

URBAN DESIGN COMMISSION APPLICATION

UDC

City of Madison
Planning Division
Madison Municipal Building, Suite 017
215 Martin Luther King, Jr. Blvd.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635



FOR OFFICE USE ONLY

Date Received _____ Initial Submittal
Paid _____ Revised Submittal

Complete all sections of this application, including the desired meeting date and the action requested. If your project requires both UDC and Land Use application submittals, a completed [Land Use Application](#) and accompanying submittal materials are also required to be submitted.

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the Planning Division at (608) 266-4635.

Si necesita interprete, traductor, materiales en diferentes formatos, u otro tipo de ayuda para acceder a estos formularios, por favor llame al (608) 266-4635.

Yog tias koj xav tau ib tug neeg txhais lus, tus neeg txhais ntawv, los sis xav tau cov ntaub ntawv ua lwm horn ntawv los sis lwm cov kev pob kam paub biog cov lus qhia no, thov hu rau Koog Npaj (Planning Division) (608) 266-4635.

1. Project Information

Address (list all addresses on the project site): 139 West Wilson Street Madison Wisconsin 53703

Title: progression

2. Application Type (check all that apply) and Requested Date

UDC meeting date requested September 20, 2023

- New development Alteration to an existing or previously-approved development
 Informational Initial Approval Final Approval

3. Project Type

- Project in an Urban Design District
 Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
 Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
 Planned Development (PD)
 General Development Plan (GDP)
 Specific Implementation Plan (SIP)
 Planned Multi-Use Site or Residential Building Complex

Signage

- Comprehensive Design Review (CDR)
 Modifications of Height, Area, and Setback
 Sign Exceptions as noted in [Sec. 31.043\(3\)](#), MGO

Other

- Please specify _____

4. Applicant, Agent, and Property Owner Information

Applicant name John Seamon
Street address N3302 South Oakland Road
Telephone 608.216.6630

Company SEA Design
City/State/Zip Cambridge, Wisconsin 53538
Email johnseamon@seadesigns.net

Project contact person John Seamon
Street address _____
Telephone _____

Company _____
City/State/Zip _____
Email _____

Property owner (if not applicant) Phil Hees
Street address 139 West Wilson
Telephone 608.284.1800

City/State/Zip Madison Wisconsin 53703
Email phil@mcbridecompanies.com

5. Required Submittal Materials

- Application Form**
 - A completed application form is required for each UDC appearance. For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (Initial or Final Approval) from the UDC.
- Letter of Intent**
 - If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required.
 - For signage applications, a summary of how the proposed signage is consistent with the applicable Comprehensive Design Review (CDR) or Signage Modification review criteria is required.
- Development Plans** (Refer to checklist on Page 4 for plan details)
- Filing Fee** (Refer to Section 7 (below) for a list of application fees by request type)
- Electronic Submittal**
 - Complete electronic submittals must be received prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. All plans must be legible and scalable when reduced. Individual PDF files of each item submitted should be submitted via email to UDCapplications@cityofmadison.com. The email must include the project address, project name, and applicant name.
 - Email Size Limits. Note that an individual email cannot exceed 20MB and it is the responsibility of the applicant to present files in a manner that can be accepted. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.
- Notification to the District Alder**
 - Please provide an email to the District Alder notifying them that you are filing this UDC application. Please send this as early in the process as possible and provide a copy of that email with the submitted application.

6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Jessica Vaughn on Various 2022 & June 24, 2023.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant John Seamon Relationship to property member of LLC

Authorizing signature of property owner PK Hees Date June 23, 2023

Digitally signed by PK Hees
DN: cn=PK Hees, o=McBride Companies LLC, ou,
email=INFO@mcbridecompanies.com, c=US
Date: 2023.06.23 15:06:19 -0500

7. Application Filing Fees

Fee payments are due by the submittal date. Payments received after the submittal deadline may result in the submittal being scheduled for the next application review cycle. Fees may be paid in-person, via US Mail, or City drop box. If mailed, please mail to: *City of Madison Building Inspection, P.O. Box 2984, Madison, WI 53701-2984*. The City’s drop box is located outside the Municipal Building at 215 Martin Luther King, Jr. Blvd. on the E Doty Street side of the building. Please make checks payable to *City Treasurer*, and include a completed application form or cover letter indicating the project location and applicant information with all checks mailed or submitted via the City’s drop box.

Please consult the schedule below for the appropriate fee for your request:

- Urban Design Districts: \$350 (per [§33.24\(6\) MGO](#)).
- Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per [§33.24\(6\)\(b\) MGO](#))
- Comprehensive Design Review: \$500 (per [§31.041\(3\)\(d\)\(1\)\(a\) MGO](#))
- Minor Alteration to a Comprehensive Sign Plan: \$100 (per [§31.041\(3\)\(d\)\(1\)\(c\) MGO](#))
- All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for Sign Modifications (of height, area, and setback), and additional sign code approvals: \$300 (per [§31.041\(3\)\(d\)\(2\) MGO](#))

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

Letter of Intent – UDC – 139 West Wilson

August 7, 2023

Overview

The intent of the project is to create affordable workforce housing for those that want to live in downtown. The means by which we achieve this is through A.) maximizing the land use density, and B.) a design that maximizes efficiency while not sacrificing functionality. We believe that there is a strong need to not only provide this type of housing but to create a meaningful sense of place.

The proposed redevelopment of 139 West Wilson is a demolition of the existing low-density mixed-use building and off-street parking and the creation of 320 (316 One-BR and, 4 Two BR) residential apartments. The site is in the Urban mixed-use (UMX) district and falls under the Capitol view preservation limit.

The UMX District is intended to provide opportunities for high-density residential and office uses in combination with limited retail and service uses designed to serve the immediate surroundings. The proposed use will require a conditional use approval since it is greater than 4 dwelling units. The proposed project will also require conditional approval of a penthouse enclosing the elevator overrun and one stair overrun for Madison Fire Department roof access to exceed Capital View Preservation Height limit.

Demolition Standards

The existing property and building are under utilized when considering Madison's need for housing in general and specifically more affordable or workforce housing. We are proposing the existing building be demolished. The demolition standards will be met, and a re-use and Recycling Plan will be submitted prior to the deconstruction of the existing development.

Design

Guided by and aligned with the 2012 Downtown Urban design guidelines related to building orientation, access and site circulation, Usable Open space for residential development, landscaping, massing, visual interest, door and window openings, and terminal views.

We believe we are aligned with the guidelines in the following ways. The north façade addresses the street and reinforces the density of the urban block. The building is sited so that the portion of the building dedicated to more utilitarian services is not part of the street façade. The 5-story step back corner entry activates the street level and architecture. We are providing a large (3,356 SF) attractive community outdoor garden with canopy trees and assembly space specifically for the residents. We have sized the entry door and portal at 12' tall to be proportional within its 5-story entry step back, and the 5-story entry step back nests proportionally within the overall 16 story building.

The ideas provided by UDC that included locating the entry step back in the center of the north façade, and introducing the same internally lit curtain wall art enclosure on the south façade were explored and changes came from those ideas provided. We look forward to sharing our findings with the commission when we meet. Additionally, we have provided more detail on the glass curtain wall and art wall assembly as well as the associated internal lighting.

The primary exterior material will be a highly durable acid etched concrete, with a custom faceted form and pattern. The faceting will occur on all facades. The facets incorporate a horizontal and vertical articulation and twist within each 1' x 4' unit, creating a shadow and textural effect that changes based on view, time of day, sun angle, and sky clarity.

Curtain wall art enclosures: The art images would be color jet printed on 4' x 10' Dibond Aluminum composite panels, mounted behind a glass curtain wall system and internally lit with vertically continuous 4000K Neon-LED light source. These would occur in the following locations:

- Recessed Wilson Street entry condition with 51 feet tall, L-shaped (10' x 20') wide.
- Wrapping a 42' H x 30' W portion of the upper SW corner facing the lake.
- The interior walls of the car share garage without the glass curtain wall assembly.

The front entry doors are wrapped in a 12 feet tall walnut portal. All windows and doors have a dark bronze aluminum frame and the glass on all windows and doors shall be slightly tinted to allow views into and out of the interior.

Resident amenities include:

- Community lounge on top floor with views to lake
- Remote workspace
- Fitness Center
- 3,356 SF private garden for residents
- On site car share program
- Laundry room on every floor
- Separate mail and secure package rooms

Project Data

Lot Area:	17,193 SF / .395 acres
Dwelling units:	320 D.U.
Lot Area/D.U.	53.7 SF/D.U.
Building footprint:	9,692.7 SF
Lot coverage:	12,128.4 SF / 70.4%
Gross Square footage:	157,292 GSF
Number of stories:	16
Major Building Height:	164.05'

Height: Max height for this proposal given MGO 28.134 (3) - Capitol View Preservation. City datum @ 0'-0" is established per code at 845.6'. From there to top of column capital at rotunda, code provides max height of 187.2' above datum. The sum of these is 1032.8'. Our spot elevation at front, center of sidewalk is 868.305'. Our FFE is 868.75'. Max height is 1032.8' - 869.75' = 164.05'.

Parking: Per the ordinance there is no minimum car parking required. However, we will be providing 4 on-site car stalls with charging stations as part of a residence car share program.

Additionally, we will provide parking stalls for those that need or want them in the Dane county ramp. Bike parking per ordinance requires 320 stalls for residences and 32 for guests. We are providing 320 indoor secured parking stalls for residents and 19 exterior stalls for guests.

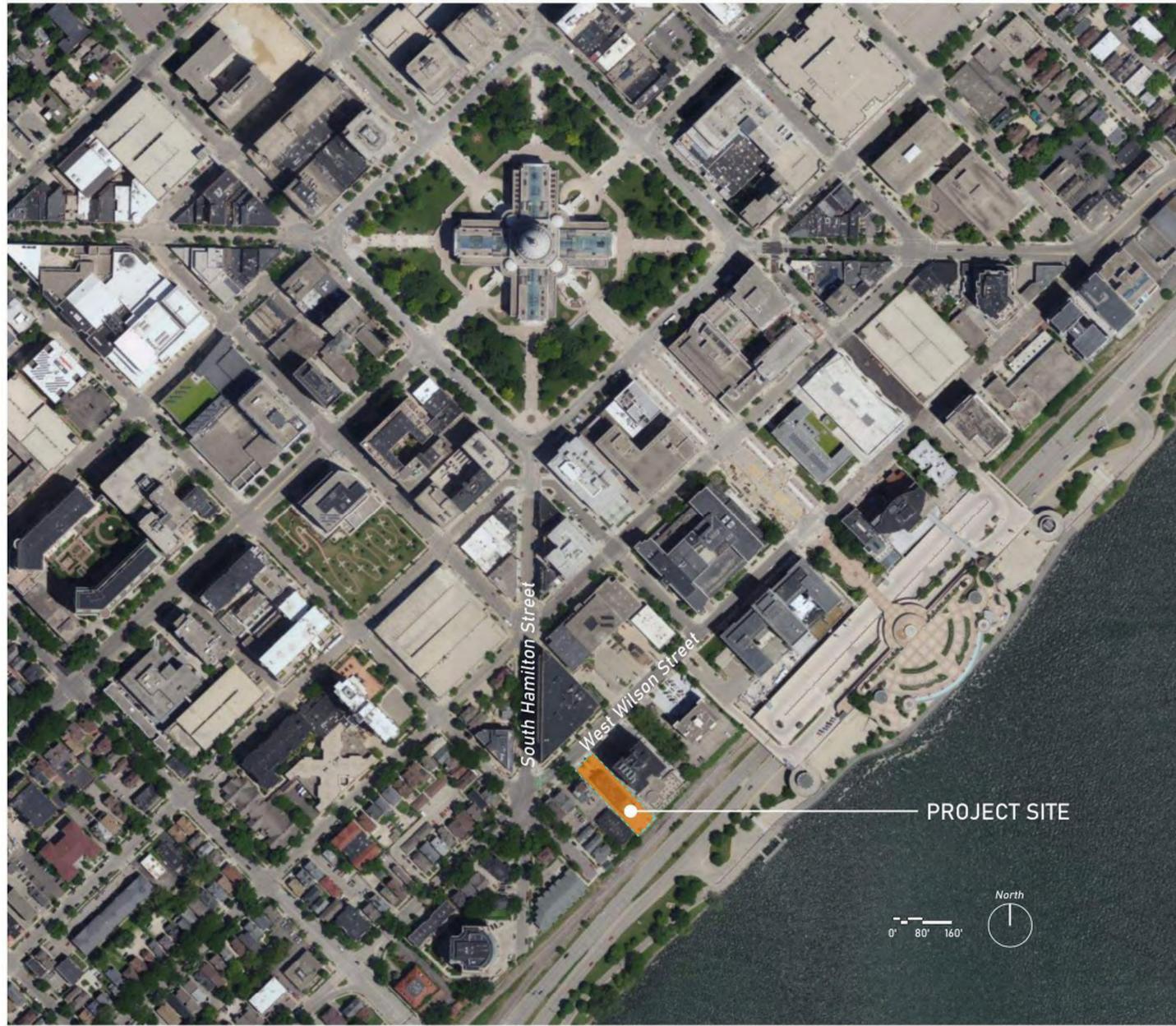
Design Development Team:	139 West Wilson LLC
Design and Engineering:	SEA Design and One Design & Engineering
Civil engineering:	JSD
Landscape Design:	JSD
General Contractor:	JP Cullen

Thank you in advance and we look forward to hearing your thoughts about this proposal.

