

# URBAN DESIGN COMMISSION APPLICATION

UDC

City of Madison  
Planning Division  
Madison Municipal Building, Suite 017  
215 Martin Luther King, Jr. Blvd.  
P.O. Box 2985  
Madison, WI 53701-2985  
(608) 266-4635



FOR OFFICE USE ONLY:

Date Received 10/7/24 11:41 a.m.

Paid ☐ Initial Submittal

☐ Revised Submittal

**Complete all sections of this application, including the desired meeting date and the action requested.** If your project requires both UDC and Land Use application submittals, a completed Land Use Application and accompanying submittal materials are also required to be submitted.

*If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the Planning Division at (608) 266-4635.*

*Si necesita interprete, traductor, materiales en diferentes formatos, u otro tipo de ayuda para acceder a estos formularios, por favor llame al (608) 266-4635.*

*Yog tias koj xav tau ib tug neeg txhais lus, tus neeg txhais ntawv, los sis xav tau cov ntaub ntawv ua lwm hom ntawv los sis lwm cov kev pab kom paub txog cov lus qhia no, thov hu rau Koog Npaj (Planning Division) (608) 266-4635.*

## 1. Project Information

Address (list all addresses on the project site): 3200 Block Marty Road (no address assigned), see attached metes & bounds description

Title: Midpoint Meadows Multifamily Project

## 2. Application Type (check all that apply) and Requested Date

UDC meeting date requested November 20, 2024

- ☐ New development      ☐ Alteration to an existing or previously-approved development  
☐ Informational      ☒ Initial Approval      ☒ Final Approval

## 3. Project Type

- ☐ Project in an Urban Design District  
☐ Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)  
☐ Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)  
☐ Planned Development (PD)  
    ☐ General Development Plan (GDP)  
    ☐ Specific Implementation Plan (SIP)  
☒ Planned Multi-Use Site or Residential Building Complex

### Signage

- ☐ Comprehensive Design Review (CDR)  
☐ Modifications of Height, Area, and Setback  
☐ Sign Exceptions as noted in Sec. 31.043(3), MGO

### Other

- ☐ Please specify \_\_\_\_\_

## 4. Applicant, Agent, and Property Owner Information

**Applicant name** Dan Brinkman  
**Street address** 708 River Place  
**Telephone** 608.226.3061

**Company** DSI Real Estate Group  
**City/State/Zip** Madison, WI 53716  
**Email** dbrinkman@dsirealestate.com

**Project contact person** Brian Munson  
**Street address** 120 East Lakeside Street  
**Telephone** 608.609.4410

**Company** Vandewalle & Associates  
**City/State/Zip** Madison, WI 53715  
**Email** bmunson@vandewalle.com

**Property owner (if not applicant)** Meadow Investors, LLC. c/o DSI Real Estate Group  
**Street address** 708 River Place      **City/State/Zip** Madison, WI 53716  
**Telephone** \_\_\_\_\_      **Email** \_\_\_\_\_



# URBAN DESIGN COMMISSION APPROVAL PROCESS



## Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

## Types of Approvals

There are three types of requests considered by the UDC:

- **Informational Presentation.** A request for an Informational Presentation to the UDC may be requested prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design efforts. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Modification requests)
- **Initial Approval.** Applicants may, at their discretion, request Initial Approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information that should be addressed at Final Approval stage.
- **Final Approval.** Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the Initial Approval must be addressed at this time.

## Presentations to the Commission

The Urban Design Commission meets virtually via Zoom, typically on the second and fourth Wednesdays of each month at 4:30 p.m. Applicant presentations are strongly encouraged, although not required. Prior to the meeting, each individual speaker is required to complete an online registration form to speak at the meeting. A link to complete the online registration will be provided by staff prior to the meeting. Please note that individual presentations will be limited to a **maximum of three (3) minutes**. The pooling of time may be utilized to provide one speaker more time to present, however the additional time will be based on the number of registrants from the applicant team, i.e. two (2) applicant registrants = six (6) minutes for one (1) speaker.

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics. Please note that presentation slides, in a PDF file format, are required to be submitted **the Friday before** the UDC meeting.



# URBAN DESIGN DEVELOPMENT PLANS CHECKLIST

UDC

The items listed below are minimum application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

## 1. Informational Presentation

- ☐ Locator Map
- ☐ Letter of Intent (If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- ☐ Contextual site information, including photographs and layout of adjacent buildings/structures
- ☐ Site Plan
- ☐ Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

### Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1"= 40' or larger

**\*\* All plans must be legible, including the full-sized landscape and lighting plans (if required)**

## 2. Initial Approval

- ☐ Locator Map
- ☐ Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- ☐ Contextual site information, including photographs and layout of adjacent buildings/structures
- ☐ Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- ☐ Landscape Plan and Plant List (*must be legible*)
- ☐ Building Elevations in both black & white and color for all building sides, including material and color callouts
- ☐ PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

## 3. Final Approval

All the requirements of the Initial Approval (see above), **plus:**

- ☐ Grading Plan
- ☐ Lighting Plan, including fixture cut sheets and photometrics plan (must be legible)
- ☐ Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- ☐ Site Plan showing site amenities, fencing, trash, bike parking, etc. (if applicable)
- ☐ PD text and Letter of Intent (if applicable)
- ☐ Samples of the exterior building materials
- ☐ Proposed sign areas and types (if applicable)

## 4. Signage Approval (*Comprehensive Design Review (CDR), Sign Modifications, and Sign Exceptions (per Sec. 31.043(3))*)

- ☐ Locator Map
- ☐ Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Modifications criteria is required)
- ☐ Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- ☐ Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- ☐ Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- ☐ Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- ☐ Illustration of the proposed signage that meets Ch. 31, MGO compared to what is being requested
- ☐ Graphic of the proposed signage as it relates to what the Ch. 31, MGO would permit



**5. Required Submittal Materials**☐ **Application Form**

- A completed application form is required for each UDC appearance. For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (Initial or Final Approval) from the UDC.

☐ **Letter of Intent**

- If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required.
- For signage applications, a summary of how the proposed signage is consistent with the applicable Comprehensive Design Review (CDR) or Signage Modification review criteria is required.

☐ **Development Plans** (Refer to checklist on Page 4 for plan details)☐ **Filing Fee** (Refer to Section 7 (below) for a list of application fees by request type)☐ **Electronic Submittal**

- Complete electronic submittals must be received prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. All plans must be legible and scalable when reduced. Individual PDF files of each item submitted should be submitted via email to [UDCapplications@cityofmadison.com](mailto:UDCapplications@cityofmadison.com). The email must include the project address, project name, and applicant name.
- Email Size Limits. Note that an individual email cannot exceed 20MB and it is the responsibility of the applicant to present files in a manner that can be accepted. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.

☐ **Notification to the District Alder**

- Please provide an email to the District Alder notifying them that you are filing this UDC application. Please send this as early in the process as possible and provide a copy of that email with the submitted application.

