



Location
10202 Rustling Birch Road

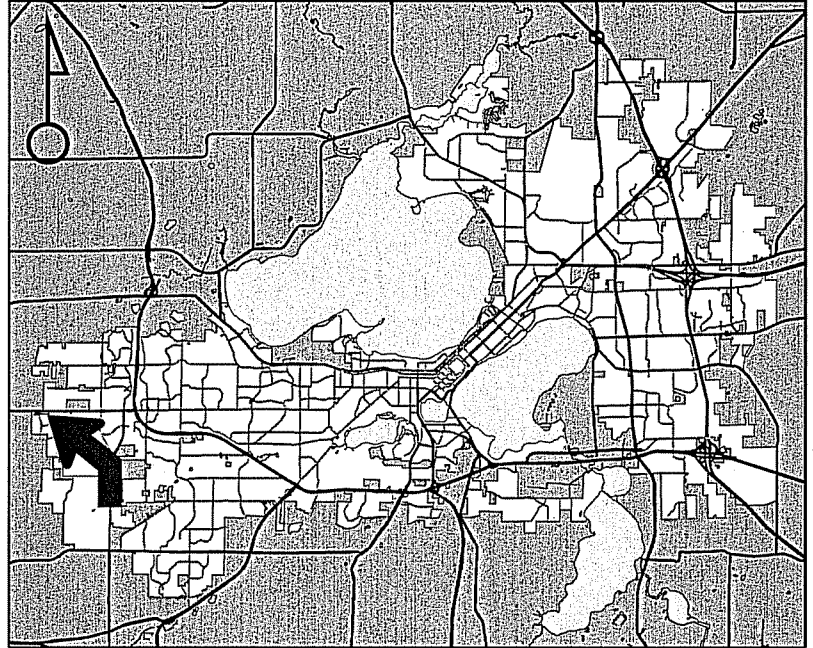
Project Name
Grand Arbor Reserve

Applicant
Ulian Kissiov – Grand Arbor Reserve

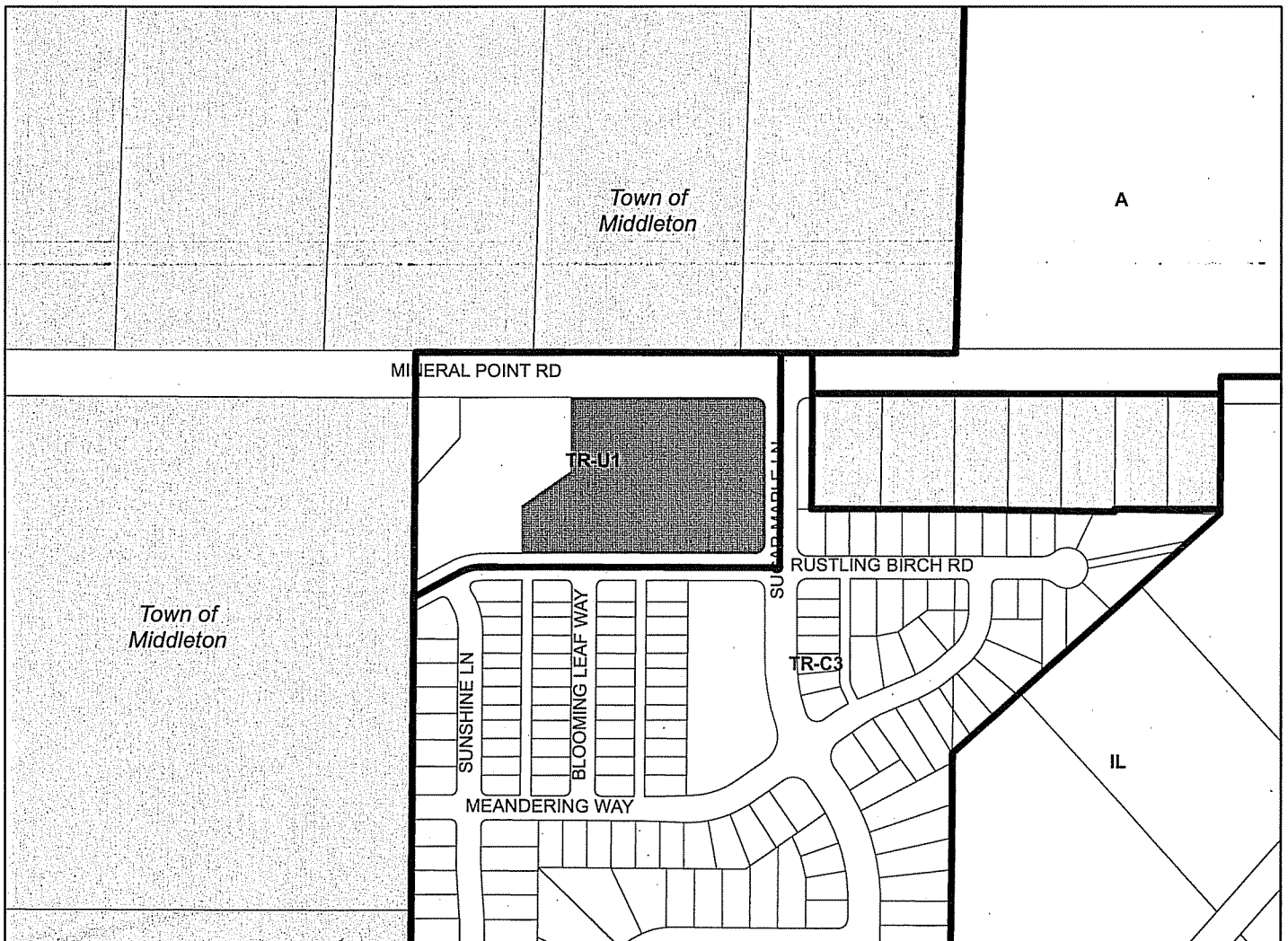
Existing Use
Vacant land

Proposed Use
Construct 100-unit apartment building

Public Hearing Date
Plan Commission
22 September 2014



For Questions Contact: Tim Parks at: 261-9632 or tparks@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 15 September 2014





LAND USE APPLICATION

CITY OF MADISON

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- All Land Use Applications should be filed with the Zoning Administrator at the above address.
- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application.
- This form may also be completed online at: www.cityofmadison.com/developmentcenter/landdevelopment

FOR OFFICE USE ONLY:	
Amt. Paid	<u>\$1000</u> Receipt No. <u>156843</u>
Date Received	<u>4-6-14</u>
Received By	<u>DM</u>
Parcel No.	<u>0708-291-0099-3</u>
Aldermanic District	<u>9-Skidmore</u>
Zoning District	<u>TR-C3 TR-U1</u>
Special Requirements	<u>-</u>
Review Required By:	
<input type="checkbox"/> Urban Design Commission	<input checked="" type="checkbox"/> Plan Commission
<input type="checkbox"/> Common Council	<input type="checkbox"/> Other: _____

Form Effective: February 21, 2013

1. **Project Address:** 10203 MINERAL ROAD, MADISON, WI
Project Title (if any): GRAND ARBOR RESERVE

2. This is an application for (Check all that apply to your Land Use Application):

- Zoning Map Amendment from _____ to _____
- Major Amendment to Approved PD-GDP Zoning Major Amendment to Approved PD-SIP Zoning
- Review of Alteration to Planned Development (By Plan Commission)
- Conditional Use, or Major Alteration to an Approved Conditional Use**
- Demolition Permit
- Other Requests: _____

3. Applicant, Agent & Property Owner Information:

Applicant Name: ULIAN KISSIOV **Company:** _____
Street Address: 476 PRESIDENTIAL LN **City/State:** MADISON, WI **Zip:** 53711
Telephone: (608) 320-3151 **Fax:** () **Email:** ukissiov@charter.net

Project Contact Person: ULIAN KISSIOV **Company:** _____
Street Address: 476 PRESIDENTIAL LN **City/State:** MADISON, WI **Zip:** 53711
Telephone: (608) 320-3151 **Fax:** () **Email:** ukissiov@charter.net

Property Owner (if not applicant): GRAND ARBOR RESERVE, LLC
Street Address: 6417 ODANA RD **City/State:** MADISON, WI **Zip:** 53719

4. Project Information:

Provide a brief description of the project and all proposed uses of the site: (3 STORY) ONE MULTIFAMILY BUILDING STRUCTURE WITH 100 APARTMENT UNITS AND PROPERTY MANAGEMENT OFFICE (FMI)

Development Schedule: Commencement 10/15/14 Completion 9/30/15

5. Required Submittal Information

All Land Use applications are required to include the following:

Project Plans including:*

- Site Plans (fully dimensioned plans depicting project details including all lot lines and property setbacks to buildings; demolished/proposed/alterd buildings; parking stalls, driveways, sidewalks, location of existing/proposed signage; HVAC/Utility location and screening details; useable open space; and other physical improvements on a property)
- Grading and Utility Plans (existing and proposed)
- Landscape Plan (including planting schedule depicting species name and planting size)
- Building Elevation Drawings (fully dimensioned drawings for all building sides, labeling primary exterior materials)
- Floor Plans (fully dimensioned plans including interior wall and room location)

Provide collated project plan sets as follows:

- ✓ • **Seven (7) copies** of a full-sized plan set drawn to a scale of 1 inch = 20 feet (folded or rolled and stapled)
- ✓ • **Twenty Five (25) copies** of the plan set reduced to fit onto 11 X 17-inch paper (folded and stapled)
- ✓ • **One (1) copy** of the plan set reduced to fit onto 8 ½ X 11-inch paper

* For projects requiring review by the **Urban Design Commission**, provide **Fourteen (14) additional 11x17 copies** of the plan set. In addition to the above information, all plan sets should also include: 1) Colored elevation drawings with shadow lines and a list of exterior building materials/colors; 2) Existing/proposed lighting with photometric plan & fixture cutsheet; and 3) Contextual site plan information including photographs and layout of adjacent buildings and structures. The applicant shall bring samples of exterior building materials and color scheme to the Urban Design Commission meeting.

Letter of Intent: Provide one (1) Copy per Plan Set describing this application in detail including, but not limited to:

- | | | |
|---|---|--|
| • Project Team | • Building Square Footage | • Value of Land |
| • Existing Conditions | • Number of Dwelling Units | • Estimated Project Cost |
| • Project Schedule | • Auto and Bike Parking Stalls | • Number of Construction & Full-Time Equivalent Jobs Created |
| • Proposed Uses (and ft ² of each) | • Lot Coverage & Usable Open Space Calculations | • Public Subsidy Requested |
| • Hours of Operation | | |

Filing Fee: Refer to the Land Use Application Instructions & Fee Schedule. Make checks payable to: **City Treasurer**.

Electronic Submittal: All applicants are required to submit copies of all items submitted in hard copy with their application as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or by e-mail to pcapplications@cityofmadison.com.

Additional Information may be required, depending on application. Refer to the Supplemental Submittal Requirements.

6. Applicant Declarations

Pre-application Notification: The Zoning Code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than **30 days prior to FILING this request**. List the alderperson, neighborhood association(s), and business association(s) AND the dates you sent the notices:
ALDER PAUL E. SKIDMORE, APRIL 22, 2014

→ If a waiver has been granted to this requirement, please attach any correspondence to this effect to this form.

Pre-application Meeting with Staff: Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

Planning Staff: TIM PARKS Date: 04/25/2014 Zoning Staff: PAT ANDERSON Date: 04/25/2014

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of Applicant ULIAN KISSIOV Relationship to Property: ARCHITECT
Authorizing Signature of Property Owner [Signature] Date 8.6.14

ULIAN KISSIOV - A R C H I T E C T

476 PRESIDENTIAL LANE, MADISON WI 53711

P. 608.320.3151 ukissiov@charter.net

August 6, 2014

Ms. Katherine Cornwell
Department of Planning & Development
City of Madison
215 Martin Luther King Jr. Blvd
PO Box 2985
Madison, Wisconsin 53701

Re: Letter of Intent - Conditional Use

GRAND ARBOR RESERVE

Birchwood Point - Lot I

10203 Mineral Point Road

Madison, Wisconsin

Ms. Katherine Cornwell:

The following is submitted together with the plans and Land Use Application for staff, Plan Commission and Common Council consideration of approval.

Project Team:

Owner/Developer: GRAND ARBOR RESERVE, LLC
6417 Odana Rd
Madison, WI 53719
Ph. 608-285-8680
Fax 608-255-3387
Contact: Dan Schmidt
dans@rentfmi.com

Architect: ULIAN KISSIOV
476 Presidential Ln
Madison, WI 53711
608-320-3151
ukissiov@charter.net

Civil & Landscape Design: D'ONOFRIO KOTTKE & ASSOC., INC
7530 Westward Way
Madison, WI 53717
608-833-7530
Contact: Dan Day
dday@donofrio.cc

Introduction:

The project is located on the far west side of Madison on Mineral Point Road, in lot 1 of Birchwood Point development. The lot is currently surrounded by farm land with an exception of seven existing residential lots with detached single family buildings east of lot 1 or north-east of the entire Birch Wood Point development. When development is completed, along with Mineral Point Road being north of the lot, to the east will be Sugar Maple Lane between the detached single family buildings and lot 1, Rustling Birch Road to the south, and outlot 2 of the development to the west.