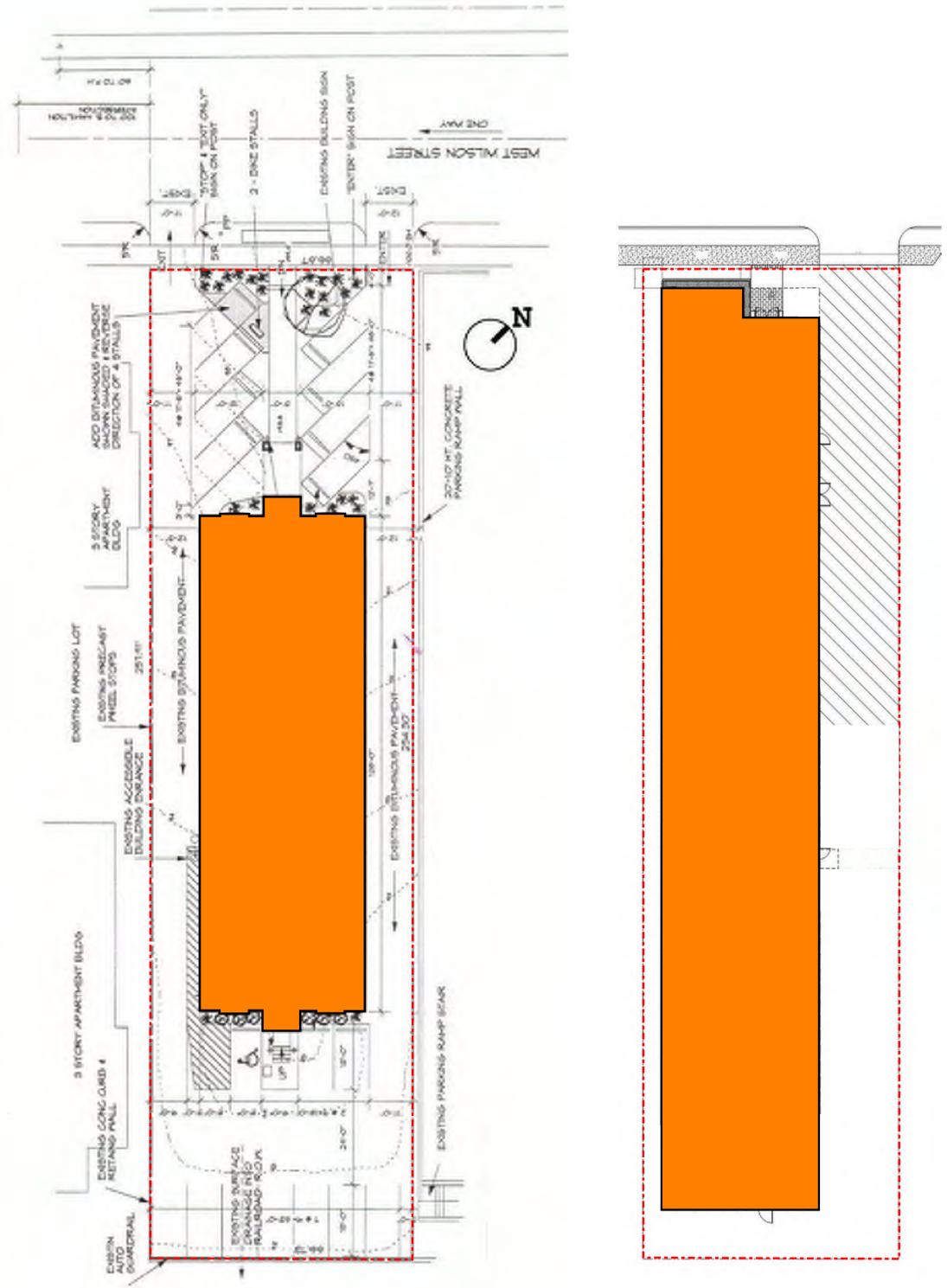
Sincerely,

A handwritten signature in black ink, appearing to read "John Seamon". The signature is fluid and cursive, with the first and last names clearly distinguishable.

John Seamon – Managing member of 139 West Wilson LLC



SITE LOCATION MAP

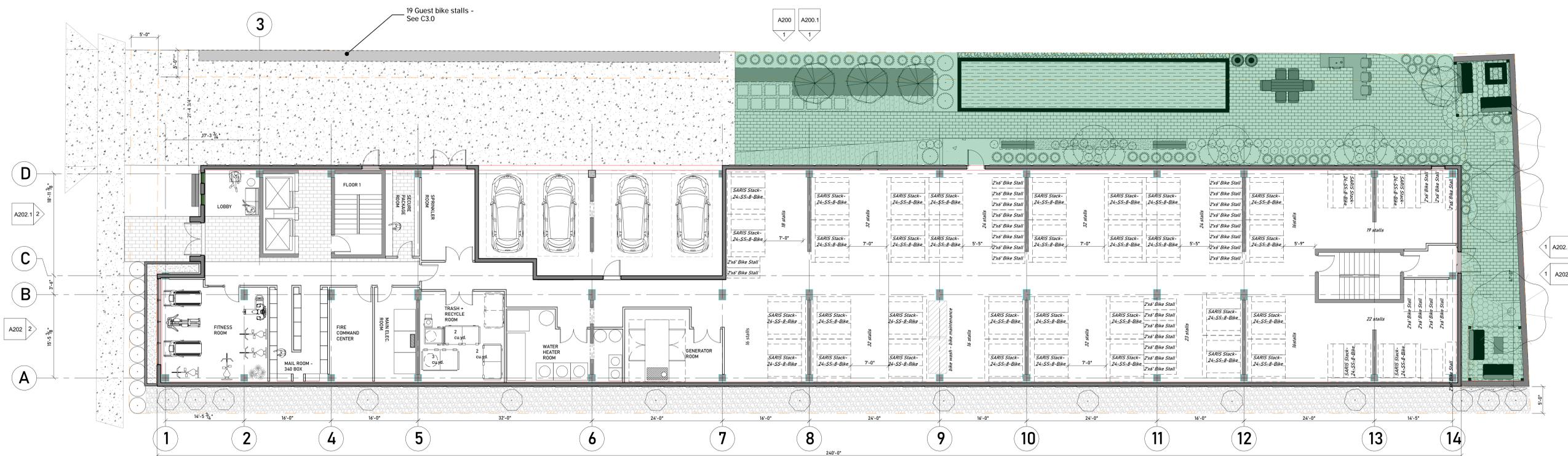


EXISTING BUILDING ON SITE

PROPOSED BUILDING ON SITE

Revisions:	

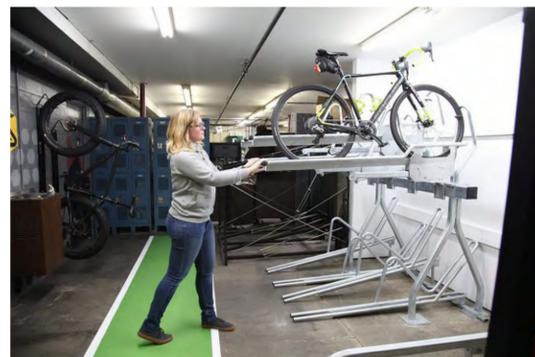
Project #: 21.000
Issued For: UDC/P.C.
Date: 08.07.2023



① Level 1
1/8" = 1'-0"

BIKE PARKING SUMMARY

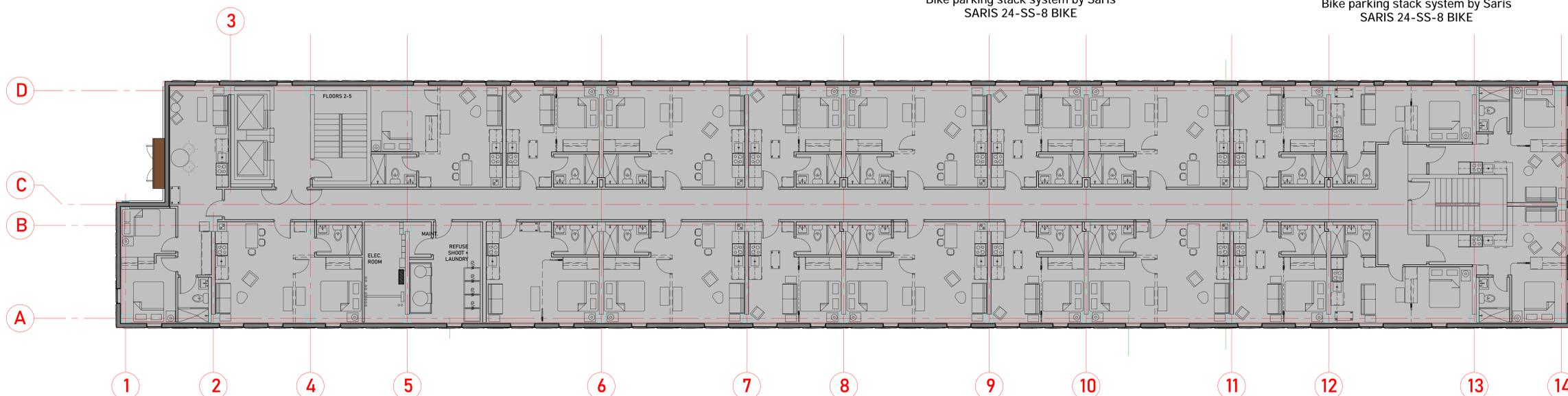
- 1.) For residents: (320) enclosed and secure bike parking spaces using 2x6 ground stall and Saris parking stack system.
- 2.) For guests: (19) 2x6 ground stalls.



Bike parking stack system by Saris
SARIS 24-SS-8 BIKE



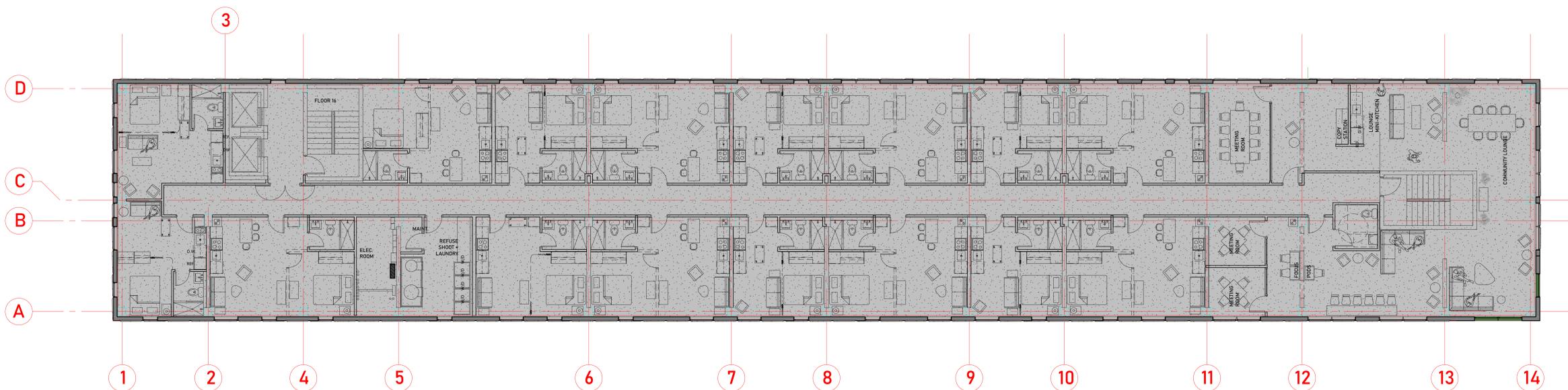
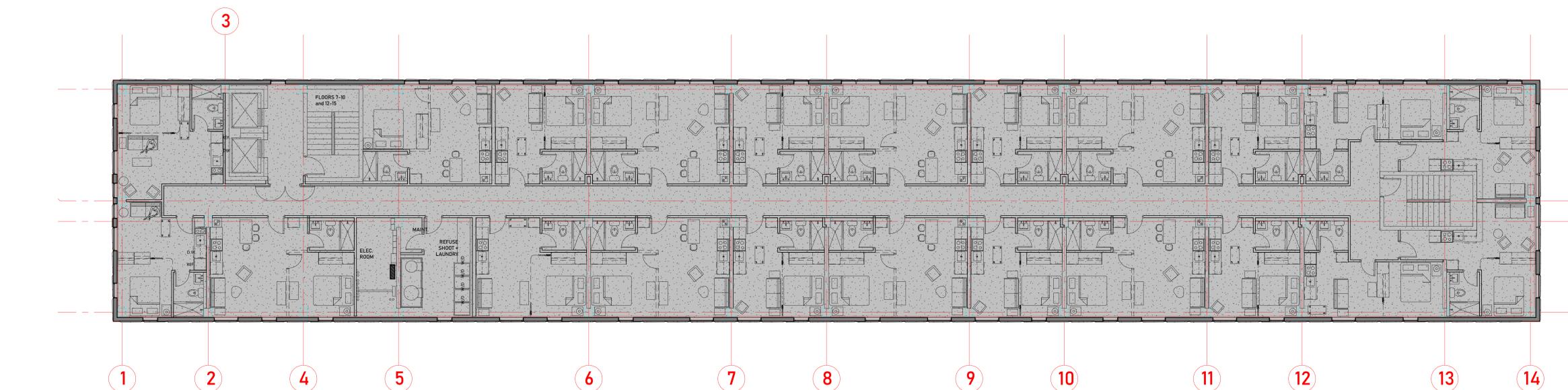
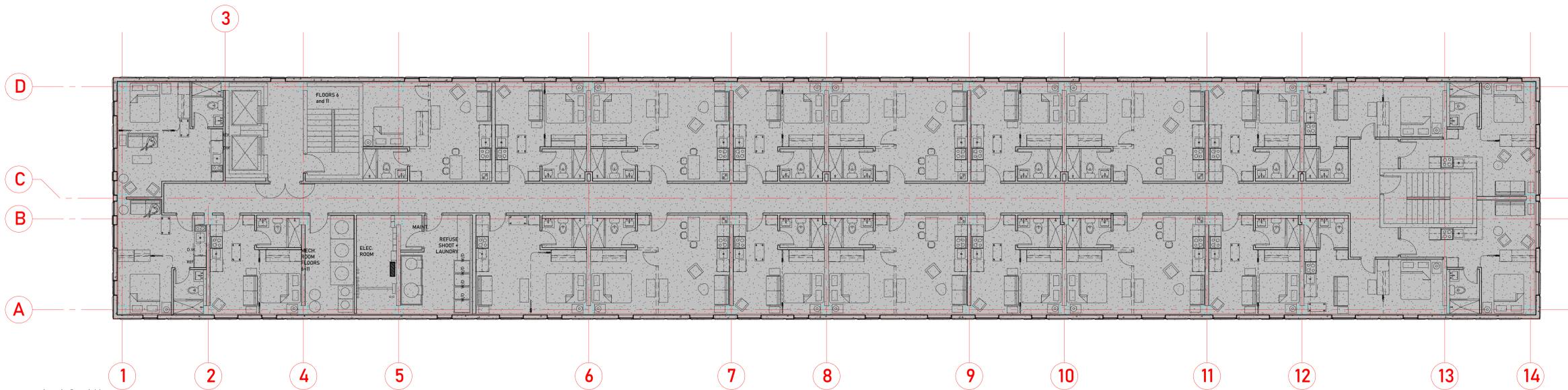
Bike parking stack system by Saris
SARIS 24-SS-8 BIKE