**6. Applicant Declarations**

- Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with DAT on 7/25/24.
- The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant Dan Brinkman Relationship to property Authorized Agent

Authorizing signature of property owner [Signature] Date 10/7/24

**7. Application Filing Fees**

Fee payments are due by the submittal date. Payments received after the submittal deadline may result in the submittal being scheduled for the next application review cycle. Fees may be paid in-person, via US Mail, or City drop box. If mailed, please mail to: City of Madison Building Inspection, P.O. Box 2984, Madison, WI 53701-2984. The City's drop box is located outside the Municipal Building at 215 Martin Luther King, Jr. Blvd. on the E Doty Street side of the building. Please make checks payable to City Treasurer, and include a completed application form or cover letter indicating the project location and applicant information with all checks mailed or submitted via the City's drop box.

Please consult the schedule below for the appropriate fee for your request:

- ☐ Urban Design Districts: \$350 (per §33.24(6) MGO).

- ☐ Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per §33.24(6)(b) MGO)

- ☐ Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO)

- ☐ Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO)

- ☐ All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for Sign Modifications (of height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex





# VANDEWALLE & ASSOCIATES INC.

October 7, 2024

Department of Planning & Development  
City of Madison  
215 Martin Luther King, Jr. Blvd.  
Madison, WI 53710-2985

RE: Mid Point Meadows Multi-Family  
Residential Building Complex (lot 218)  
3200 Block Marty Road (See legal description)

Attached please find a copy of the Veridian Homes Conditional Use Request to create a Residential Building Complex with outdoor recreation for Lot 218 of the Midpoint Meadows Neighborhood. This submittal continues Veridian's commitment to creating a wide range of housing options within the neighborhood while maintaining the overall character and quality of the development.

We look forward to working with the City on the review and implementation of this amendment.

Sincerely,

Brian Munson  
Principal



## **Applicant**

DSI Real Estate Group  
708 River Place  
Madison, Wisconsin 53716  
Phone: 608.226.3061

Dan Brinkman  
[dbrinkman@dsirealestate.com](mailto:dbrinkman@dsirealestate.com)

## **Property Owner**

Meadow Investors, LLC  
c/o DSI Real Estate Group  
708 River Place  
Madison, Wisconsin 53716

## **Design Team**

### *Architecture:*

Knothe Bruce Architects  
8401 Greenway Boulevard  
Suite 900  
Middleton, Wisconsin 53562  
Greg Held  
608.247.5765  
[gheld@knothebruce.com](mailto:gheld@knothebruce.com)

### *Planning:*

Vandewalle and Associates  
120 East Lakeside Street  
Madison, Wisconsin 53715  
Brian Munson  
608.255.3988  
[bmunson@vandewalle.com](mailto:bmunson@vandewalle.com)

### *Engineering:*

D'Onofrio Kottke  
7539 Westward Way  
Madison, WI 53717  
Dan Day  
608.833.7530  
[dday@donofrio.cc](mailto:dday@donofrio.cc)

## **Existing Conditions**

Acreage:	7.14 acres
Existing Zoning:	TR-P: Multi-Family (230-240 units)

## **Proposed Use**

Residential Building Complex	
Outdoor Recreation	
Multi-family Residential	228 Units



## Conditional Use Approval Standards

1. The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, or general welfare.  
  
The proposal follows the guidelines of the adopted zoning for the project and offers additional housing options for the overall neighborhood.
2. The City is able to provide municipal services to the property where the conditional use is proposed, given due consideration of the cost of providing those services.  
  
The project will be efficiently served by municipal services with limited impact on the cost of delivery.
3. The uses, values and enjoyment of other property in the neighborhood for purposes already established will not be substantially impaired or diminished in any foreseeable manner.  
  
The proposal follows the guidelines of the adopted zoning for the project and is being constructed in parallel with the adjoining housing.
4. The establishment of the conditional use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.  
  
The proposal fit into the development pattern of the adjoining sites and is consistent in character.
5. Adequate utilities, access roads, drainage, internal circulation improvements for pedestrians, bicyclists, public transit and vehicles, parking supply (in cases with minimum parking requirements) and other necessary site improvements have been or are being provided. (Am. by [ORD-23-00013](#), 1-25-23)  
  
The project is fully served by an interconnected network of utilities, roads, sidewalks and trails. Additional pedestrian connections are designed within the project to connect each of the buildings to the surrounding transportation network.
6. Measures, which may include transportation demand management (TDM) and participation in a transportation management association have been or will be taken to provide adequate ingress and egress, including all off-site improvements, so designed as to minimize traffic congestion and to ensure public safety and adequate traffic flow, both on-site and on the public streets.  
  
The vehicular access has been coordinated with the design of the overall block. A separate TDMP has been submitted with the project.
7. The conditional use conforms to all applicable regulations of the district in which it is located.  
  
The project conform to the underlying district standards.



8. When applying the above standards to an application by a community living arrangement, the Plan Commission shall:

Not applicable.

9. When applying the above standards to any new construction of a building or an addition to an existing building the Plan Commission shall find that the project creates an environment of sustained aesthetic desirability compatible with the existing or intended character of the area and the statement of purpose for the zoning district. In order to find that this standard is met, the Plan Commission may require the applicant to submit plans to the Urban Design Commission for comment and recommendation. (Am. by ORD-14-00030, 2-18-14)

The project has been submitted for review and approval by the Urban Design Commission.

10. When applying the above standards to an application for a reduction in off-street parking requirements, the Plan Commission shall consider and give decisive weight to all relevant facts, including but not limited to, the availability and accessibility of alternative parking; impact on adjacent residential neighborhoods; existing or potential shared parking arrangements; number of residential parking permits issued for the area; proximity to transit routes and/or bicycle paths and provision of bicycle racks; the proportion of the total parking required that is represented by the requested reduction; the proportion of the total parking required that is decreased by [Sec. 28.141](#). The characteristics of the use, including hours of operation and peak parking demand times design and maintenance of off-street parking that will be provided; and whether the proposed use is now or a small addition to an existing use.

Not applicable.

11. When applying the above standards to telecommunication facilities, the Plan Commission shall consider the review of the application by a professional engineer required by [Sec. 28.143](#).

Not applicable.

12. When applying the above standards to an application for height in excess of that allowed in the district, the Plan Commission shall consider recommendations in adopted plans; the impact on surrounding properties, including height, mass, orientation, shadows and view; architectural quality and amenities; the relationship of the proposed building(s) with adjoining streets, alleys, and public rights of ways; and the public interest in exceeding the district height limits.

Not applicable.

13. When applying the above standards to lakefront development under [Sec. 28.138](#), the Plan Commission shall consider the height and bulk of principal buildings on the five (5) developed lots or three hundred (300) feet on either side of the lot with the proposed development.

Not applicable.



14. When applying the above standards to an application for height in excess of that allowed by [Section 28.071\(2\)\(a\)](#) Downtown Height Map for a development located within the Additional Height Areas identified in [Section 28.071\(2\)\(b\)](#), the Plan Commission shall consider the recommendations in adopted plans, and no application for excess height shall be granted by the Plan Commission unless it finds that all of the following conditions are present:

Not applicable.

