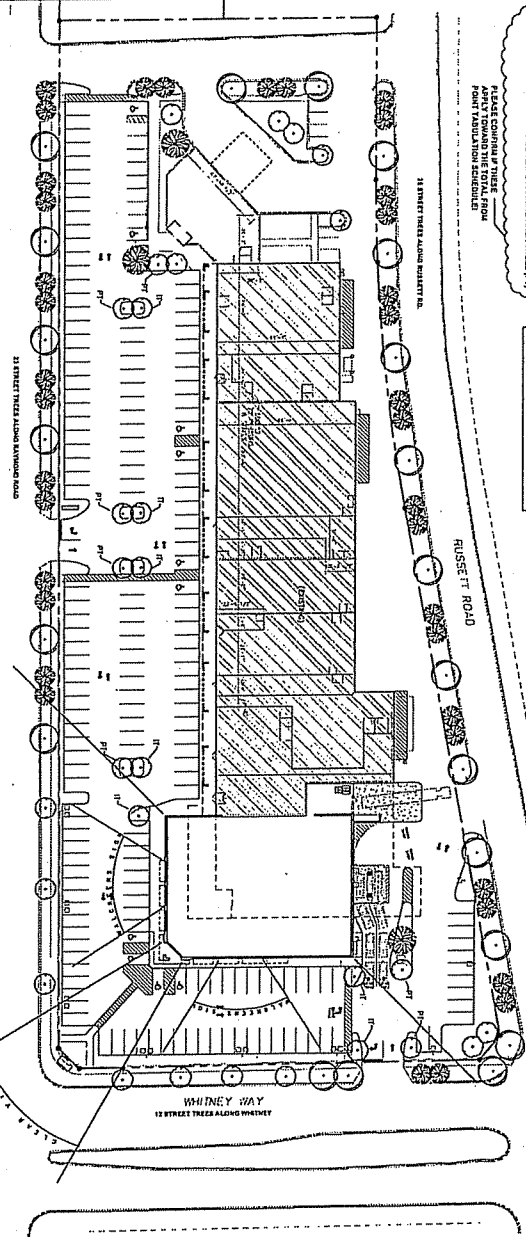
THESE LEGENDS

- LARGE DECIDUOUS TREE
- HOBBY FACILITY
- COLUMNAR WILDT SPECIES TREE
- SMALL TREE (COMMERCIAL)

OTHER REQUIREMENTS:
 1) PROPERTY LINE RIGHT OF WAY TO RESERVE
 2) MAINTAINING AREA TREES - 3" TO 4" DIA.
 3) GENERAL MAINTAINING AREA TREES (M)

GENERAL NOTES

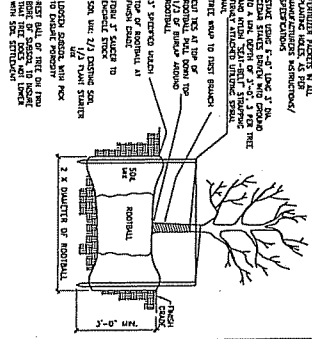
- 1. ALL PLANTING SHALL BE IN ACCORDANCE WITH THE LANDSCAPE PLANTING SPECIFICATIONS AND THE CITY OF MADISON LANDSCAPE ORDINANCE.
- 2. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MADISON LANDSCAPE ORDINANCE AND THE LANDSCAPE PLANTING SPECIFICATIONS.
- 3. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MADISON LANDSCAPE ORDINANCE AND THE LANDSCAPE PLANTING SPECIFICATIONS.
- 4. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MADISON LANDSCAPE ORDINANCE AND THE LANDSCAPE PLANTING SPECIFICATIONS.