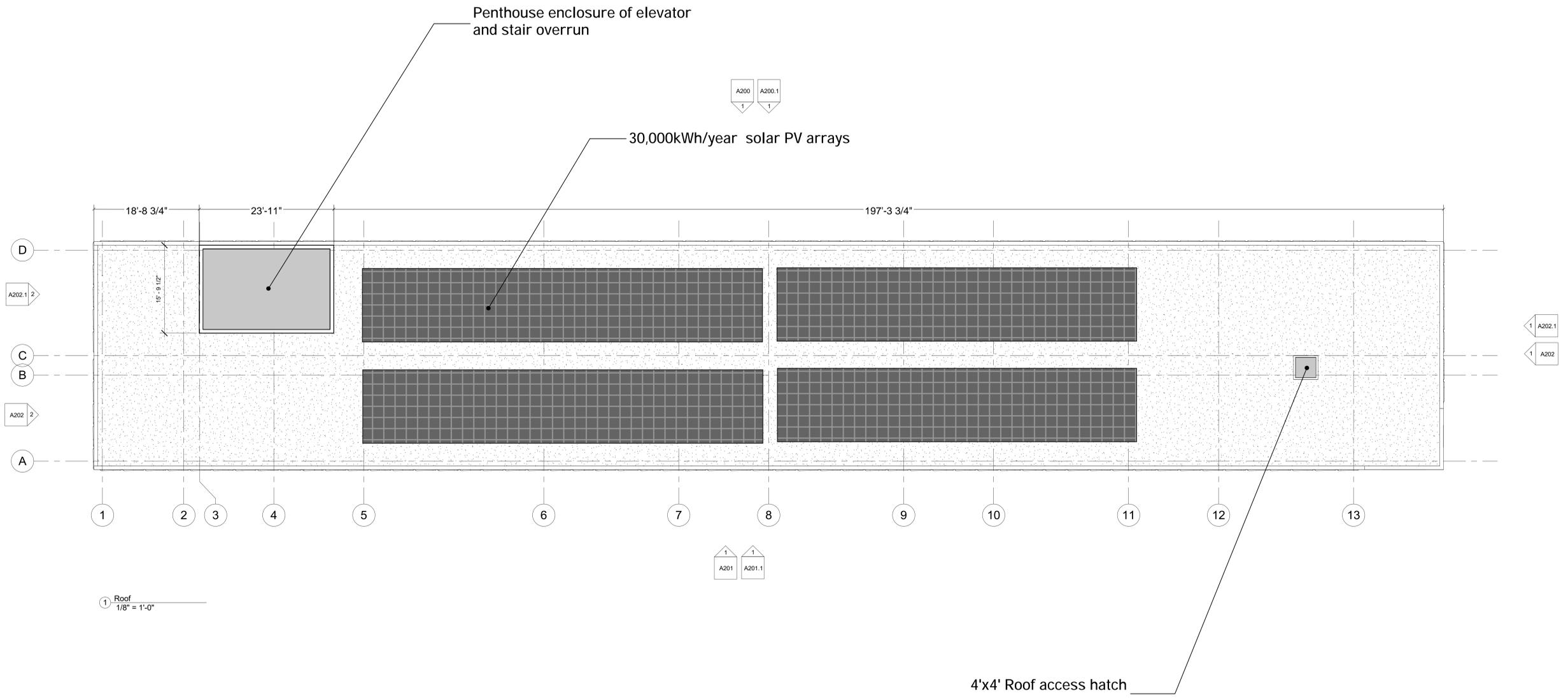
② Levels 2-5
1/8" = 1'-0"

Revisions:	

Project #: 21.000
Issued For: Review
Date: 06/01/2023



Revisions:		
Project #:	21,000	
Issued For:	Review	
Date:	06/01/2023	



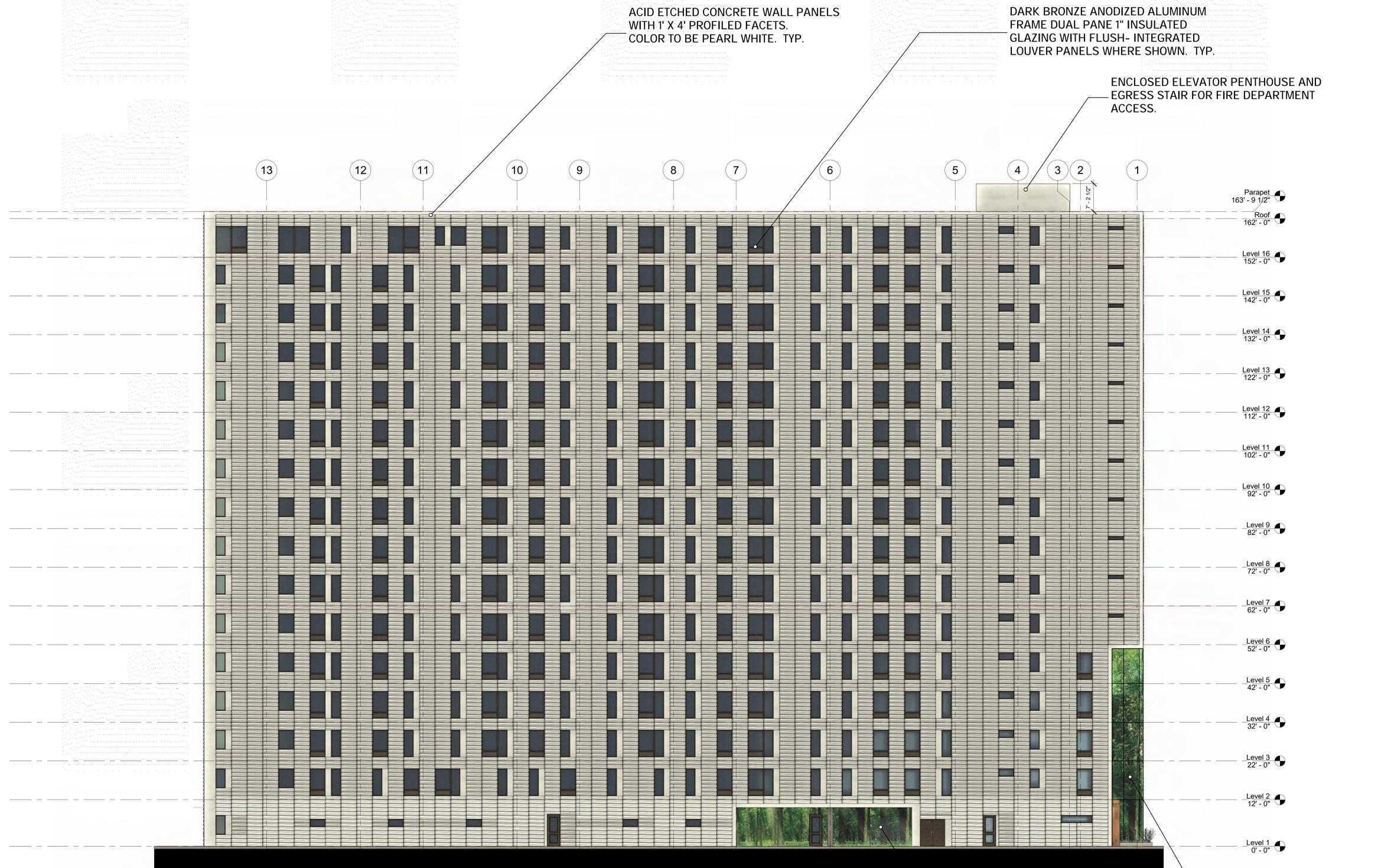
progression

139 West Wilson
Madison, Wisconsin

Roof Plan

Revisions:

Project #: 21.000
Issued For: Review
Date: 06/01/2023



① East
 3/32" = 1'-0"

PEARL WHITE - Concrete wall panel color

GENERAL MATERIAL NOTES:

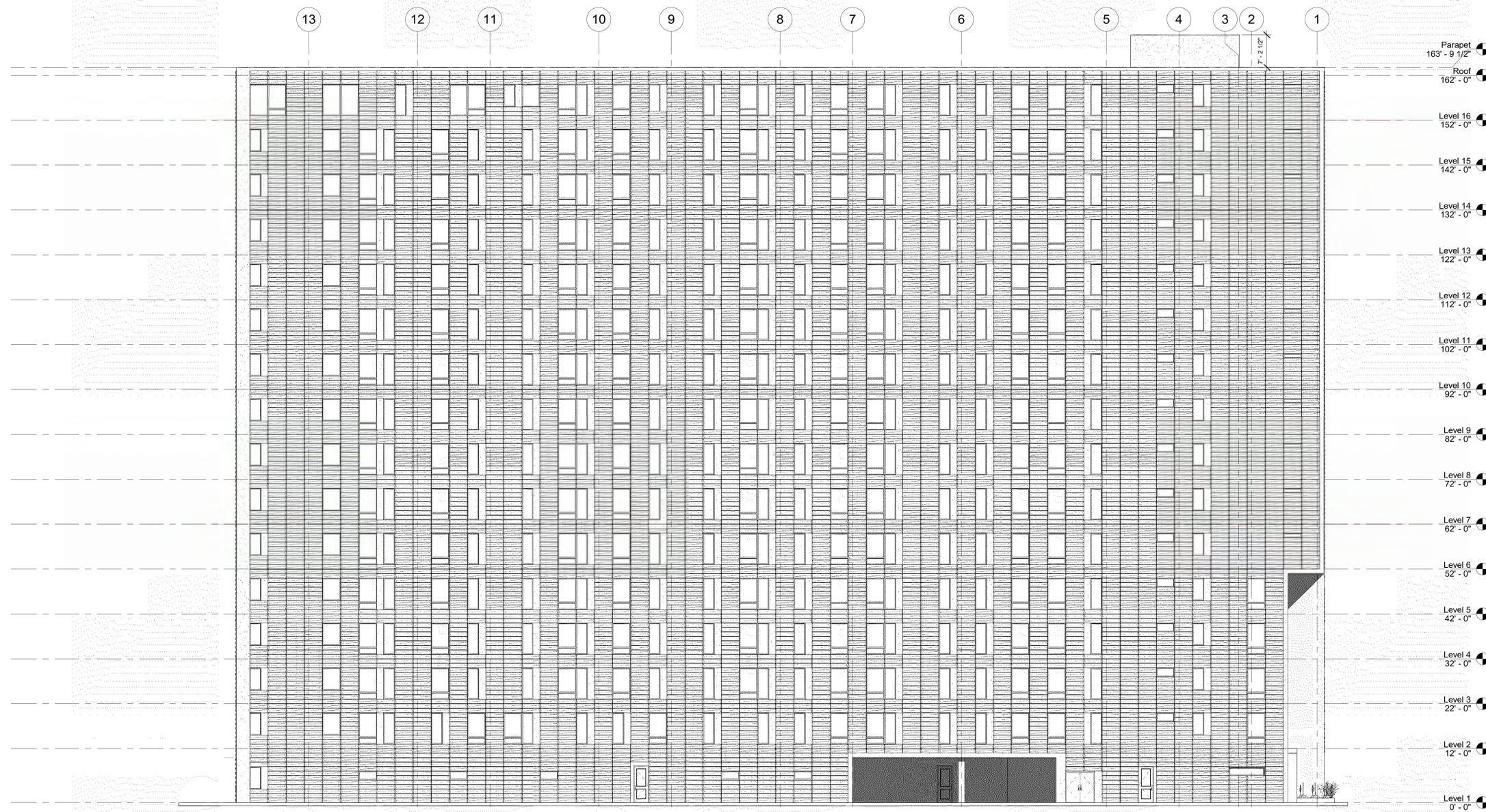
- 1.) The glass on all windows and doors shall be slightly tinted to allow views into and out of the interior.
- 2.) The primary exterior material will be an highly durable acid etched concrete wall panel by Wells Infinite Facades, typically 10' H x 32' W, with a custom faceted profile.
- 3.) The 1' x 4' faceting will occur on all facades.
- 4.) The facets incorporate a horizontal and vertical articulation and twist within each unit, creating a pattern and texture change throughout the facade.
- 5.) Wall art enclosures: See LT-0 for details. The art images would be color jet printed on 4' x 10' Di-bond composite panels, mounted behind a glass curtain wall and internally lit with a programmable LED system. Glass to be 48" w x 120" h 1/4" clear tempered. These would occur in the following locations:
 - Recessed Wilson Street entry condition with a 51 feet tall, L-shaped (10' x 20') wide.
 - Wrapping a 42' H x 30' W portion of the upper SW corner facing the lake.
 - The interior walls of the zip car garage to utilize same wall assembly without glass curtain wall.
- 6.) Aluminum T&G rain-screen panel. 18"W x 84"H. attached directly to wall panel. Wood grain walnut finish. Longboard Architectural products. See included product sheet.

LIT WALL ART ENCLOSURE.
 See Note 5 this sheet and detail sheet LT-0

INTERNALLY LIT WALL ART ENCLOSURE.
 See Note 5 this sheet and detail sheet LT-0

Revisions:	

Project #: 21.000
 Issued For: Review
 Date: 06/01/2023



1 East - Black and white
3/32" = 1'-0"

progression

139 West Wilson
Madison, Wisconsin

East Elevation - B&W

Revisions:	

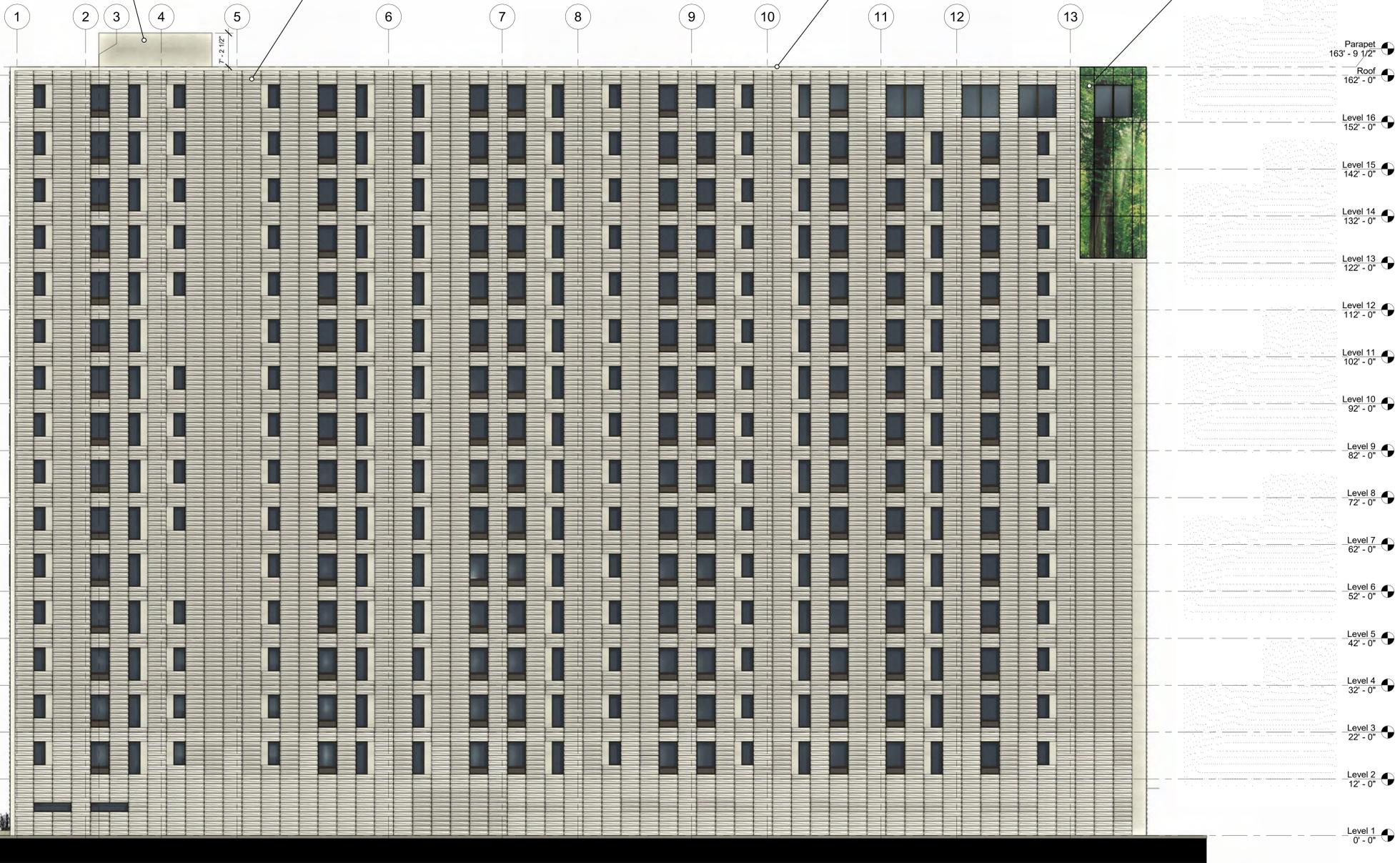
Project #: 21.000
Issued For: Review
Date: 06/01/2023

ENCLOSED ELEVATOR PENTHOUSE AND EGRESS STAIR FOR FIRE DEPARTMENT ACCESS.