15. When applying the above standards to an application to redevelop a site that was occupied on January 1, 2013 by a building taller than the maximum building height allowed by [Section 28.071\(2\)\(a\)](#) Downtown Height Map, as provided by [Section 28.071\(2\)\(a\)1.](#), no application for excess height shall be granted by the Plan Commission unless it finds that all the following additional conditions are also present:

Not applicable.

16. When applying the above standards to an application for limited production and processing use, the Plan Commission shall consider the effect of such a use on the surrounding properties, including the effects of odors, noise, vibration, glare, hours of operation, and other potential side effects of a manufacturing process. (Cr. by ORD-15-00124, 11-11-15)

Not applicable.

17. When applying the above standards to an application for allowable projections into the capitol view height area, the Plan Commission shall only approve the projection if it determines the encroachment is the minimum necessary and does not significantly impact the long views of the State Capitol building. (Cr. by [ORD-19-00090](#), 12-12-19)

Not applicable.



## Exhibit A: Legal Descriptions

A parcel of land located in the NW1/4 of the NW1/4 and the NE1/4 of the NW1/4 of Section 2, T6N, R8E, City of Madison, Dane County, Wisconsin to-wit:

Beginning at the Northwest corner of said Section 2; thence N89°40'29"E, 37.02 feet along the North line of said NW1/4 to the Southwest corner of Section 35, T7N, R8E; thence N88°54'29"E, 1303.74 feet along the North line of said NW1/4; thence S01°05'30"E, 237.02 feet to the point of beginning; thence S65°22'23"E, 154.28 feet to a point of curve; thence Southeasterly along a curve to the right which has a radius of 437.50 feet and chord which bears S59°18'58"E, 92.33 feet; thence S53°15'33"E, 537.04 feet; thence S39°01'01"W, 186.68 feet; thence N67°48'12"W, 70.22 feet; thence N80°33'43"W, 70.22 feet; thence S03°03'31"W, 100.00 feet to a point of curve; thence Westerly along a curve to the left which has a radius of 216.00 feet and a chord which bears N89°01'17"W, 15.68 feet; thence S88°53'55"W, 447.66 feet to a point of curve; thence Northwesterly along a curve to the right which has a radius of 15.00 feet and a chord which bears N45°27'06"W, 21.45 feet; thence N00°11'53"E, 401.22 feet to a point of curve; thence Northerly along a curve to the right which has a radius of 460.00 feet and a chord which bears N10°11'16"E, 159.59 feet; thence N20°10'39"E, 64.35 feet to a point of curve; thence Northeasterly along a curve to the right which has a radius of 25.00 feet and a chord which bears N67°24'08"E, 36.70 feet to the point of beginning. Containing 311,319 square feet (7.147 acres).

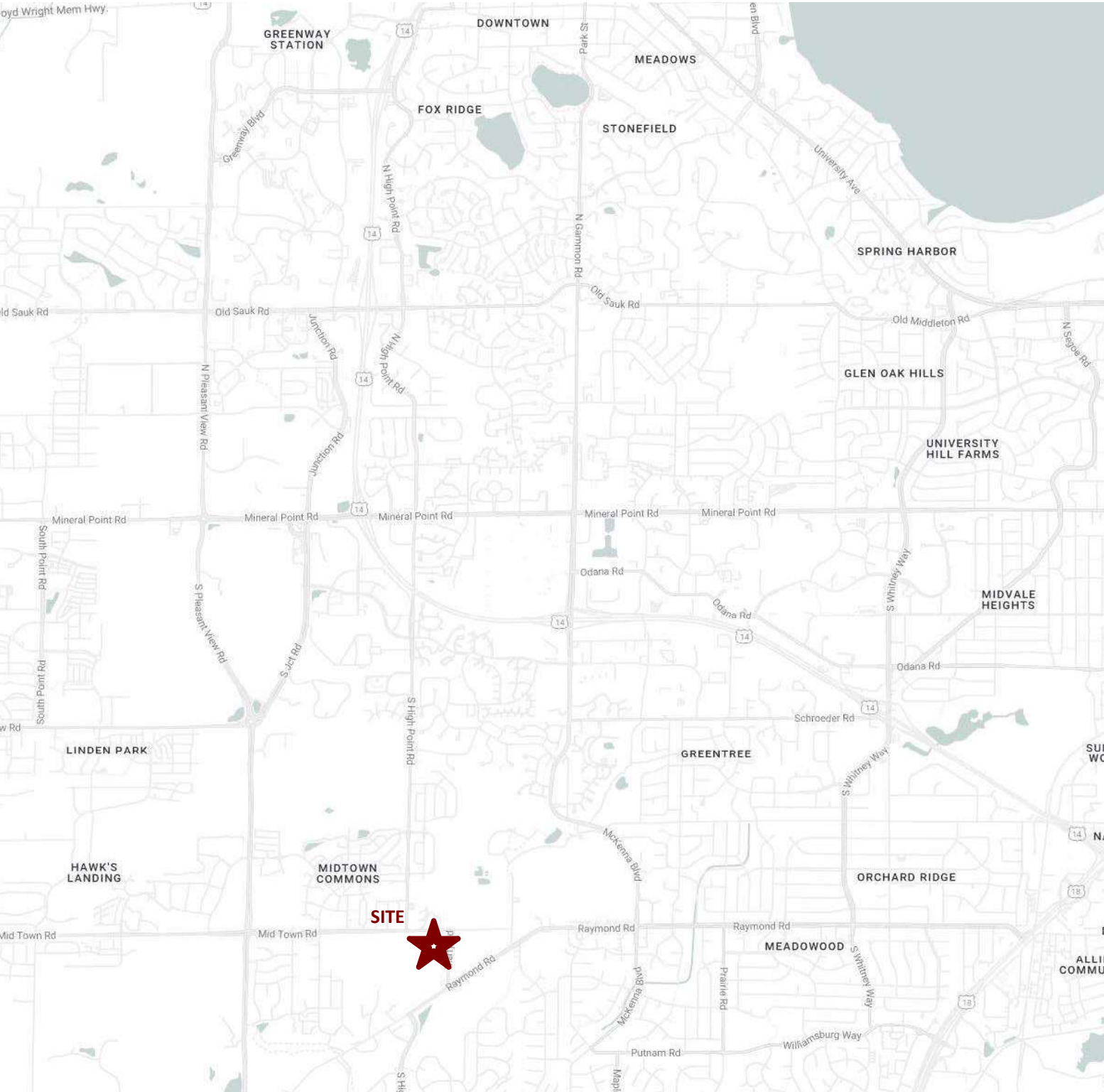




Midpoint Meadows

Multi-Family Development Lot 218

Six 2-3 Story Buildings, All with 1 Level Underground Parking & One Club House Building