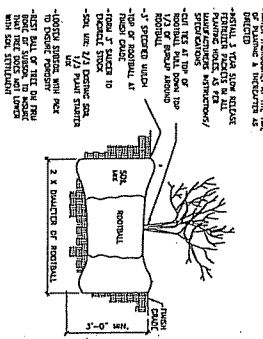
1 LANDSCAPE PLAN



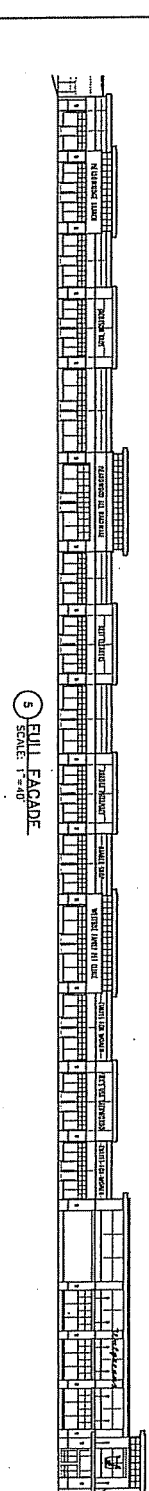
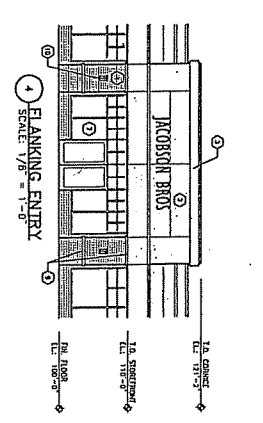
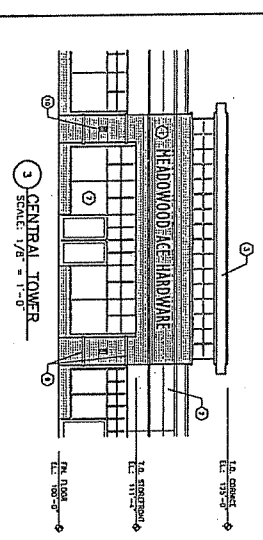
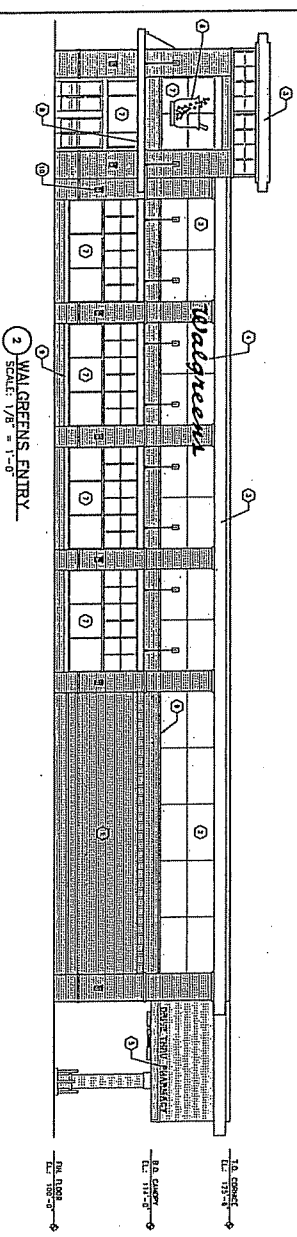
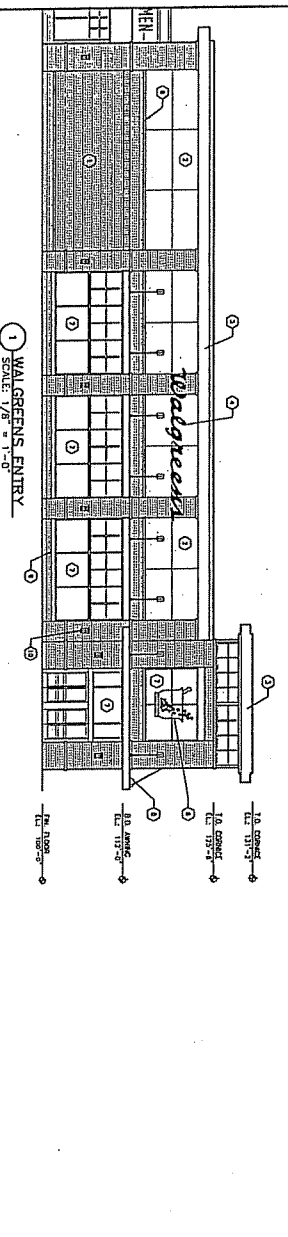
2 TREE PLANTING DETAIL