ACID ETCHED CONCRETE WALL PANELS WITH 1' X 4' PROFILED FACETS. COLOR TO BE PEARL WHITE. TYP.

DARK BRONZE ANODIZED ALUMINUM FRAME DUAL PANE 1" INSULATED GLAZING WITH FLUSH- INTEGRATED LOUVER PANELS WHERE SHOWN. TYP.

INTERNALLY LIT WALL ART ENCLOSURE. See Note 5 this sheet and detail sheet LT-0



1 West
3/32" = 1'-0"

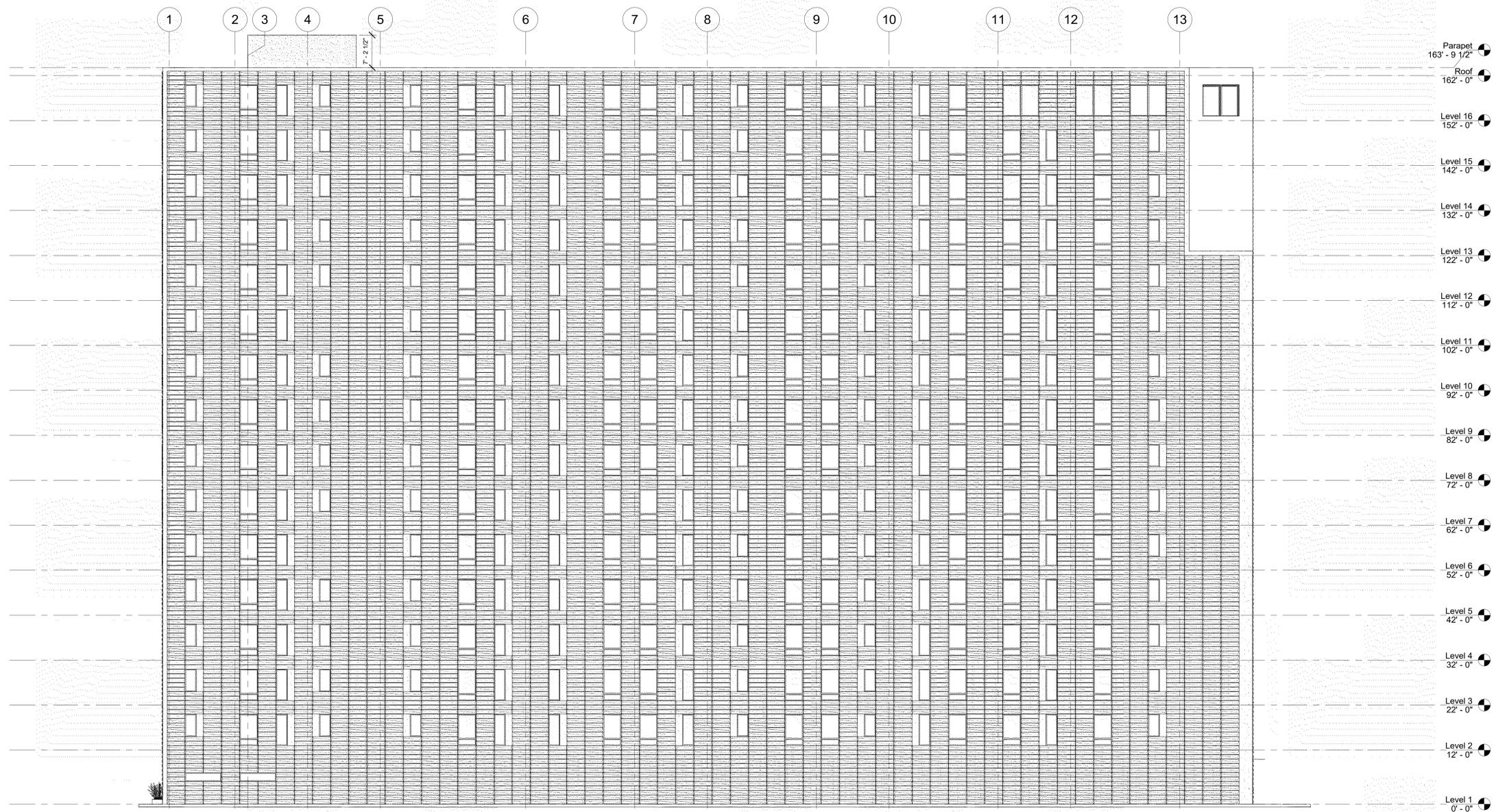
PEARL WHITE - Concrete wall panel color

GENERAL MATERIAL NOTES:

- 1.) The glass on all windows and doors shall be slightly tinted to allow views into and out of the interior.
- 2.) The primary exterior material will be an highly durable acid etched concrete wall panel by Wells Infinite Facades, typically 10' H x 32' W, with a custom faceted profile.
- 3.) The 1' x 4' faceting will occur on all facades.
- 4.) The facets incorporate a horizontal and vertical articulation and twist within each unit, creating a pattern and texture change throughout the facade.
- 5.) Wall art enclosures: See LT-0 for details. The art images would be color jet printed on 4' x 10' Di-bond composite panels, mounted behind a glass curtain wall and internally lit with a programmable LED system. Glass to be 48" w x 120" h 1/4" clear tempered. These would occur in the following locations:
 - Recessed Wilson Street entry condition with a 51 feet tall, L-shaped (10' x 20') wide.
 - Wrapping a 42' H x 30' W portion of the upper SW corner facing the lake.
 - The interior walls of the zip car garage to utilize same wall assembly without glass curtain wall.
- 6.) Aluminum T&G rain-screen panel. 18"W x 84"H. attached directly to wall panel. Wood grain walnut finish. Longboard Architectural products. See included product sheet.

Revisions:	

Project #:	21.000
Issued For:	Review
Date:	06/01/2023



- Parapet 163' - 9 1/2"
- Roof 162' - 0"
- Level 16 152' - 0"
- Level 15 142' - 0"
- Level 14 132' - 0"
- Level 13 122' - 0"
- Level 12 112' - 0"
- Level 11 102' - 0"
- Level 10 92' - 0"
- Level 9 82' - 0"
- Level 8 72' - 0"
- Level 7 62' - 0"
- Level 6 52' - 0"
- Level 5 42' - 0"
- Level 4 32' - 0"
- Level 3 22' - 0"
- Level 2 12' - 0"
- Level 1 0' - 0"

1 West - Black and white
3/32" = 1'-0"

progression

139 West Wilson
Madison, Wisconsin

West Elevation - B&W

Revisions:	

Project #: 21.000
Issued For: Review
Date: 06/01/2023

A201.1

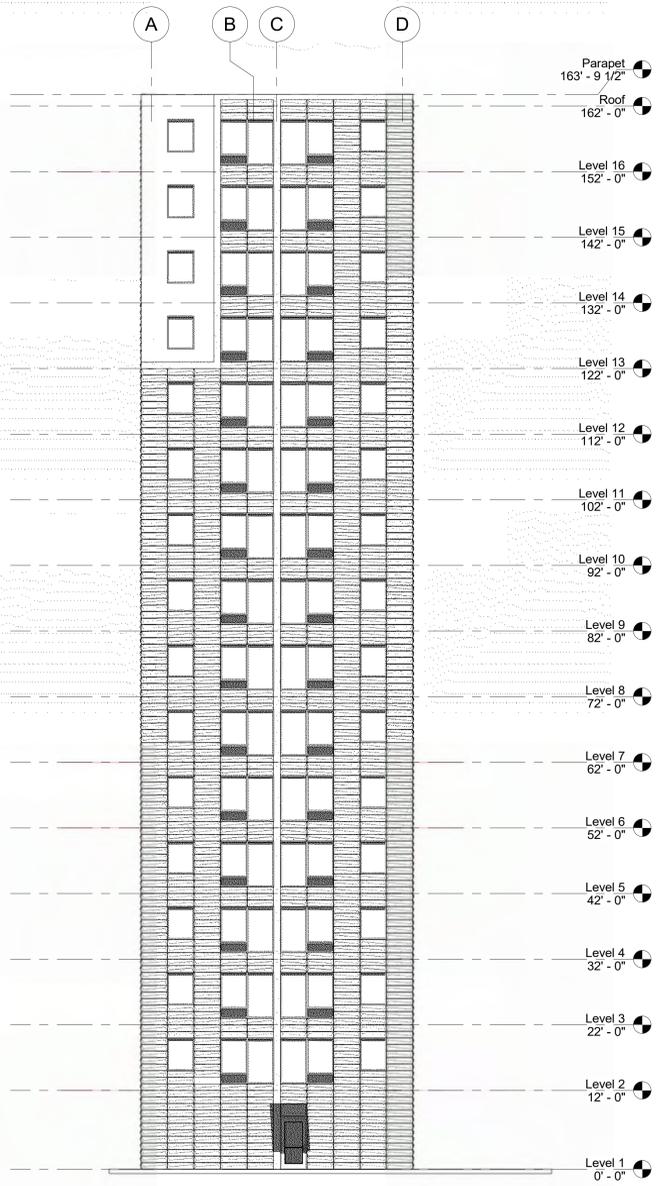


PEARL WHITE - Concrete wall panel color

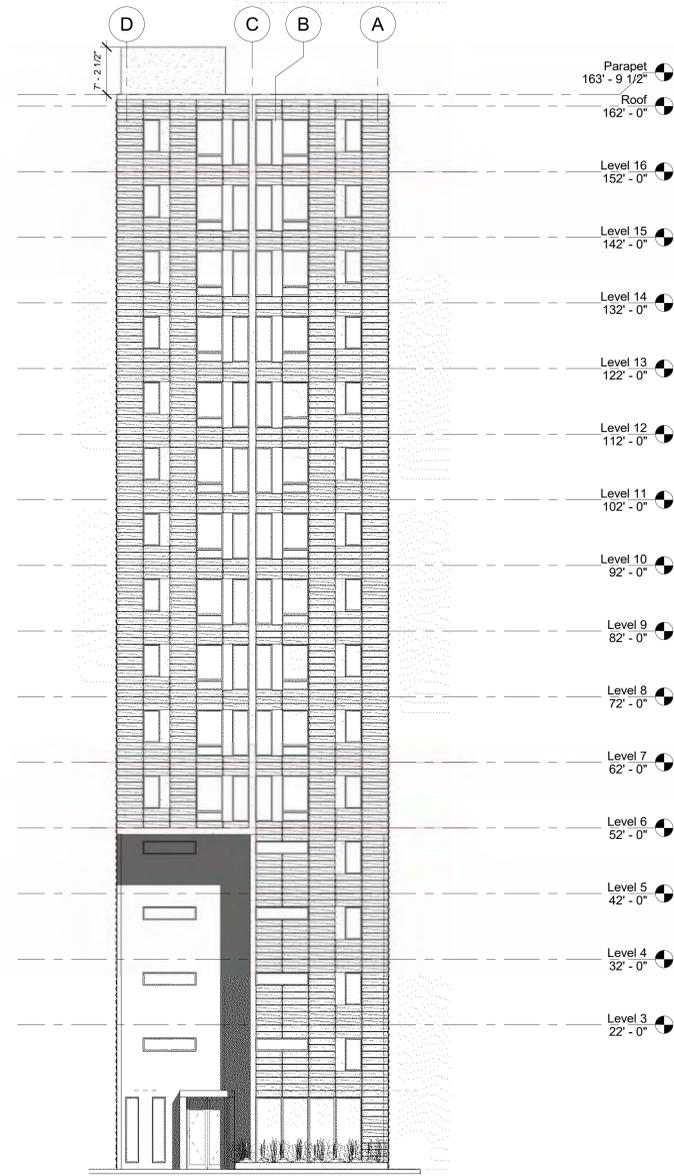
GENERAL MATERIAL NOTES:

- 1.) The glass on all windows and doors shall be slightly tinted to allow views into and out of the interior.
- 2.) The primary exterior material will be a highly durable acid etched concrete wall panel by Wells Infinite Facades, typically 10' H x 32' W, with a custom faceted profile.
- 3.) The 1' x 4' faceting will occur on all facades.
- 4.) The facets incorporate a horizontal and vertical articulation and twist within each unit, creating a pattern and texture change throughout the facade.
- 5.) Wall art enclosures: See LT-0 for details. The art images would be color jet printed on 4' x 10' Di-bond composite panels, mounted behind a glass curtain wall and internally lit with a programmable LED system. Glass to be 48" w x 120" h 1/4" clear tempered. These would occur in the following locations:
 - Recessed Wilson Street entry condition with a 51 feet tall, L-shaped (10' x 20') wide.
 - Wrapping a 42' H x 30' W portion of the upper SW corner facing the lake.
 - The interior walls of the zip car garage to utilize same wall assembly without glass curtain wall.
- 6.) Aluminum T&G rain-screen panel. 18"W x 84"H. attached directly to wall panel. Wood grain walnut finish. Longboard Architectural products. See included product sheet.

Revisions:	
Project #:	21000
Issued For:	Review
Date:	06/01/2023



1 South - Black and white
3/32" = 1'-0"



2 North - Black and white
3/32" = 1'-0"

Revisions:	

Project #: 21.000
Issued For: Review
Date: 06/01/2023



Revisions:	

Project #: 21.000
Issued For: Review
Date: 06/01/2023

SE View of street-scape
from West Wilson



Revisions:	

Project #: 21,000
Issued For: Review
Date: 06/01/2023

SW View of 139 West Wilson



progression

139 West Wilson
Madison, Wisconsin

West Wilson Perspective - Night

Revisions:	

Project #: 21.000
Issued For: Review
Date: 06/01/2023



progression

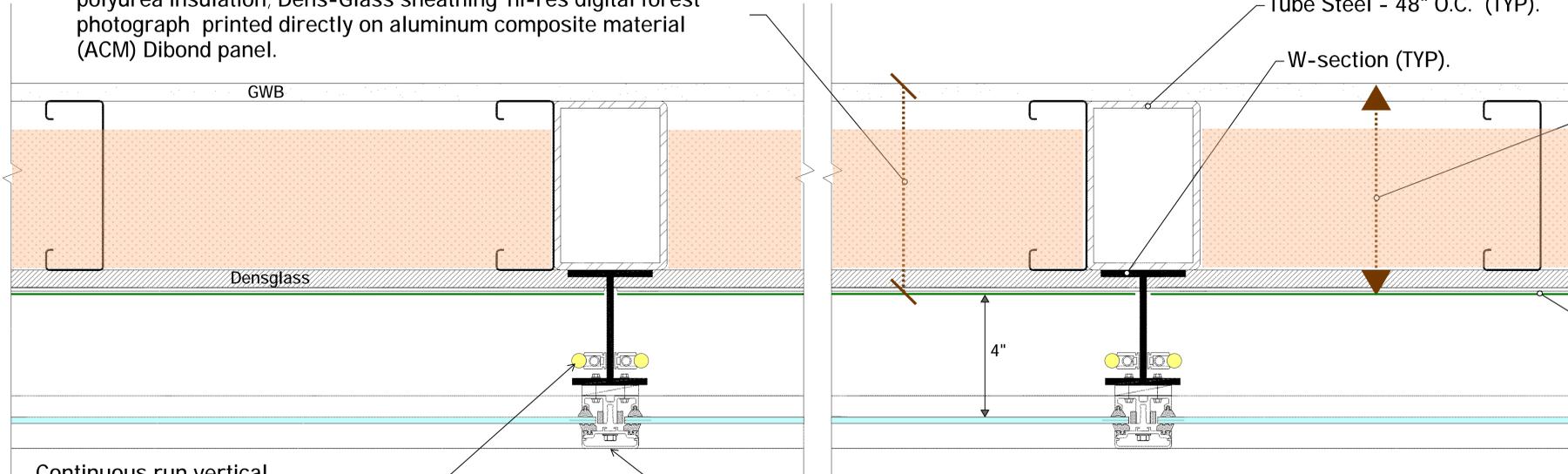
139 West Wilson
Madison, Wisconsin
West Wilson Perspective - Night

Revisions:	

Project #:	21,000
Issued For:	Review
Date:	06/01/2023

A209.2

EXTERIOR WALL ASSEMBLY: 5/8" Type 'X' GWB" 6" metal studs; polyurea insulation; Dens-Glass sheathing' hi-res digital forest photograph printed directly on aluminum composite material (ACM) Dibond panel.