SHEET INDEX

G 000	Cover Sheet
C001	Civil Notes
C100	Existing Conditions
C101	Demolition Plan
C102	Site Plan
C103	Grading Plan - North
C104	Grading Plan - South
C106	Erosion Control
C108	Utility Plan
C501	Construction Details
CA101	Architectural Site Plan
CA102	Site Lighting Plan
CA102a	Partial Site Lighting Plan
CA102b	Partial Site Lighting Plan
CA102c	Partial Site Lighting Plan
CA102d	Partial Site Lighting Plan
CA104	Lot Coverage
L100	Overall Landscape Plan
L101	Detail Landscape Plan
L102	Detail Landscape Plan
L103	Detail Landscape Plan
L104	Plant Schedule and Landscape Points

AC100-1	Building 1 - Basement Floor Plan
AC101-1	Building 1 - First Floor Plan
AC102-1	Building 1 - Second Floor Plan
AC103-1	Building 1 - Third Floor Plan
AC104-1	Building 1 - Roof Plan
AC201-1	Building 1 - Exterior Elevations
AC202-1	Building 1 - Exterior Elevations
AC203-1	Building 1 - Exterior Elevations Colored
AC204-1	Building 1 - Exterior Elevations Colored
AC100-2	Building 2 - Basement Floor Plan
AC101-2	Building 2 - First Floor Plan
AC102-2	Building 2 - Second Floor Plan
AC103-2	Building 2 - Third Floor Plan
AC104-2	Building 2 - Roof Plan
AC201-2	Building 2 - Exterior Elevations
AC202-2	Building 2 - Exterior Elevations
AC203-2	Building 2 - Exterior Elevations Colored
AC204-2	Building 2 - Exterior Elevations Colored

AC100-3	Building 3 - Basement Floor Plan
AC101-3	Building 3 - First Floor Plan
AC102-3	Building 3 - Second Floor Plan
AC103-3	Building 3 - Third Floor Plan
AC104-3	Building 3 - Roof Plan
AC201-3	Building 3 - Exterior Elevations
AC202-3	Building 3 - Exterior Elevations
AC203-3	Building 3 - Exterior Elevations Colored
AC204-3	Building 3 - Exterior Elevations Colored

AC100-5	Building 5 - Basement Floor Plan
AC101-5	Building 5 - First Floor Plan
AC102-5	Building 5 - Second Floor Plan
AC103-5	Building 5 - Third Floor Plan
AC104-5	Building 5 - Roof Plan
AC201-5	Building 5 - Exterior Elevations
AC202-5	Building 5 - Exterior Elevations
AC203-5	Building 5 - Exterior Elevations Colored
AC204-5	Building 5 - Exterior Elevations Colored

AC101-7	Clubhouse - First & Lower Floor
AC102-7	Clubhouse - Roof Plan
AC201-7	Clubhouse - Exterior Elevations
AC202-7	Clubhouse - Exterior Elevations Colored

AC900	Material Board
	Concept Images

AC100-4	Building 4 - Basement Floor Plan
AC101-4	Building 4 - First Floor Plan
AC102-4	Building 4 - Second Floor Plan
AC103-4	Building 4 - Third Floor Plan
AC104-4	Building 4 - Roof Plan
AC201-4	Building 4 - Exterior Elevations
AC202-4	Building 4 - Exterior Elevations
AC203-4	Building 4 - Exterior Elevations Colored
AC204-4	Building 4 - Exterior Elevations Colored

AC100-6	Building 6 - Basement Floor Plan
AC101-6	Building 6 - First Floor Plan
AC102-6	Building 6 - Second Floor Plan
AC103-6	Building 6 - Third Floor Plan
AC104-6	Building 6 - Roof Plan
AC201-6	Building 6 - Exterior Elevations
AC202-6	Building 6 - Exterior Elevations
AC203-6	Building 6 - Exterior Elevations Colored
AC204-6	Building 6 - Exterior Elevations Colored