3 SHRUB PLANTING DETAIL



| | |
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| <p>ARCHITECTS A. H. RICHARDSON ARCHITECTS 117 North Milwaukee St. Madison, WI 53703 608/259-1300 414/273-2140 fax</p> | |
| <p>CONTRACTOR WALSGREENS 414/273-2140</p> | |
| <p>DATE: 10/11/00</p> | |
| <p>PROJECT NO.: []</p> | |
| <p>SCALE: AS SHOWN</p> | |
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| <p>CHECKED BY: []</p> | |
| <p>DATE: 10/11/00</p> | |
| <p>PROJECT NO.: []</p> | |
| <p>SCALE: AS SHOWN</p> | |
| <p>DESIGNED BY: []</p> | |
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| <p>DATE: 10/11/00</p> | |
| <p>PROJECT NO.: []</p> | |
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| <p>DESIGNED BY: []</p> | |
| <p>CHECKED BY: []</p> | |
| <p>DATE: 10/11/00</p> | |
| <p>PROJECT NO.: []</p> | |



- EXTERIOR ELEVATIONS REFERRED NOTES**
- 1 UNIFORM FACE BRICK
 - 2 SMOOTH-FACE MANUFACTURED LUTHERITE OR ERS
 - 3 REFLECTING SHEET METAL, COPPER, DIMITS, AND
 - 4 POLISHED BRASS
 - 5 BRASS LETTERS, SEE SHEET A-2.2
 - 6 BRASS LETTERS, SEE SHEET A-2.2
 - 7 BRASS LETTERS, SEE SHEET A-2.2
 - 8 BRASS LETTERS, SEE SHEET A-2.2
 - 9 BRASS LETTERS, SEE SHEET A-2.2
 - 10 BRASS LETTERS, SEE SHEET A-2.2
 - 11 BRASS LETTERS, SEE SHEET A-2.2
 - 12 BRASS LETTERS, SEE SHEET A-2.2
 - 13 BRASS LETTERS, SEE SHEET A-2.2
 - 14 BRASS LETTERS, SEE SHEET A-2.2
 - 15 BRASS LETTERS, SEE SHEET A-2.2
 - 16 BRASS LETTERS, SEE SHEET A-2.2
 - 17 BRASS LETTERS, SEE SHEET A-2.2
 - 18 BRASS LETTERS, SEE SHEET A-2.2
 - 19 BRASS LETTERS, SEE SHEET A-2.2
 - 20 BRASS LETTERS, SEE SHEET A-2.2

ARCHITECTS
Walton
 333 North Avenue St.
 Suite 300 WY 53092
 414.223.2300
 414.223.2300 fax
 414.223.2300 cell