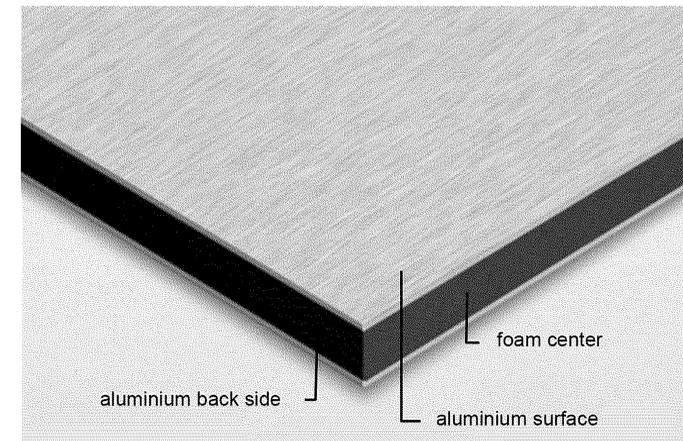
Window systems located within this portion of the overall curtain wall assembly. Where occurs on all elevations. (TYP).

1 Exterior art wall - Plan detail (TYP)

3mm Di-bond panel with forest graphic printed directly on aluminum using waterproof, UV-cured inks.

Continuous run vertical NEO-LED tube by Acolyte. Static white @ 4000K. Mounting clip attached to W-section. Access panels located at floors 3, 6 and roof.

YCW Veneer curtain wall system by YKK AP America. 48" x 120" 1/4" clear tempered glass panels set in vertical and horizontal 2" wide black anodized aluminum capture system as shown.

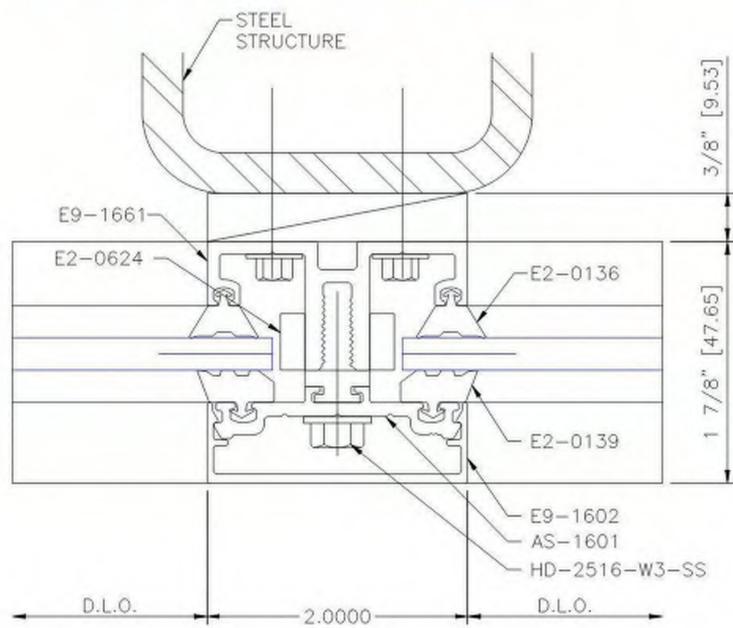


4 3mm (1/8") DiBond-Aluminum Composite material (ACM).



5 Example of direct print (ACM).

YKK AP America Inc.
YCW VENEER WALL - VENEER CURTAIN WALL SYSTEM
VERTICAL MULLION DETAIL



Scale: 75%

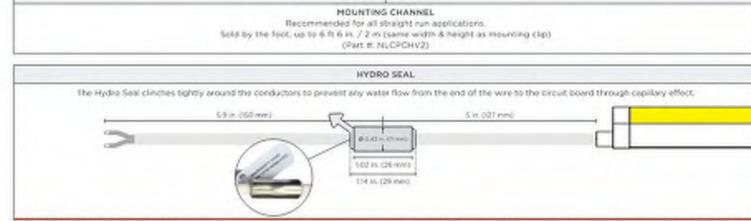
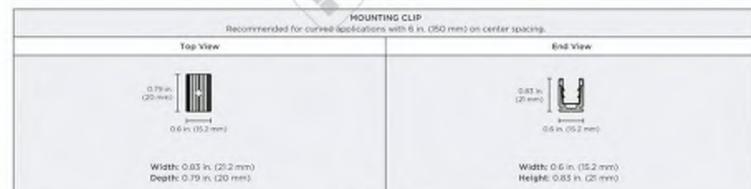
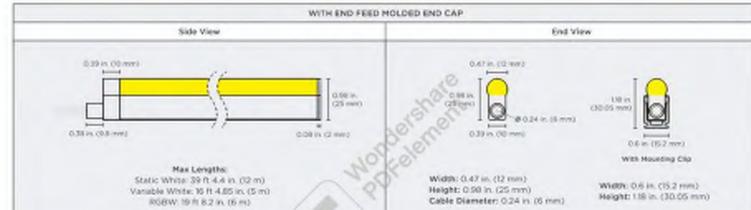
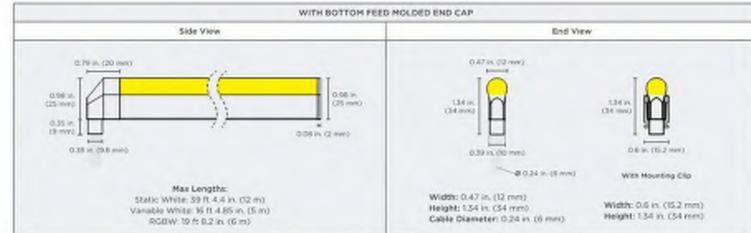
Current as of: 03/29/2021

2 Curtain wall - Mullion detail (TYP)

GEN LED acolyte
Architectural Lighting Solutions

Wondershare PDFelement

DIMENSIONS & DIAGRAMS



3 Static white NEON-LED light spec.

Revisions:

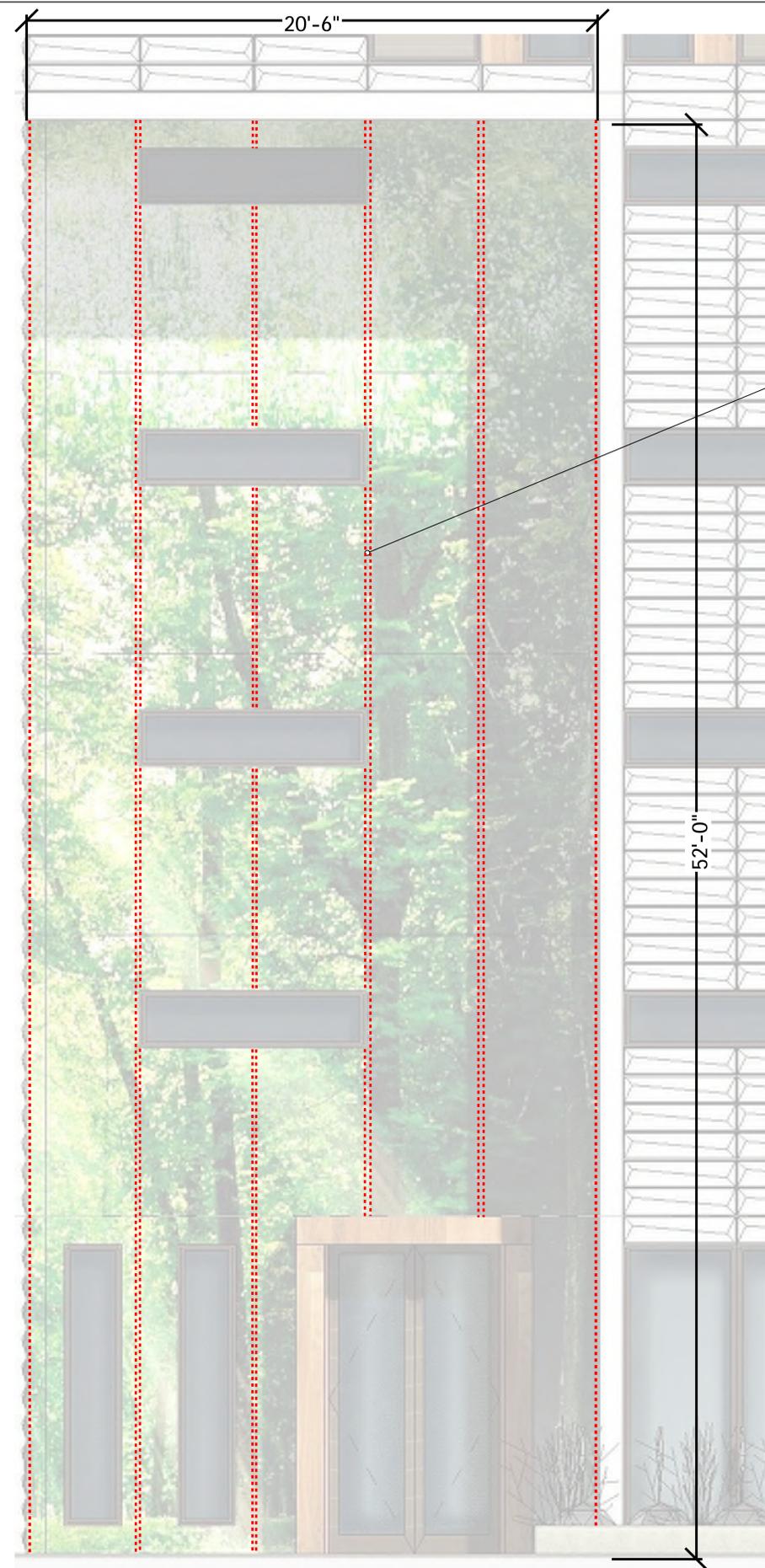
Project #: 21.000
Issued For: UDC/P.C.
Date: 08.07.2023

2" wide curtain wall Mullions. See details 1 and 2, sheet A302



1

North Curtain wall Elevation



2

North Curtain wall LED light locations

Location of concealed NEON LED tubes shown in red dash. See detail 1/A302.

GENERAL NOTE:
Glass curtain wall and illuminated art wall assemblies as shown on East, West and South Elevations to follow same detail and lighting configurations.

Revisions:		

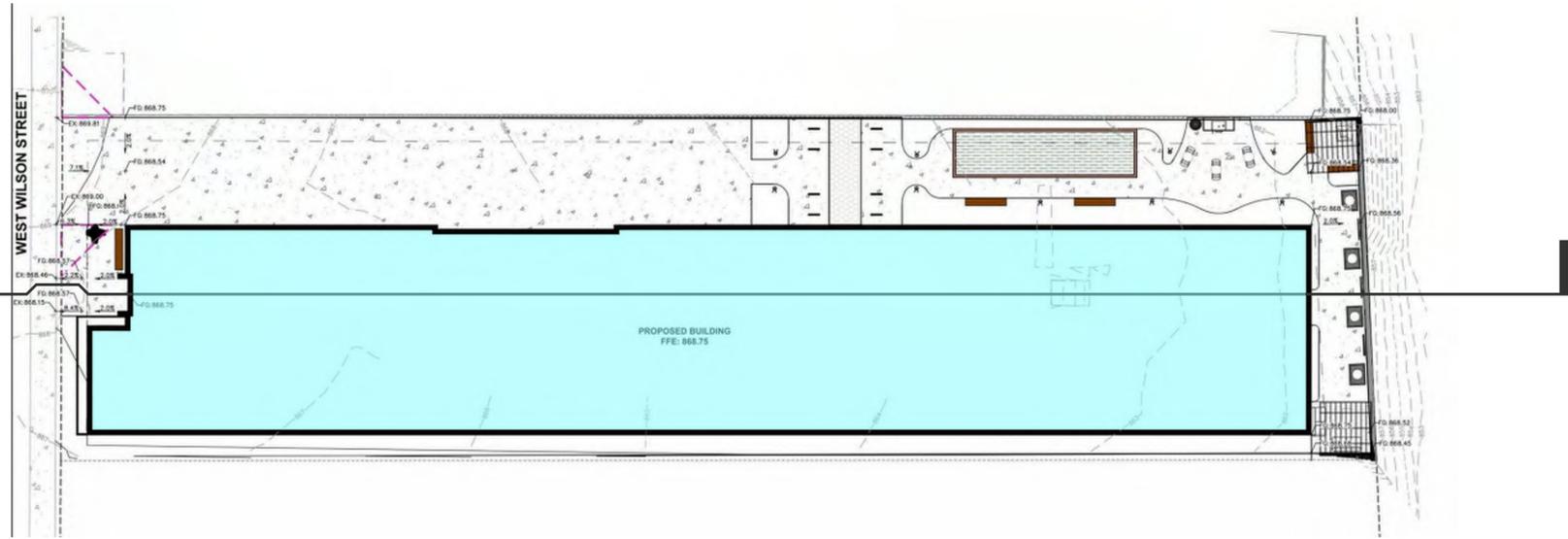
Project #: 21.000
Issued For: UDC/P.C.
Date: 08.07.2023

Max height for this proposal given MGO 28.134 (3) - Capitol View Preservation.

City datum @ 0'-0" is established per code at 845.6'. From there to top of column capital at rotunda, code provides max height of 187.2' above datum.