Project Description:

The proposed development parcel is 4.62 acres in size, zoned TR-UI. The development consist of one multifamily apartment building with a total of 100 dwelling units (21.65 du/acre). The building comprises of two 3 story apartment wings (A&B) and a 1 story connection between them, with 102 car parking stalls in an underground parking garage. The 1 story connection consist of a common vestibule, FMI - property management office wit hours of operation 7-5, fitness room, and community room with combined area of 5,600 square feet. The building has been located with a setback of 20' from Sugar Maple Lane and Rustling Birch Road, with individual unit entrances with pedestrian connections to Sugar Maple Lane, Rustling Birch Road, and the surface parking area.

There is a mix of unit types and sizes offering a variety of living options. Exterior building materials comprise of fiber cement panels at base reaching 2 feet in height from finished floor and composite wood panels/siding for the rest of the structure.

Vehicular access to the site is achieved from Rustling Birch Road.

The building has been designed to fit within the neighborhood context by creating the image of rowhouses next to detached single-family homes.

The value of land is \$800,000 with estimated project cost \$8,000,000.

Conditional Use

A 100 unit multi-family development is an allowed use in TR-UI and requires a Conditional Use Application according to Chapter 28, Madison Zoning Code Ordinance - Table 28C-1 & Sec.28.050.

The FMI - property management office is classified as "Management Office", and requires a Conditional Use Application, according to Chapter 28, Madison Zoning Code Ordinance -Table 28C- 1.

Development Data:

Site Data:

Lot Area	201,350 SF
Impervious area	91,650 SF
Lot Area/D.U.	201.35 SF/unit
Density	21.64 units/acre

Vehicle Parking:

Surface Parking Stalls	68
Underground Parking Stalls	102
<u>Accessible Parking Stalls (4)</u>	
Total Parking Stalls	170

Bicycle Parking:

Surface Bicycle Stalls	12
Garage Bicycle Stalls – 2'x6'	97
<u>Garage Bicycle Stalls – wall hung</u>	60
Total Bicycle Stalls	169

Building Area: S.F.

Underground Parking	38,570
First Floor	44,200
Second Floor	38,700
<u>Third Floor</u>	<u>38,700</u>
Total	160,170

Building Height: Three Stories (~ 49' A.F.G.)

Dwelling Unit Mix:

Studio	15
One Bedroom	39
One Bedroom+Den	14
Two Bedroom	24
Two Bedroom+Den	6
<u>Three Bedroom</u>	<u>2</u>
Total	100

Construction Schedule:

It is anticipated that the new construction phase will commence 10/15/2014 and be completed 9/30/2015.

Thank you for your time and consideration of our project.

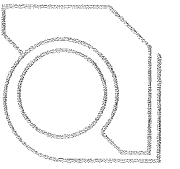
Sincerely,


Ulian Kissiov, ARCHITECT

PROJECT:

GRAND ARBOR RESERVE

**BIRCHWOOD POINT, LOT-1
10203 MINERAL POINT ROAD
MADISON, WISCONSIN**



OWNER:

GRAND ARBOR RESERVE, LLC

**6417 ODANA RD
MADISON, WISCONSIN 53719
CONTACT: DAN SCHMIDT
PHONE: 608-285-8680
FAX: 608-255-3387
email: dans@rentfmi.com**

ARCHITECT:

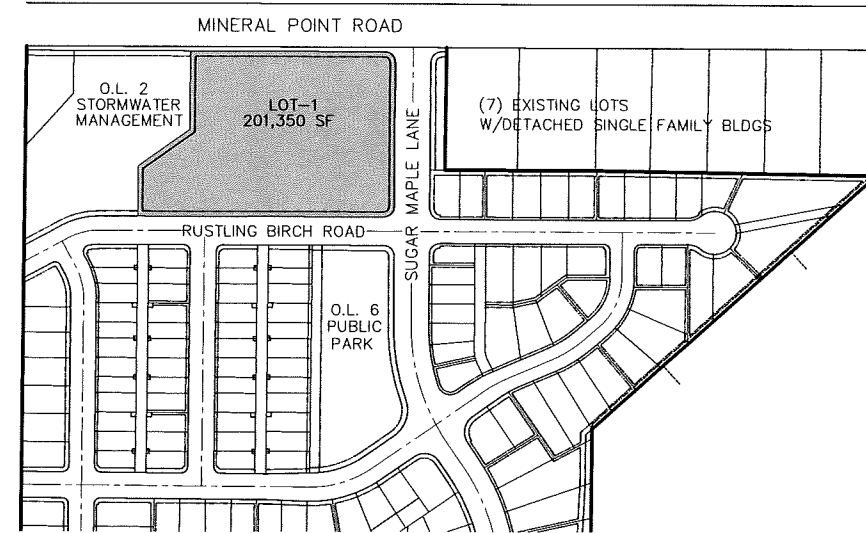
ULIAN KISSIOV

**476 PRESIDENTIAL LANE
MADISON, WISCONSIN 53711
PHONE: 608-320-3151
email: ukissiov@charter.net**

CIVIL ENGINEER:

D'ONOFRIO KOTTKE & ASSOC., INC.

**7530 WESTWARD WAY
MADISON, WISCONSIN 53717
CONTACT: DAN DAY
PHONE: 608-833-7530
email: dday@donofrio.cc**



LOCATION MAP

1" = 200'



SHEET INDEX:

- T TITLE SHEET
- A-0 EXTERIOR FINISH MATERIALS & COLORS
- C-100 EXISTING CONDITIONS
- C-101 SITE PLAN
- C-102 GRADING AND EROSION CONTROL PLAN
- C-103 UTILITY PLAN
- C-104 CONSTRUCTION DETAILS
- C-105 FIRE ACCESS PLAN

- L-100 OVERALL LANDSCAPE PLAN
- L-101 LANDSCAPE PLAN - WEST
- L-102 LANDSCAPE PLAN - EAST

- A-1 UNDERGROUND PARKING GARAGE
- A-2 FIRST FLOOR PLAN
- A-3 SECOND/THIRD FLOOR PLAN
- A-4 OVERALL EXTERIOR ELEVATIONS
- A-5 EXTERIOR ELEVATIONS - BUILDING A
- A-6 EXTERIOR ELEVATIONS - BUILDING A
- A-7 EXTERIOR ELEVATIONS - BUILDING B
- A-8 EXTERIOR ELEVATIONS - BUILDING B

UNIT MIX:

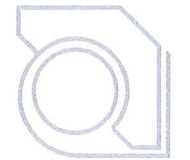
UNIT TYPE	# UNITS	% OF TOTAL
STUDIO	15	15%
ONE BEDROOM	39	39%
ONE BEDROOM+DEN	14	14%
TWO BEDROOM	24	24%
TWO BEDROOM+DEN	6	6%
THREE BEDROOM	2	2%
TOTAL	100	100%

BUILDING AREA:

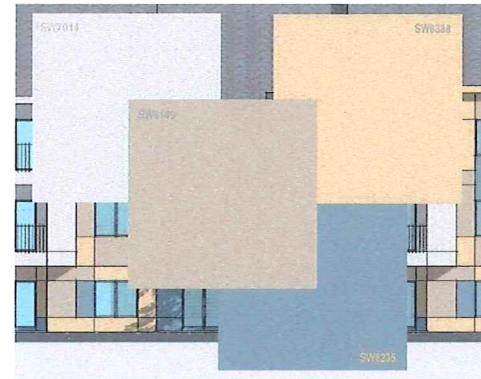
FLOOR	SQ.F.
UNDERGR. PARKING	38,570
FIRST FLOOR	44,200
SECOND FLOOR	38,700
THIRD FLOOR	38,700
TOTAL	160,170

T

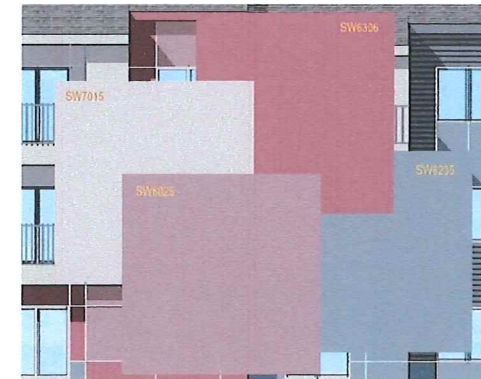
AUGUST 04, 2014



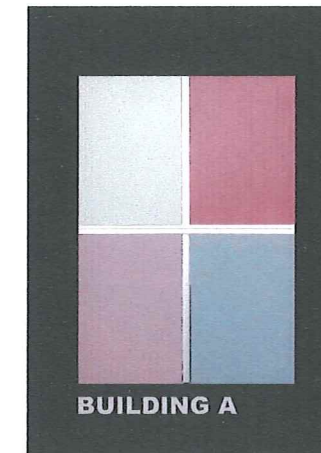
ULIAN KISSIOV
 ARCHITECT
 476 PRESIDENTIAL LN
 MADISON, WI 53711
 PHONE: 608-320-3151



BUILDING B
S/W - COLORS



BUILDING A

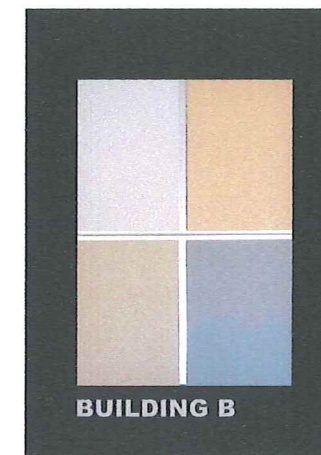


BUILDING A



- ALUMINUM RAILING
CLEAR ANODIZED FINISH
- VINYL WINDOWS - WHITE
COMPOSITE WOOD PANELS
- FIBERCEMENT PANELS @ FIRST 2' AFF
- 'XTREME TRIM' EXTRUDED ALUMINUM PROFILES
CLEAR ANODIZED FINISH
- 'ROOF - ARCHITECTURAL ASPHALT SHINGLES
- COMPOSITE WOOD SIDING

EXTERIOR FINISH MATERIALS



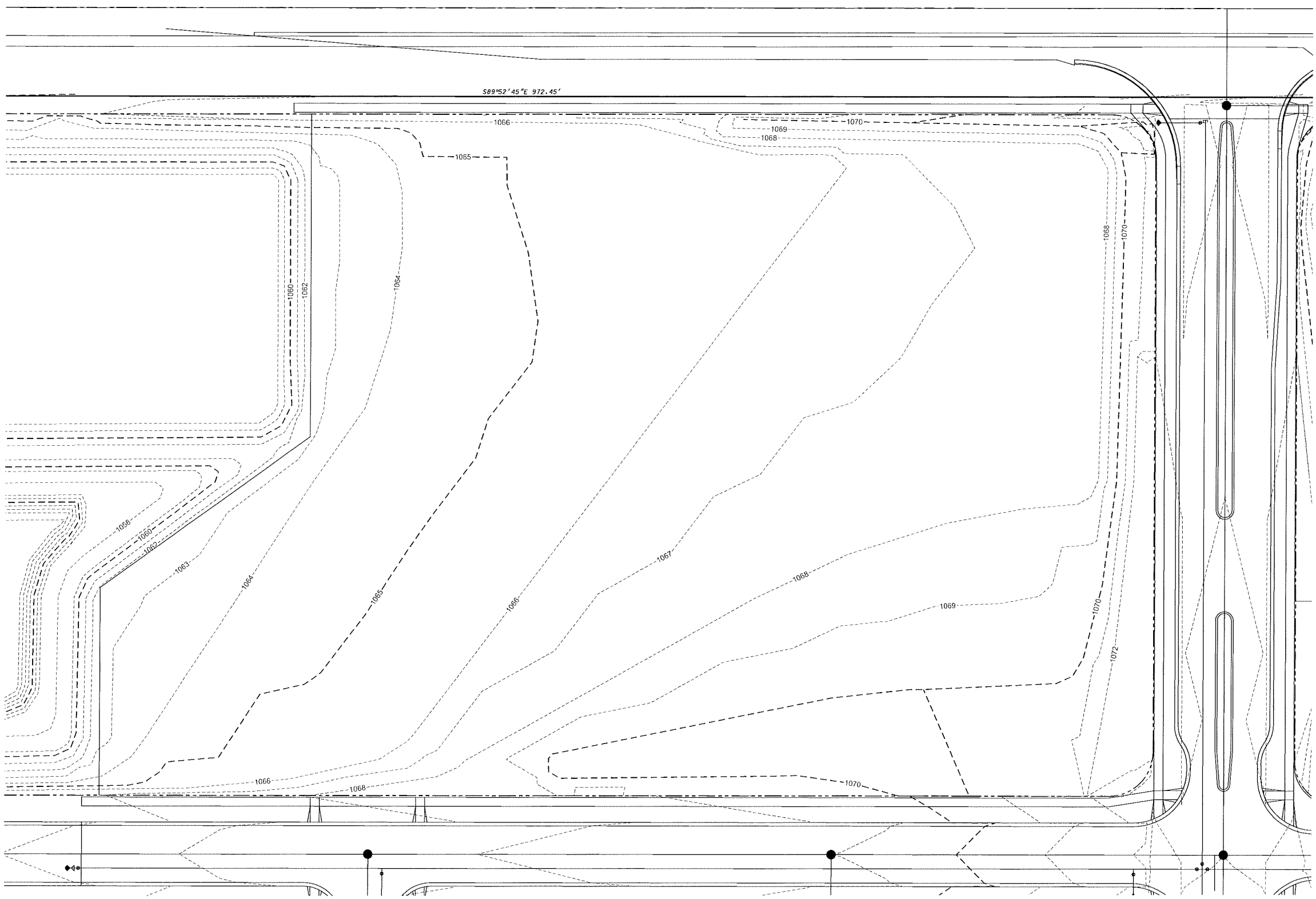
BUILDING B

PROJECT:
GRAND ARBOR RESERVE
 10203 MINERAL POINT ROAD, MADISON, WI
CLIENT:
GRAND ARBOR RESERVE, LLC
 6417 ODANA RD, MADISON, WI 53719