DATE: 11/11/03
PROJECT NO.: 037340

CONSTRUCTION:
 MAINTENANCE
 ADDITION
 RECONSTRUCTION
 REPAIRS
 DEMOLITION
 OTHER

NEW CONSTRUCTION:
 MAINTENANCE
 ADDITION
 RECONSTRUCTION
 REPAIRS
 DEMOLITION
 OTHER

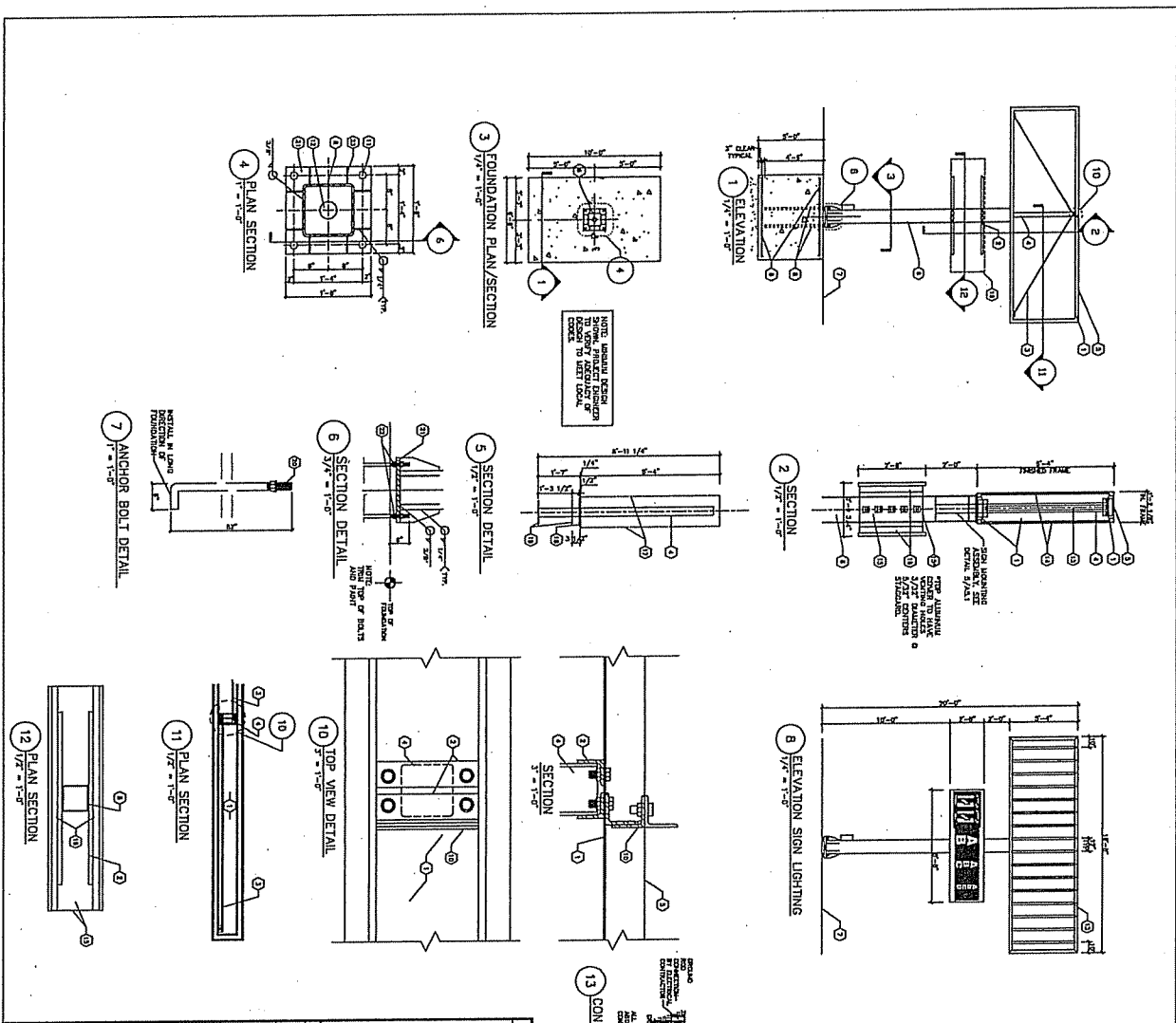
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| 2 | 11/11/03 | REVISIONS | DR | DR |
| 3 | 11/11/03 | REVISIONS | DR | DR |
| 4 | 11/11/03 | REVISIONS | DR | DR |
| 5 | 11/11/03 | REVISIONS | DR | DR |
| 6 | 11/11/03 | REVISIONS | DR | DR |
| 7 | 11/11/03 | REVISIONS | DR | DR |
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| 13 | 11/11/03 | REVISIONS | DR | DR |
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| 16 | 11/11/03 | REVISIONS | DR | DR |
| 17 | 11/11/03 | REVISIONS | DR | DR |
| 18 | 11/11/03 | REVISIONS | DR | DR |
| 19 | 11/11/03 | REVISIONS | DR | DR |
| 20 | 11/11/03 | REVISIONS | DR | DR |

WALGREENS STORE
 RAMOND ROAD & WARRNER WAY
 MADISON, WI

EXTERIOR ELEVATIONS

SCALE: AS SHOWN
DATE: 11/11/03
PROJECT NO.: 037340

ARCHITECT: WALTON ARCHITECTS
PROJECT NO.: 037340



KEYED NOTES

1) EXTENDED ALUMINUM FRAMING
 2) ALUMINUM ANCHOR BOLTS
 3) 3/8" DIAMETER STEEL RODS
 4) 4" x 4" TUBE POST
 5) PRECAST ALUMINUM SIGN MOUNTING CONSOLE
 6) 1/2" x 1/2" x 1/4" STEEL TUBE COLUMN
 7) TOP OF FOUNDATION
 8) 1/2" x 1/2" x 1/4" STEEL TUBE COLUMN
 9) 1/2" x 1/2" x 1/4" STEEL TUBE COLUMN
 10) 1/2" x 1/2" x 1/4" STEEL TUBE COLUMN
 11) 1/2" x 1/2" x 1/4" STEEL TUBE COLUMN
 12) 1/2" x 1/2" x 1/4" STEEL TUBE COLUMN
 13) 1/2" x 1/2" x 1/4" STEEL TUBE COLUMN
 14) 1/2" x 1/2" x 1/4" STEEL TUBE COLUMN
 15) 1/2" x 1/2" x 1/4" STEEL TUBE COLUMN