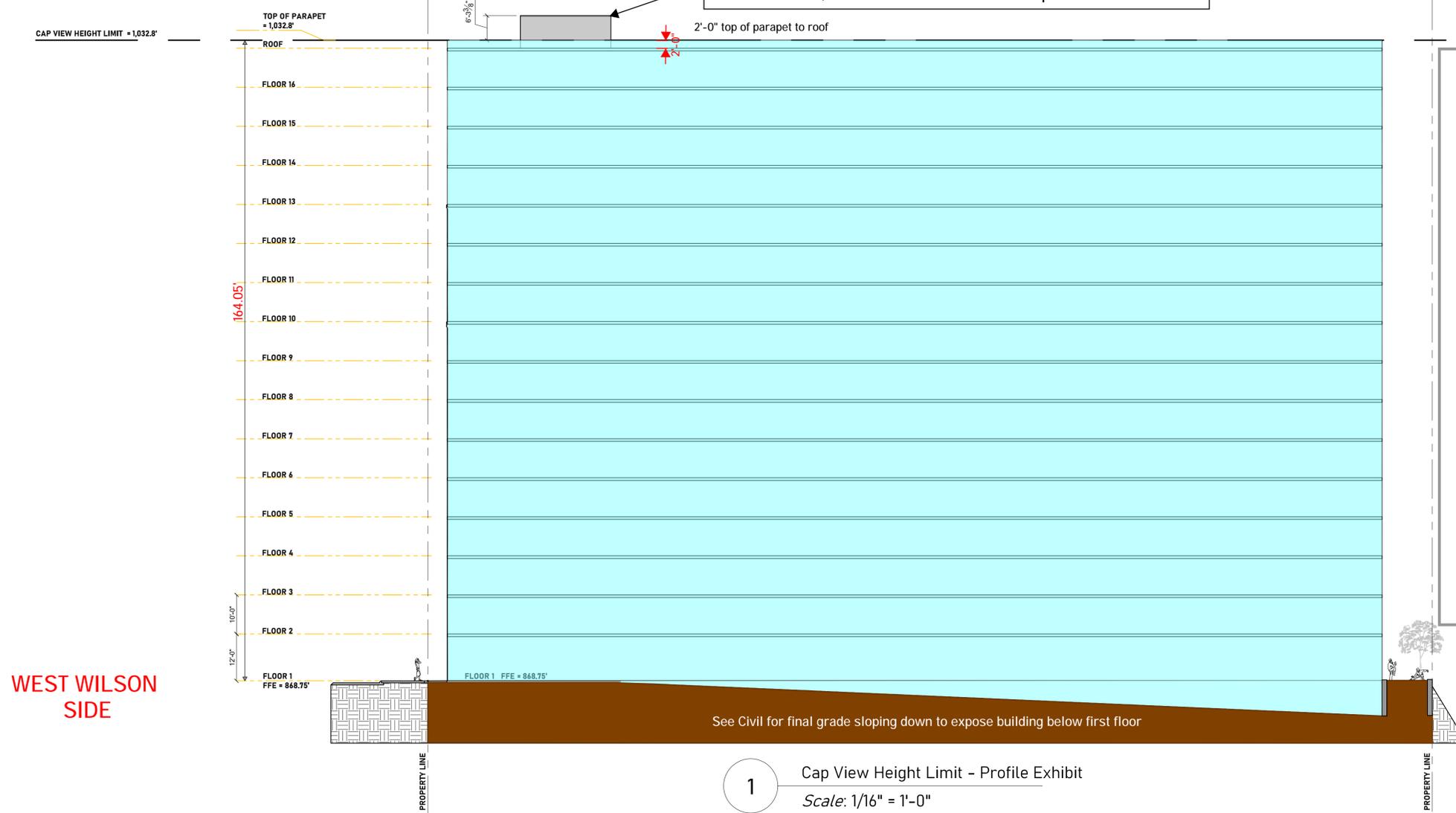
The sum of these is 1032.8'.
Elevation at front, center of sidewalk is 868.305'.

Our FFE is 868.75'
Max. height is 1032.8' - 869.75' = **164.05'**.



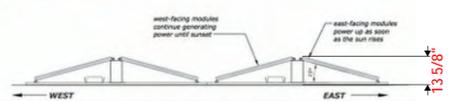
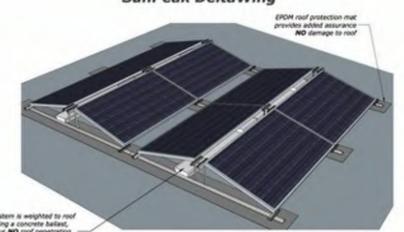
2 Grading Exhibit
Scale: 1/16" = 1'-0"

conditional approval required for penthouse overrun of 6'4" to house elevator, and stair overrun for fire dept. roof access.



CAP VIEW HEIGHT LIMIT = 1,032.8'

Low Profile solar array system
SunPeak DeltaWing



PV array system is below CAP view height limit.
PV panels and array mounting brackets are 13 5/8" tall
and distance from roof to top of parapet is 24".



application installation photo

WEST WILSON SIDE

LAKE SIDE

1 Cap View Height Limit - Profile Exhibit
Scale: 1/16" = 1'-0"

progression
139 West Wilson
Madison, Wisconsin

CAP VIEW HEIGHT LIMIT EXHIBIT

Revisions:	
	June 20, 2023

Project #: 2021-05
Issued For: Review
Date: 11/09/2022

A400



CREATE THE VISION TELL THE STORY

jsdinc.com

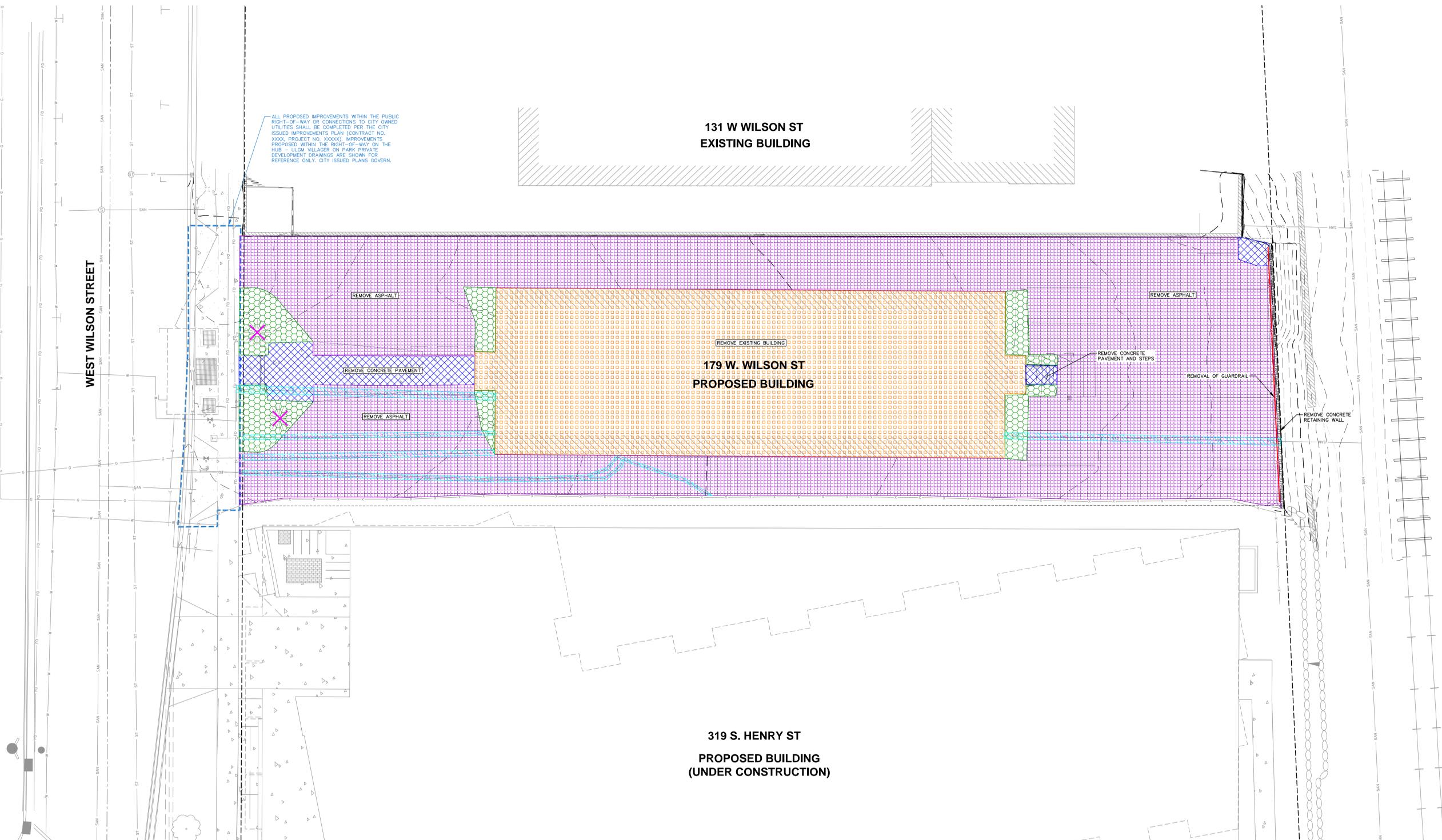
MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
SEA DESIGN

CLIENT ADDRESS:
N3302 SOUTH OAKLAND ROAD
TOWN OF OAKLAND, WI 53538

PROJECT:
179 WEST WILSON ST
REDEVELOPMENT

PROJECT LOCATION:
179 WEST WILSON
MADISON, WI 53703



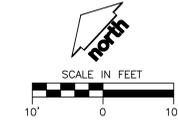
#	Date	Description
1	06.26.2023	LAND USE / UDC SUBMITTAL
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Designed By: MAS
Reviewed By: KJF
Approved By:

SHEET TITLE:
DEMOLITION PLAN

SHEET NUMBER:
C2.0

JSD PROJECT NO.: 22-11467





CREATE THE VISION TELL THE STORY

jsdinc.com
 MADISON REGIONAL OFFICE
 161 HORIZON DRIVE, SUITE 101
 VERONA, WISCONSIN 53593
 P. 608.848.5060

CLIENT:
SEA DESIGN

CLIENT ADDRESS:
**N3302 SOUTH OAKLAND ROAD
 TOWN OF OAKLAND, WI 53538**

PROJECT:
**179 WEST WILSON ST
 REDEVELOPMENT**

PROJECT LOCATION:
**179 WEST WILSON
 MADISON, WI 53703**

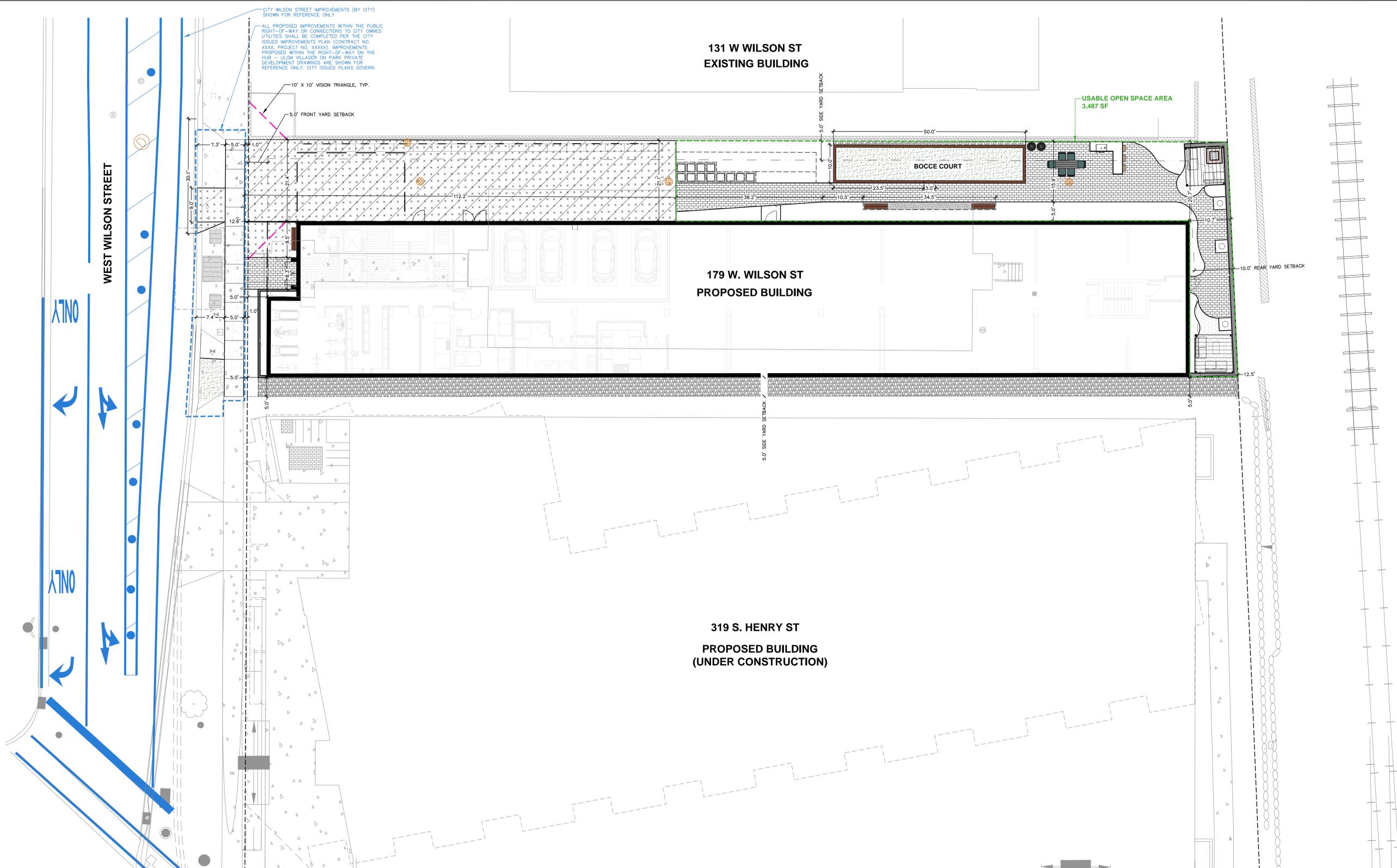
#	Date	Description
1	06.26.2023	LAND USE / UDC SUBMITTAL
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Designed By: MAS
 Reviewed By: KJF

