



33254

# URBAN DESIGN COMMISSION APPLICATION CITY OF MADISON

This form may also be completed online at:  
<http://www.cityofmadison.com/planning/documents/UDCapplication.pdf>

215 Martin Luther King Jr. Blvd; Room LL-100  
PO Box 2985; Madison, Wisconsin 53701-2985  
Phone: 608.266.4635 | Facsimile: 608.267.8739

Please complete all sections of the application, including the desired meeting date and the type of action requested.

Date Submitted: <u>8-15-14</u>	<input type="checkbox"/> Informational Presentation
UDC Meeting Date: <u>OCT 1</u>	<input type="checkbox"/> Initial Approval
Combined Schedule Plan Commission Date (if applicable): <u>OCT 6</u>	<input checked="" type="checkbox"/> Final Approval

1. Project Address: 433 WEST JOHNSON  
Project Title (if any): JOHNSON FRIEND

2. This is an application for (Check all that apply to this UDC application):

New Development     Alteration to an Existing or Previously-Approved Development

**A. Project Type:**

- Project in an Urban Design District\* (public hearing-\$300 fee)
- Project in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) (\$150 fee, Minor Exterior Alterations)
- Suburban Employment Center (SEC) or Campus Institutional District (CI) or Employment Campus District (EC)
- Planned Development (PD)
  - General Development Plan (GDP)
  - Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Planned Residential Complex

CITY OF MADISON

AUG 15 2014

12:28 PM

Planning & Community  
& Economic Development

**B. Signage:**

- Comprehensive Design Review\* (public hearing-\$300 fee)
- Signage Exception(s) in an Urban Design District (public hearing-\$300 fee)
- Street Graphics Variance\* (public hearing-\$300 fee)

**C. Other:**

Please specify: \_\_\_\_\_

**3. Applicant, Agent & Property Owner Information:**

Applicant Name: JOHN W. SUTTON  
Street Address: 104 KINL STREET  
Telephone: (608) 469-2528 Fax: ( )

Company: SUTTON ARCHITECTURE  
City/State: MADISON Zip: 53703  
Email: JOHN@SUTTONARCHITECTURE.COM

Project Contact Person: JOHN W. SUTTON  
Street Address: \_\_\_\_\_  
Telephone: ( ) Fax: ( )

Company: \_\_\_\_\_  
City/State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Email: \_\_\_\_\_

Project Owner (if not applicant): LES DROZ  
Street Address: 505 UNIVERSITY AVE.  
Telephone: ( ) Fax: ( )

City/State: MADISON Zip: 53703  
Email: \_\_\_\_\_

**4. Applicant Declarations:**

A. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with AL MARTIN on \_\_\_\_\_  
(name of staff person) (date of meeting)

B. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of Applicant JOHN W. SUTTON

Relationship to Property ARCHITECT

Authorized Signature [Signature]

Date 8/15/14

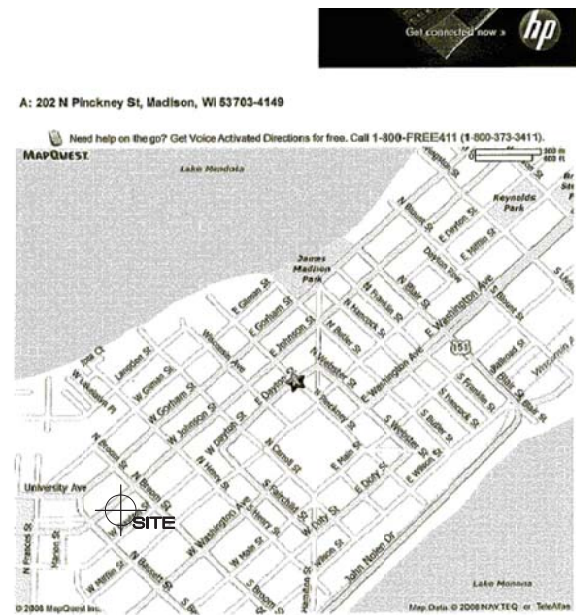


SUTTON  
ARCHITECTURE

KEE  
architecture

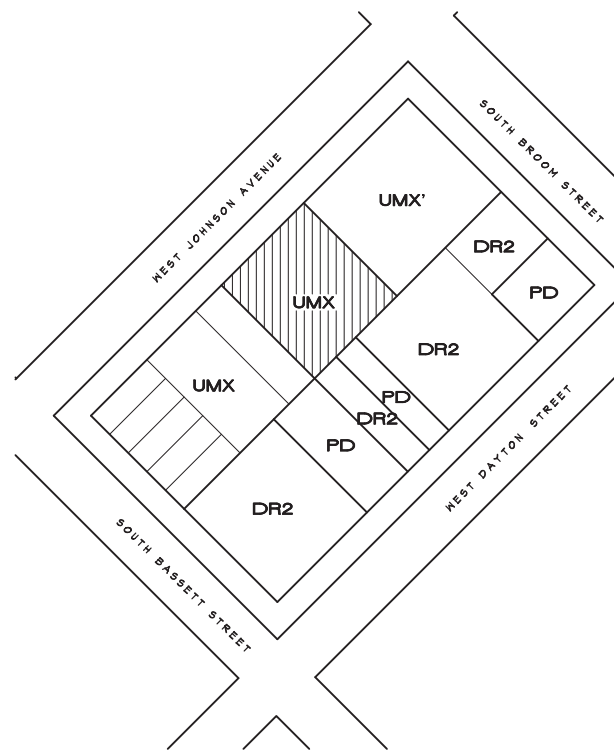
433 Johnson Bend

LOCATION MAP



<http://www.mapquest.com/maps/city=Madison&state=WI&address=202+N.+Pinckney> 12/1/2008

ZONING MAP



OWNER

**Les Orosz**  
 505 University Avenue  
 Madison, Wisconsin 53703

(608) 256-7368

**SUTTON**  
 ARCHITECTURE



PROJECT

**Johnson Bend**  
 433 West Johnson Street  
 Madison, Wisconsin 53703

SITE DATA

LOT SIZE	17,739 SQUARE FEET (0.41 ACRES)
BUILDING FOOTPRINT	10,785 SQUARE FEET
COMMERCIAL	1,375 SQUARE FEET
APARTMENTS	126,909 SQUARE FEET
GARAGE	31,903 SQUARE FEET
TOTAL SQUARE FEET	77,130 SQUARE FEET
ONE BDRM UNITS	139
TWO BDRM UNITS	21
TOTAL UNITS	160
TOTAL BDRMS	181
USEABLE OPEN SPACE	
REAR YARD	1,320 SQUARE FEET
COURTYARD PLANTERS	150 SQUARE FEET
COURTYARD PLAZA	1,295 SQUARE FEET
BALCONIES	15,708 SQUARE FEET
ROOF PLANTERS	1,008 SQUARE FEET
GREEN ROOF	2,660 SQUARE FEET
ROOF TERRACE	3,864 SQUARE FEET
TOTAL	26,005 SQUARE FEET
PARKING	149 (TWELVE ADA)
BIKE STALLS	158 INTERIOR, 38 EXTERIOR, 196 TOTAL

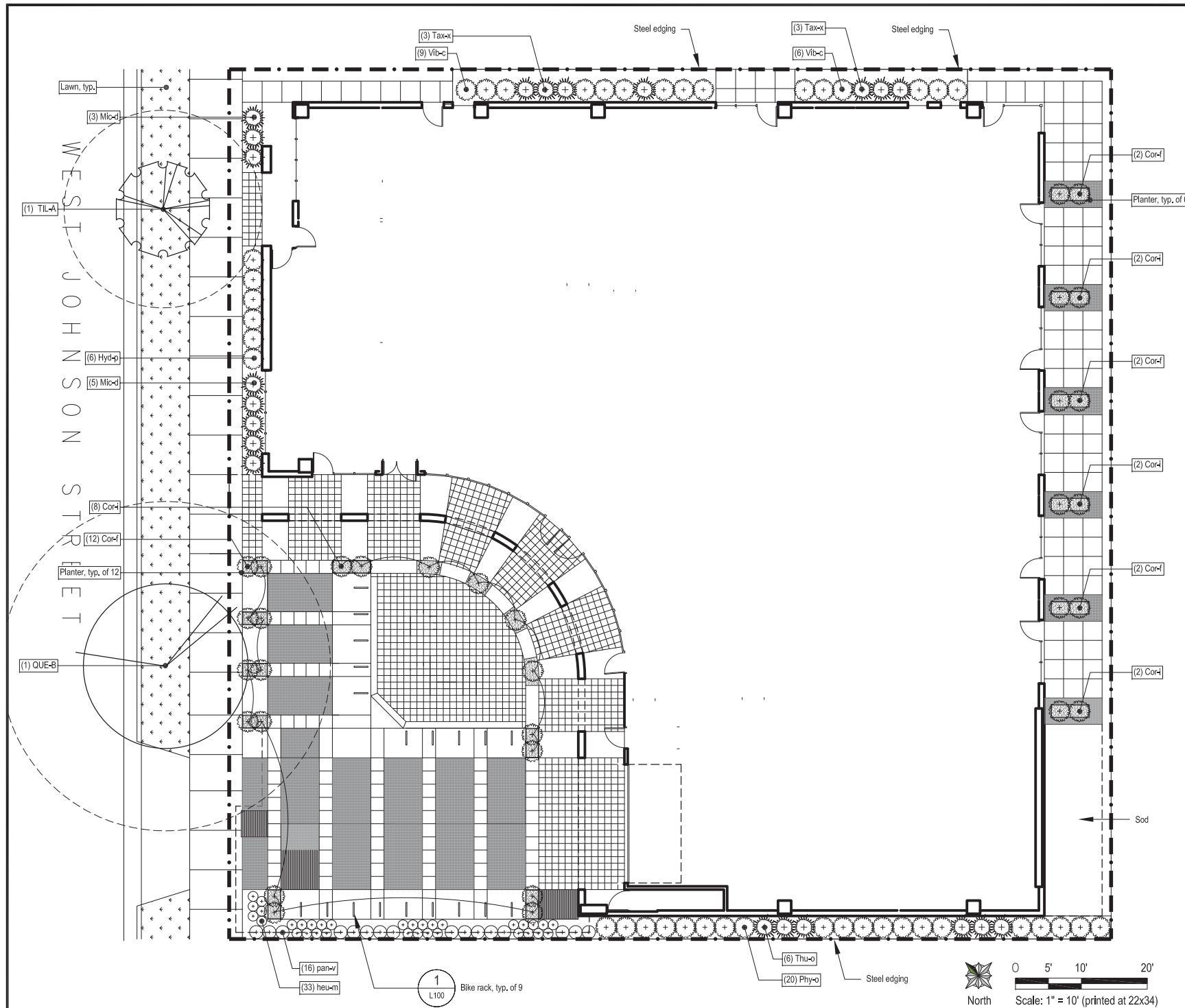
INDEX

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DRAWING  
 TITLE SHEET  
 LOCATION/ZONING MAP

DATA  
 Project # 201303  
 Date: 08.08.14

**T1.1**



SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	NOTES	MATURE SIZE	DET.
<b>CANOPY TREES</b> (NOTE: Sizes indicated shall be used unless noted otherwise on plans)							
QUE-B	Quercus bicolor	Swamp White Oak	3.5" cal	B&B	Full, symmetrical, strong central leader	50' H x 50' W	1/L1.1
TIL-A	Tilia americana 'McKsentry'	American Sentry Linden	3.5" cal	B&B	Full, symmetrical, strong central leader	45' H x 30' W	
<b>ORNAMENTAL TREES</b>							
MAL-r	Malus 'Red Jewel'	'Red Jewel' Crabapple	8' ht	B&B	Full, matched, single-stem tree form	15' H x 12' W	1/L1.1
<b>EVERGREEN SHRUBS</b>							
Jun-s	Juniperus sabina 'Mona'	Calgary Carpet Juniper	3 gal	cont.		9" H x 8" W	
Mic-d	Microbiota decussata	Russian Cypress	3 gal	cont.		12" H x 8" W	
Pin-m	Pinus mugo v. mugo	Mugho Pine	18"			3" H x 4" W	3/L1.1
Tax-x	Taxus x media 'Taunton'	Taunton Yew	18" H	cont.		3' H x 4' W	
Thu-o	Thuja occidentalis 'Holmstrup'	'Holmstrup' Arborvitae	36" H	cont.	Full, matched	6' H x 3' W	
<b>DECIDUOUS SHRUBS</b>							
Cor-f	Cornus sericea 'Flaviramea'	'Flaviramea' Yellow Twig Dogwood	24"	cont.			5/L1.1
Cor-i	Cornus sericea 'Isanti'	'Isanti' Red Twig Dogwood	24"	cont.			
Hyd-p	Hydrangea paniculata 'Silver Dollar'	'Silver Dollar' Hydrangea	24"	cont.		3' H x 4' W	
Phy-d	Physocarpus opulifolius 'Dart's Gold'	Compact Ninebark	18"	cont.		4' H x 4' W	3/L1.1
Vib-c	Viburnum carlesii 'Compactum'	Compact Koreanspice Viburnum	18"	cont.		3' HW	
Weil-x	Weigela 'Minuet'	'Minuet' Weigela	18"	cont.		2' H x 3' W	
<b>PERENNIALS &amp; ORNAMENTAL GRASSES</b>							
cor-v	Coreopsis verticillata 'Zagreb'	Threadleaf Coreopsis	1 gal	cont.	18" o.c. triangular spacing		
heu-m	Heuchera micrantha 'Palace Purple'	Coralbells 'Palace Purple'	1 gal	cont.	15" o.c. triangular spacing		
lia-s	Liatris spicata 'Kobold'	Kobold Spike Gayfeather	1 gal	cont.	15" o.c. triangular spacing		
par-v	Panicum virgatum 'Shenandoah'	'Shenandoah' Red Switchgrass	3 gal	cont.	3' o.c. triangular spacing		4/L1.1
per-a	Perovskia atriplicifolia 'Filigran'	'Filigran' Russian Sage	1 gal	cont.	3' o.c. triangular spacing		
sed-a	Sedum 'Autumn Joy'	'Autumn Joy' Sedum	1 gal	cont.	18" o.c. triangular spacing		
ver-s	Veronica spicata 'Red Fox'	'Red Fox' Speedwell	1/2 gal	cont.	12" o.c. triangular spacing		