PROJECT NUMBER 2411

ISSUED

LUA/UDC SUBMITTAL - 2024.10.07

SHEET NUMBER

G 000

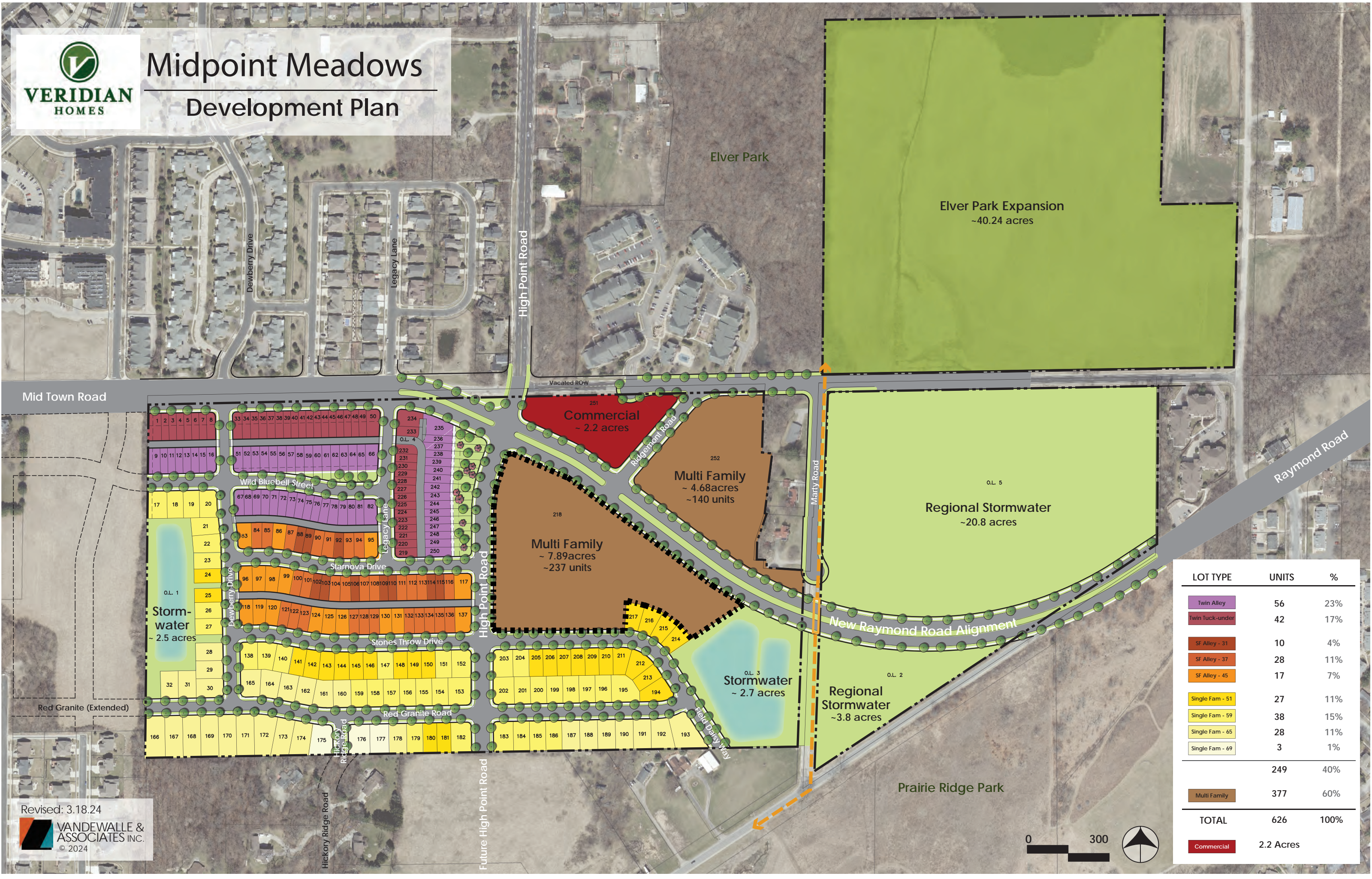






# Midpoint Meadows

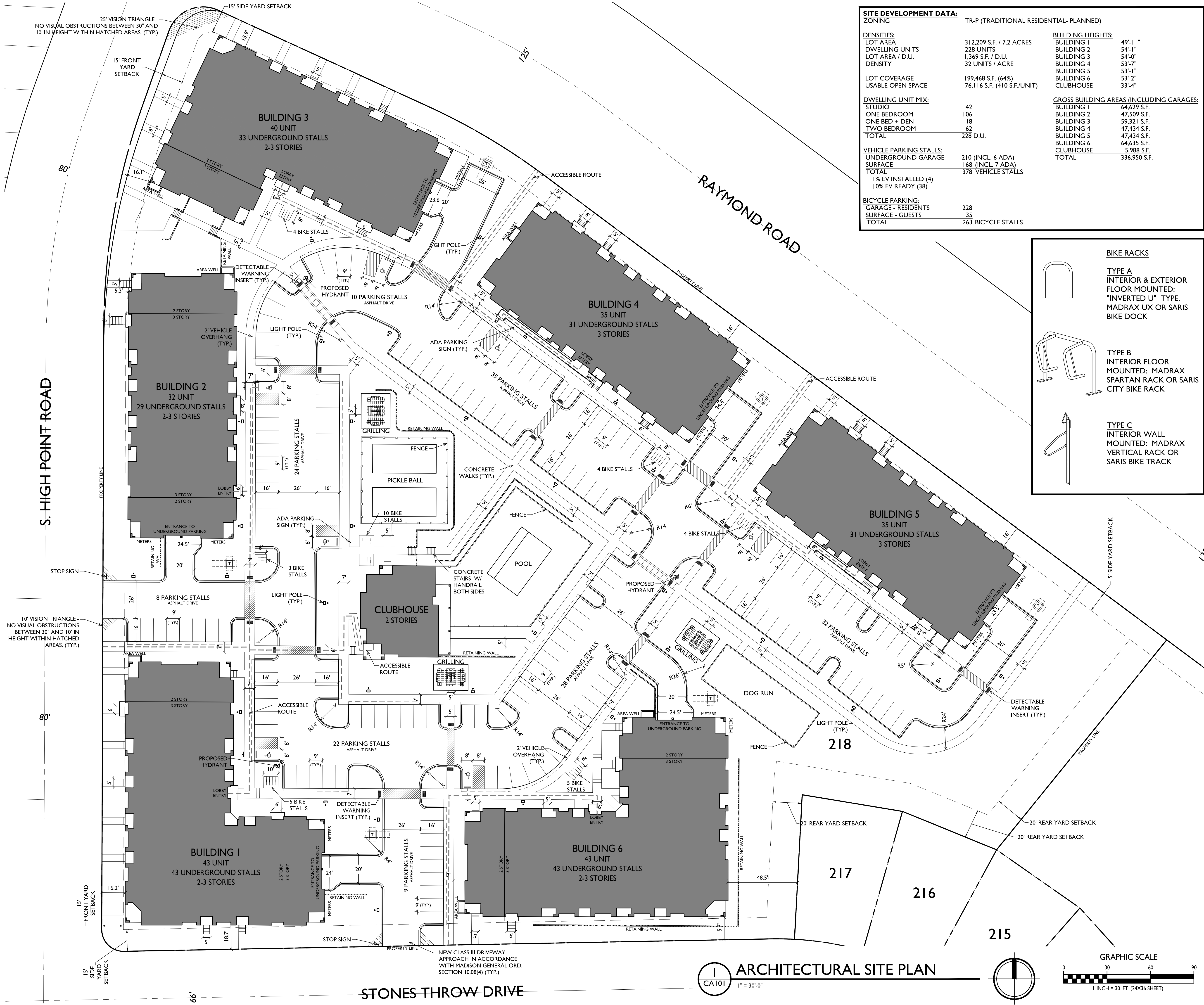
## Development Plan



LOT TYPE	UNITS	%
Twin Alley	56	23%
Twin Tuck-under	42	17%
SF Alley - 31	10	4%
SF Alley - 37	28	11%
SF Alley - 45	17	7%
Single Fam - 51	27	11%
Single Fam - 59	38	15%
Single Fam - 65	28	11%
Single Fam - 69	3	1%
	249	40%
Multi Family	377	60%
TOTAL	626	100%
Commercial	2.2 Acres	







SITE DEVELOPMENT DATA:			
ZONING		TR-P (TRADITIONAL RESIDENTIAL- PLANNED)	
DENSITIES:			
LOT AREA	312,209 S.F. / 7.2 ACRES	BUILDING HEIGHTS:	
DWELLING UNITS	228 UNITS	BUILDING 1	49'-11"
LOT AREA / D.U.	1,369 S.F. / D.U.	BUILDING 2	54'-1"
DENSITY	32 UNITS / ACRE	BUILDING 3	54'-0"
		BUILDING 4	53'-7"
		BUILDING 5	53'-1"
		BUILDING 6	53'-2"
		CLUBHOUSE	33'-4"
LOT COVERAGE	199,468 S.F. (64%)		
USABLE OPEN SPACE	76,116 S.F. (410 S.F./UNIT)	GROSS BUILDING AREAS (INCLUDING GARAGES):	
		BUILDING 1	64,629 S.F.
DWELLING UNIT MIX:		BUILDING 2	47,509 S.F.
STUDIO	42	BUILDING 3	59,321 S.F.
ONE BEDROOM	106	BUILDING 4	47,434 S.F.
ONE BED + DEN	18	BUILDING 5	47,434 S.F.
TWO BEDROOM	62	BUILDING 6	64,635 S.F.
TOTAL	228 D.U.	CLUBHOUSE	5,988 S.F.
		TOTAL	336,950 S.F.
VEHICLE PARKING STALLS:			
UNDERGROUND GARAGE	210 (INCL. 6 ADA)		
SURFACE	168 (INCL. 7 ADA)		
TOTAL	378 VEHICLE STALLS		
1% EV INSTALLED (4)			
10% EV READY (38)			
BICYCLE PARKING:			
GARAGE - RESIDENTS	228		
SURFACE - GUESTS	35		
TOTAL	263 BICYCLE STALLS		

BIKE RACKS

TYPE A  
INTERIOR & EXTERIOR  
FLOOR MOUNTED:  
"INVERTED U" TYPE.  
MADRAX UX OR SARIS  
BIKE DOCK

TYPE B  
INTERIOR FLOOR  
MOUNTED: MADRAX  
SPARTAN RACK OR SARIS  
CITY BIKE RACK

TYPE C  
INTERIOR WALL  
MOUNTED: MADRAX  
VERTICAL RACK OR  
SARIS BIKE TRACK

- GENERAL NOTES:
1.