SHEET TITLE:
**SITE PLAN -
 DIMENSIONED**

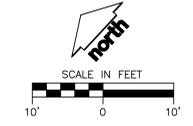
SHEET NUMBER:
C3.0

JSD PROJECT NO: 22-11487



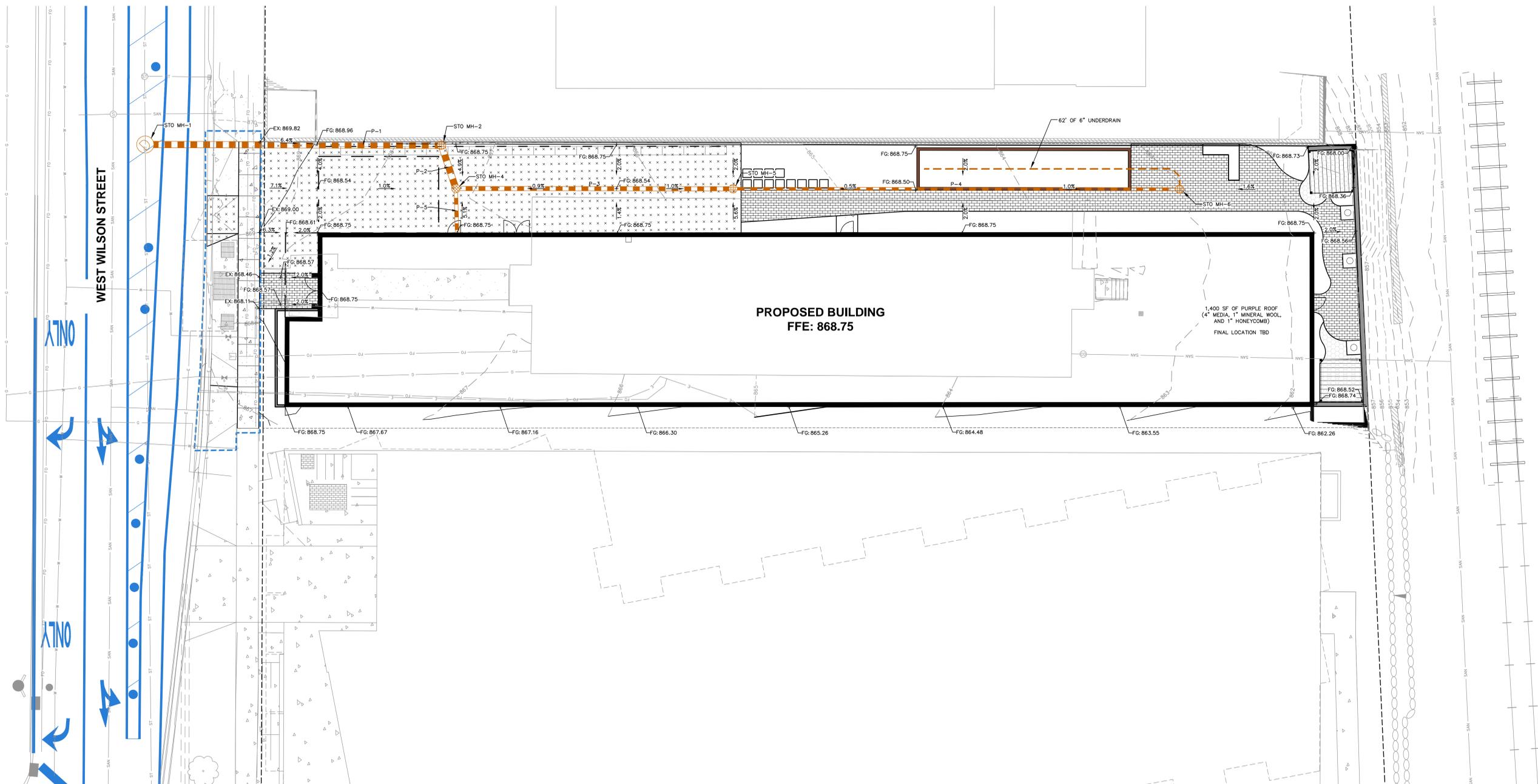
SITE INFORMATION BLOCK

SITE ADDRESS	139 WEST WILSON STREET
PROPERTY ACREAGE	0.395 ACRES
NUMBER OF BUILDING STORIES	10
TOTAL BUILDING SQUARE FOOTAGE	9,840
GROSS BUILDING SQUARE FOOTAGE	156,633
NUMBER OF PARKING STALLS	
SURFACE	0
WITHIN BUILDING	4
NUMBER OF ON-SITE BICYCLE STALLS	19
EXISTING IMPERVIOUS SURFACE AREA	16,693 SF
EXISTING PERVIOUS SURFACE AREA	500 SF
EXISTING IMPERVIOUS SURFACE AREA RATIO	0.97
PROPOSED IMPERVIOUS SURFACE AREAS	12,411 SF
PROPOSED PERMEABLE PAVER AREAS	1,627 SF
PROPOSED PLANTING/STONE MULCH AREAS	3,168 SF
PROPOSED USABLE OPEN SPACE AREAS	3,487 SF



File: I:\2022\211487\2023\Sheet0211.dwg, C:\DWG\Layout, Jun 25, 2023, 7:18pm, Acme
 User: jysaka, Printer: Jun 25, 2023, 7:18pm, Acme

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.



LABEL	RIM EL. (FT)	INVERT EL. (FT)	DEPTH (FT)	STRUCTURE DESC.	FRAME & GRATE
STO MH-1	869.12	EX SW INV: 862.52 (24") SE INV: 863.50 (18") EX NE INV: 862.52 (24")	6.6	48 IN MH	R-1550 SOLID GRATE
STO MH-2	868.76	NW INV: 864.19 (18") SW INV: 864.29 (18")	4.6	24 IN DB	STANDARD OPEN GRATE
STO MH-4	868.22	NE INV: 864.43 (18") SE INV: 864.95 (12") SW INV: 865.12 (10")	3.8	24 IN DB	STANDARD OPEN GRATE
STO MH-5	868.27	NW INV: 865.27 (12") SE INV: 865.60 (8")	3.0	24 IN DB	STANDARD OPEN GRATE
STO MH-6	868.04	NW INV: 866.12 (8")	1.9	24 IN DB	STANDARD OPEN GRATE

LABEL	FROM	TO	LENGTH	INVERT EL. (FT)	DISCHARGE EL. (FT)	SLOPE	SIZE & MATERIAL
P-1	STO MH-2	STO MH-1	69'	864.19	863.50	1.00%	18 IN RCP
P-2	STO MH-4	STO MH-2	11'	864.45	864.29	1.50%	18 IN HDPE
P-3	STO MH-5	STO MH-4	65'	865.27	864.95	0.50%	12 IN HDPE
P-4	STO MH-6	STO MH-5	104'	866.12	865.60	0.50%	8 IN HDPE
P-5	ROOF	STO MH-4	10'	865.27	865.12	1.50%	10 IN HDPE

PLAN MODIFICATIONS:

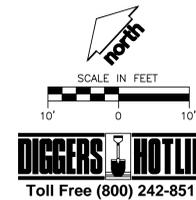
#	Date:	Description:
1	06.26.2023	LAND USE / UDC SUBMITTAL
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Designed By: MAS
Reviewed By: KJT
Approved By:

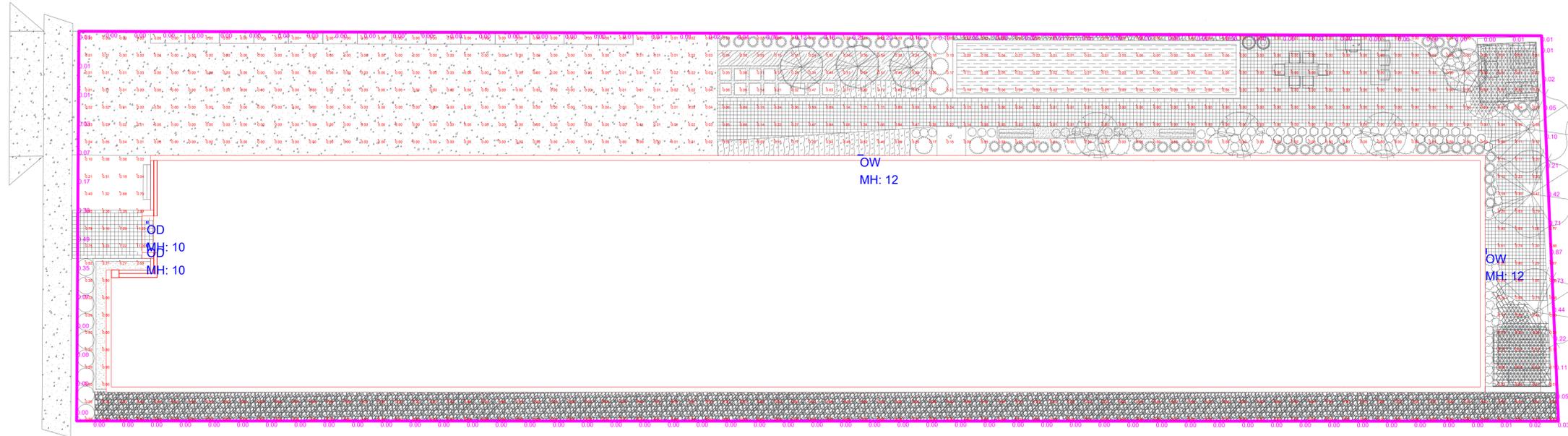
SHEET TITLE:
GRADING, EROSION
CONTROL, AND UTILITY
PLAN

SHEET NUMBER:

C4.0



West Wilson Street



Luminaire Schedule								
Qty	Label	Arrangement	LLF	MFR	Description	Lum. Watts	Total Watts	Lum. Lumens
2	OW	SINGLE	0.950	LUMINAIRE	BLD 12IN 5W xxK DP	6.49	12.98	476
2	OD	SINGLE	0.950	LITHONIA	LDN4SQ xx/10 LS4AR LSS	10.58	21.16	877

LT-0



COMMENTS

DATE

#

REVISIONS

DRAWN BY : AD

DATE : JUNE 23, 2023

SCALE : 3/32" = 1'- 0"

139 WEST WILSON REDEVELOPMENT

MADISON, WISCONSIN

LIGHTING LAYOUT



Fixture Type	Date
Job Name	Approved By
Catalog Number	

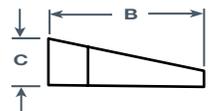


SPECIFICATIONS

Description	The Blade BLD combines a sleek, patent pending design shaped with high performance, full cut off optics to achieve unobtrusive illumination of a space or path of egress. When mounted over a doorway or mullion, the fixture is perceived as an element of the building structure, and, additionally, provides water protection in the form of a drip cap over the entranceway. Multiple lengths are available to match a given door opening and our quick-mount system facilitates installation and maintenance.
Housing	Marine grade heat treated extruded aluminum. Chemically primed and finished with robotically applied polyester powder coat.
Wall Mount	Marine grade heat treated extruded aluminum. Chemically primed and finished with robotically applied polyester powder coat. Designed to provide quick mounting to housing and secured with (2) captive stainless steel TORX® head screws.
Lens Frame	Marine grade heat treated extruded aluminum. Secured to fixture (4) captive stainless steel TORX® head screws.
Lens	Extruded UV stabilized opal polycarbonate with integral prisms. Maximum wall thickness 0.160". Secured to housing with die cast aluminum clamps and stainless steel TORX® head screws.
End Plate	Die-cast marine grade aluminum. Chemically primed and finished with robotically applied polyester powder coat.
Drivers	Dimming to 1%, 10% or Programable Lumen Output driver options. Non-Dimming Driver is also available.
LED	Samsung LM561B+ series @ 2700K, 3000K, 3500K, 4000K, or 5000K and 82 CRI wired in parallel-series. L70 projected life of over 130,000 hours at 50°C.
Gaskets	Closed cell self-adhesive neoprene to provide watertight seal between fixture and mounting surface.
UL Listing	U.L., C.U.L. Wet Location Listing standard.
Buy American Act	Luminaire LED, LLC products are assembled in the USA. Our products meet the Buy America(n) government procurement requirements under FAR, DFARS, and DOT regulations. Please refer to www.acuitybrands.com/buy-american for additional information.
Warranty	Lifetime warranty, Luminaire LED incorporated will repair or replace any fixture damaged due to vandalism for the lifetime of the installation. 10-year warranty on LED boards against operational defects. Tested in accordance with LM-80. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed.
Note	Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. The product images shown are for illustration purposes only and may not be an exact representation of the product. Specifications subject to change without notice.

DIMENSIONAL DATA

	A	B	C
BLD12	20.0"	5.6"	2.4"
BLD24	30.8"	5.6"	2.4"
BLD36	41.6"	5.6"	2.4"
BLD48	52.4"	5.6"	2.4"
BLD72	74.0"	5.6"	2.4"



SIZE & WATTAGE CHART

Size	Wattage
12IN	5W 10W
24IN	10W 20W
36IN	15W 30W
48IN	20W 35W
72IN	30W 55W

SIZE & LUMEN CHART (For PRD)

Size	Lumen Range
12IN	200LM - 1000LM
24IN	400LM - 2100LM
36IN	600LM - 3100LM
48IN	800LM - 4100LM
72IN	1200LM - 6300LM

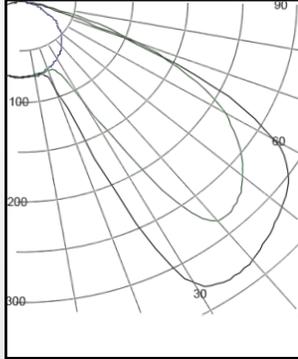
PHOTOMETRIC DATA

Model	Watts	Input Watts	Delivered Lumens				
			2700K	3000K	3500K	4000K	5000K
BLD 12IN	5W	6.5W	447	452	461	476	490
BLD 12IN	10W	11.8W	875	885	903	931	958
BLD 24IN	10W	10.6W	962	973	993	1024	1055
BLD 24IN	20W	21.3W	1885	1907	1946	2006	2066
BLD 36IN	15W	14.7W	1444	1461	1491	1537	1583
BLD 36IN	30W	29.6W	2828	2860	2919	3009	3099
BLD 48IN	20W	19.6W	1926	1948	1987	2049	2111
BLD 48IN	35W	36.4W	3770	3812	3890	4011	4132
BLD 72IN	30W	29.4W	2969	3003	3064	3159	3254
BLD 72IN	55W	57.1W	5789	5855	5974	6184	6345
BLD xxIN	PRD		Programmable Driver. Must Specify Lumens in Ordering Information, see Chart above.				