PROJECT: 2014-02
 CAD FILE:
 DRAWN BY: U.K.
 DATE: 08/04/14

1'52"45"W 2645.45'

589°52'45"E 972.45'



LEGEND

- PROPERTY LINE
- CONCRETE CURB & GUTTER
- - - - - EXISTING CONTOUR
- - - - - - SANITARY SEWER
- - - - - - WATER MAIN

D'ONOFRIO KOTKKE AND ASSOCIATES, INC.
 7530 Westward Way, Madison, WI 53717
 Phone: 608.833.7530 • Fax: 608.833.1089
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

EXISTING CONDITIONS

GRAND ARBOR RESERVE

CITY OF MADISON, DAINE COUNTY, WISCONSIN



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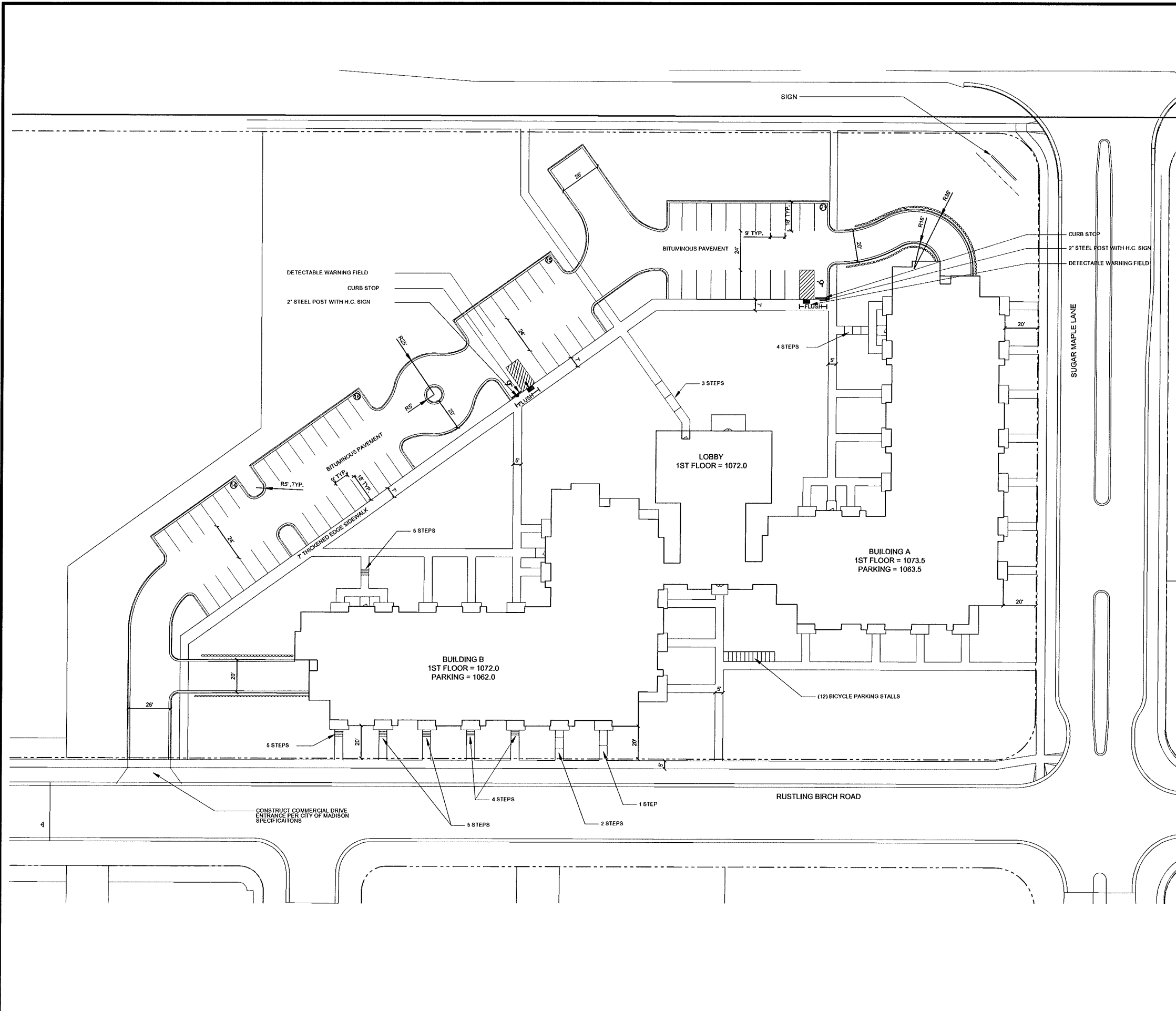
DATE: 08-04-14
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DRAWN BY: KB

FN: 14-05-124

Sheet Number:

C-100



LEGEND

- PROPERTY LINE
- ==== 18" CONCRETE CURB & GUTTER
- PROPOSED BUILDING
- PROPOSED RETAINING WALL

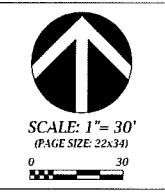
GENERAL NOTES

1. ALL SITE WORK SHALL BE PER THE CITY OF MADISON STANDARD SPECIFICATIONS.
2. CONTRACTOR IS RESPONSIBLE TO OBTAIN ANY AND ALL PERMITS REQUIRED.
3. BUILDING CORNERS ARE APPROXIMATE AND FOR GENERAL BUILDING FOOTPRINT ONLY.
4. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION.
5. CONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS AWAY FROM BUILDING FOUNDATIONS DURING FINAL RESTORATION.
6. ALL DIMENSIONS TO FACE OF CURB UNLESS OTHERWISE NOTED.
7. CONTRACTOR SHALL REPLACE ANY EXISTING CONCRETE SIDEWALK DAMAGED DURING CONSTRUCTION PER CITY OF MADISON STANDARDS.

SITE PLAN INFORMATION BLOCK 602 NORTH STAR DRIVE	
PROJECT AREA	201,350 SF
PROPOSED BUILDING AREA	44,200 SF
PROPOSED TOTAL IMPERVIOUS	91,650 SF
NUMBER OF PROPOSED SURFACE PARKING STALLS	68
NUMBER OF PROPOSED UNDERGROUND PARKING STALLS	102
NUMBER OF ACCESSIBLE STALLS	4
TOTAL NUMBER OF STALLS	170
NUMBER OF SURFACE BICYCLE STALLS	12
NUMBER OF UNDERGROUND BICYCLE STALLS	157
TOTAL NUMBER OF BICYCLE STALLS	169

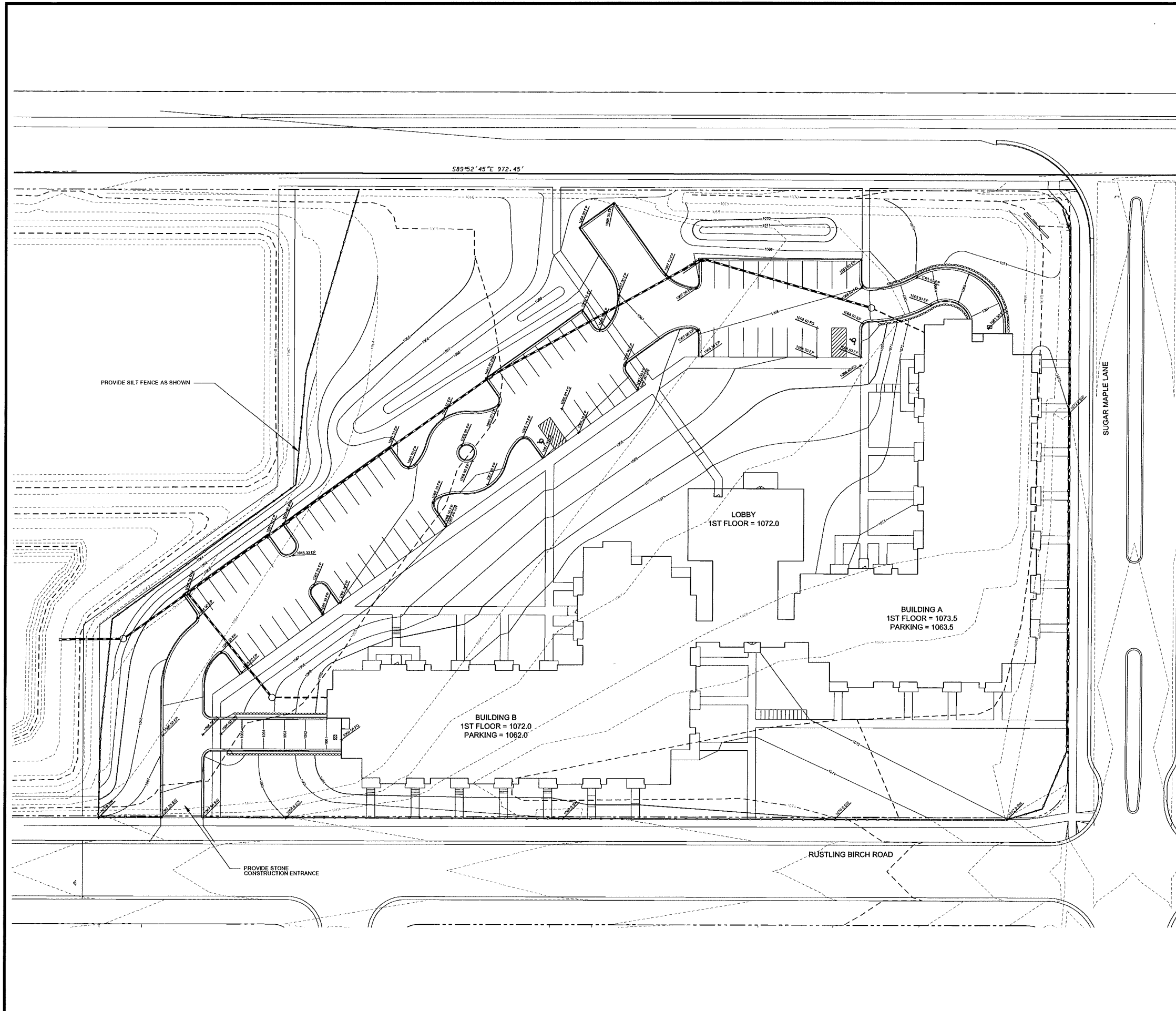
D'ONOFRIO KOTTKE AND ASSOCIATES, INC.
 7550 Westward Way, Madison, WI 53717
 Phone: 608.833.7550 • Fax: 608.833.1089
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

SITE PLAN
GRAND ARBOR RESERVE
 CITY OF MADISON, DANE COUNTY, WISCONSIN



SCALE: 1" = 30'
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C-101



LEGEND

- PROPOSED CONTOUR
- EXISTING CONTOUR
- SPOT ELEVATION
- EP - EDGE OF PAVEMENT
- FG - FINISHED GRADE
- SW - SIDEWALK
- TW - TOP OF WALL (GROUND ELEVATION)
- BW - BOTTOM OF WALL (GROUND ELEVATION)
- RIM - INLET RIM
- SILT FENCE
- PROPOSED BUILDING
- PROPOSED RETAINING WALL