**GENERAL LANDSCAPE & PLANTING NOTES**

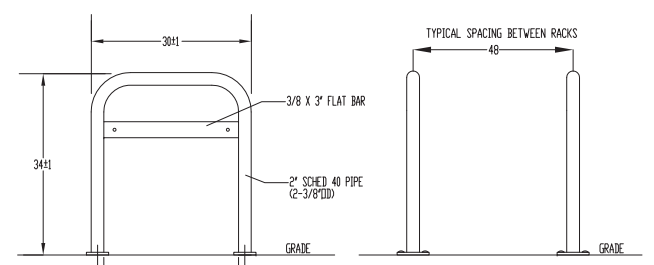
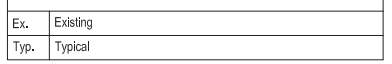
- Plant material to be installed and maintained by a qualified and experienced landscape installer.
- All materials, plant locations and plant bed conditions are subject to the approval of the Landscape Architect and Owner at any time. Plants are to be freshly dug. Transporting of plants shall be done in a manner as to not destroy the natural shape, compromise the health, or alter the characteristics of plant materials.
- Rootballs shall meet or exceed size standards as set forth in 'American Standards for Nursery Stock'. MAIN LEADERS OF ALL TREES SHALL REMAIN INTACT. Remove from the site any plant material that turns brown or defoliates within five (5) days after planting. Replace immediately with approved, specified material.
- Plant counts indicated on drawings are for Landscape Architect's use only. Contractor shall make own plant quantity takeoffs using drawings, and plant schedule requirements (i.e., spacing), unless otherwise directed by Landscape Architect. Contractor to verify bed measurements and install appropriate quantities as governed by plant spacing per schedule.
- All plant beds shall receive 3" minimum of genuine shredded hardwood bark mulch (unless otherwise noted). Apply pre-emergent herbicide as directed by the manufacturer prior to installing mulch.
- The Contractor shall install and/or amend topsoil in all proposed bed areas to meet ASTM D5268 standards. Landscaper shall verify depth and quality of topsoil prior to plant installation. A minimum of 4" of topsoil is required for seeded areas; 12" for plant beds. Topsoil sources shall include the reuse of surface soil stockpiled on site, clean of roots, plants, sod, stones, clay lumps, and other extraneous or foreign materials larger than 1". Supplement with imported topsoil from off-site sources when quantities are insufficient. Do not obtain supplemental topsoil from agricultural land, bogs, or marshes. Inorganic amendments, organic amendments, and fertilizers shall be used to amend topsoil as needed for long-term plant health.
- Verify all utility locations in the field prior to beginning work. Repair all damaged utilities to satisfaction of the Owner and Operating Authority at no additional cost.
- Install all plant material in accordance with all local codes and ordinances. Obtain any required permits necessary to complete work. All workmanship and materials shall be guaranteed by the Contractor for a period of one (1) calendar year after Final Acceptance.
- Maintain all new lawn and plant material for a three (3) month period from date of Substantial Completion. Maintenance shall include pruning, cultivating, watering, weeding, fertilizing, restoring plant saucers, spraying for disease and insects, and replacing tree wrappings. Recommended long-term maintenance procedures shall be provided to the Owner before expiration of this period.
- Recondition soil and seed/re-seed all areas disturbed by construction activities that are not to receive other surface treatment (i.e. pavement, planting bed, etc.). Seed with WIDOT 40 or equal.
- All plant beds to receive steel edge (see Detail 8/L301) where bed is not bounded by a structure or pavement unless otherwise noted.
- Scientific names of plants to take precedence over common names.
- SOD: Provide Highland type, nursery-grown sod of dense growth, with a strong, fibrous root system, and shall be composed of at least seventy-five (75) percent Kentucky Bluegrass, mixed with fescue and perennial rye grasses, and free of pernicious weeds. Cut the sod at a length of approximately 2' (51 cm), and rake the sod free of debris.

**CITY OF MADISON LANDSCAPE POINT SCHEDULE**

per Amended Sections 28.142 & 28.211 effective 9/12/13

Total points required = Total Landscape Units (Total SF of developed area / 300) x 5 points = (17,673 SF / 300) x 5 = 295 points

TABULATION OF POINTS & CREDITS	Ground Level		Roof	
	Qty	Pts	Qty	Pts
Overstory deciduous trees (min 2.5" caliper) @ 35 pts ea.				
Ornamental trees (1.5" caliper) @ 15 pts ea.	4	60		
Evergreen trees (min 3" height) @ 15 pts ea.				
Shrub, deciduous (min 18" ht or 3 gal cont) @ 2 pts ea	73	146	9	18
Shrub, evergreen (min 18" ht or 3 gal cont) @ 3 pts ea	21	63	14	42
Ornamental grasses (min 18" ht or 3 gal cont) @ 2 pts ea.	16	32	23	46
Decorative fence @ 4 points / 10 linear feet				
<b>Subtotals</b>		201		106
<b>Total proposed landscape points achieved</b>				307



PRODUCT: UX238-LRCD-IGCSP-SGD  
DESCRIPTION: 1" BIKE RACK, 30" LONG WITH LEAN BAR.  
DATE: 8-5-02  
ENG: TLG

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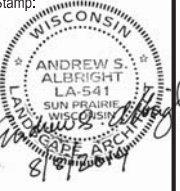
- NOTES:  
1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.  
2. CONSULTANT TO SELECT COLOR/FINISH, SEE MANUFACTURER'S SPECIFICATIONS.  
3. SEE SITE PLAN FOR LOCATION OR CONSULT OWNER.

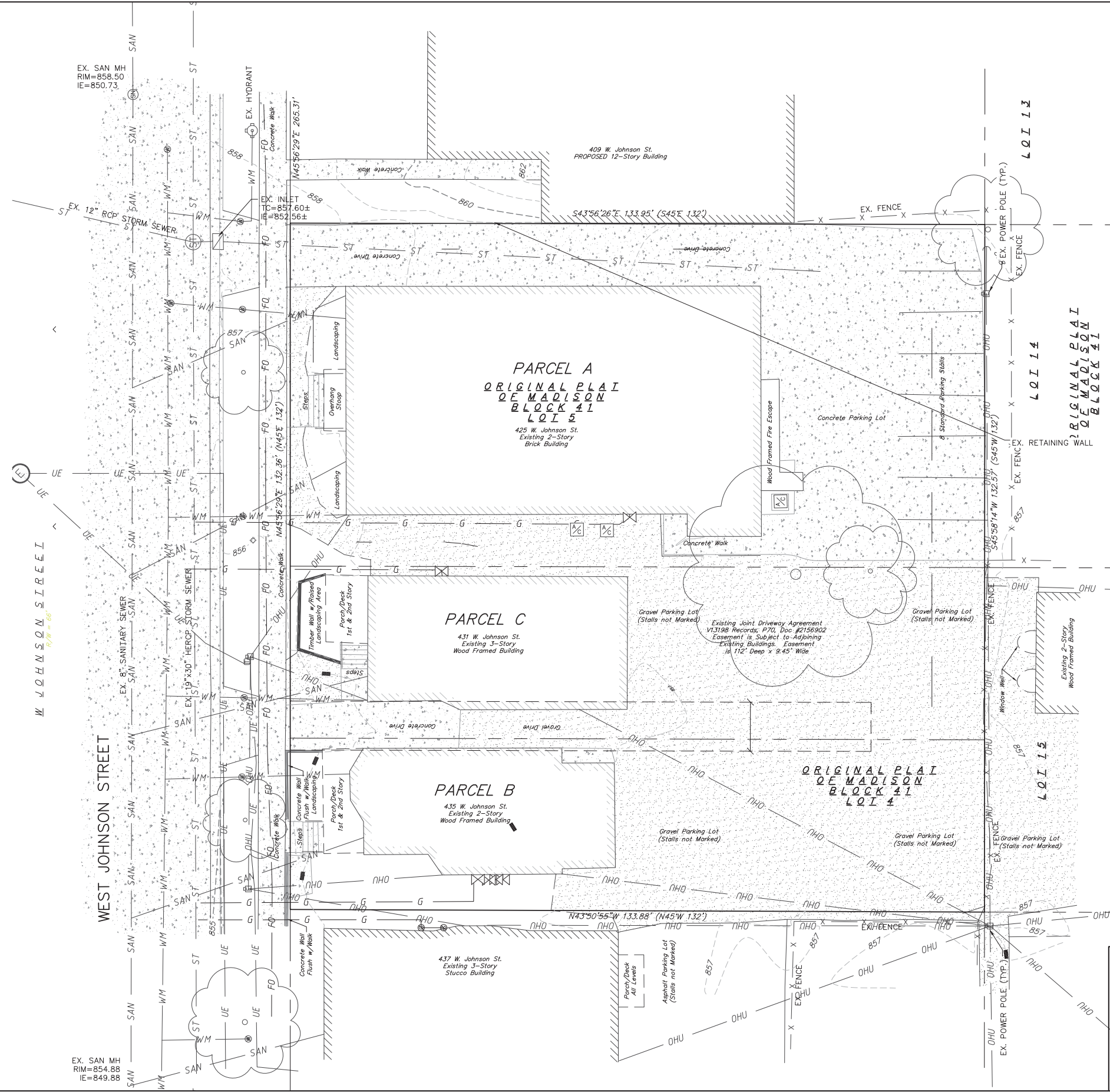
**1 BICYCLE RACK SURFACE MOUNT**  
Not to Scale

Revision	Date	Description

Issued for:	Approval
Issue Date:	2014-08-08
Job No:	2014-045
Drawn by:	ASA

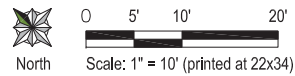
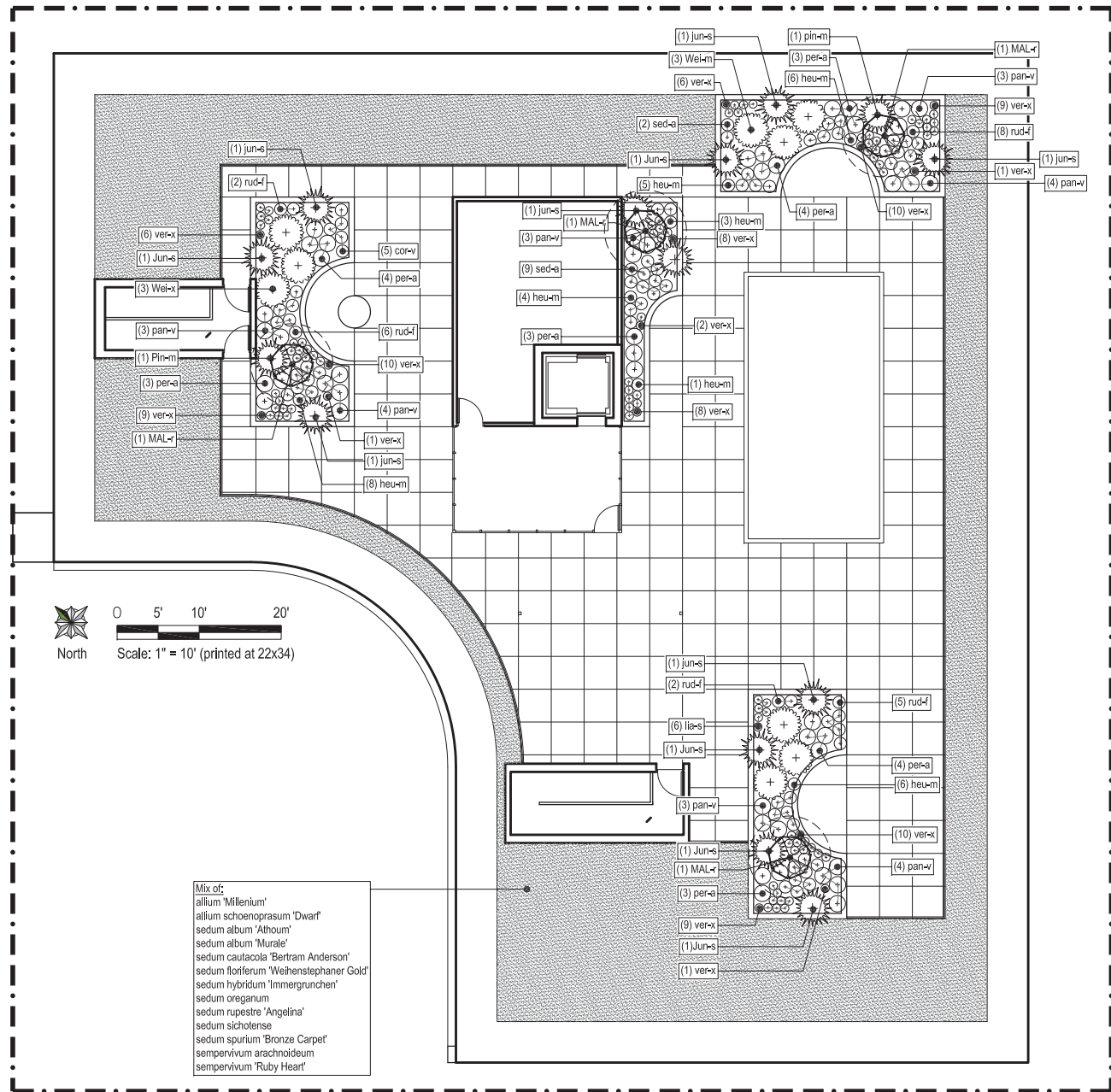
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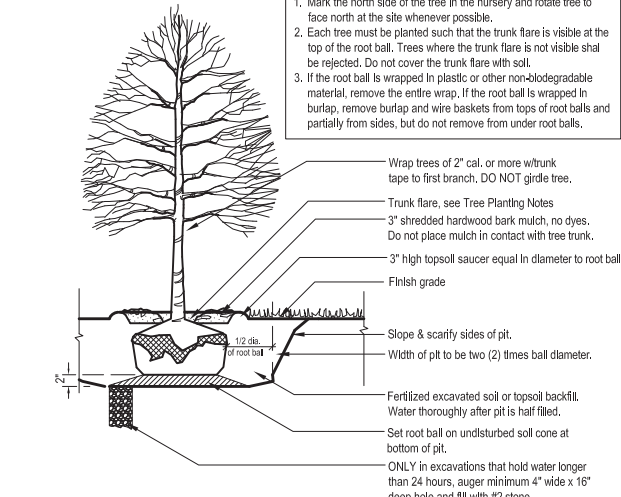
**JOHNSON BEND - 425 W. JOHNSON STREET**  
 EXISTING SITE PLAN  
 DATED: AUGUST 8, 2014  
 C1.1

**QUAM ENGINEERING, LLC**  
 Residential and Commercial Site Design Consultants  
 www.quamengineering.com  
 4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558  
 Phone (608) 838-7750; Fax (608) 838-7752

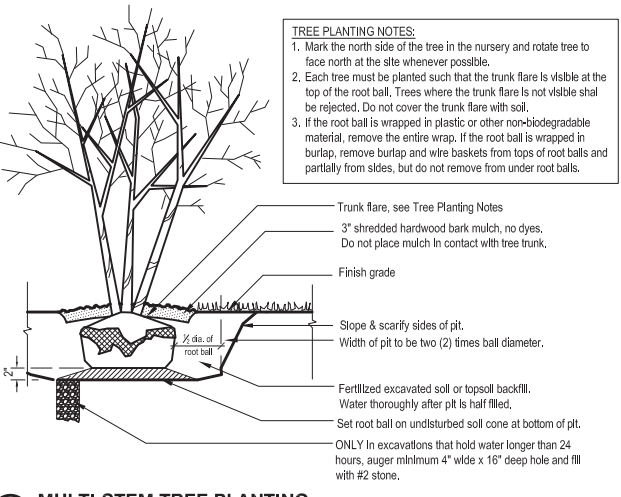


Mix of:  
 allium 'Millenium'  
 allium schoenoprasum 'Dwarf'  
 sedum album 'Althoum'  
 sedum album 'Murale'  
 sedum cauticola 'Bertram Anderson'  
 sedum floriferum 'Weihenstephaner Gold'  
 sedum hybridum 'Immergrunchen'  
 sedum oreganum  
 sedum rupestre 'Angelina'  
 sedum sichotense  
 sedum spurium 'Bronze Carpet'  
 sempervivum arachnoideum  
 sempervivum 'Ruby Heart'

**TREE PLANTING NOTES:**  
 1. Mark the north side of the tree in the nursery and rotate tree to face north at the site whenever possible.  
 2. Each tree must be planted such that the trunk flare is visible at the top of the root ball. Trees where the trunk flare is not visible shall be rejected. Do not cover the trunk flare with soil.  
 3. If the root ball is wrapped in plastic or other non-biodegradable material, remove the entire wrap. If the root ball is wrapped in burlap, remove burlap and wire baskets from tops of root balls and partially from sides, but do not remove from under root balls.