THE APPLICANT SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER THAT ABUTS THE PROPERTY THAT IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
2.

ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
3.

ALL DAMAGE TO THE PAVEMENT ON CITY STREETS, AND ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA.
4.

ALL PROPOSED STREET TREE REMOVALS WITHIN THE RIGHT OF WAY SHALL BE REVIEWED BY CITY FORESTRY BEFORE THE PLAN COMMISSION MEETING. STREET TREE REMOVALS REQUIRE APPROVAL AND A TREE REMOVAL PERMIT ISSUED BY CITY FORESTRY. ANY STREET TREE REMOVALS REQUESTED AFTER THE DEVELOPMENT PLAN IS APPROVED BY THE PLAN COMMISSION OR THE BOARD OF PUBLIC WORKS AND CITY FORESTRY WILL REQUIRE A MINIMUM OF A 72-HOUR REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE ALDERPERSON WITHIN WHO'S DISTRICT IS AFFECTED BY THE STREET TREE REMOVAL(S) PRIOR TO A TREE REMOVAL PERMIT BEING ISSUED.
5.

AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION: NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY (266-4816) PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: [CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM](http://CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM)
6.

CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREE(S). THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT 266-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.
7.

SECTION 107.13(G) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (WEBSITE: [CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM](http://CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM)) ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SPOILS OR DUMPING OF POISONOUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN FIVE (5) FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.
8.

ON THIS PROJECT, STREET TREE PROTECTION ZONE FENCING IS REQUIRED. THE FENCING SHALL BE ERECTED BEFORE THE DEMOLITION, GRADING OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF TERRACE AND, EXTEND AT LEAST 5 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE.
9.

STREET TREE PRUNING SHALL BE COORDINATED WITH MADISON FORESTRY AT A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION FOR THIS PROJECT. ALL PRUNING SHALL FOLLOW THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 - PART 1 STANDARDS FOR PRUNING.
10.

AT LEAST ONE WEEK PRIOR TO STREET TREE PLANTING, CONTRACTOR SHALL CONTACT CITY FORESTRY AT (608) 266-4816 TO SCHEDULE INSPECTION AND APPROVAL OF NURSERY TREE STOCK AND REVIEW PLANTING SPECIFICATIONS WITH THE LANDSCAPER.
11.

APPROVAL OF PLANS FOR THIS PROJECT DOES NOT INCLUDE ANY APPROVAL TO PRUNE, REMOVE, OR PLANT TREES IN THE PUBLIC RIGHT-OF-WAY. PERMISSION FOR SUCH ACTIVITIES MUST BE OBTAINED FROM THE CITY FORESTER (266-4816).
12.

THE PUBLIC RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME. NO ITEMS SHOWN ON THIS SITE PLAN IN THE RIGHT-OF-WAY ARE PERMANENT AND MAY NEED TO BE REMOVED AT THE APPLICANT'S EXPENSE UPON NOTIFICATION BY THE CITY.

knothe + bruce  
ARCHITECTS

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Middleton, WI 53562

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UDC / LUA SUBMITTAL 2024.10.07

PROJECT TITLE

MIDPOINT  
MEADOWS

Multi-Family  
Development Lot 218

SHEET TITLE

Architectural  
Site Plan

SHEET NUMBER

CA101

PROJECT NO. 2411










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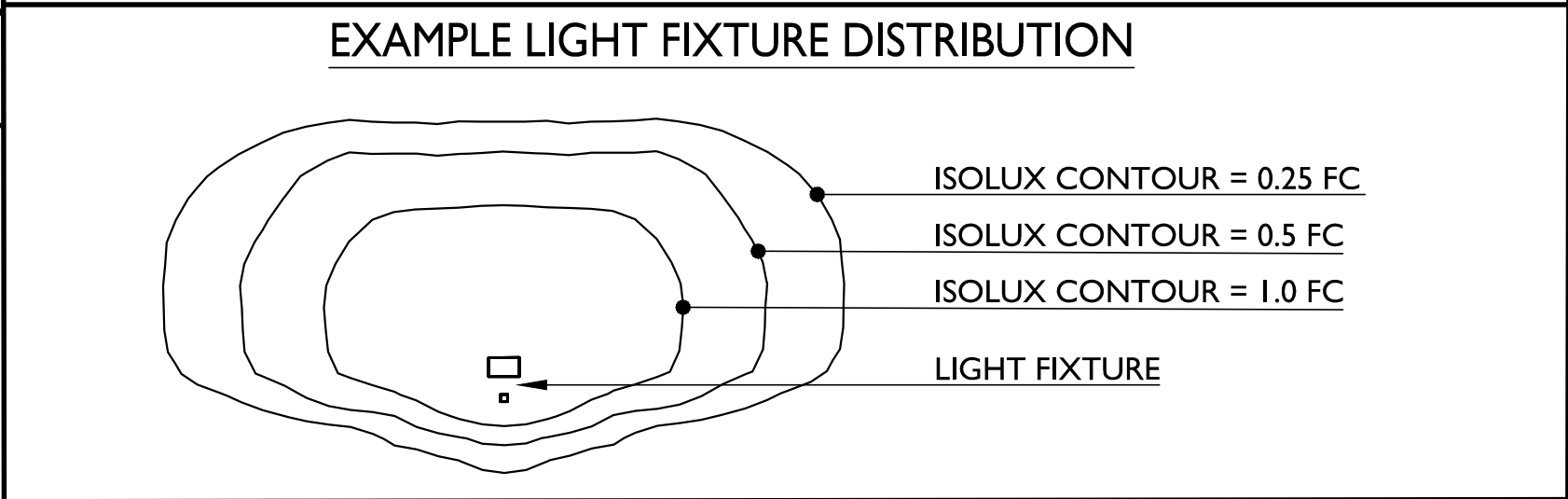
S. HIGH POINT ROAD

RAYMOND ROAD

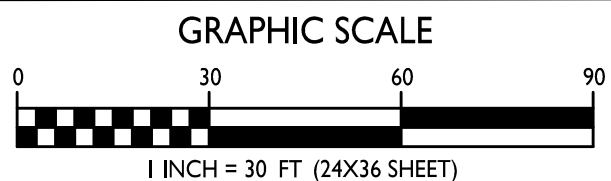
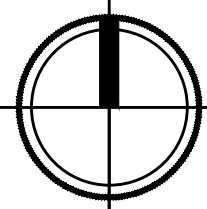
STONES THROW DRIVE