GRADING AND EROSION CONTROL NOTES:

1. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE WISCONSIN DNR TECHNICAL STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS.
2. INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WDNR TECHNICAL STANDARDS.
3. EROSION CONTROL MEASURES INDICATED ON THE PLANS SHALL BE CONSIDERED MINIMUMS. IF DETERMINED NECESSARY DURING CONSTRUCTION THE COUNTY OR TOWN WILL REQUIRE ADDITIONAL MEASURES TO BE INSTALLED TO PREVENT SEDIMENT FROM LEAVING THE SITE.
4. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
5. INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
6. NO SITE GRADING OUTSIDE OF THE LIMITS OF DISTURBANCE
7. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER
8. INSTALL INLET PROTECTION IN ALL STORM SEWER INLETS AND CATCH BASINS THAT MAY RECEIVE RUNOFF FROM DISTURBED AREAS
9. CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1
10. SLOPES EXCEEDING 4:1 SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING AND ALL DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING.
11. ALL INCIDENTAL MUD TRACKING OFF-SITE ONTO ADJACENT PUBLIC THOROUGHFARES SHALL BE CLEANED UP AND REMOVED BY THE END OF EACH WORKING DAY USING PROPER DISPOSAL METHODS.
12. ANY DISTURBED AREA THAT REMAINS INACTIVE FOR GREATER THAN 7 DAYS SHALL BE STABILIZED WITH TEMPORARY STABILIZATION METHODS SUCH AS TEMPORARY SEEDING, SOIL TREATMENT, EROSION MATTING, OR MULCH
13. PREVENT EXCESSIVE DUST FROM LEAVING THE CONSTRUCTION SITE IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.
14. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES.
15. AT A MINIMUM ALL DISTURBED AREAS SHALL RECEIVE A MINIMUM OF 4" OF TOPSOIL FERTILIZER, SEED AND MULCH. SEE MIXTURE SHALL BE WISCONSIN DOT SEED MIX #40 OR EQUIVALENT APPLIED AT A RATE OF 5 POUNDS PER 1000 SQFT ON ALL DISTURBED AREAS. ANNUAL RYEGRASS AT A RATE OF 1 1/2 POUNDS PER 1000 SQFT SHALL BE ADDED TO THE MIXTURE. FERTILIZER SHALL BE PLACED PER A SOIL TEST. SEE LANDSCAPE PLAN FOR A MORE DETAILED PLANTING PLAN AND LANDSCAPE DETAILS.
16. DEWATERING, IF APPLICABLE, SHALL BE CONDUCTED PER WDNR STORM WATER MANAGEMENT TECHNICAL STANDARD 1061.

D'ONOFRIO KOTKE AND ASSOCIATES, INC.
 7550 Westward Way, Madison, WI 53717
 Phone: 608.833.7530 • Fax: 608.833.1089
 YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

GRADING & EROSION CONTROL PLAN

GRAND ARBOR RESERVE

CITY OF MADISON, DAIRY COUNTY, WISCONSIN



DATE: 08-04-14
 REVISED:

DRAWN BY: KB

FN: 14-05-124

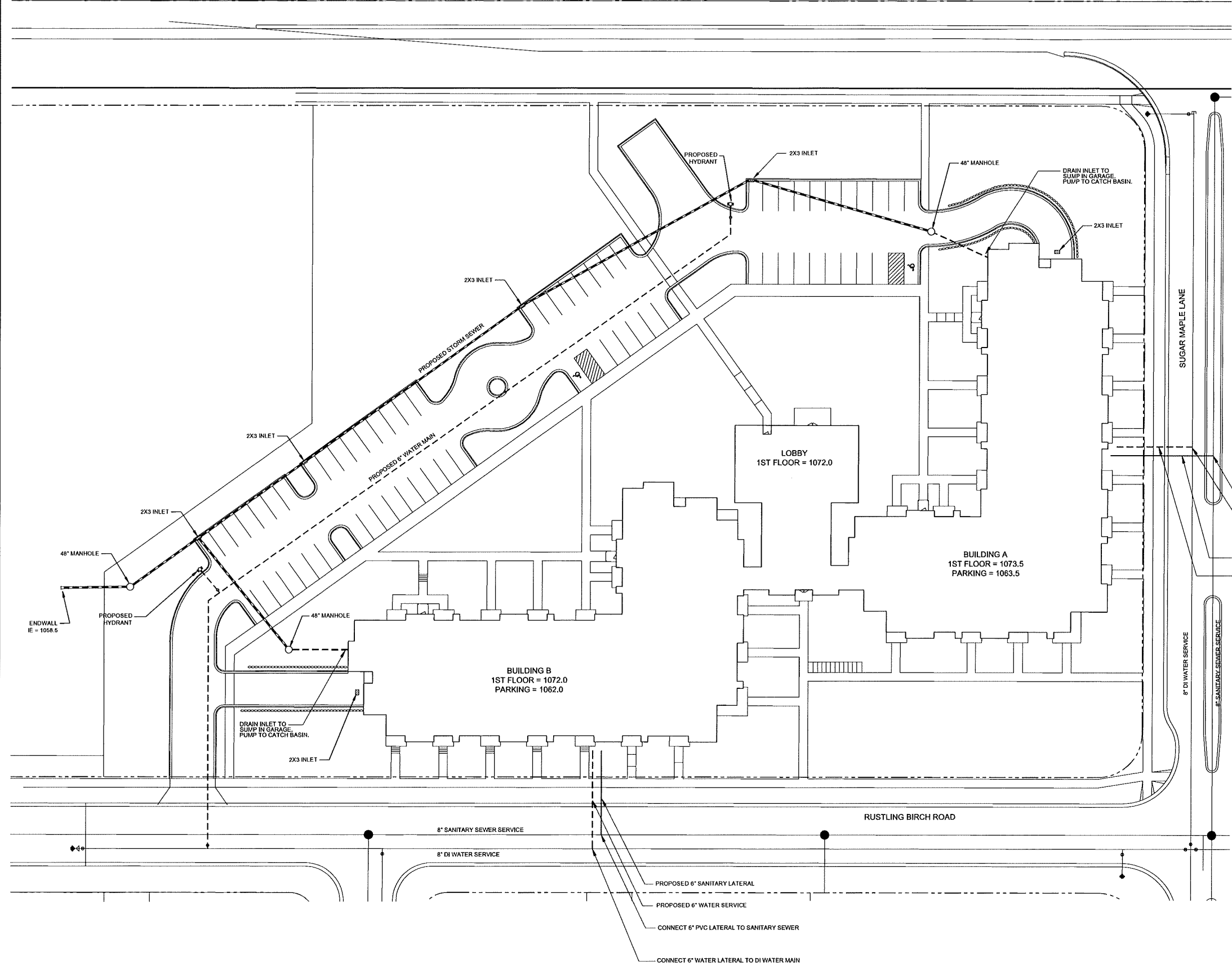
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LEGEND

- PROPERTY LINE
- ==== 18" CONCRETE CURB & GUTTER
- PROPOSED BUILDING
- PROPOSED RETAINING WALL
- PROPOSED STORM SEWER
- PROPOSED SANITARY SEWER
- PROPOSED WATER MAIN/LATERAL

SITE UTILITY NOTES

1. THE LOCATION OF EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE. PROTECTION OF EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY.
2. ALL SITE UTILITY WORK SHALL BE CONSTRUCTED PER THE CITY OF MADISON STANDARD SPECIFICATIONS.
3. CONTRACTOR TO COORDINATE ELECTRIC, GAS, PHONE & CABLE INSTALLATION WITH THE RESPECTIVE UTILITY COMPANIES.
4. UTILITY CONTRACTOR SHALL VERIFY EXISTING UNDERGROUND UTILITY GRADES AND NOTIFY THE PROJECT SUPERINTENDENT IF A CONFLICT ARISES WITH THE INSTALLATION OF NEW UTILITIES.
5. ALL 2X3 INLETS TO BE 2' X 3' INLET BOXES WITH NEENAH R-3067 COMBINATION INLET FRAME, GRATE, CURB BOX WITH TYPE C LID
6. ALL STORM MANHOLES TO BE 48" DIAMETER MANHOLE WITH NEENAH R-2501 INLET FRAME, GRATE WITH TYPE G LID UNLESS NOTED AS SOLID LID ON PLAN
7. ALL INLETS ACCEPTING STORMWATER RUNOFF FROM PARKING AREAS SHALL HAVE CATCHALL HR-1 PERMANENT INLET INSERTS INSTALLED



UTILITY PLAN
GRAND ARBOR RESERVE
 CITY OF MADISON, DANE COUNTY, WISCONSIN



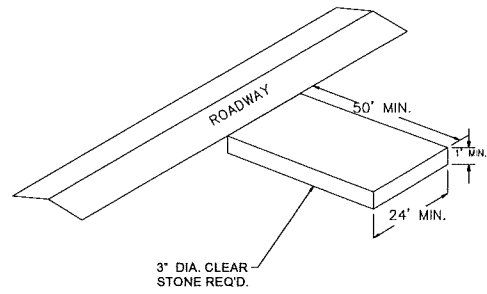
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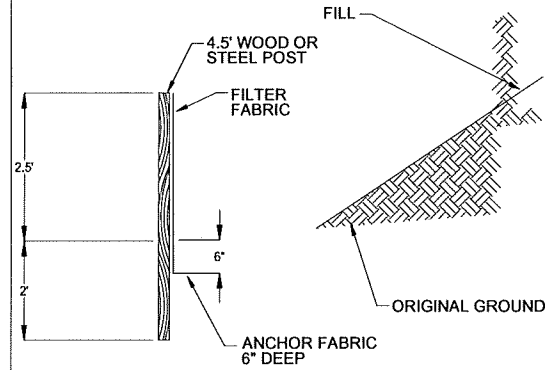
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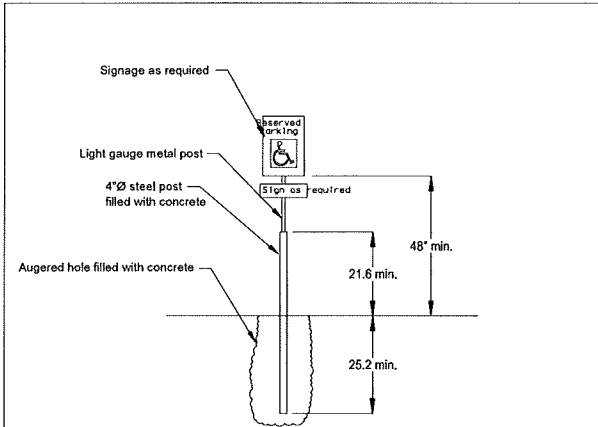
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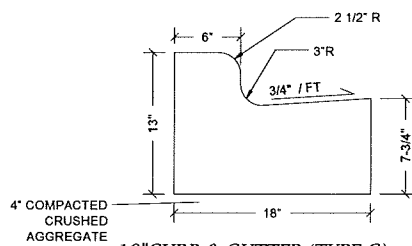
STONE TRACKING PAD DETAIL
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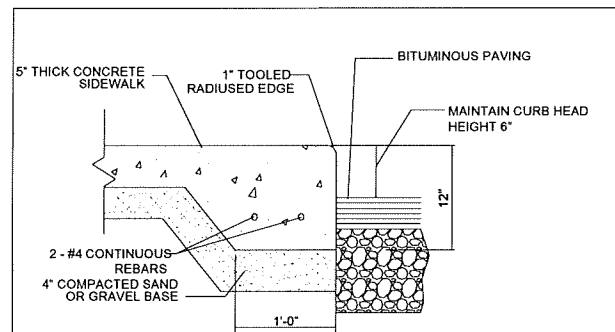
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ACCESSIBLE PARKING SIGN DETAIL
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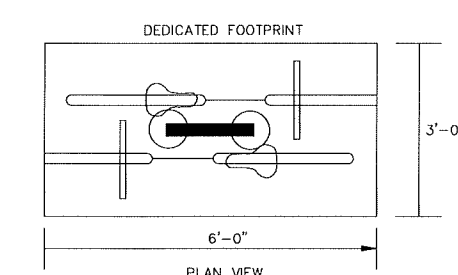
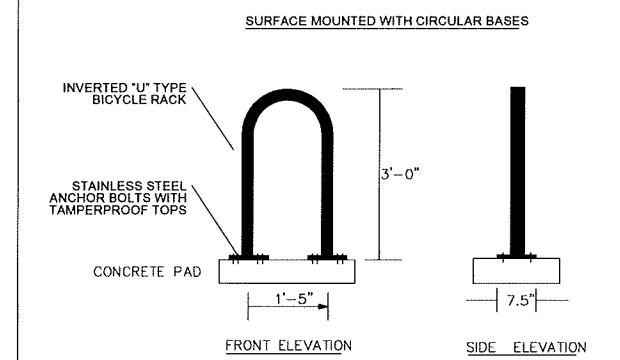


18" CURB & GUTTER (TYPE G)
CURB & GUTTER DETAIL
NOT TO SCALE

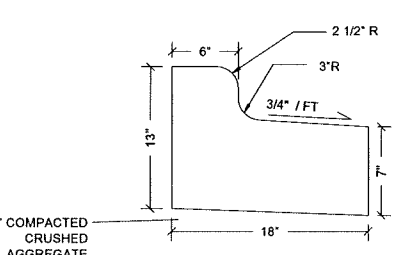


GENERAL NOTES:
- PROVIDE 1/4" PER FOOT CROSS SLOPE ACROSS WALK
- PROVIDE TOOLED JOINTS @ +/- 5'-0" O.C.