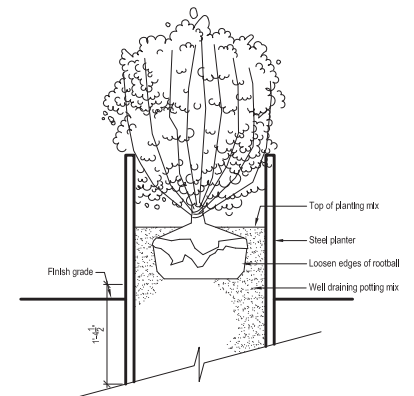


1 TREE PLANTING  
 Not to scale

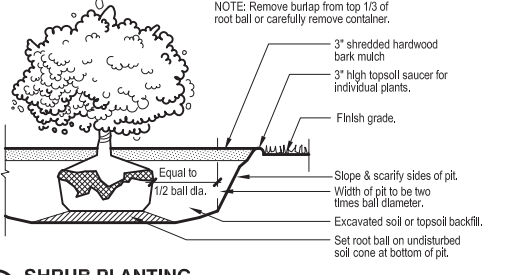


2 MULTI-STEM TREE PLANTING  
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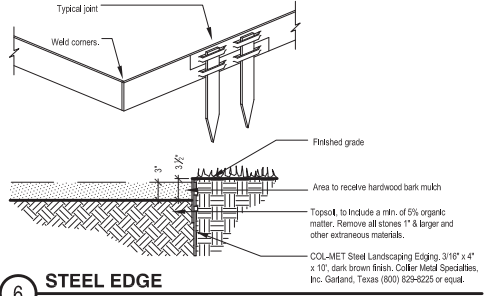
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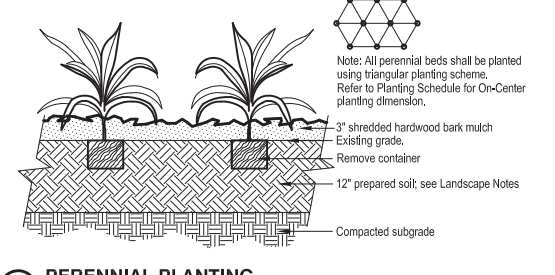
5 SHRUB IN PLANTER  
 Not to scale



3 SHRUB PLANTING  
 Not to scale



6 STEEL EDGE  
 Not to scale



4 PERENNIAL PLANTING  
 Not to scale

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Revision	Date	Description

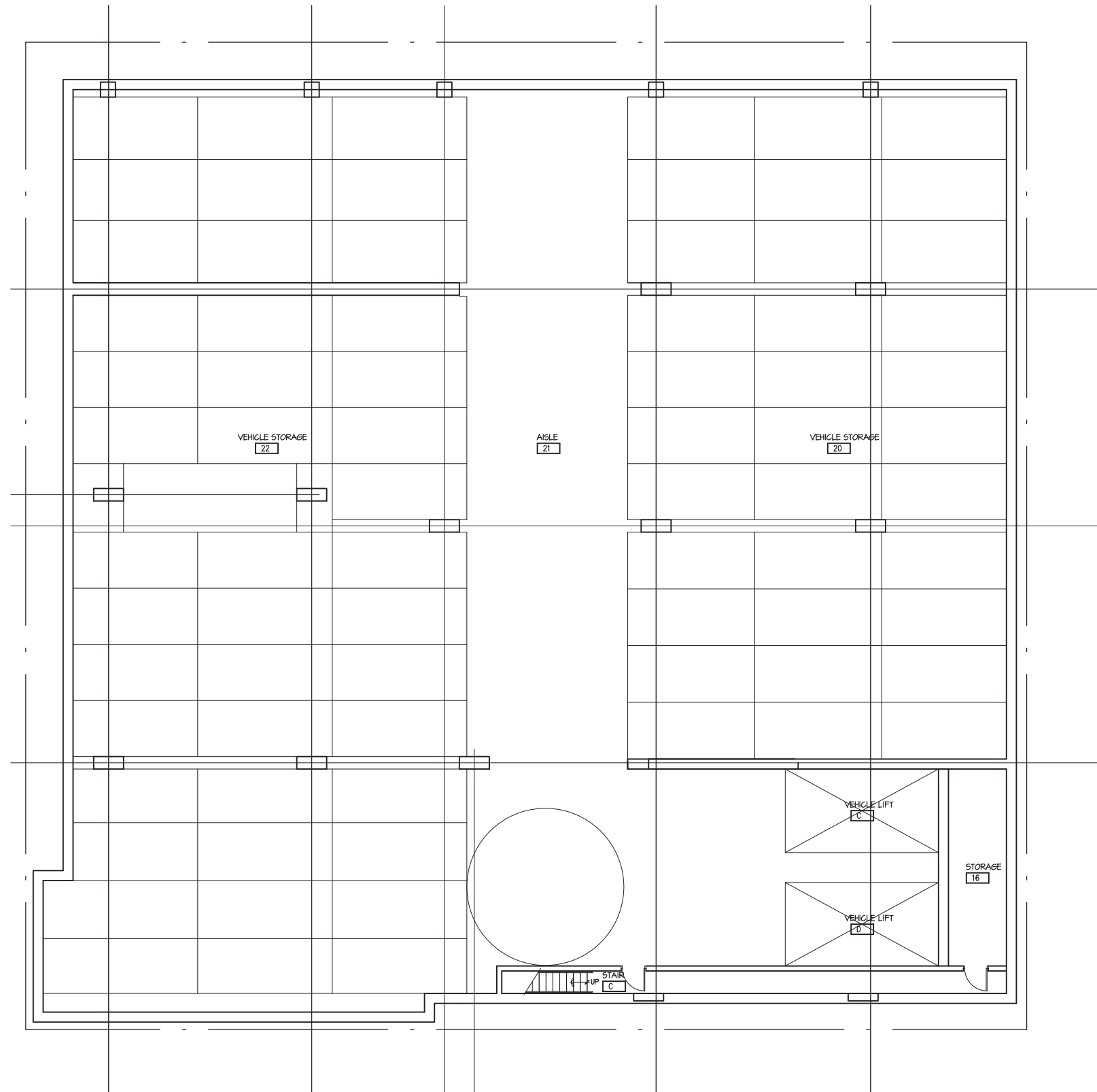
Issued for:	Approval
Issue Date:	2014-08-08
Job No:	2014-045
Drawn by:	ASA

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Stamp:

Sheet Title:  
**Roof Landscape Plan**

Sheet No:  
**L1.1**  
 2 of 2



1  
ALL  
PARKING LEVEL P2  
SCALE: 1/8" = 1'-0"

T1 VEHICLES



OWNER

Les Orosz  
(608) 347-5432  
University Avenue  
Madison, Wisconsin 53703

PROJECT

Johnson Bend

433 West Johnson Street  
Madison, Wisconsin 53703

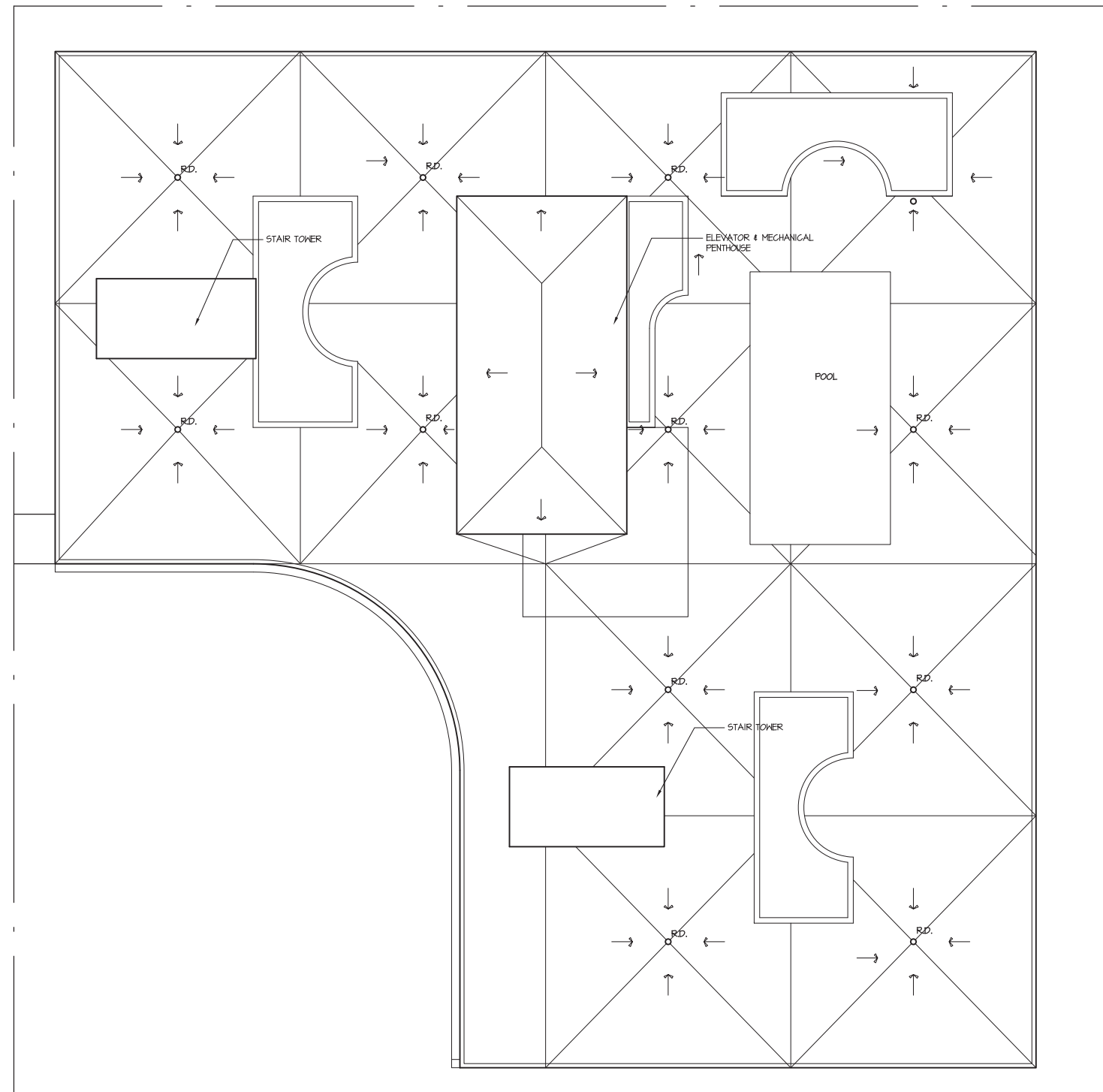
DRAWING

PARKING LEVEL P2 PLAN

DATA

Project # 201303  
Date: 08.08.14

A1.1



1 ROOF PLAN  
A1.10 SCALE: 1/8" = 1'-0"



OWNER

Les Orosz  
(608) 347-5432  
University Avenue  
Madison, Wisconsin 53703

PROJECT

Johnson Bend

433 West Johnson Street  
Madison, Wisconsin 53703

DRAWING

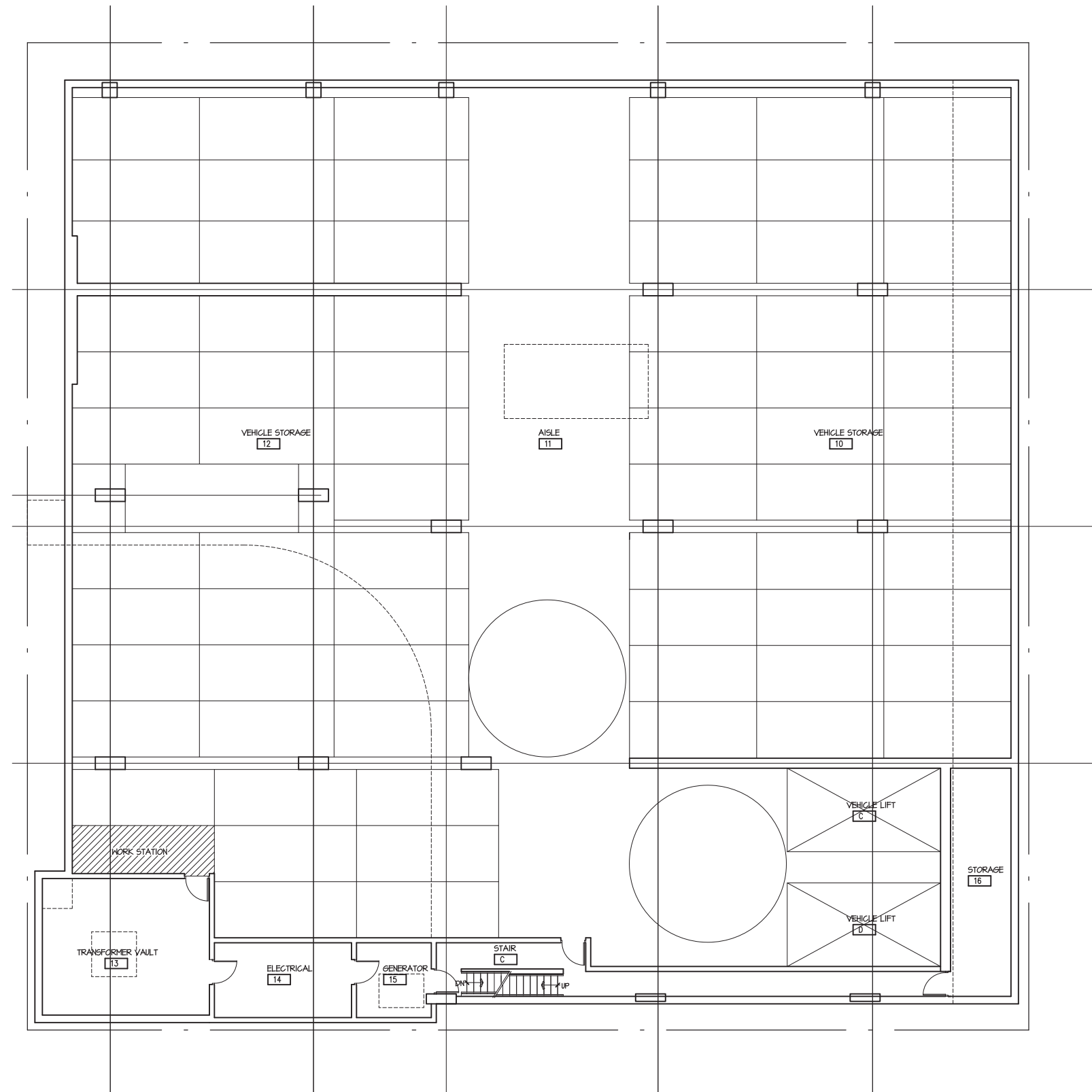
ROOF PLAN

DATA

Project # 201303  
Date: 08.08.14

**A1.10**





1 PARKING LEVEL P1 72 VEHICLES  
A1.2 SCALE: 1/8" = 1'-0"



OWNER

Les Orosz  
(608) 347-5432  
University Avenue  
Madison, Wisconsin 53703

PROJECT

Johnson Bend

433 West Johnson Street  
Madison, Wisconsin 53703

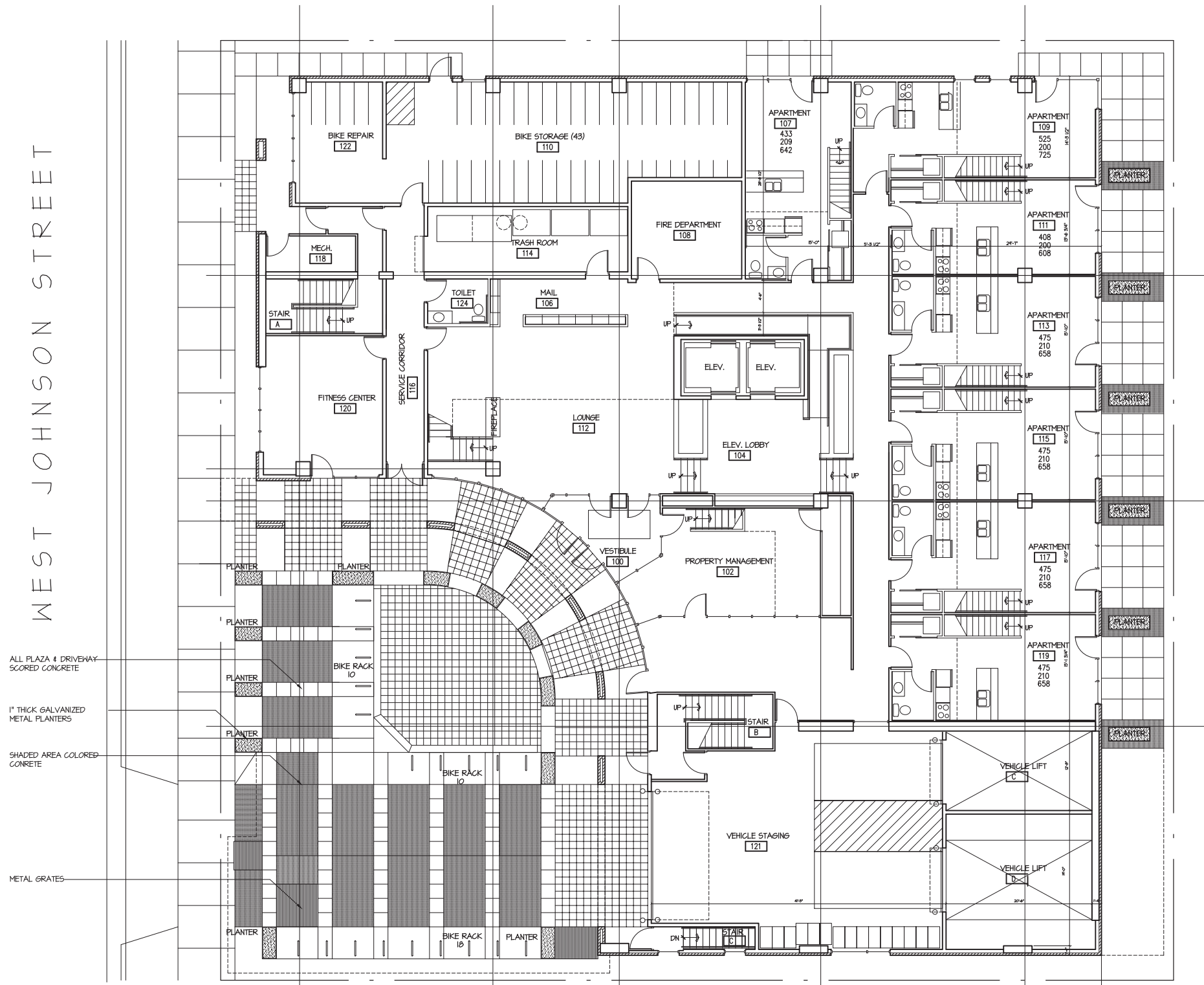
DRAWING

PARKING LEVEL P1 PLAN

DATA

Project # 201303  
Date: 08.08.14

A1.2



WEST JOHNSON STREET

- ALL PLAZA & DRIVEWAY SCORED CONCRETE
- 1" THICK GALVANIZED METAL PLANTERS
- SHADED AREA COLORED CONCRETE
- METAL GRATES

1 FIRST FLOOR PLAN 7 UNITS  
A1.3 SCALE: 1/8" = 1'-0"



OWNER  
Les Orosz  
(608) 347-5432  
University Avenue  
Madison, Wisconsin 53703

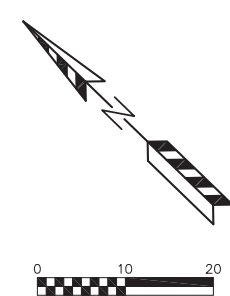
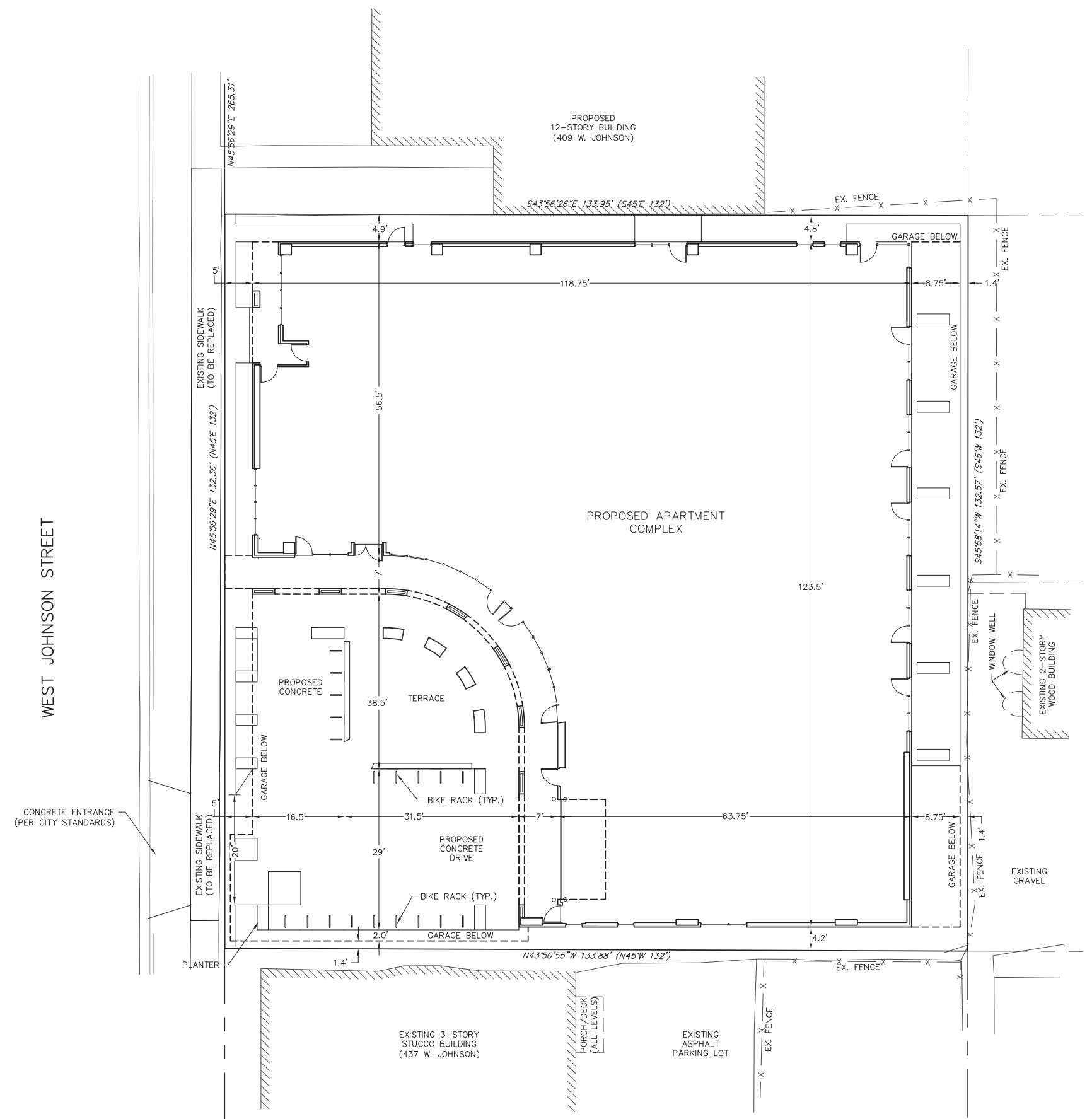
PROJECT  
Johnson Bend

433 West Johnson Street  
Madison, Wisconsin 53703

DRAWING  
FIRST FLOOR PLAN

DATA  
Project # 201303  
Date: 08.08.14

A1.3



**DUMPSTER NOTE**  
 THERE WILL BE NO DUMPSTER POSITION ON THE SITE AND THE GARBAGE REMOVAL WILL BE MANAGED WITHIN THE BUILDING.

**PARKING LOT PLAN SITE INFORMATION BLOCK**

Site Address 425, 431 & 435 WEST JOHNSON STREET  
 Site acreage (total) 17,739 s.f.

Number of building stories (above grade) 12  
 Building height 140'  
 DLHR type of construction (new structures or additions) 1A  
 Total square footage of building 11,210 s.f.  
 Total square footage of garage 16,320 s.f.

Use of property APARTMENTS  
 Gross square feet of office N/A  
 Gross square feet of retail area N/A  
 Number of employees in warehouse N/A  
 Number of employees in production N/A  
 Capacity of restaurant/place of assembly N/A

Number of bicycle stalls shown 22

Number of Parking stalls: (SEE PARKING PLAN)

	SHOWN
Small Car	0
Large Car	0
Accessible	0
Total	0

Number of trees shown (See Landscape Plan)

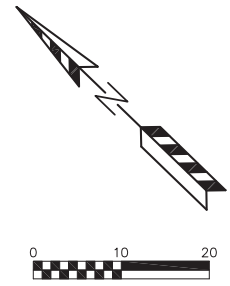
JOHNSON BEND - 425 W. JOHNSON STREET  
 PROPOSED SITE PLAN  
 DATED: AUGUST 8, 2014

C1.2

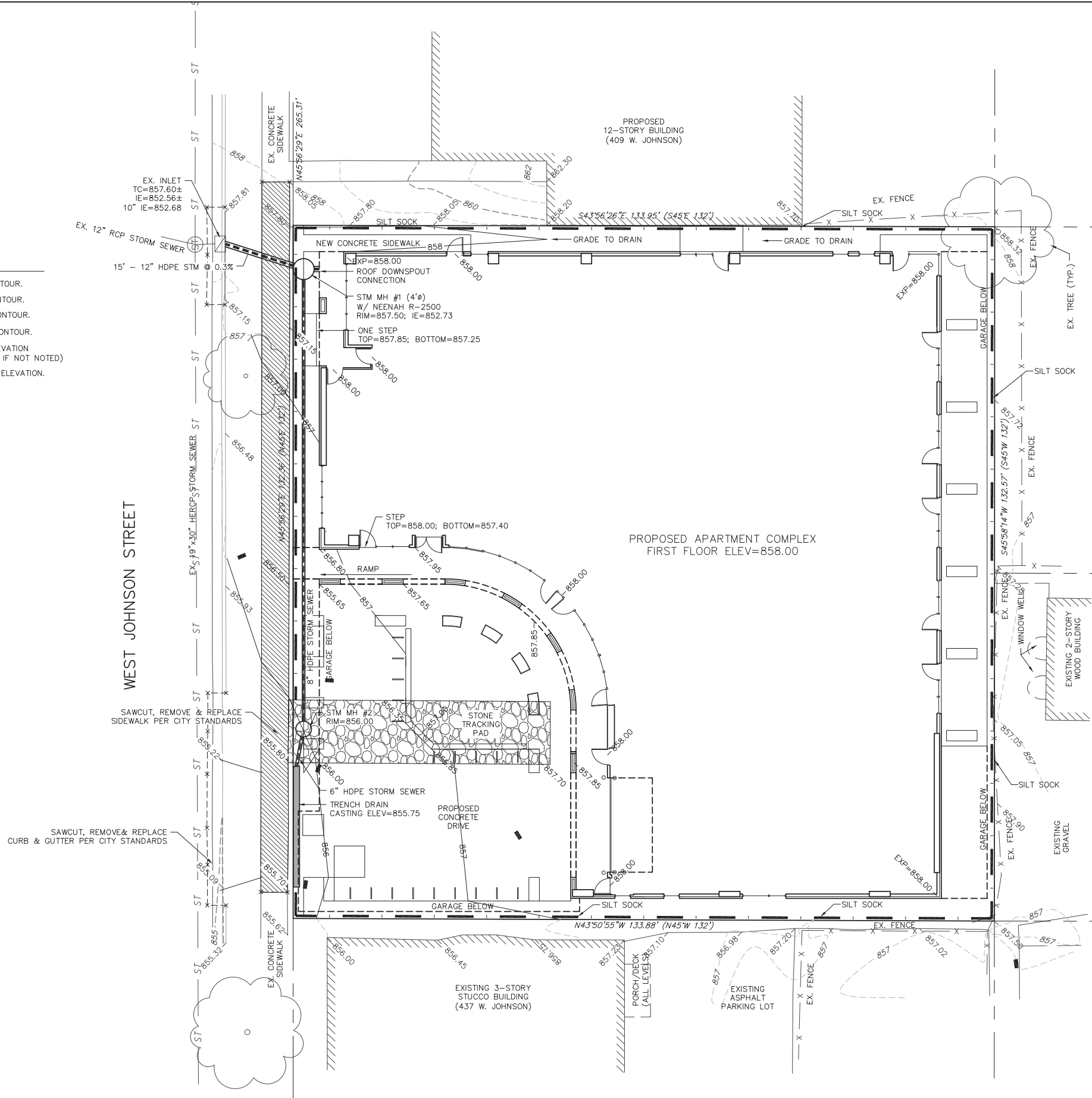
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www.quamengineering.com

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 Phone (608) 838-7750; Fax (608) 838-7752



- LEGEND:**
- - 856 - - EXISTING MINOR CONTOUR.
  - - 855 - - EXISTING MAJOR CONTOUR.
  - 856 — PROPOSED MINOR CONTOUR.
  - 855 — PROPOSED MAJOR CONTOUR.
  - 856.40 - PROPOSED SPOT ELEVATION (EDGE OF PAVEMENT IF NOT NOTED)
  - EXP=889.00 - BUILDING EXPOSURE ELEVATION.



**EROSION NOTES:**  
 THE STONE TRACKING PAD SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION. THE TRACKING PAD IS TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION, WHICH WILL PREVENT THE TRACK OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORKDAY.

EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO GRADING OPERATIONS AND SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS ESTABLISHED. ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF A 0.5 INCH RAIN EVENT. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.

CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1.  
 EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECOGNIZING AND CORRECTING ALL EROSION CONTROL PROBLEMS THAT ARE A RESULT OF CONSTRUCTION ACTIVITIES. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.

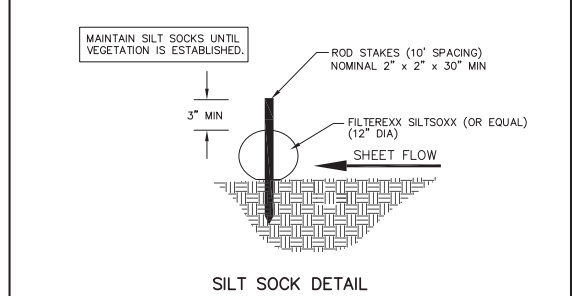
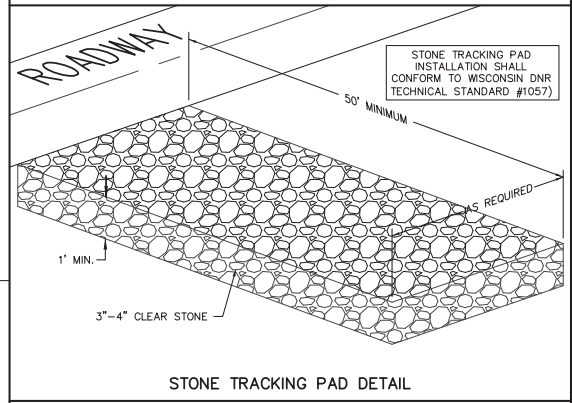
**TIME SCHEDULE:**

NOVEMBER 1, 2014	INSTALL EROSION CONTROL DEVICES.
NOVEMBER 1 - 30, 2014	DEMOLISH EXISTING BUILDINGS AND SIDEWALKS.
DECEMBER 1, 2014 - MAY 1, 2016	CONSTRUCT BUILDING, SIDEWALK, UTILITIES AND RESTORE DISTURBED AREAS.

**RESTORATION NOTES:**  
 ALL PVIOUSLY DISTURBED AREAS SHALL RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL, SEED AND MULCH. ALL PVIOUSLY DISTURBED AREAS SHALL RECEIVE FERTILIZER EXCEPT NATIVE PLANTING AREAS. RESTORATION WILL OCCUR AS SOON AFTER THE DISTURBANCE AS PRACTICAL. WET DETENTION NATIVE SEED MIXTURES SHALL BE USED FOR THE BOTTOM OF THE DETENTION POND. SEED MIXTURE 40 SHALL BE USED ON ALL OTHER DISTURBED AREAS. MIXTURES SHALL BE IN ACCORDANCE WITH SECTION 630 OF D.O.T. SPECIFICATIONS. AN EQUAL AMOUNT OF ANNUAL RYEGRASS SHALL BE ADDED TO THE MIX.  
 SEED MIXTURES SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. MULCH SHALL CONSIST OF HAY OR STRAW APPLIED AT THE RATE OF 2 TONS PER ACRE.  
 FERTILIZER SHALL MEET THE MINIMUM REQUIREMENTS THAT FOLLOW: NITROGEN, NOT LESS THAN 16%; PHOSPHORIC ACID, NOT LESS THAN 8%; POTASH, NOT LESS THAN 8%.

**OWNER:**  
 LES OROSZ  
 505 UNIVERSITY AVENUE  
 MADISON, WI 53703

**ENGINEER:**  
 QUAM ENGINEERING, LLC  
 ATTN: RYAN QUAM  
 4604 SIGGELKOW ROAD, SUITE A  
 MCFARLAND, WI 53558



TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

**CALL DIGGERS HOTLINE**  
 1-800-242-8511  
 TOLL FREE

TDD(FOR THE HEARING IMPAIRED)(800)542-2289

WS. STATUTE 182.0175 (1974)  
 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

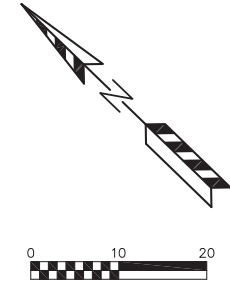
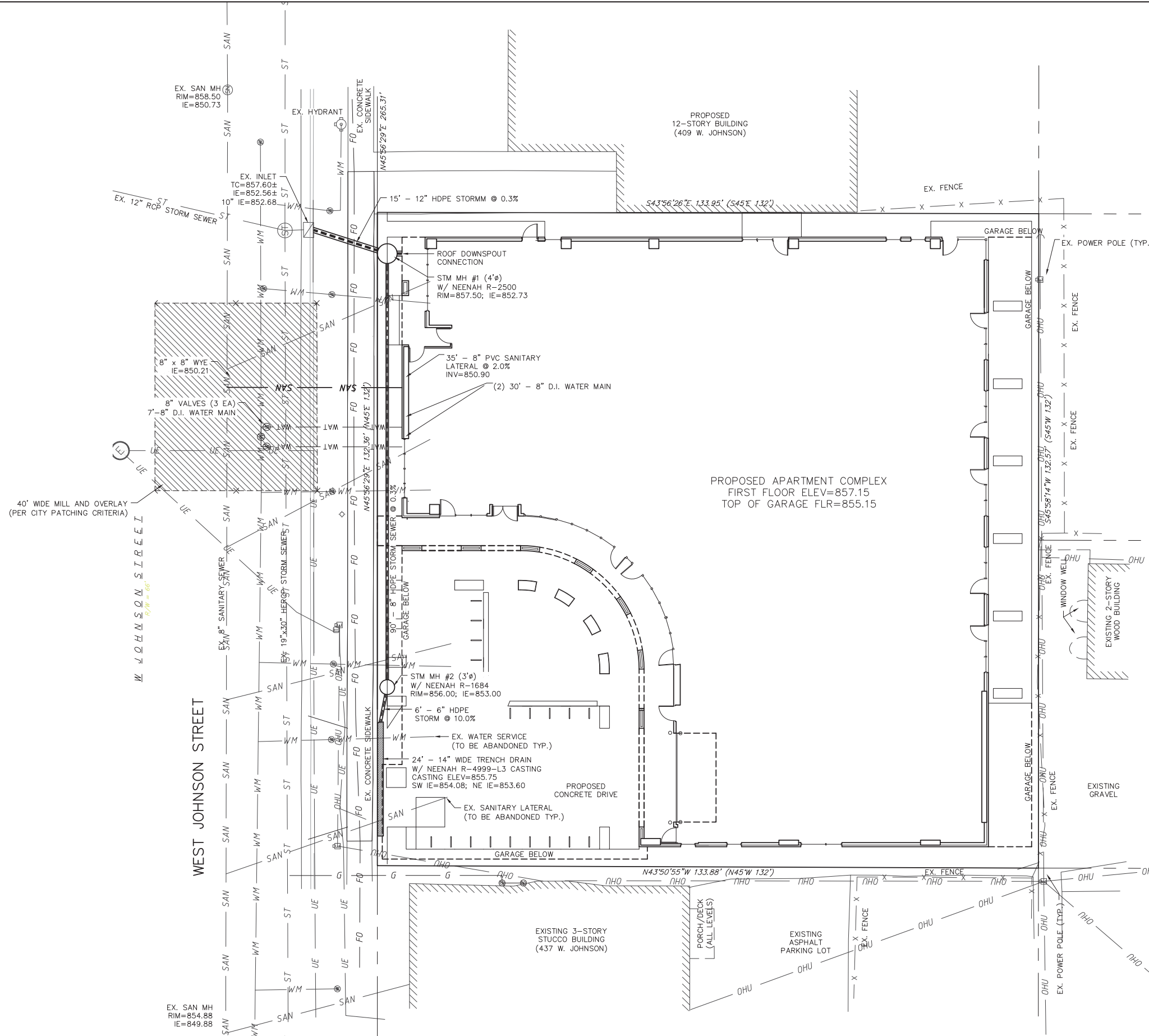
JOHNSON BEND - 425 W. JOHNSON STREET  
 GRADING AND EROSION CONTROL PLAN  
 DATED: AUGUST 8, 2014

C1.3

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**GENERAL NOTES:**  
 ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A PRE-APPROVED CONTRACTOR AUTHORIZED TO WORK IN THE RIGHT-OF-WAY.

THE CONTRACTOR SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER WHICH ABUTS THE PROPERTY WHICH IS DAMAGED BY THE CONSTRUCTION OR ANY SIDEWALK AND CURB AND GUTTER WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.

THE CONTRACTOR SHALL OBTAIN A STREET EXCAVATION PERMIT FOR THE INSTALLATION OF UTILITIES REQUIRED TO SERVE THIS PROJECT. THE CONTRACTOR SHALL PAY THE PERMIT FEE, INSPECTION FEE, AND STREET DEGRADATION FEE AND SHALL COMPLY WITH ALL CONDITIONS OF THE PERMIT.

ANY DAMAGE TO THE PAVEMENT ON WEST JOHNSON STREET ADJACENT TO THE DEVELOPMENT WHICH IS DAMAGED BY THE CONSTRUCTION, SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA.

CONTRACTOR SHALL FIELD VERIFY EXISTING SANITARY CONNECTION AND STORM SEWER CONNECTION INVERTS PRIOR TO BUILDING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO ENGINEER.

PRIOR TO FINAL APPROVAL OF DEMOLITION PERMIT, CONTRACTOR SHALL OBTAIN A PERMIT TO PLUG EACH EXISTING SANITARY SEWER LATERAL THAT SERVES A BUILDING THAT IS PROPOSED FOR DEMOLITION. CONTRACTOR SHALL COMPLETE SEWER LATERAL PLUGGING APPLICATION AND PAY APPLICABLE PERMIT FEE.

**UTILITY NOTES:**  
 ALL WATER AND SEWER CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE CITY OF MADISON AND WISCONSIN DSPS STANDARDS.

THE LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM THE PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.

ALL WATER MAIN SHALL BE BURIED TO A DEPTH OF 6.5 FEET. THE DEPTH IS DEFINED AS THE DISTANCE BETWEEN THE FINISHED GRADE ELEVATION AND THE TOP OF WATER MAIN OR SERVICE.

PROVIDE 18" MINIMUM VERTICAL SEPARATION WHERE SEWER CROSSES OVER WATER MAIN AND PROVIDE 6" MINIMUM VERTICAL SEPARATION WHERE WATER MAIN CROSSES OVER SEWER.

ANY UTILITIES WHICH ARE DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.

ALL UNDERGROUND EXTERIOR WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORDANCE WITH 182.0715(2r) OF STATE STATUTES.

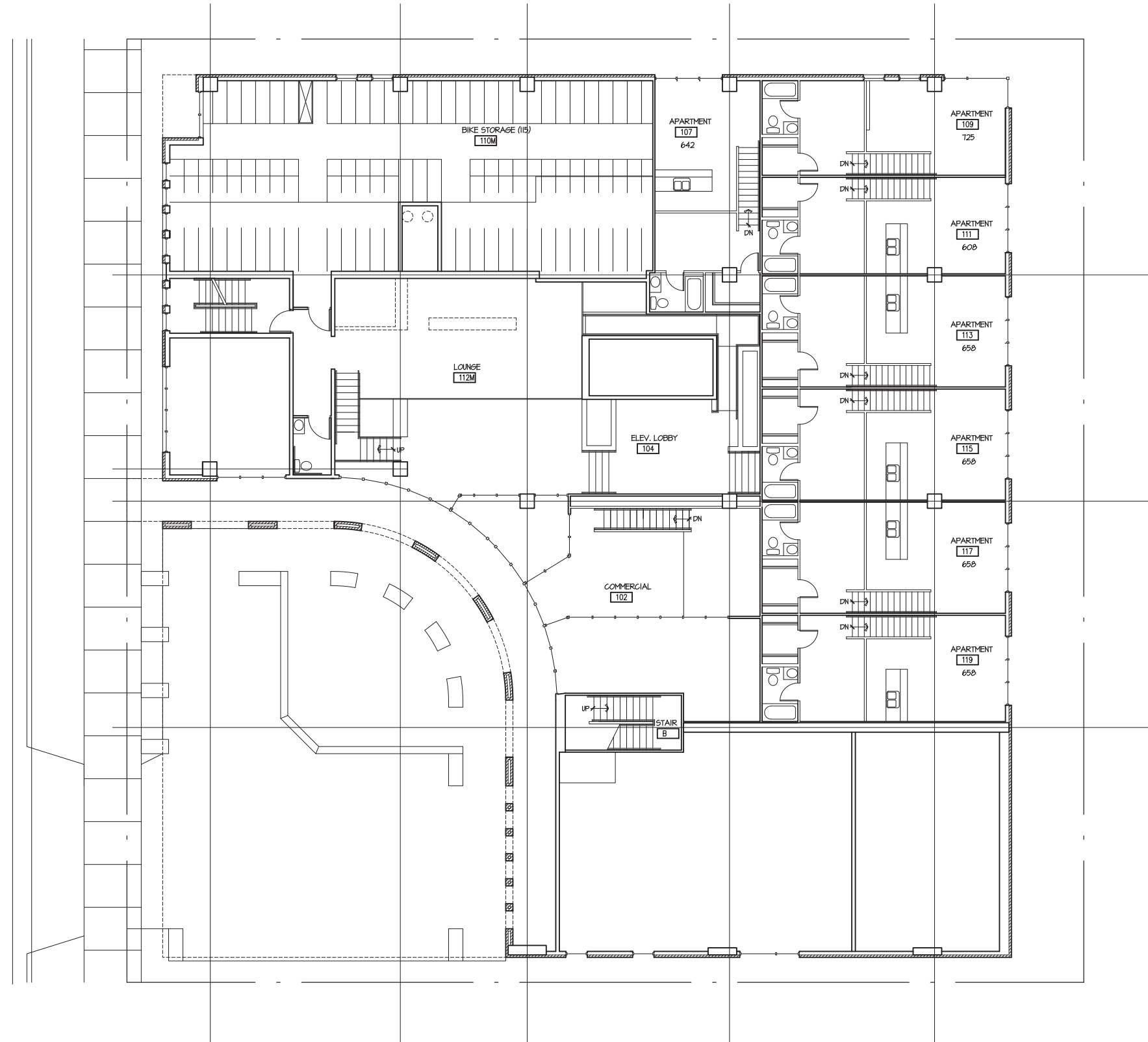
THE PROPOSED ELECTRIC, TELEPHONE AND GAS UTILITY LOCATIONS ARE NOT SHOWN. ACTUAL LOCATIONS AND DESIGN SHALL BE COMPLETED BY OTHERS.

CONTRACTOR SHALL CONTACT MADISON WATER UTILITY TO REMOVE WATER METER AND PRIOR TO ABANDONING EXISTING WATER SERVICE AND INSTALLING 8" TAPPING VALVES AND PAY CITY INSPECTION FEE.