PHOTOMETRIC DATA

MODEL: BLD 12IN 5W 40K

Delivered Lumens: 476 Lumens



IES FILE: BLD 12IN 5W 40K

Total Power: 7W

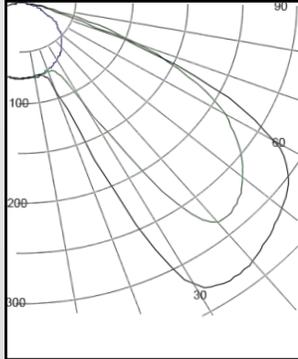
Testing was performed in accordance with IES LM-79-08

Bug Rating: B0U0G1

Zone	Lumens	% Luminaire
0 - 30	69	14.5
0 - 40	149	31.1
0 - 60	359	75.5
60 - 90	117	24.5
0 - 90	476	100.0
90 -180	0	0.0
0 - 180	476	100.0

MODEL: BLD 36IN 15W 40K

Delivered Lumens: 1537 Lumens



IES FILE: BLD 36IN 15W 40K

Total Power: 14.7W

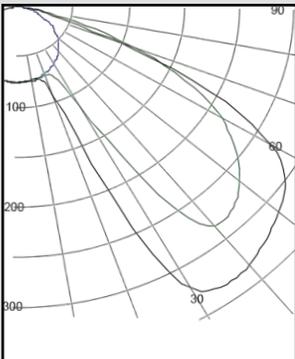
Testing was performed in accordance with IES LM-79-08

Bug Rating: B0U0G1

Zone	Lumens	% Luminaire
0 - 30	377	124.5
0 - 40	640	41.6
0 - 60	1219	79.3
60 - 90	317	20.7
0 - 90	1537	100.0
90 -180	0	0.0
0 - 180	1537	100.0

MODEL: BLD 36IN 30W 40K

Delivered Lumens: 3009 Lumens



IES FILE: BLD 36IN 30W 40K

Total Power: 29.6W

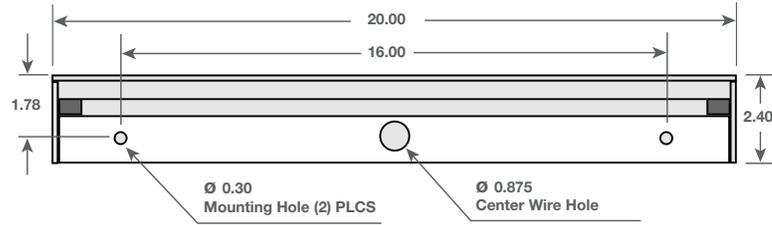
Testing was performed in accordance with IES LM-79-08

Bug Rating: B1U0G1

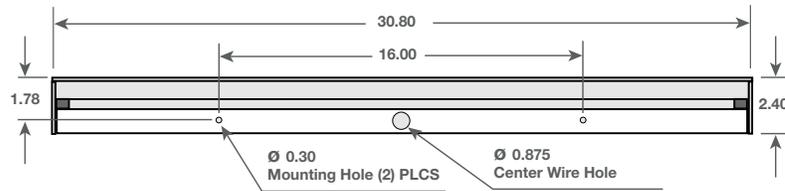
Zone	Lumens	% Luminaire
0 - 30	739	24.6
0 - 40	1253	41.6
0 - 60	2387	79.3
60 - 90	622	20.7
0 - 90	3009	100.0
90 -180	0	0.0
0 - 180	3009	100.0

MOUNTING PLATE DETAILS

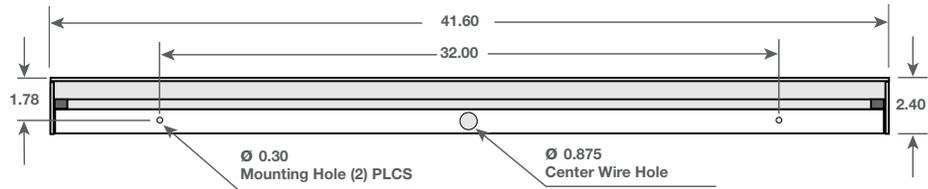
BLD12



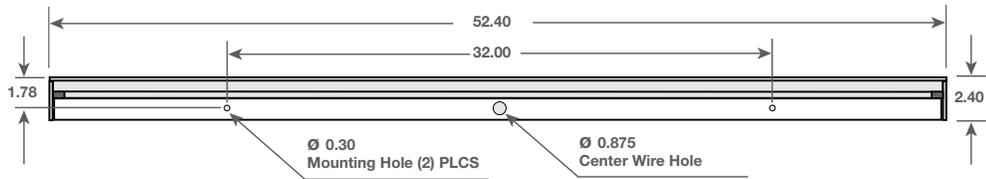
BLD24



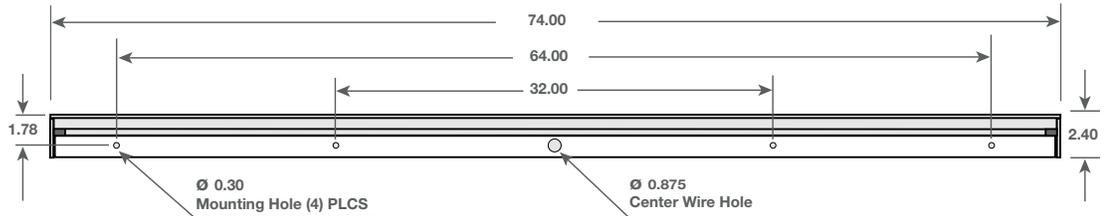
BLD36



BLD48



BLD72



FEATURES & SPECIFICATIONS

INTENDED USE — Typical applications include corridors, lobbies, conference rooms and private offices.

CONSTRUCTION — Durable square metal reflectors retained by torsion springs. Galvanized steel mounting/plaster frame; galvanized steel junction box with bottom-hinged access covers and spring latches. Vertically adjustable mounting brackets with commercial bar hangers provide 3-3/4" total adjustment. Two combination 1/2"-3/4" and four 1/2" knockouts for straight-through conduit runs. Capacity: 8 (4 in, 4 out). No. 12 AWG conductors, rated for 90°C. Accommodates 12"-24" joist spacing. Passive cooling thermal management for 25°C standard; high ambient (40°C) option available. Light engine and drivers are accessible from above or below ceiling. Max ceiling thickness 1-1/2".

OPTICS — LEDs are binned to a 3-step MacAdam Ellipse; 80 CRI minimum. 90 CRI optional. LED light source concealed with diffusing optical lens. General illumination lighting with 1.0 S/MH and 55° cutoff to source and source image. Self-flanged anodized reflectors in specular, semi-specular, or matte diffuse finishes. Also available in white and black painted reflectors.

UGR — **UGR** is zero for fixtures aimed at nadir with a cut-off equal to or less than 60deg, per CIE 117-1996 Discomfort Glare in Interior Lighting.

ELECTRICAL — Multi-volt (120-277V, 50/60Hz) 0-10V dimming drivers mounted to junction box, 10% or 1% minimum dimming level available. 0-10V dimming fixture requires two (2) additional low-voltage wires to be pulled.

LUMEN MAINTENANCE — 70% lumen maintenance at 60,000 hours. (L70/60,000 hours)

LISTINGS — Certified to US and Canadian safety standards. Wet location standard (covered ceiling). IP55 rated. ENERGY STAR® certified product. Drivers are RoHS compliant.

BUY AMERICAN ACT — Product with the BAA option is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT regulations. Please refer to www.acuitybrands.com/buy-american for additional information.

WARRANTY — 5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

PERFORMANCE DATA

LDN4SQ 3500K AR LSS CRI80			
Nominal	Lumens	Wattage	Lm/W
500	432.5	5.7	75.3
750	620	8.6	72.1
1000	863	10.6	81.6
1500	1249	17.5	71.4
2000	1657	22.1	74.9
2500	2218	26.1	85.0
3000	2483	32.1	77.4
4000	3479	43.0	80.9

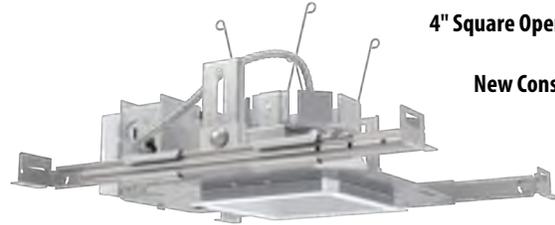
Notes

- Tested in accordance with IESNA LM-79-08.
- Tested to current IES and NEMA standards under stabilized laboratory conditions.
- CRI: 80 typical.

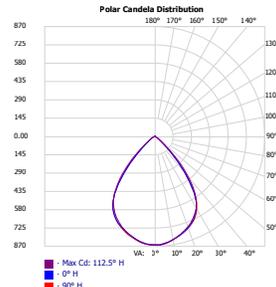


Catalog Number
Notes
Type

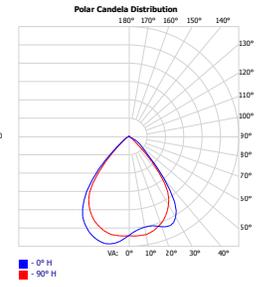
LDN4SQ STATIC WHITE



4" Square Open and Wallwash LED Non-IC New Construction Downlight



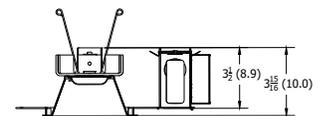
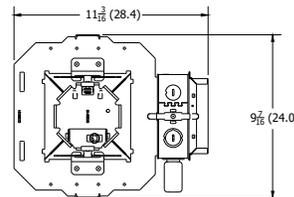
Open



Wallwash

DIMENSIONS

LDN4 500 - 1500 LUMENS



Aperture: 4-5/16" (11)
 Ceiling Opening: 5-1/8" (13)
 Overlap Trim: 5-7/16" (13.8)

See page 4 for other fixture dimensions



ORDERING INFORMATION

Lead times will vary depending on options selected. Consult with your sales representative.

Example: LDN4SQ 35/15 LS4 AR LSS MVOLT EZ1

LDN4SQ	Series	Color temperature	Lumens ‡	Trim Style	Trim Color	Trim Finish	Flange Color ‡	Voltage
LDN4SQ 4" square		27/ 2700K 30/ 3000K 35/ 3500K 40/ 4000K 50/ 5000K	05 500 lumens 07 750 lumens 10 1000 lumens 15 1500 lumens 20 2000 lumens 25 2500 lumens 30 3000 lumens 40 4000 lumens	LS4 Downlight LSW4 Wallwash	AR Clear WR ‡ White BR ‡ Black TCPC ‡ Custom painted trim TRALTBD ‡ RAL painted trim	LSS Semi-specular LD Matte diffuse LS Specular	TRW White painted flange TRBL Black painted flange FCPC Custom painted flange only FRALTBD RAL painted flange only	MVOLT Multi-volt 120 120V 277 277V 347 ‡ 347V
LDN4SQ 40/07 LS4 BR LD TRBL MVOLT EZ1								

Driver	Emergency ‡	Control Input ‡	Options
GZ10 0-10V driver dims to 10%	(blank) No Emergency Needed	(blank) No Control Input Needed	HAO ‡ High ambient option (40°C)
GZ1 0-10V driver dims to 1%	EL Battery pack (10W constant power), non-T20 compliant, integral test switch	JOT Wireless room control with "Just One Touch" pairing	CP ‡ Chicago Plenum
D10 Minimum dimming 10% driver for use with JOT	ELR Battery pack (10W constant power), non-T20 compliant, remote test switch	NPP16D nLight® network power/relay pack with 0-10V dimming for non-eldoLED drivers (GZ10, GZ1).	RRL___ RELOC®-ready luminaire connectors enable a simple and consistent factory installed option across all ABL luminaire brands. Refer to RRL for complete nomenclature. Available only in RRLA, RRLB, RRLAE, and RRLC12S.
D1 Minimum dimming 1% driver for use with JOT	ELSD Self-diagnostic battery pack (10W constant power), non-T20 compliant, integral test switch	NPP16DER nLight® network power/relay pack with 0-10V dimming for non-eldoLED drivers (GZ10, GZ1). ER controls fixtures on emergency circuit.	BAA Buy America(n) Act Compliant
EZ1 0-10V eldoLED driver with smooth and flicker-free deep dimming performance down to 1%	ELRSD Self-diagnostic battery pack (10W constant power), non-T20 compliant, remote test switch	NPS80EZ nLight® dimming pack controls 0-10V eldoLED drivers (EZ1).	90CRI High CRI (90+)
EDAB eldoLED DALI SOLDRIVE dim to dark	E10WCP Battery pack (10W constant power), T20 compliant, integral test switch	NPS80EZER nLight® dimming pack controls 0-10V eldoLED drivers (EZ1). ER controls fixtures on emergency circuit.	SF ‡ Single fuse
	E10WCPR Battery pack (10W constant power), T20 compliant, remote test switch	N80 nLight™ Lumen Compensation	
	E10WRSTAR Emergency battery pack, 10W with remote test switch and Iota STAR technology	NLTAIR2 nLight® Air enabled	
		NLTAIRER2 nLight® AIR Dimming Pack Wireless Controls. Controls fixtures on emergency circuit, not available with battery pack options	
		NLTAIREM2 nLight® AIR Dimming Pack Wireless Controls. UL924 Emergency Operation, via power interrupt detection. Available with battery pack options.	

‡ Option Value Ordering Restrictions

Option value	Restriction
Lumens	Overall height varies based on lumen package; refer to dimensional chart.
TRW, TRBL	Available with clear (AR) reflector only. Not available with finishes.
347	Not available with emergency options.
SF	Must specify voltage 120V or 277V.
EL, ELR, ELSD, ELRSD, E10WCP, E10WCPR	12.5" of plenum depth or top access required for battery pack maintenance.
NPP16D, NPP16DER, NPS80EZ, NPS80EZER	Specify voltage. ER for use with generator supply EM power. Will require an emergency hot feed and normal hot feed. See UL 924 Sequence of Operation table.
NLTAIR2, NLTAIRER2, NLTAIREM2	NLTAIR2, NLTAIRER2 and NLTAIREM2 not recommended for metal ceiling installations. See UL 924 Sequence of Operation table. Not available with CP, NPS80EZ, NPS80EZER, NPP16D, NPP16DER or N80 options.
N80	Fixture begins at 80% light level. Must be specified with NPS80EZ or NPS80EZ ER. Only available with EZ1 drivers.
HAO	Fixture height is 5-11/16" for all lumen packages with HAO.
CP	Must specify voltage for 3000lm. Not available with emergency battery pack option.
JOT	Must specify D10 or D1 driver. Not available with nLight options. Not available with CP. Not recommended for metal ceiling installation. Not for use with emergency backup power systems other than battery packs.
Reloc® Options	Refer to RRL specification sheet on acuitybrands.com for further details.
RRLAE	Commercial fixtures should disconnect the TSPL before unplugging the RRL so it does not go into discharge mode.
RRLC12S	RRLC12S option is to be used with the OnePass OCU, OCS, OD, OFC and OD for 0-24V integrated single-circuit or 0-10V low voltage controls applications. Not available with integral dimming sensors.
TRALTBD, FRALTBD	RALTBD for pricing only. Replace with applicable RAL number and finish when ready to order. See the RAL BROCHURE for available color options.
TCPC, FCPC	CPC options for pricing only. Custom color chip needs to be sent in to your Customer Resolution specialist before order can be processed. Click HERE for more details
E10WRSTAR	Not available with wet location, EC1, EC6, QDS, CP, 347V, NPS80EZ ER, NLTAIRER2, NLTAIREM2, ALO3 & ALO4 w/DALI, OR 2000-4500 lumens w/JOT. Top access installation or 17.5" plenum clearance required for roomside installation. Not available with integral test switch

LT-2

Emergency Battery Pack Options - Field Installable

Battery Model Number	Wattage	Runtime (Minutes)	Lumen Output* @ 120 Lumens/Watt	Other
ILB CP07 2H A	7W	120	840	Storm Shelter / 2 Hour Runtime
ILB CP10 A	10W	90	1200	
ILBLP CP10 HE SD A+	10W	90	1200	Title 20, Self Diagnostic
ILBLP CP15 HE SD A+	15W	90	1800	Title 20, Self Diagnostic
ILB CP20 HE A	20W	90	2400	Title 20
ILB CP20 HE SD A	20W	90	2400	Title 20, Self Diagnostic
ILBHI CP10 HE SD A+	10W	90	1200	347-480V AC Input, Title 20, Self Diagnostic
ILBHI CP15 HE SD A+	15W	90	1800	347-480V AC Input, Title 20, Self Diagnostic

All the above are UL Listed products that are certified for field install external/remote to the fixture.

*Minimum delivered lumen output to assist in product selection for increased fixture mounting height.

The CP10 delivered emergency illumination outperforms legacy 1400 lumen fluorescent emergency ballast.

Please contact us at techsupport@iotaengineering.com for any Emergency Battery related questions.

LT-2