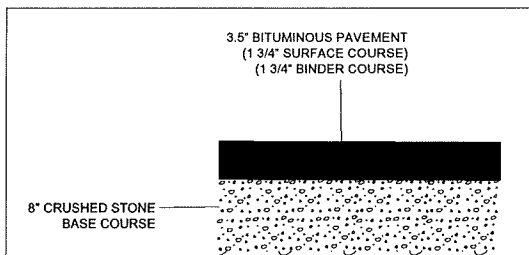
THICKENED EDGE WALK DETAIL
NOT TO SCALE



BIKE RACK DETAIL
NOT TO SCALE



18" REJECT CURB & GUTTER (TYPE D)
CURB & GUTTER DETAIL
NOT TO SCALE



PARKING LOT PAVEMENT DETAIL
NOT TO SCALE

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Phone: 608.833.7530 • Fax: 608.833.1089
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DETAILS
GRAND ARBOR RESERVE
CITY OF MADISON, DAIRY COUNTY, WISCONSIN

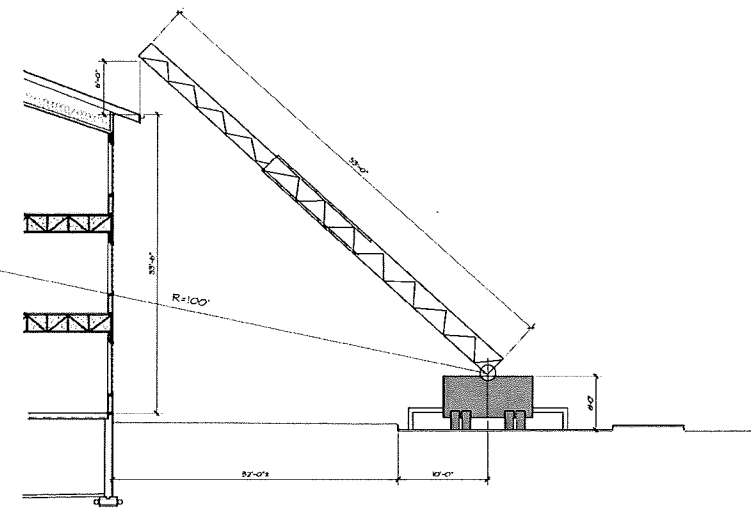
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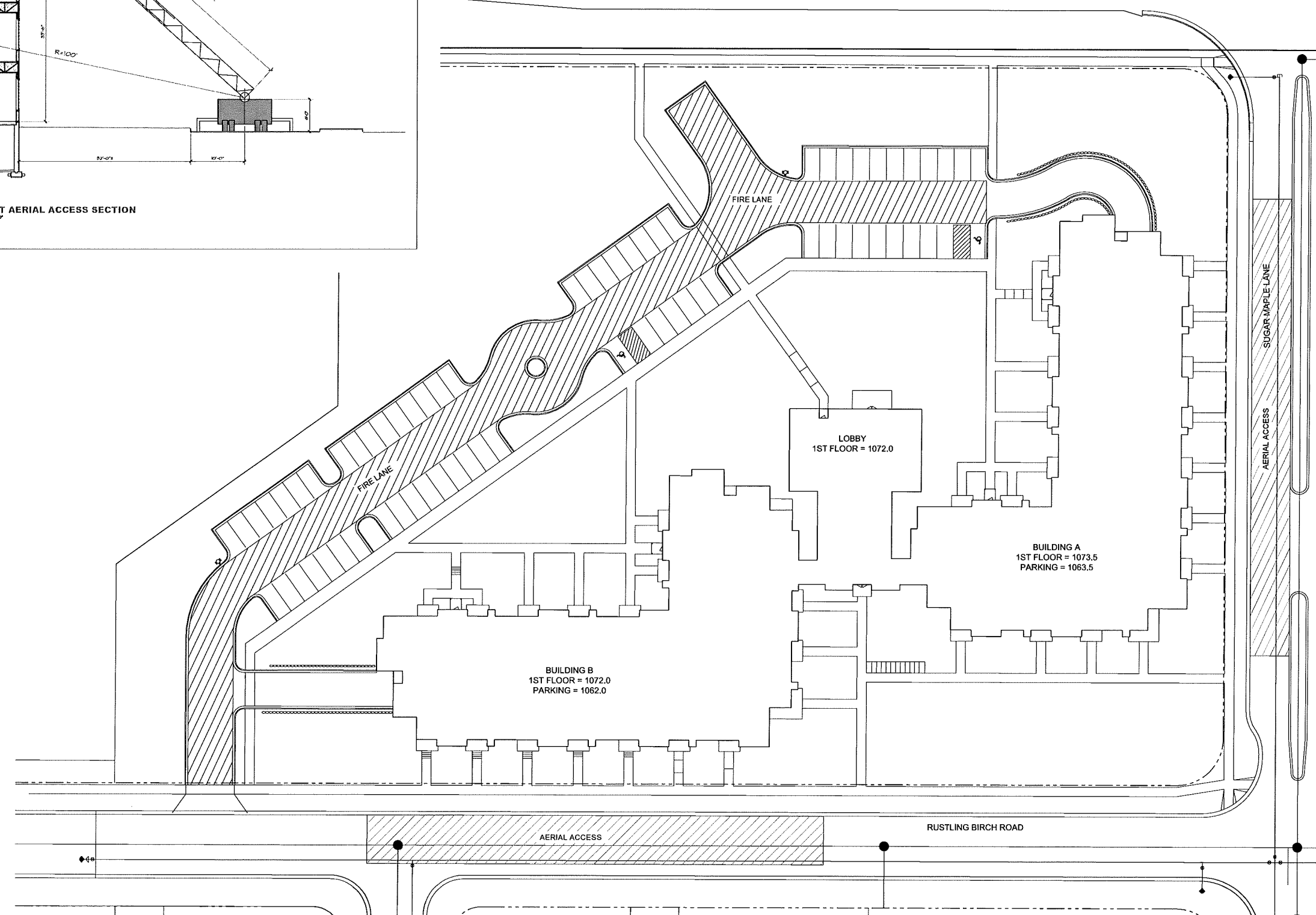
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Sheet Number:
C-104

LEGEND

- PROPERTY LINE
- ==== 18" CONCRETE CURB & GUTTER
- PROPOSED BUILDING
- PROPOSED RETAINING WALL



STREET AERIAL ACCESS SECTION
1/8" = 1'-0"



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GRAND ARBOR RESERVE

FIRE ACCESS PLAN

CITY OF MADISON, DANE COUNTY, WISCONSIN



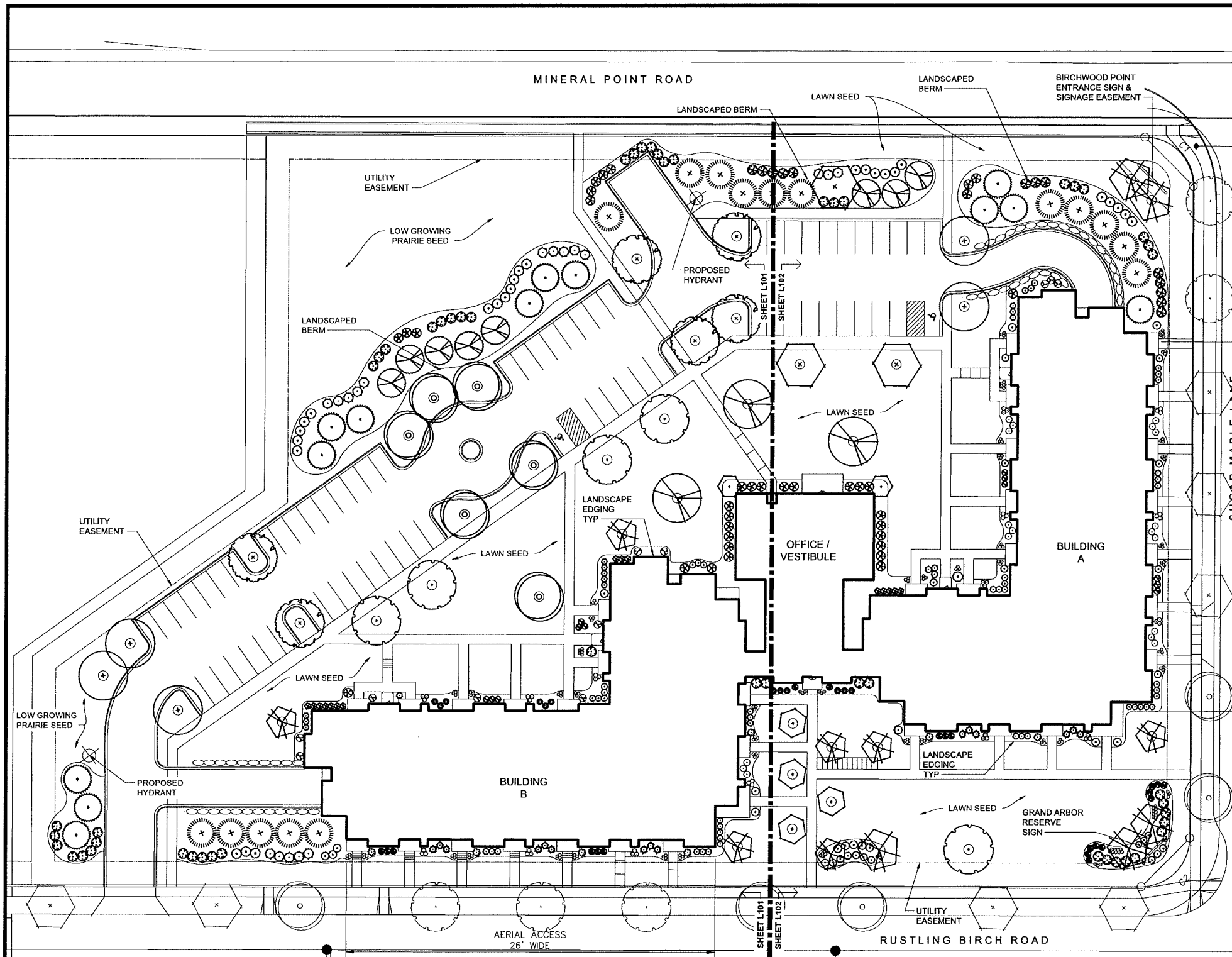
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C-105



LANDSCAPE REQUIREMENTS SUMMARY

DEVELOPED AREA REQUIREMENT:
 5 PTS PER 300 SQ FT OF DEVELOPED AREA
 DEVELOPED AREA = 31,890 SQ FT
 POINTS REQUIRED = 532 POINTS
 POINTS PROVIDED = 4,372 POINTS

STREET FRONTAGE REQUIREMENT:
 1 OVERSTORY TREE OR 2 EVERGREEN & 5 SHRUB PER 30 LF

MINERAL POINT ROAD FRONTAGE = 428 FT
 PLANTS REQUIRED = 14 OVERSTORY TREES OR
 28 EVERGREEN TREES
 72 SHRUBS
 PLANTS PROVIDED = 2 OVERSTORY TREES
 25 EVERGREEN TREES
 73 SHRUBS

SUGAR MAPLE LANE FRONTAGE = 58 FT
 PLANTS REQUIRED = 1 OVERSTORY TREES OR
 4 EVERGREEN TREES
 10 SHRUBS
 PLANTS PROVIDED = 1 OVERSTORY TREES
 4 EVERGREEN TREES
 11 SHRUBS

RUSTLING BIRCH ROAD FRONTAGE = 135 FT
 PLANTS REQUIRED = 5 OVERSTORY TREES OR
 10 EVERGREEN TREES
 23 SHRUBS
 PLANTS PROVIDED = 0 OVERSTORY TREES
 8 EVERGREEN TREES
 24 SHRUBS