COLUMNS

1) ALL ALUMINUM SURFACES IN CONTACT WITH STEEL SHALL BE PROTECTED WITH AN ANTI-GALVANIC COMPOUND.
 2) ALL STRUCTURAL STEEL SHALL BE A36.
 3) ALL STEEL SHALL BE GALVANNEAL WITH THE APPLICABLE FINISH.
 4) ALL STEEL SHALL BE PROTECTED WITH AN ANTI-GALVANIC COMPOUND.
 5) STEEL SHALL BE PROTECTED WITH AN ANTI-GALVANIC COMPOUND.
 6) STEEL SHALL BE PROTECTED WITH AN ANTI-GALVANIC COMPOUND.
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 9) STEEL SHALL BE PROTECTED WITH AN ANTI-GALVANIC COMPOUND.
 10) STEEL SHALL BE PROTECTED WITH AN ANTI-GALVANIC COMPOUND.

STRUCTURAL GENERAL NOTES

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 3) ALL STEEL SHALL BE GALVANNEAL WITH THE APPLICABLE FINISH.
 4) ALL STEEL SHALL BE PROTECTED WITH AN ANTI-GALVANIC COMPOUND.
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 8) STEEL SHALL BE PROTECTED WITH AN ANTI-GALVANIC COMPOUND.
 9) STEEL SHALL BE PROTECTED WITH AN ANTI-GALVANIC COMPOUND.
 10) STEEL SHALL BE PROTECTED WITH AN ANTI-GALVANIC COMPOUND.

WALGREENS STORE
 333 North Main Street
 Madison, WI

ARCHITECTS
 THE FIBRION GROUP
 4123333333
 4123333333

RENDER BOARD PLY SIGN DETAIL (1/2" SQ. FT.)
 SCALE: AS SHOWN
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 DATE: [Date]

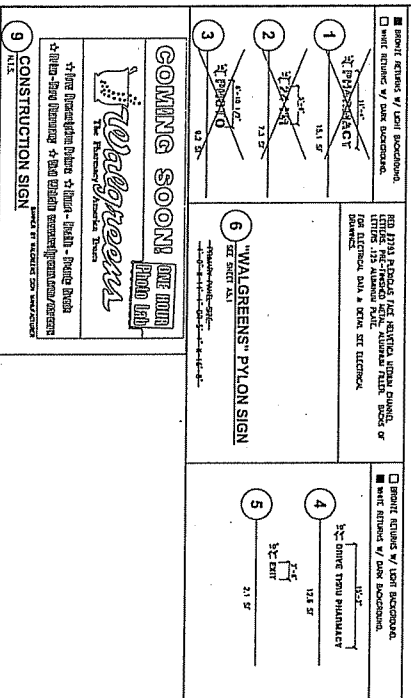
REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|------|-------------------------|
| 1 | | ISSUED FOR CONSTRUCTION |

PROJECT INFORMATION

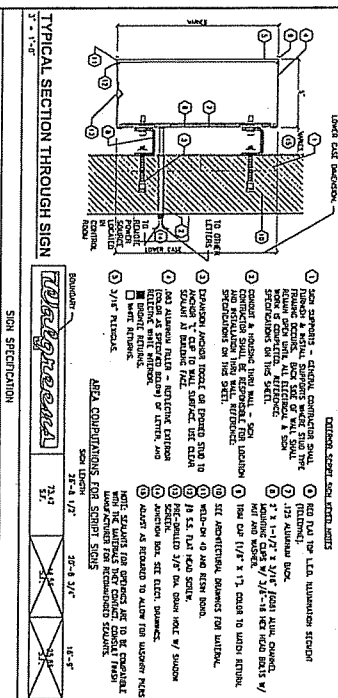
PROJECT NO. [Number]
 SHEET NO. **A5.1**
 DRAWING TITLE: [Title]