LUMINAIRE SCHEDULE						
SYMBOL	LABEL	QTY.	MANUF.	CATALOG	DESCRIPTION	FILE
	A	6	LITHONIA LIGHTING	WDGE2 LED P0 30K 70CRI T2M	WDGE2 LED W/ P0 PACKAGE, 3000K, 70CRI, TYPE 2 MEDIUM OPTIC	WDGE2_LED_P0_30K_70CRI_T2M.ies
	B	79	VISA LIGHTING	OWI045	WALL SCONCE - HALF CYLINDER 16"	OWI045-L35K-LOW.ies
	C-1	18	LITHONIA LIGHTING	DSX0 LED PI 30K T5W MVOLT HS	DSX0 LED PI 30K T5W MVOLT W/ HOUSE SHIELD	DSX0_LED_PI_30K_T5W_MVOLT_HS.ies
	C-2	15	LITHONIA LIGHTING	DSX0 LED PI 30K T5W MVOLT HS	DSX0 LED PI 30K T5W MVOLT W/ HOUSE SHIELD	DSX0_LED_PI_30K_T5W_MVOLT_HS.ies
	D	17	LITHONIA LIGHTING	WF3 LED 30K	3" MATTE WHITE LED ULTRA-THIN WAFER DOWNLIGHT, 3000K	WF3_LED_30K.ies
	E-1	6	LITHONIA LIGHTING	OLCS 8 DDB	OUTDOOR SCONCE W/ DR3 FROSTED LENS; BROWN	OLCS_8_DDB.ies
	E-2	6	LITHONIA LIGHTING	OLCS 8 DDB	OUTDOOR SCONCE W/ DR3 FROSTED LENS; BROWN	OLCS_8_DDB.ies
	F	2	LITHONIA LIGHTING	RAD B LED PI 30K ASY DNAXD	RADB LED PI 30K ASY DNAXD - BOLLARD	RADB_LED_PI_30K_ASY_DNAXD.ies
	G	1	LITHONIA LIGHTING	DSX0 LED PI 30K 70CRI BLC4	D-SERIES SIZE 0 PI PACKAGE, 3000K, CCT, 70 CRI, TYPE 4	DSX0_LED_PI_30K_70CRI_BLC4.ies

LIGHT LEVEL STATISTICS						
DESCRIPTION	SYMBOL	AVG.	MAX.	MIN.	MAX. / MIN.	AVG. / MIN.
Buildings 1 & 6 - Parking and Drive Aisle	+	0.7 fc	1.7 fc	0.2 fc	8.5:1	3.5:1
Buildings 2 & 3 - Parking and Drive Aisle	+	0.8 fc	1.7 fc	0.2 fc	8.5:1	4.0:1
Buildings 4 & 5 - Parking and Drive Aisle	+	0.9 fc	1.8 fc	0.2 fc	9.0:1	4.5:1
Community Area - Pavilion	+	0.7 fc	1.6 fc	0.3 fc	5.3:1	2.3:1
Community Area - Pickleball Court	+	0.9 fc	2.6 fc	0.2 fc	13.0:1	4.5:1
Community Area - Clubhouse Entrances	+	0.5 fc	1.0 fc	0.2 fc	5.0:1	2.5:1



SITE LIGHTING PLAN  
CA102  
1" = 30'-0"



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UDC / LUA SUBMITTAL 2024.10.07