PARKING LOT LANDSCAPING REQUIREMENT:
 REQUIRED LANDSCAPED AREA = 8% OF DEVELOPED LOT = 2,552 SQ FT
 AREA PROVIDED = 3,542 SQ FT

PLANT REQUIREMENT = 1 OT PER 160 SQ FT OF REQ'D AREA = 16 OT
PLANTS PROVIDED = 16 OT

PLANTING SCHEDULE

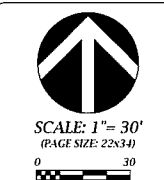
CODE	SCIENTIFIC NAME	COMMON NAME	QTY	PTS PER PLANT	SUB-TOTAL	SIZE	ROOT COND	NOTES
OVERSTORY DECIDUOUS TREES								
AFA	Acer x freemanii 'Autumn Fantasy'	Autumn Fantasy Maple	5	35	175	2.5'	B&B	
AFS	Acer x freemanii 'Sienna Glen'	Sienna Glen Maple	5	35	175	2.5'	B&B	
CO	Cornus occidentalis	Hackberry	6	35	210	2.5'	B&B	
GD	Gymnocladus dioica 'Espresso'	Espresso Kentucky Coffee Tree	3	35	105	2.5'	B&B	
NS	Nyssa sylvatica 'Wildfire'	Wildfire Black Gum	1	35	35	2.5'	B&B	
PCA	Pyrus calleryana 'Autumn Blaze'	Autumn Blaze Pear	5	35	175	2.5'	B&B	
QM	Quercus macrocarpa	Bur Oak	1	35	35	2.5'	B&B	
TA	Tilia americana 'Redmond'	Redmond Linden	3	35	105	2.5'	B&B	
UNH	Ulmus 'New Horizon'	New Horizon Elm	4	35	140	2.5'	B&B	
STREET TREES (BY CITY)								
AFC	Acer x freemanii 'Coltan'	Celebration Maple	5	-	-	2.5'	B&B	
GBP	Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Ginkgo	7	-	-	2.5'	B&B	
UNH	Ulmus 'New Horizon'	New Horizon Elm	5	-	-	2.5'	B&B	
TALL EVERGREEN TREE								
AC	Abies concolor	Concolor Fir	13	35	455	6' TALL	B&B	
PGD	Picea glauca v. densata	Black Hills Spruce	18	35	630	6' TALL	B&B	
PS	Pinus strobus	Eastern White Pine	8	35	280	6' TALL	B&B	
ORNAMENTAL TREE								
ABA	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	6	15	90	1.5'	B&B	
CC	Carygus caroliniana	Musclewood	7	15	105	1.5'	B&B	
UPRIGHT EVERGREEN SHRUB								
JSW	Juniperus scopulorum 'Welch'	Welch Juniper	7	10	70	4' TALL	B&B	
TMH	Taxus x media 'Hicksii'	Hick's Yew	8	10	80	4' TALL	B&B	
TOS	Thuja occidentalis 'Smaragd'	Pyramidal Arborvitae	11	10	110	4' TALL	B&B	
DECIDUOUS SHRUB								
CAH	Clethra alnifolia 'Hummingbird'	Hummingbird Clethra	12	3	36	24" TALL	POT	
COB	Copularthrus occidentalis	Burkbush	18	3	54	36" TALL	POT	
CSI	Cornus sericea 'Ivory Halo'	Ivory Halo Red Twig Dogwood	13	3	39	36" TALL	POT	
DL	Diervilla lonicera	Dwarf Bush Honeyuckle	16	3	48	24" TALL	POT	
FGM	Fothergilla 'M. Airy'	M. Airy Fothergilla	7	3	21	24" TALL	POT	
HK	Hypericum kalmianum 'Deppe'	Sunny Boulevard St. John's Wort	12	3	36	24" TALL	POT	
HWE	Hydrangea macrophylla 'Endless Summer'	Endless Summer Hydrangea	9	3	27	24" TALL	POT	
HV	Hammamelis virginiana	Witchhazel	11	3	33	36" TALL	POT	
POS	Physocarpus opulifolius 'Seward'	Summer Wine Ninebark	27	3	81	36" TALL	POT	
RA	Rhus aromatica 'Gro-Lo'	Grow Low Sumac	21	3	63	24" TALL	POT	
RT	Rhus typhina 'Baltzer'	Tiger Eyes Sumac	52	3	156	24" TALL	POT	
SM	Syringa 'Minuet'	Minuet Canada Hybrid Lilac	16	3	48	36" TALL	POT	
VDC	Viburnum dentatum 'Christom'	Blue Muffin Viburnum	23	3	69	36" TALL	POT	
WFR	Weigela florida 'Rumba'	Rumba Weigela	21	3	63	18" TALL	POT	
EVERGREEN SHRUB								
CPG	Chamaecyparis pisifera 'Golden Mop'	Gold Mop False Cypress	15	4	60	24" TALL	POT	
JSM	Juniperus sabinna 'Mona'	Calgary Carpet Juniper	10	4	40	3 GAL	POT	
RP	Rhododendron 'PJM'	PJM Rhododendron	13	4	52	24" TALL	POT	
TMT	Taxus x media 'Tauntoni'	Taunton Yew	12	4	48	24" TALL	POT	
TOR	Thuja occidentalis 'Rheingold'	Rheingold Arborvitae	18	4	72	24" TALL	POT	
ORNAMENTAL GRASSES								
CAK	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	50	2	100	1 GAL	POT	
DCN	Deschampsia cespitosa 'Northern Lights'	Northern Lights Turfed Hair Grass	18	2	36	1 GAL	POT	
EH	Elymus hystrix	Bottle Brush Grass	53	2	106	1 GAL	POT	
PVS	Panicum virgatum 'Shenandoah'	Shenandoah Switchgrass	15	2	30	1 GAL	POT	
SH	Sporobolus heterolepis	Prairie Dropseed	30	2	60	1 GAL	POT	
SS	Schizachyrium Scoparium 'Blaze'	Blaze Little Bluestem	12	2	24	1 GAL	POT	
HS	Helictotrichon sempervirens 'Saphispruder'	Blue Oat Grass	34	2	68	1 GAL	POT	
			TOTAL:		4372	POINTS		

SITE LANDSCAPE PLAN - GENERAL NOTES

- CONTACT DIGGER'S HOTLINE 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL THE PRIVATE UTILITIES PRIOR TO THE START OF WORK.
- ALL LANDSCAPE BEDS SHALL CONTAIN A 3" DEPTH OF SHREDDED HARDWOOD CONTAINED BY LANDSCAPE EDGING.
- LANDSCAPE EDGING SHALL BE 3/16" x 4" ALUMINUM EDGING.
- ALL TREES IN TURF AREAS SHALL HAVE A 5" DIAMETER CIRCLE OF 3" DEPTH SHREDDED HARDWOOD BARK MULCH CONTAINED BY LANDSCAPE EDGING.
- ALL GENERAL TURF AREAS SHALL BE FINISH GRADED, AND SODDED OR SEEDED PER THE PROJECT MANUAL.
- ALL GENERAL LANDSCAPE AREAS SHALL HAVE A MINIMUM 6" COMPACTED DEPTH OF TOPSOIL.
- ALL LANDSCAPING SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON ZONING ORDINANCE.

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OVERALL LANDSCAPE PLAN
GRAND ARBOR RESERVE
 CITY OF MADISON, DANE COUNTY, WISCONSIN



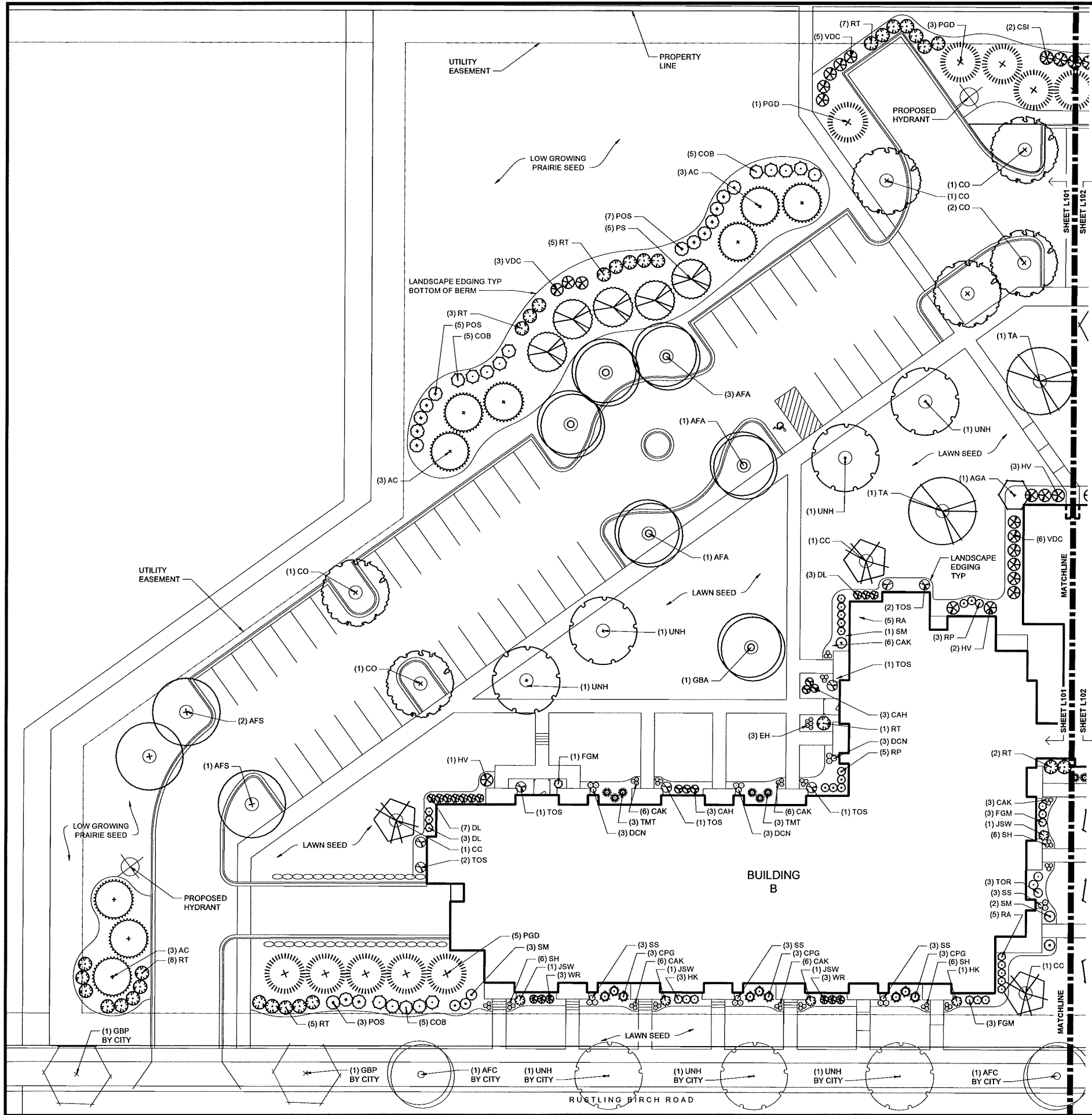
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SITE LANDSCAPE PLAN - GENERAL NOTES

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PLANTING SCHEDULE

CODE	SCIENTIFIC NAME	COMMON NAME	QTY	PTS PER PLANT	SUB-TOTAL	SIZE	ROOT COND	NOTES
OVERSTORY DECIDUOUS TREES								
AFA	Acer x freemanii 'Autumn Fantasy'	Autumn Fantasy Maple	5	35	175	2.5'	B&B	
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CO	Celtis occidentalis	Hackberry	6	35	210	2.5'	B&B	
GO	Gymnocladus dioica 'Espresso'	Espresso Kentucky Coffee Tree	3	35	105	2.5'	B&B	
NS	Nyssa sylvatica 'Wildfire'	Wildfire Black Gum	1	35	35	2.5'	B&B	
PCA	Pyrus calleryana 'Autumn Blaze'	Autumn Blaze Pear	5	35	175	2.5'	B&B	
QM	Quercus macrocarpa	Bur Oak	1	35	35	2.5'	B&B	
TA	Tilia americana 'Redmond'	Redmond Linden	3	35	105	2.5'	B&B	
UNH	Ulmus 'New Horizon'	New Horizon Elm	4	35	140	2.5'	B&B	
STREET TREES (BY CITY)								
AFC	Acer x freemanii 'Celtzam'	Celtzam Maple	5	-	-	2.5'	B&B	
GBP	Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Ginkgo	7	-	-	2.5'	B&B	
UNH	Ulmus 'New Horizon'	New Horizon Elm	5	-	-	2.5'	B&B	
TALL EVERGREEN TREE								
AC	Abies concolor	Concolor Fir	13	35	455	6' TALL	B&B	
PGD	Picea glauca v. densata	Black Hills Spruce	16	35	560	6' TALL	B&B	
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COB	Cophasia occidentalis	Butterbush	18	3	54	36" TALL	POT	
CSI	Cornus sericea 'Inoxy Halo'	Inoxy Halo Red Twig Dogwood	13	3	39	36" TALL	POT	
DL	Diervilla lonicera	Dwarf Bush Honeysuckle	15	3	45	24" TALL	POT	
FGM	Fothergilla 'Mt. Airy'	Mt. Airy Fothergilla	7	3	21	24" TALL	POT	
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GRAND ARBOR RESERVE