JOHNSON BEND - 425 W. JOHNSON STREET  
 UTILITY PLAN  
 DATED: AUGUST 8, 2014  
 C1.4

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WEST JOHNSON STREET



1 FIRST FLOOR MEZZANINE PLAN  
A1.4 SCALE: 1/8" = 1'-0"



OWNER

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PROJECT

Johnson Bend

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Madison, Wisconsin 53703

DRAWING

FIRST FLOOR MEZZANINE

DATA

Project # 201303  
Date: 08.08.14

A1.4



1 SECOND FLOOR PLAN  
A1.5 SCALE: 1/8" = 1'-0"



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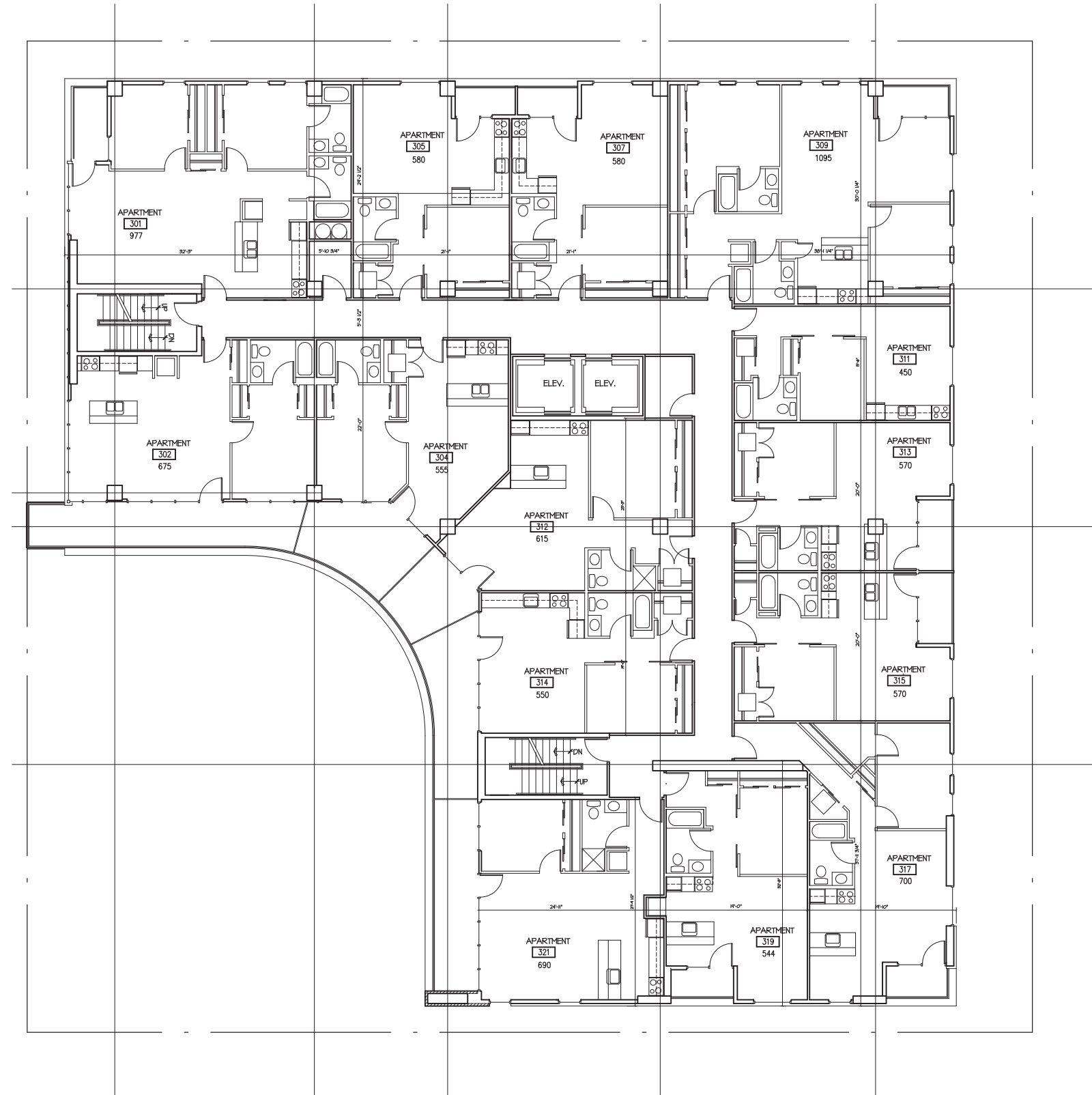
DRAWING

SECOND FLOOR PLAN

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A1.5



1 THIRD FLOOR PLAN  
A1.6 SCALE: 1/8" = 1'-0"



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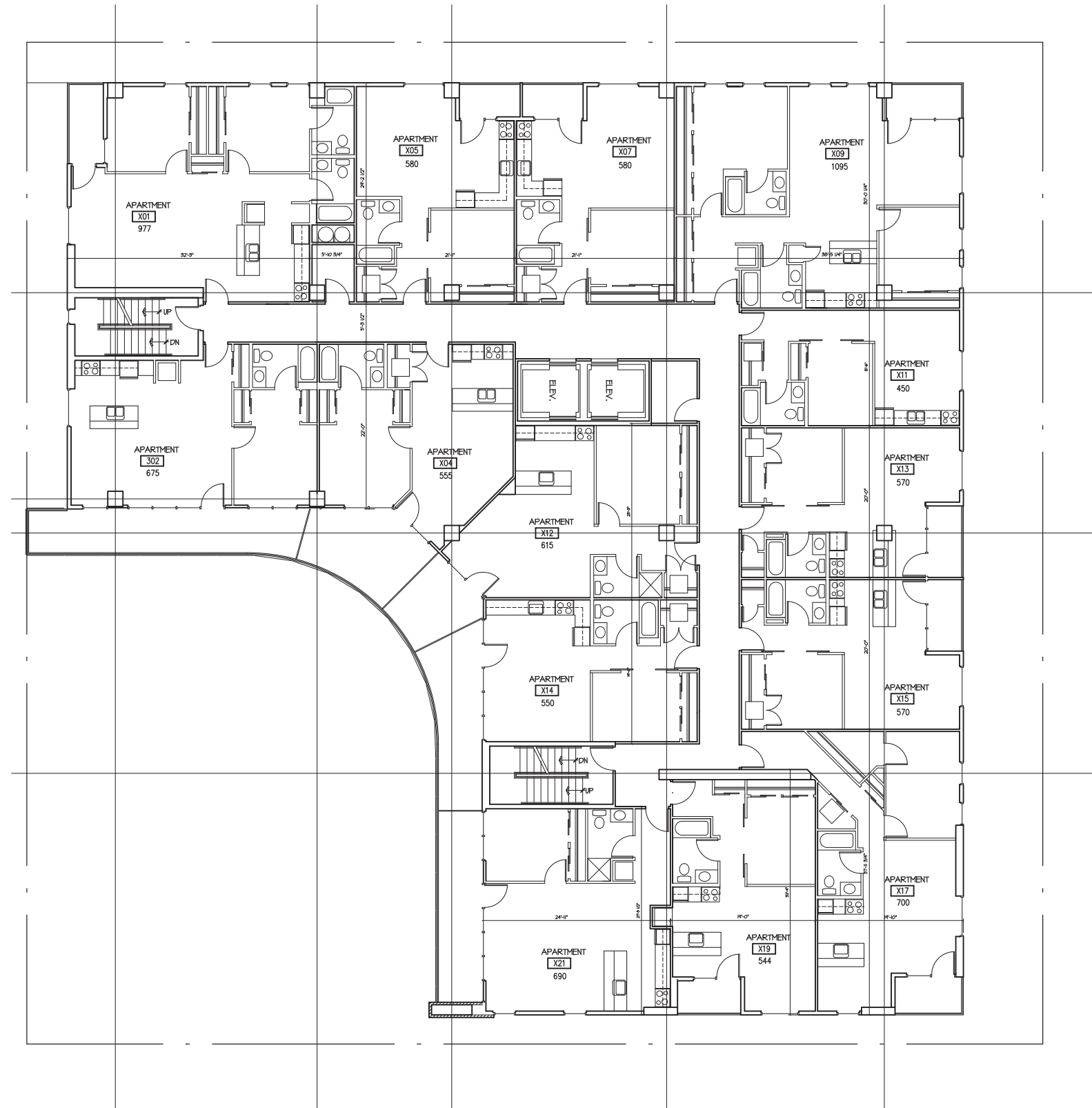
THIRD FLOOR PLAN

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A1.6





1 TYPICAL FLOOR PLAN  
A1.7 SCALE: 1/8" = 1'-0"



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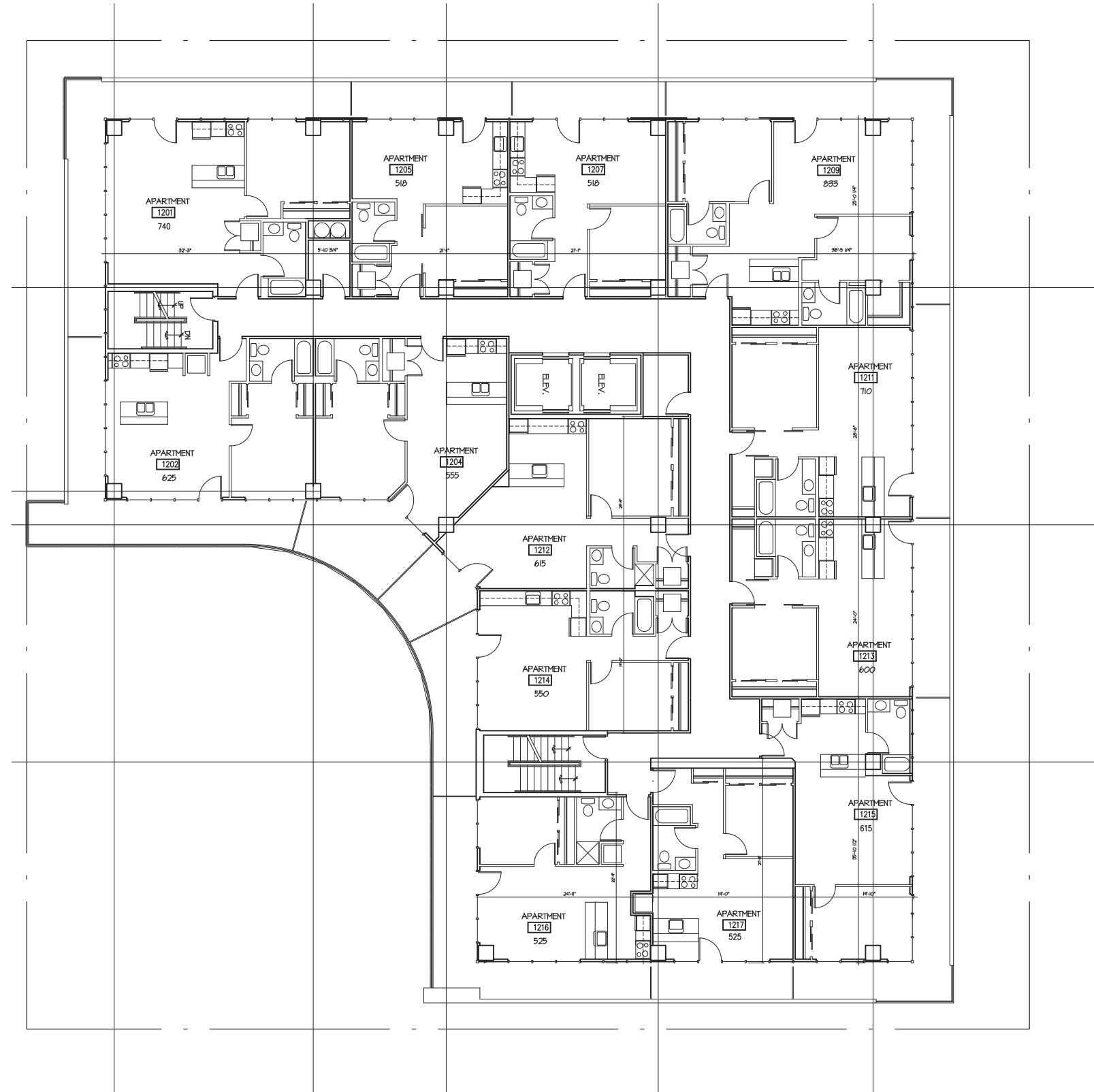
DRAWING

TYPICAL FLOOR PLAN

DATA

Project # 201303  
Date: 08.08.14

A1.7



1 TWELFTH FLOOR PLAN  
A1.8 SCALE: 1/8" = 1'-0"



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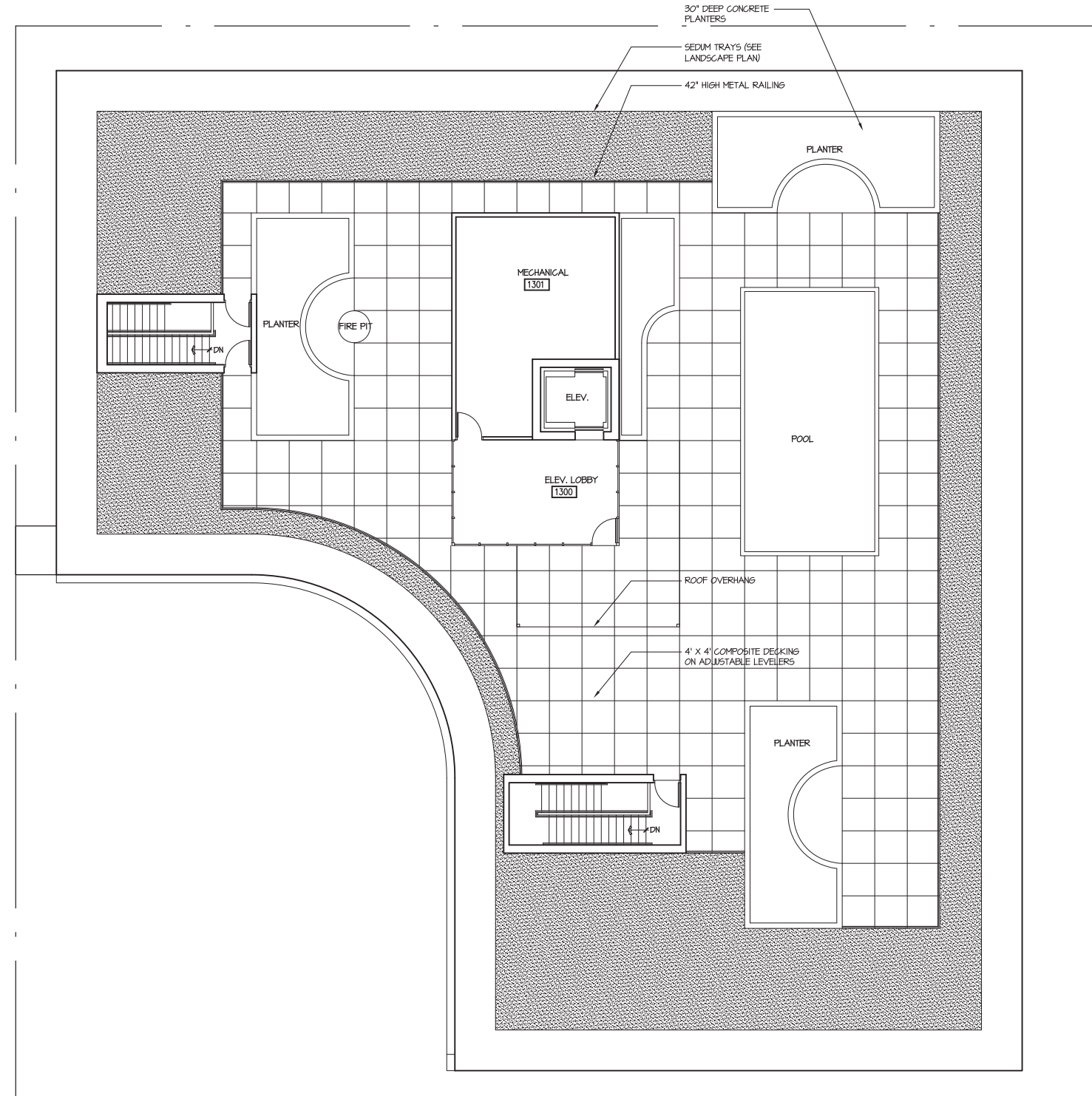
PROJECT  
Johnson Bend