CHANNEL LETTER LED SIGN DETAILS



LED SIGN SPECIFICATIONS TABLE

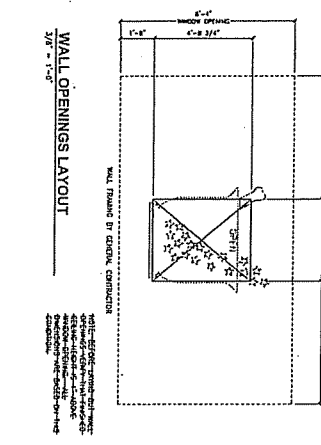
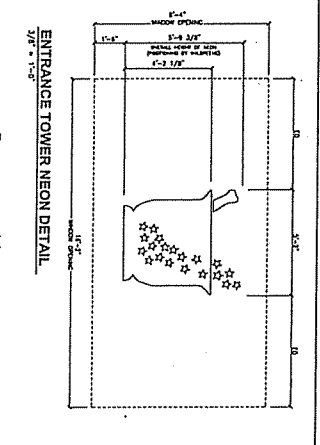
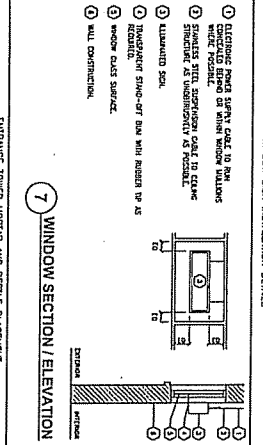
| LED SIGN SPECIFICATION | LED SIGN SPECIFICATION | LED SIGN SPECIFICATION | LED SIGN SPECIFICATION | LED SIGN SPECIFICATION | LED SIGN SPECIFICATION |
|------------------------|------------------------|------------------------|------------------------|------------------------|------------------------|
| LENGTH | WIDTH | DEPTH | WEIGHT | INSTALLATION | MAINTENANCE |
| 18'-6" / 17'-6" | 3'-0" | 4.000" | 7.0 / 7.0 | 18'-6" / 17'-6" | 3'-0" |
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5. CHECK CONSTRUCTION... 6. CHECK CONSTRUCTION... 7. CHECK CONSTRUCTION... 8. CHECK CONSTRUCTION... 9. CHECK CONSTRUCTION... 10. CHECK CONSTRUCTION...

11. CHECK CONSTRUCTION... 12. CHECK CONSTRUCTION... 13. CHECK CONSTRUCTION... 14. CHECK CONSTRUCTION... 15. CHECK CONSTRUCTION...



10. ENTRANCE TOWER NEON SIGN DETAILS

1. ENTRANCE TOWER NEON SIGN DETAILS - ENTRANCE TOWER NEON SIGN DETAILS, MATERIALS, AND DIMENSIONS.

2. ENTRANCE TOWER NEON SIGN DETAILS - ENTRANCE TOWER NEON SIGN DETAILS, MATERIALS, AND DIMENSIONS.

3. ENTRANCE TOWER NEON SIGN DETAILS - ENTRANCE TOWER NEON SIGN DETAILS, MATERIALS, AND DIMENSIONS.

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5. ENTRANCE TOWER NEON SIGN DETAILS - ENTRANCE TOWER NEON SIGN DETAILS, MATERIALS, AND DIMENSIONS.

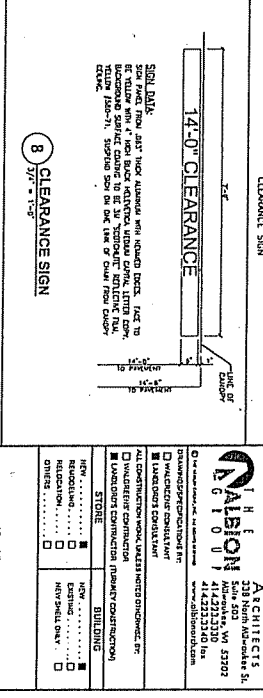
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10. ENTRANCE TOWER NEON SIGN DETAILS - ENTRANCE TOWER NEON SIGN DETAILS, MATERIALS, AND DIMENSIONS.



WORK RESPONSIBILITY

| WORK RESPONSIBILITY | WORK RESPONSIBILITY | WORK RESPONSIBILITY | WORK RESPONSIBILITY | WORK RESPONSIBILITY |
|---------------------|---------------------|---------------------|---------------------|---------------------|
| DESIGN | DRAWING | INSTALLATION | MAINTENANCE | REPAIRS |
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WALGREENS STORE

RAYMOND ROAD & WATKINS WAY

DOVER, PA 17002

SCALE: AS SHOWN

DRAWING NO. AS.2

REVISIONS:

DATE: 10/1/10

BY: J.D.

ARCHITECTS

330 North Main Street, Suite 200
P.O. Box 1000
Dover, PA 17002
412.233.3300
www.nalsonarchitects.com



PIZZA EXTREME



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