LANDSCAPE PLAN - WEST

CITY OF MADISON, DANE COUNTY, WISCONSIN



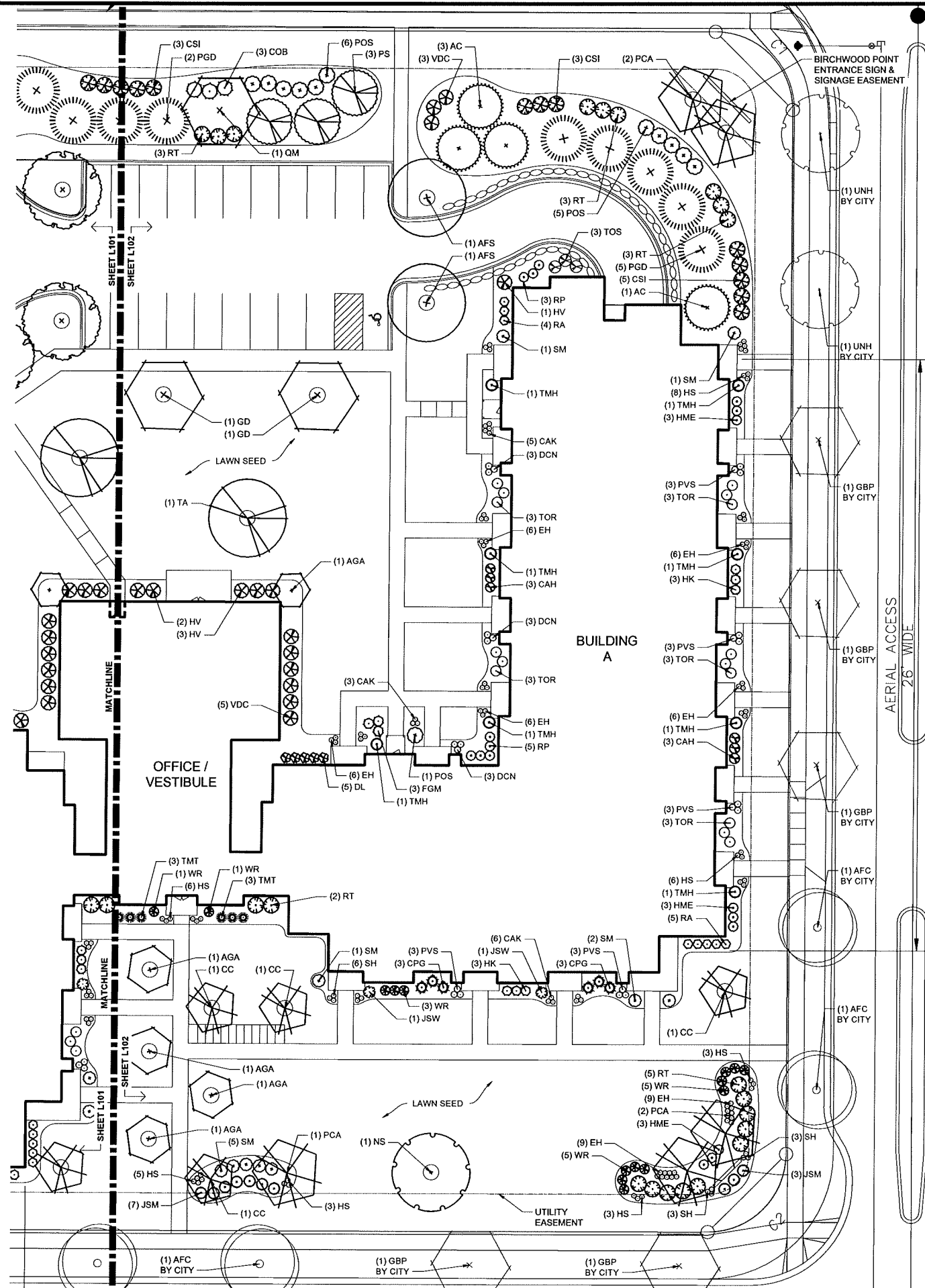
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SITE LANDSCAPE PLAN - GENERAL NOTES

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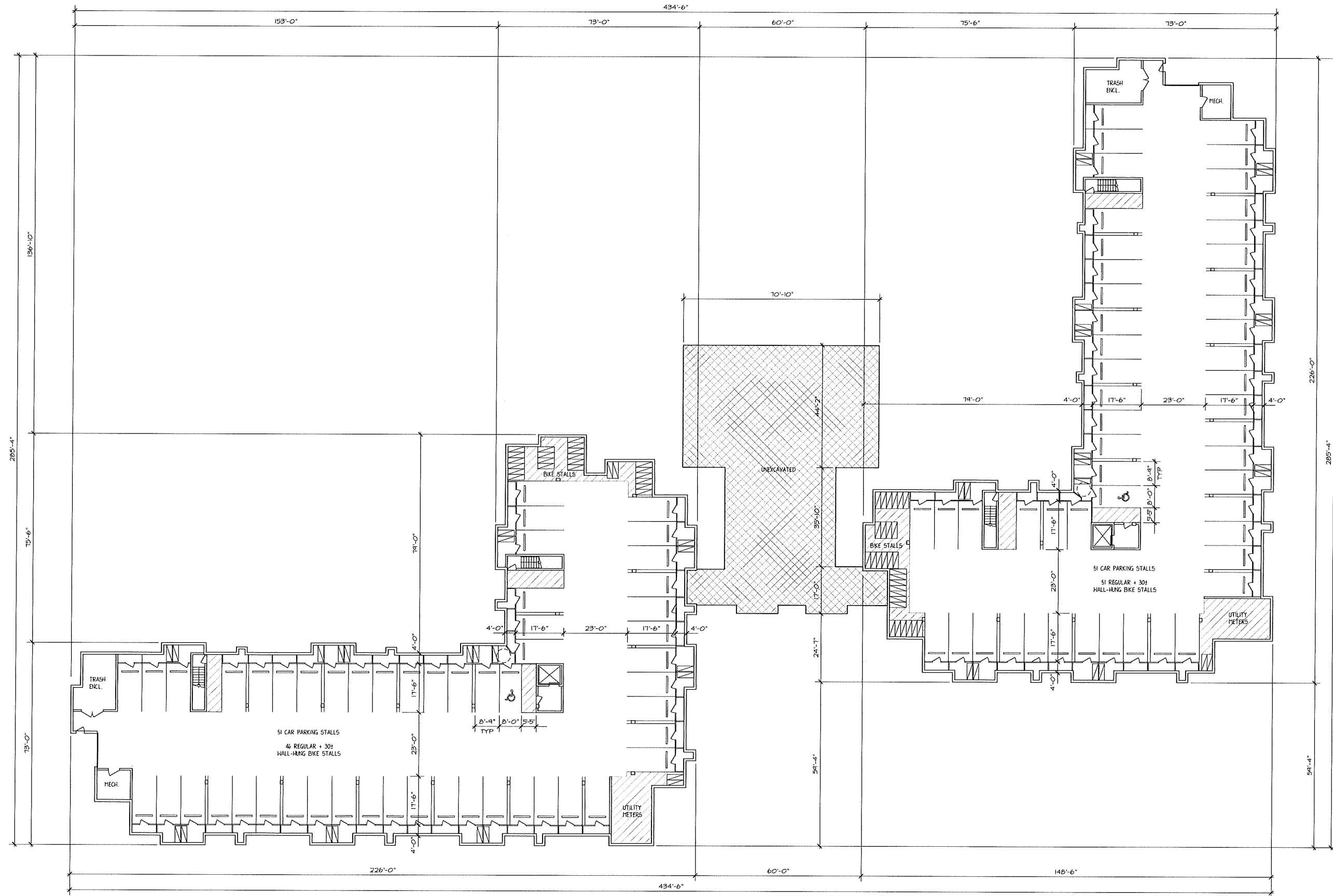
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DECIDUOUS SHRUB								
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DL	Dianella laevis	Dwarf Bush Honeysuckle	15	3	45	24" TALL	POT	
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HK	Hypericum kalmianum 'Deppe'	Sunny Boulevard St. John's Wort	12	3	36	24" TALL	POT	
HME	Hydrangea macrophylla 'Endless Summer'	Endless Summer Hydrangea	9	3	27	24" TALL	POT	
HV	Hammamelis virginiana	Witchhazel	11	3	33	36" TALL	POT	
POS	Physocarpus opulifolius 'Seward'	Summer Wine Ninebark	27	3	81	36" TALL	POT	
RA	Rhus aromatica 'Gro-It'	Gro-It Sumac	21	3	63	24" TALL	POT	
RT	Rhus typhina 'Bailiger'	Tiger Eyes Sumac	52	3	156	24" TALL	POT	
SM	Syringa 'Munet'	Munet Canada Hybrid Lilac	18	3	54	36" TALL	POT	
VDC	Viburnum dentatum 'Christom'	Blue Muffin Viburnum	23	3	69	36" TALL	POT	
WFR	Weigela florida 'Rumba'	Rumba Weigela	21	3	63	18" TALL	POT	
EVERGREEN SHRUB								
CPG	Chamaecyparis pisifera 'Golden Mop'	Gold Mop False Cypress	15	4	60	24" TALL	POT	
JSM	Juniperus sibirica 'Mun'	Caljary Carpet Juniper	10	4	40	3 GAL	POT	
RP	Rhododendron 'PJM'	PJM Rhododendron	13	4	52	24" TALL	POT	
TMT	Taxus x media 'Tauntoni'	Taunton Yew	12	4	48	24" TALL	POT	
TOR	Thuja occidentalis 'Rheingold'	Rheingold Arborvitae	18	4	72	24" TALL	POT	
ORNAMENTAL GRASSES								
CAK	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	50	2	100	1 GAL	POT	
DCN	Deschampsia cespitosa 'Northern Lights'	Northern Lights Tufted Hair Grass	18	2	36	1 GAL	POT	
EH	Elymus hystrix	Bottle Brush Grass	53	2	106	1 GAL	POT	
PVS	Panicum virgatum 'Shenandoah'	Shenandoah Switchgrass	15	2	30	1 GAL	POT	
SH	Sporobolus heterolepis	Prairie Dropseed	30	2	60	1 GAL	POT	
SS	Schizachyrium scoparium 'Blaze'	Blaze Little Bluestem	12	2	24	1 GAL	POT	
HS	Helictotrichon sempervirens 'Saphirpridel'	Blue Oat Grass	34	2	68	1 GAL	POT	
			TOTAL:		4372	POINTS		

D'ONOFRIO KOTTKE AND ASSOCIATES, INC.
 7530 Westward Way, Madison, WI 53717
 Phone: 608.833.7530 • Fax: 608.833.1089
 YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

LANDSCAPE PLAN - EAST
GRAND ARBOR RESERVE
 CITY OF MADISON, DANE COUNTY, WISCONSIN

SCALE: 1" = 20'
 (PAGE SIZE: 22x34)
 DATE: 08-04-14
 REVISED:
 DRAWN BY:
 FN: 14-05-124
 Sheet Number:
L-102



ULIAN KISSIOV
ARCHITECT
476 PRESIDENTIAL LN
MADISON, WI 53711
PHONE: 608-320-3151

PROJECT:
GRAND ARBOR RESERVE
10203 MINERAL POINT ROAD, MADISON, WI
CLIENT:
GRAND ARBOR RESERVE, LLC
6417 ODANA RD, MADISON, WI 53719

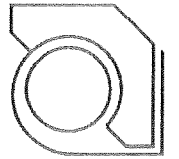
PROJECT: 2014-02
CAD FILE:
DRAWN BY: U.K.
DATE: 08/04/14