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DRAWING  
TWELFTH FLOOR PLAN

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A1.8



1 ROOF TERRACE PLAN  
A1.9 SCALE: 1/8" = 1'-0"



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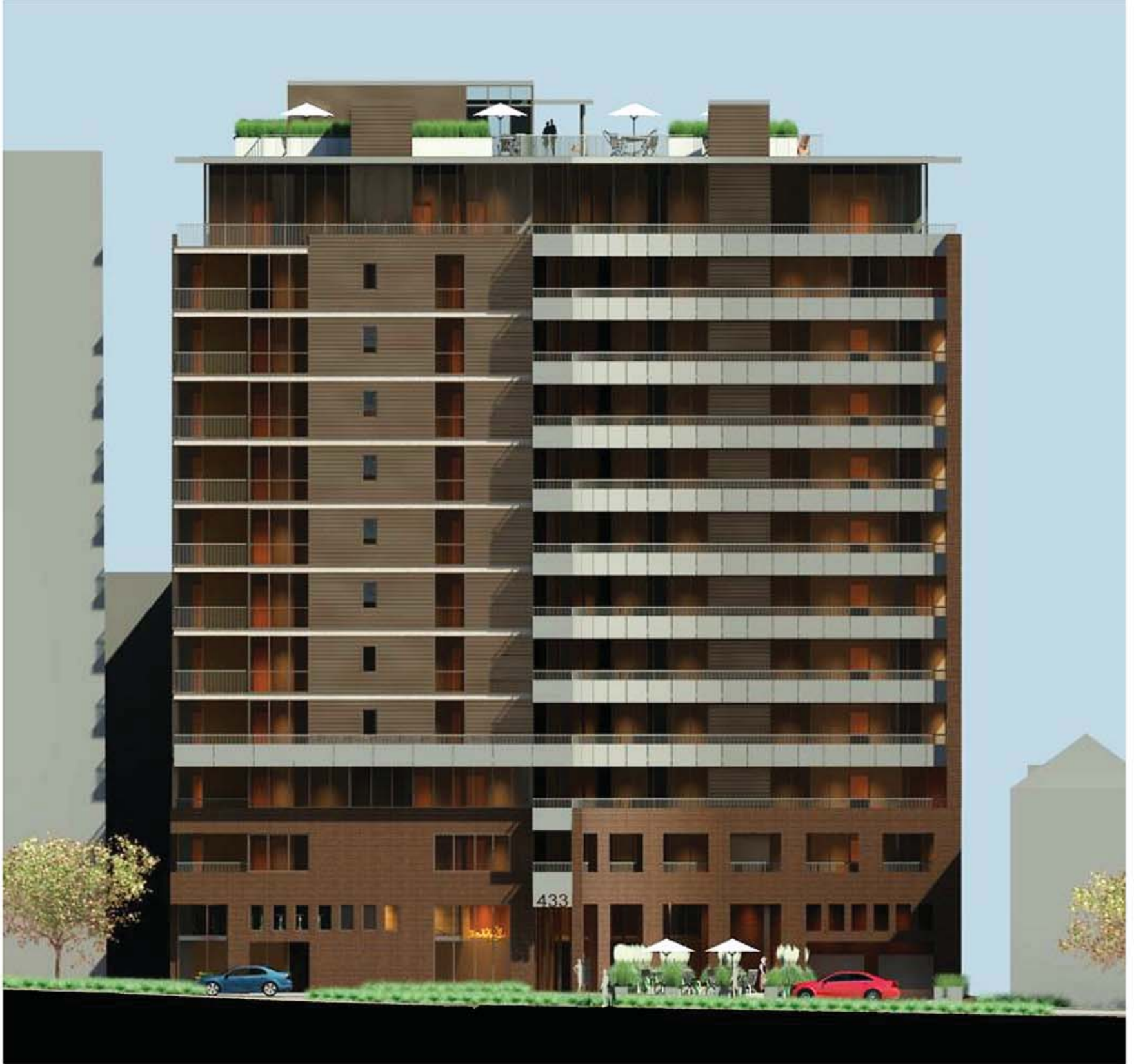
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ROOF TERRACE PLAN

DATA

Project # 201303  
Date: 08.08.14

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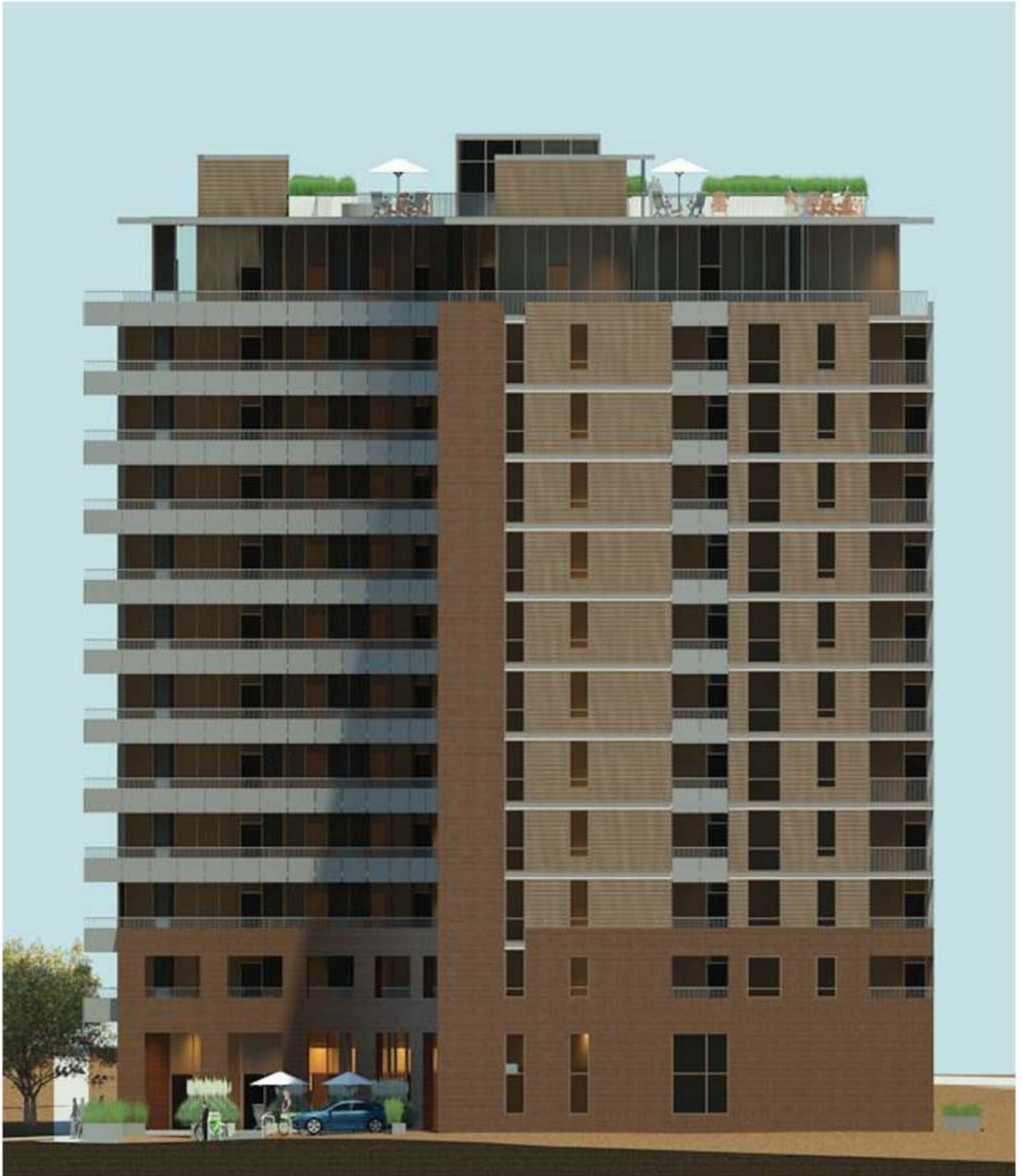


North West Elevation

SUTTON  
ARCHITECTURE

KEE  
architecture

433 Johnson Bend

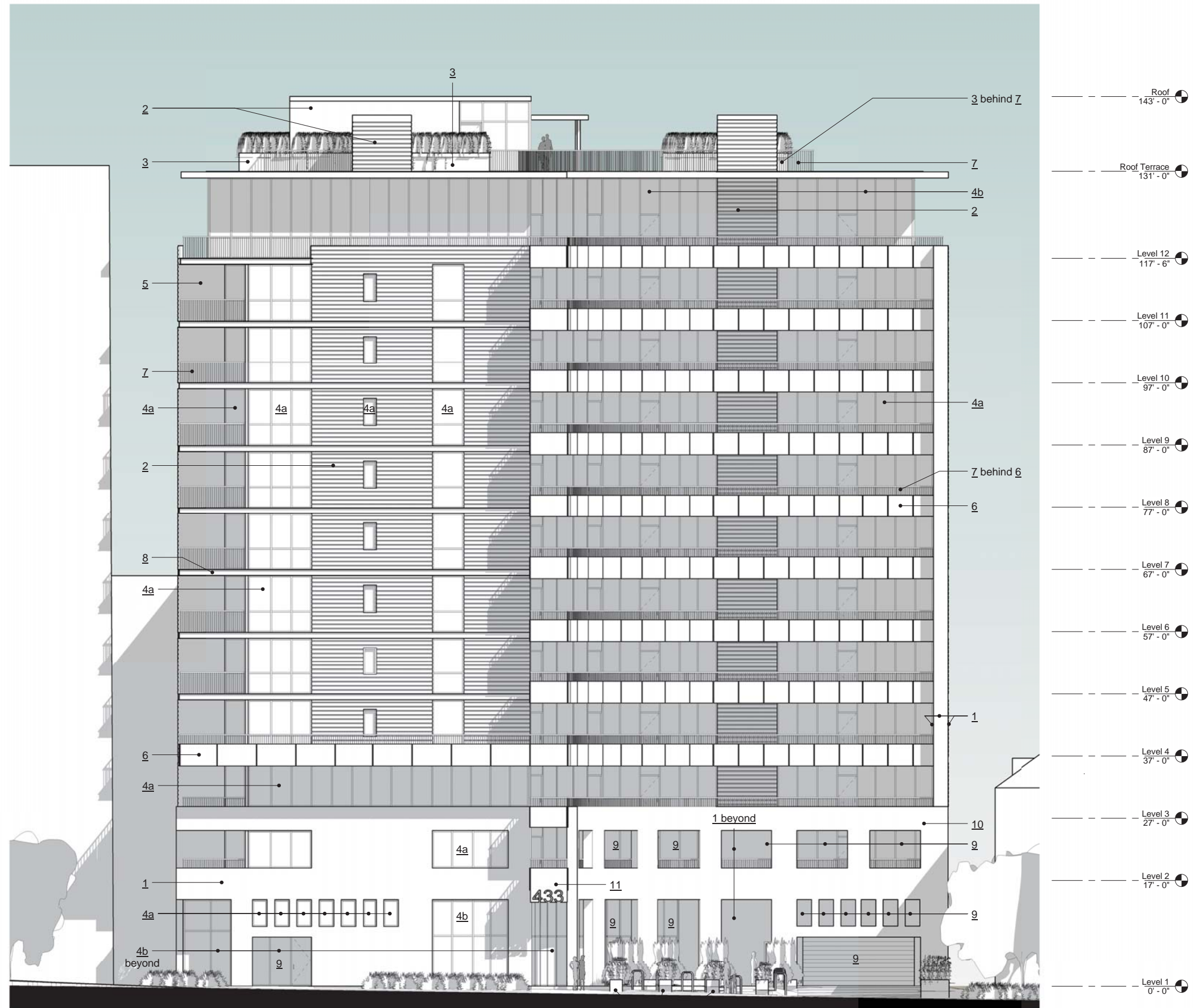


South West Elevation

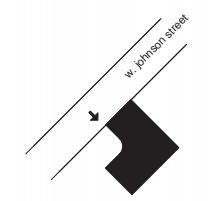
SUTTON  
ARCHITECTURE

KEE  
architecture

433 Johnson Bend



- KEYED NOTES**
1. Brick masonry
  2. Architectural metal panel w/ concealed fasteners  
Utility - Medium Ironspot 46 - Velour (Endicott Clay Products)
  3. 1" Galvanized steel planter
  - 4a. Thermally broken aluminum storefront system ('Kynar' color to match metal panel)  
w/ 1" insulated glazing unit or 1" insulated spandrel unit  
- 1/4" Solarban 60 #2  
- 1/2" Black Tech/Argon  
- 1/4" Clear
  - 4b. Thermally broken aluminum curtainwall system ('Kynar' color to match metal panel)  
w/ 1" insulated glazing unit or 1" insulated spandrel unit  
- 1/4" Solarban 60 #2  
- 1/2" Black Tech/Argon  
- 1/4" Clear
  5. EIFS  
'Dryvit' Outsulation X System  
Color: #364b Totem Pole  
Texture: Sandpebble Fine NT
  6. Galvanized steel plate w/ concealed fasteners
  7. Guardrail (vertical balusters @ 4" o.c.)
  8. Galvanized steel channel - MC12x10
  9. Opening in masonry wall
  10. 20" masonry wall brick veneer on both sides
  11. 1" Galvanized steel plate w/ plasma cut address

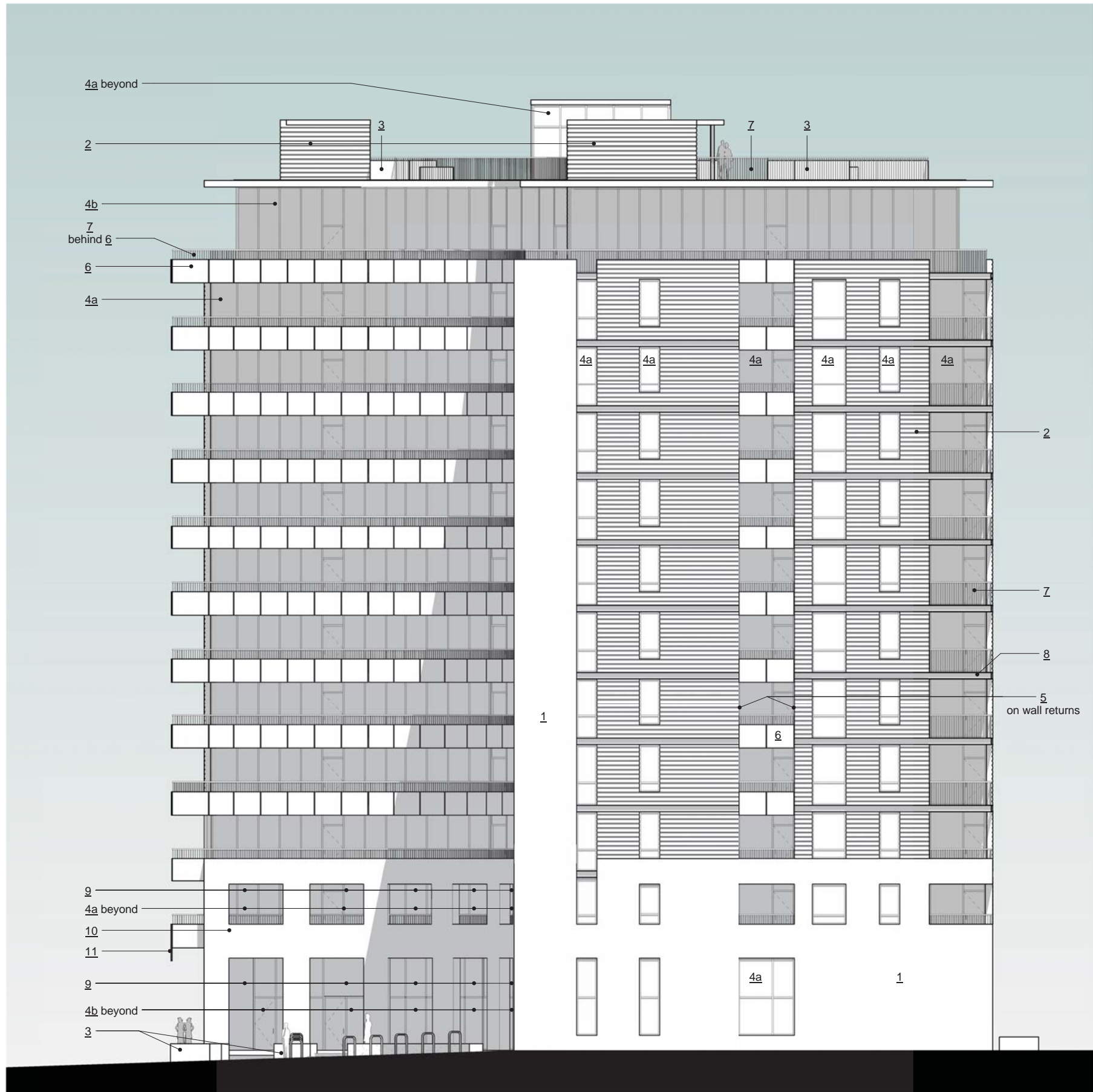


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**PROJECT**  
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Madison, Wisconsin 53703

**DRAWING**  
NORTH WEST ELEVATION  
1/8" = 1'-0"

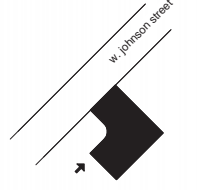
**DATA**  
Project # 201303  
Date: 08.01.14



- Roof 143'-0"
- Roof Terrace 131'-0"
- Level 12 117'-6"
- Level 11 107'-0"
- Level 10 97'-0"
- Level 9 87'-0"
- Level 8 77'-0"
- Level 7 67'-0"
- Level 6 57'-0"
- Level 5 47'-0"
- Level 4 37'-0"
- Level 3 27'-0"
- Level 2 17'-0"
- Level 1 0'-0"

KEYED NOTES

1. Brick masonry  
Utility - Medium Ironspot 46 - Velour (Endicott Clay Products)
2. Architectural metal panel w/ concealed fasteners  
Centria' concept series metal panel system CS-620  
Substrate: 22 ga Galvalume  
Color: 9987 Bronze II
3. 1" Galvanized steel planter
- 4a. Thermally broken aluminum storefront system ('Kynar' color to match metal panel)  
w/ 1" insulated glazing unit or 1" insulated spandrel unit  
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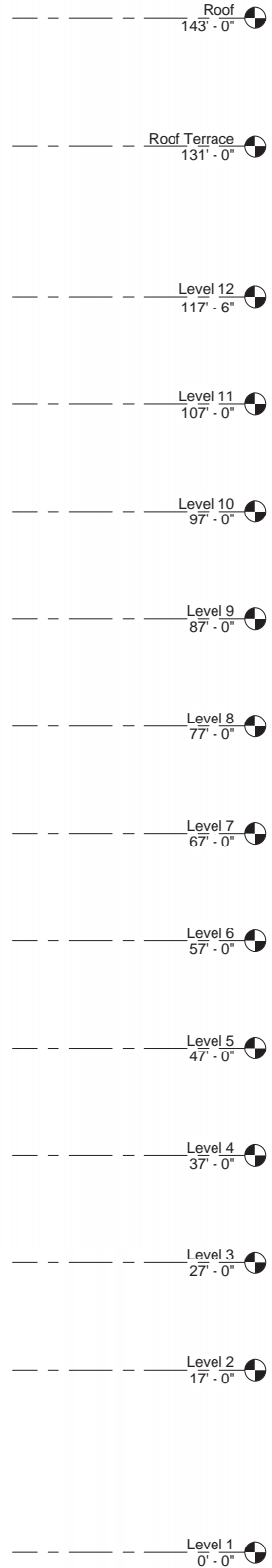
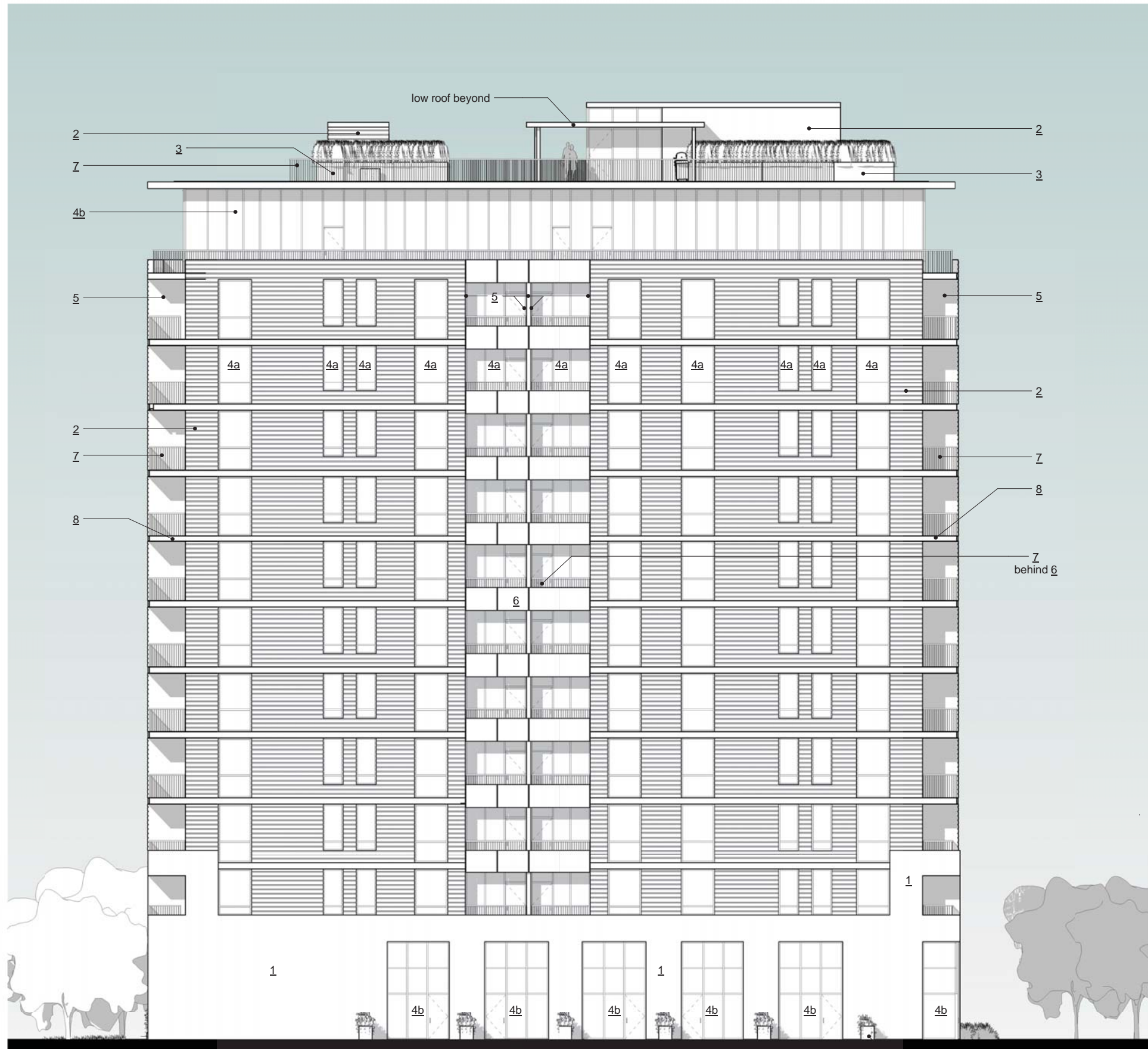
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Madison, Wisconsin

PROJECT  
Johnson Bend  
433 West Johnson Street  
Madison, Wisconsin 53703

DRAWING  
SOUTH WEST ELEVATION  
1/8" = 1'-0"

DATA  
Project # 201303  
Date: 08.01.14

A2.2.



KEYED NOTES

1. Brick masonry  
Utility - Medium Ironspot 46 - Velour (Endicott Clay Products)
2. Architectural metal panel w/ concealed fasteners  
Centria' concept series metal panel system CS-620  
Substrate: 22 ga Galvalume  
Color: 9987 Bronze II
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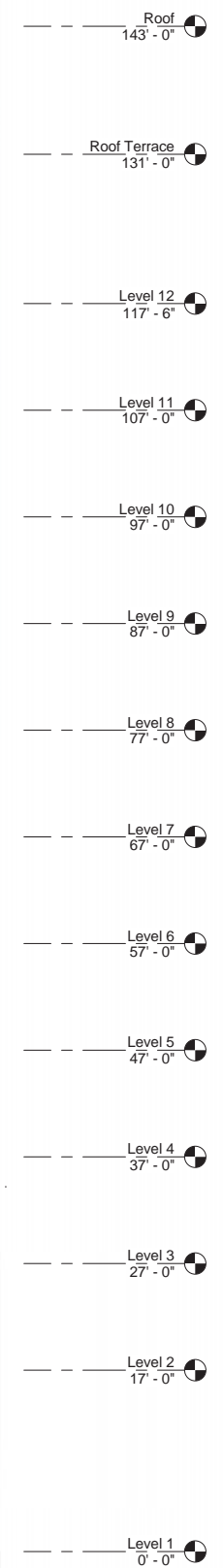
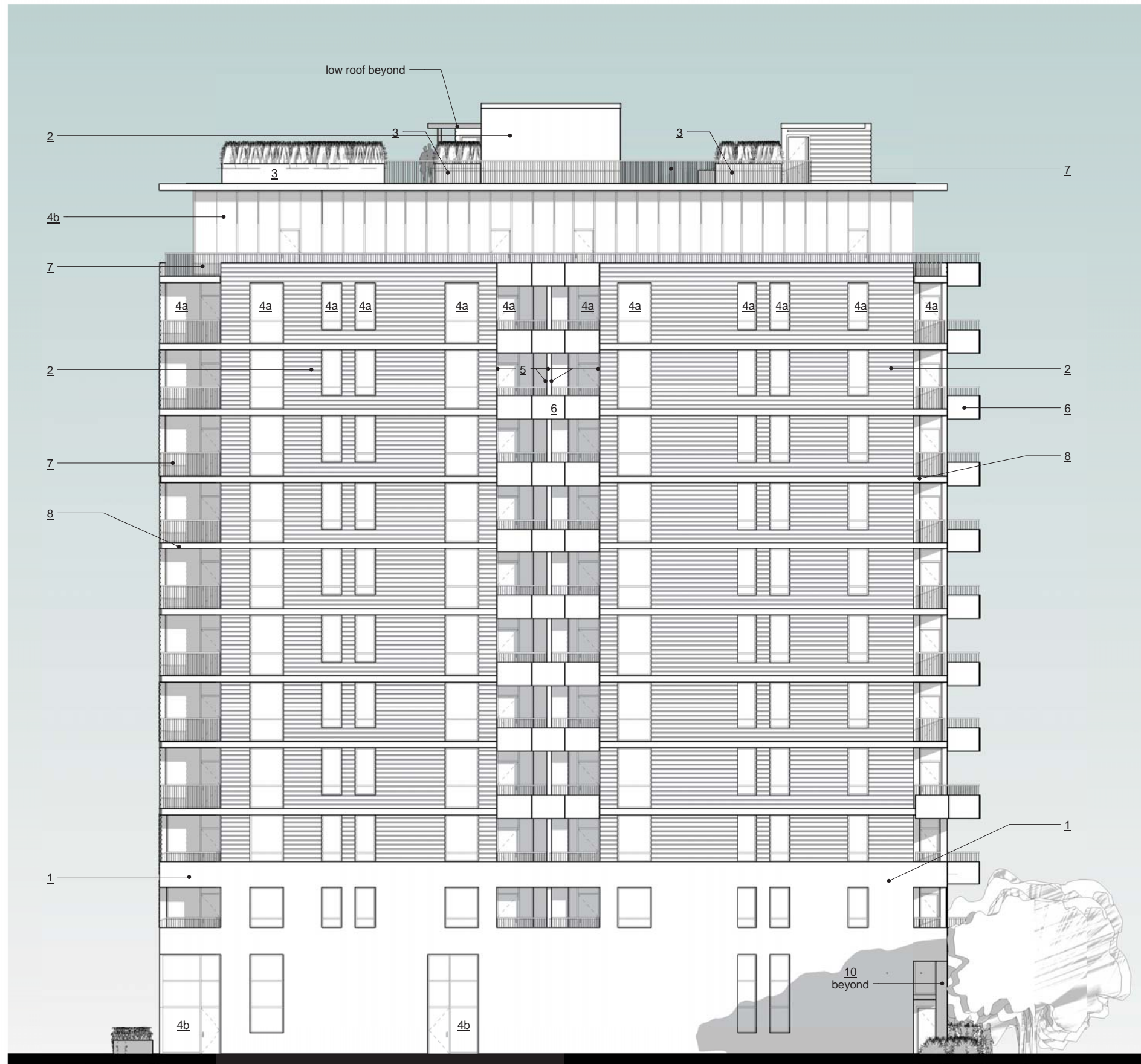
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DRAWING  
SOUTH EAST ELEVATION  
1/8" = 1'-0"

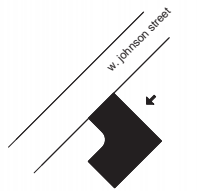
DATA  
Project # 201303  
Date: 08.01.14

A2.3.





- KEYED NOTES**
1. Brick masonry  
Utility - Medium Ironspot 46 - Velour (Endicott Clay Products)
  2. Architectural metal panel w/ concealed fasteners  
Centria' concept series metal panel system CS-620  
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  3. 1" Galvanized steel planter
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PROJECT  
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DRAWING  
NORTH EAST ELEVATION  
1/8" = 1'-0"

DATA  
Project # 201303  
Date: 08.01.14

A2.4.



View from West Johnson Street

SUTTON  
ARCHITECTURE

KEE  
architecture

433 Johnson Bend