UNDERGROUND PARKING GARAGE

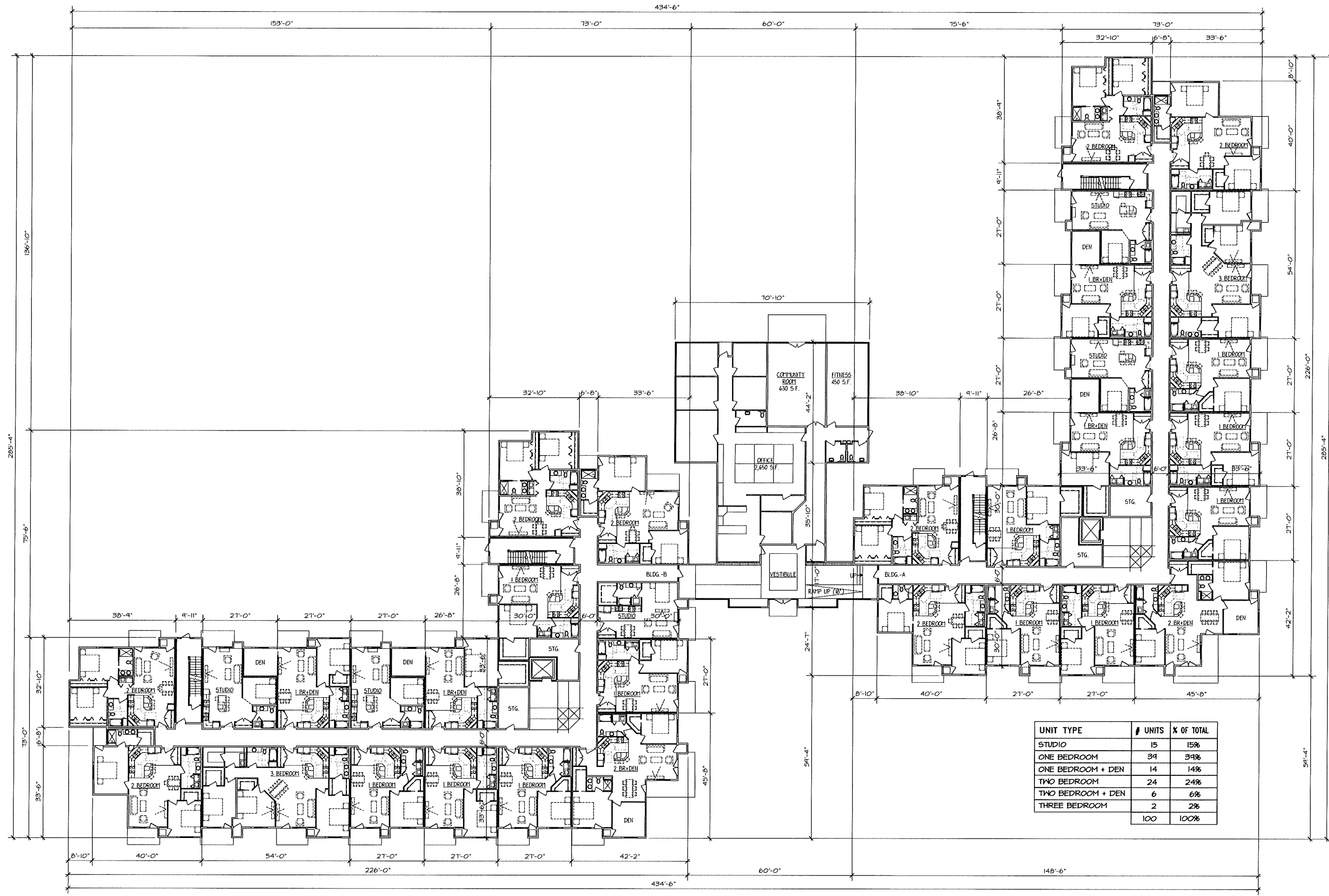
1/16" = 1'-0"



A-1



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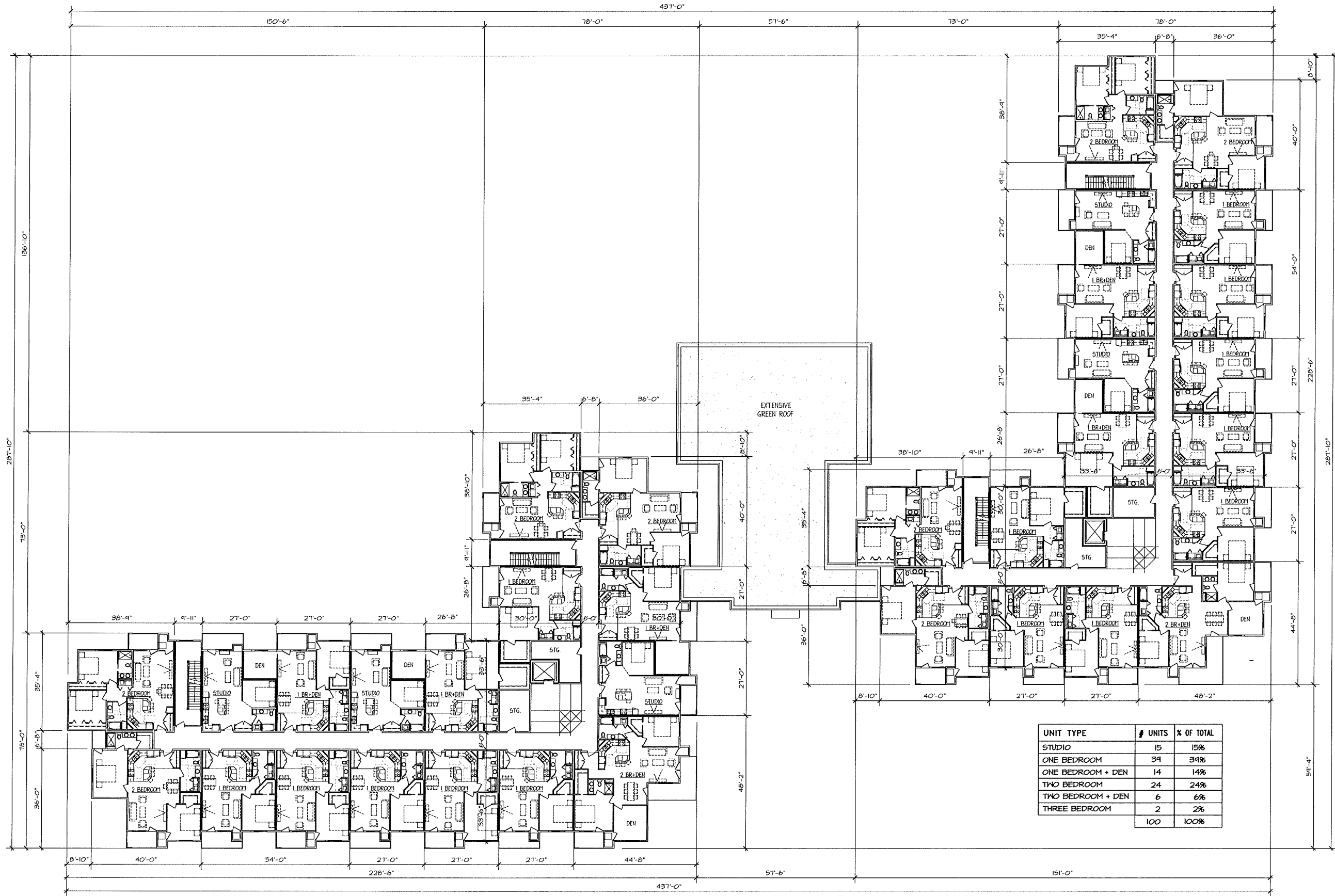
UNIT TYPE	# UNITS	% OF TOTAL
STUDIO	15	15%
ONE BEDROOM	39	39%
ONE BEDROOM + DEN	14	14%
TWO BEDROOM	24	24%
TWO BEDROOM + DEN	6	6%
THREE BEDROOM	2	2%
	100	100%

PROJECT:
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PROJECT: 2014-02
CAD FILE:
DRAWN BY: U.K.
DATE: 08/04/14

FIRST FLOOR
1/16" = 1'-0"





UNIT TYPE	# UNITS	% OF TOTAL
STUDIO	15	15%
ONE BEDROOM	39	39%
ONE BEDROOM + DEN	14	14%
TWO BEDROOM	24	24%
TWO BEDROOM + DEN	6	6%
THREE BEDROOM	2	2%
	100	100%

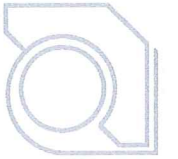
SECOND/THIRD FLOOR
1/16" = 1'-0"



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PHONE: 603-320-3151



OVERALL NORTH FAÇADE

1/16" = 1'-0" (SEE SHEET A-0 FOR EXTERIOR FINISHES)

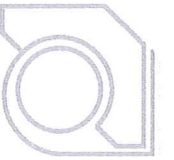


OVERALL SOUTH FAÇADE

1/16" = 1'-0" (SEE SHEET A-0 FOR EXTERIOR FINISHES)

PROJECT:
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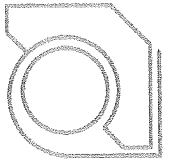
BUILDING A - NORTH FAÇADE
3/32" = 1'-0" (SEE SHEET A-0 FOR EXTERIOR FINISHES)



BUILDING A - EAST FAÇADE
3/32" = 1'-0" (SEE SHEET A-0 FOR EXTERIOR FINISHES)

PROJECT: GRAND ARBOR RESERVE
10203 MINERAL POINT ROAD, MADISON, WI
CLIENT: GRAND ARBOR RESERVE, LLC
6417 ODANA RD, MADISON, WI 53719

PROJECT: 2014-02
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RIDGE
 48'-0" A.F.F.
 (48' 10" A.F.F.)

+ 31'-5 1/4"
 TR. BRG.

+ 22'-4 1/8"
 3RD FLR.

+ 11'-2 1/4"
 2ND FLR.

+ 0'-0"
 1ST FLR.

BUILDING A - SOUTH FAÇADE

3/32" = 1'-0"

(SEE SHEET A-0 FOR EXTERIOR FINISHES)



RIDGE
 48'-0" A.F.F.
 (48' 10" A.F.F.)

+ 31'-5 1/4"
 TR. BRG.

+ 22'-4 1/8"
 3RD FLR.

+ 11'-2 1/4"
 2ND FLR.

+ 0'-0"
 1ST FLR.

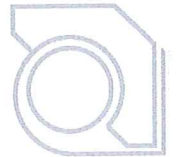
BUILDING A - WEST FAÇADE

3/32" = 1'-0"

(SEE SHEET A-0 FOR EXTERIOR FINISHES)

PROJECT:
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PROJECT: 2014-02
CAD FILE:
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DATE: 08/04/14



ULIAN KISSIOV
 ARCHITECT
 476 PRESIDENTIAL LN
 MADISON, WI 53711
 PHONE: 608-320-3151



BUILDING B - EAST FAÇADE
 3/32" = 1'-0" (SEE SHEET A-0 FOR EXTERIOR FINISHES)

- RIDGE
48'-0" A.F.F.
(48'-0" A.F.F.)
- + 31'-5 1/4"
TR. BRG.
- + 22'-4 1/8"
3RD FLR.
- + 11'-2 1/4"
2ND FLR.
- ± 0'-0"
1ST FLR.

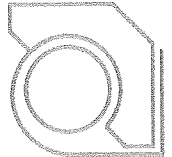


BUILDING B - SOUTH FAÇADE
 3/32" = 1'-0" (SEE SHEET A-0 FOR EXTERIOR FINISHES)

- RIDGE
48'-0" A.F.F.
(48'-0" A.F.F.)
- + 31'-5 1/4"
TR. BRG.
- + 22'-4 1/8"
3RD FLR.
- + 11'-2 1/4"
2ND FLR.
- ± 0'-0"
1ST FLR.

PROJECT:
GRAND ARBOR RESERVE
 10203 MINERAL POINT ROAD, MADISON, WI
CLIENT:
GRAND ARBOR RESERVE, LLC
 6417 ODANA RD, MADISON, WI 53719

PROJECT: 2014-02
CAD FILE:
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ULJAN KISSIOV
ARCHITECT
476 RESIDENTIAL LN
MADISON, VA 53711
PHONE 609-300-3151

RIDGE
48'-0" A.F.F.
(48'-0" A.F.F.)

+ 31'-5 1/4"
TR. BRG.

+ 22'-4 1/8"
3RD FLR.

+ 11'-2 1/4"
2ND FLR.

± 0'-0"
1ST FLR.



BUILDING B - WEST FAÇADE
3/32" = 1'-0" (SEE SHEET A-0 FOR EXTERIOR FINISHES)

RIDGE
48'-0" A.F.F.
(48'-0" A.F.F.)

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3RD FLR.

+ 11'-2 1/4"
2ND FLR.

± 0'-0"
1ST FLR.



BUILDING B - NORTH FAÇADE
3/32" = 1'-0" (SEE SHEET A-0 FOR EXTERIOR FINISHES)

PROJECT: GRAND ARBOR RESERVE
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CLIENT: GRAND ARBOR RESERVE, LLC
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