PROJECT TITLE  
MIDPOINT  
MEADOWS

Multi-Family  
Development Lot 218  
SHEET TITLE  
Site Lighting Plan

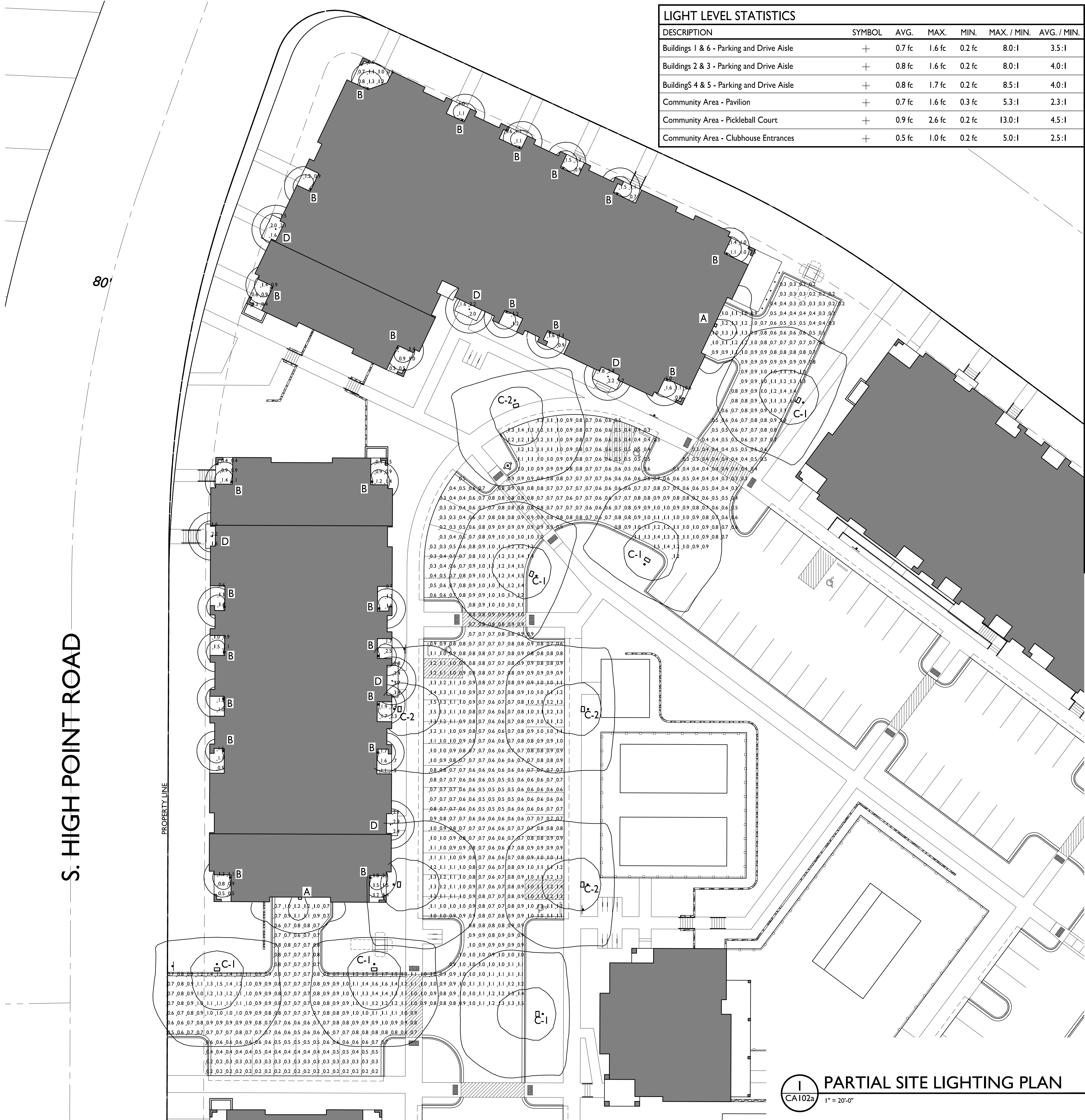
SHEET NUMBER

CA102

PROJECT NO. 2411

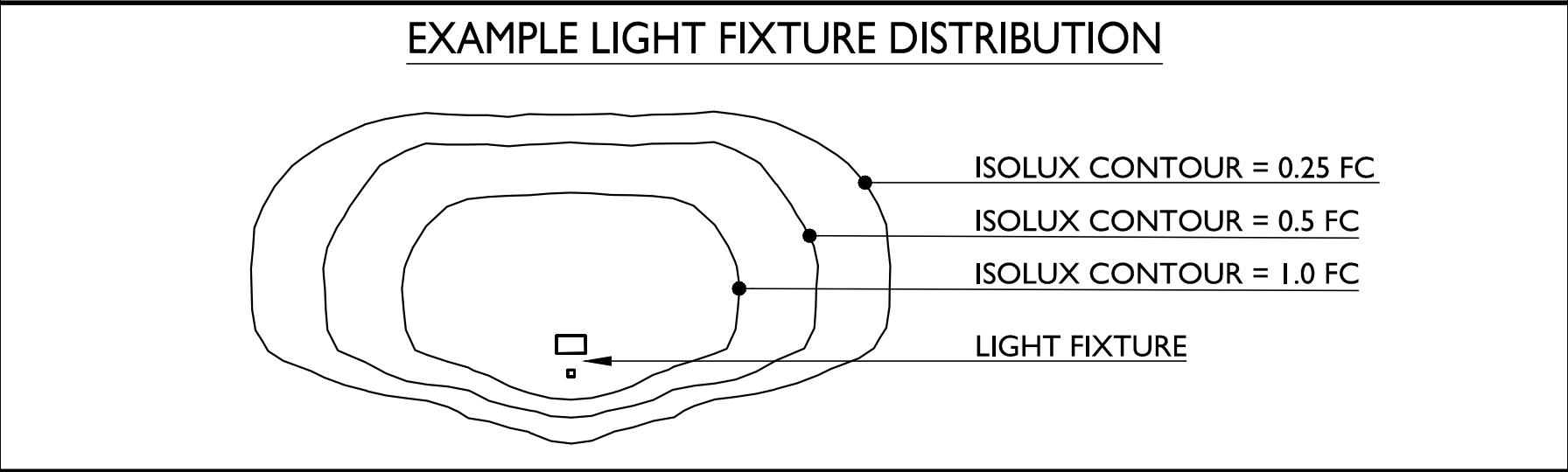
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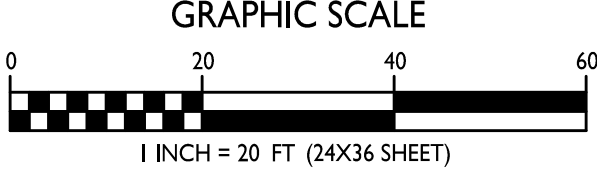
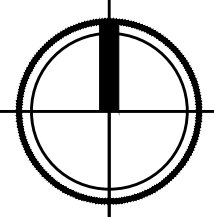
LIGHT LEVEL STATISTICS						
DESCRIPTION	SYMBOL	AVG.	MAX.	MIN.	MAX. / MIN.	AVG. / MIN.
Buildings 1 & 6 - Parking and Drive Aisle	+	0.7 fc	1.6 fc	0.2 fc	8.0:1	3.5:1
Buildings 2 & 3 - Parking and Drive Aisle	+	0.8 fc	1.6 fc	0.2 fc	8.0:1	4.0:1
Buildings 4 & 5 - Parking and Drive Aisle	+	0.8 fc	1.7 fc	0.2 fc	8.5:1	4.0:1
Community Area - Pavilion	+	0.7 fc	1.6 fc	0.3 fc	5.3:1	2.3:1
Community Area - Pickleball Court	+	0.9 fc	2.6 fc	0.2 fc	13.0:1	4.5:1
Community Area - Clubhouse Entrances	+	0.5 fc	1.0 fc	0.2 fc	5.0:1	2.5:1

LUMINAIRE SCHEDULE							
SYMBOL	LABEL	QTY.	MANUF.	CATALOG	DESCRIPTION	FILE	MOUNTING
	A	6	LITHONIA LIGHTING	WDGE2 LED P0 30K 70CRI T2M	WDGE2 LED W/ P0 PACKAGE, 3000K, 70CRI, TYPE 2 MEDIUM OPTIC	WDGE2_LED_P0_30K_70CRI_T2M.ies	9'-6" ABOVE GRADE ON BUILDING
	B	79	VISA LIGHTING	OW1045	WALL SCONCE - HALF CYLINDER 16"	OW1045-L35K-LOW.ies	6'-0" ABOVE GRADE ON BUILDING
	C-1	18	LITHONIA LIGHTING	DSX0 LED PI 30K T5W MVOLT HS	DSX0 LED PI 30K T5W MVOLT W/ HOUSE SHIELD	DSX0_LED_PI_30K_T5W_MVOLT_HS.ies	14'-0" POLE ON 2'-0" CONC. BASE
	C-2	15	LITHONIA LIGHTING	DSX0 LED PI 30K T5W MVOLT HS	DSX0 LED PI 30K T5W MVOLT W/ HOUSE SHIELD	DSX0_LED_PI_30K_T5W_MVOLT_HS.ies	16'-0" POLE ON FLUSH CONC. BASE
	D	17	LITHONIA LIGHTING	WF3 LED 30K	3" MATTE WHITE LED ULTRA-THIN WAFER DOWNLIGHT, 3000K	WF3_LED_30K.ies	10'-0" ABOVE GRADE ON BUILDING
	E-1	6	LITHONIA LIGHTING	OLCS 8 DDB	OUTDOOR SCONCE W/ DR3 FROSTED LENS; BROWN	OLCS_8_DDB.ies	6'-0" ABOVE GRADE ON BUILDING
	E-2	6	LITHONIA LIGHTING	OLCS 8 DDB	OUTDOOR SCONCE W/ DR3 FROSTED LENS; BROWN	OLCS_8_DDB.ies	10'-0" ABOVE GRADE ON BUILDING
	F	2	LITHONIA LIGHTING	RAD B LED PI 30K ASY DNAXD	RADB LED PI 30K ASY DNAXD - BOLLARD	RADB_LED_PI_30K_ASY_DNAXD.ies	3'-0" BOLLARD
	G	1	LITHONIA LIGHTING	DSX0 LED PI 30K 70CRI BLC4	D-SERIES SIZE 0 PI PACKAGE, 3000K, CCT, 70 CRI, TYPE 4	DSX0_LED_PI_30K_70CRI_BLC4.ies	14'-0" POLE ON FLUSH CONC. BASE



S. HIGH POINT ROAD

1 PARTIAL SITE LIGHTING PLAN  
1" = 20'-0"



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ARCHITECTS

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ISSUED  
UDC / LUA SUBMITTAL 2024.10.07

PROJECT TITLE  
MIDPOINT  
MEADOWS

Multi-Family  
Development Lot 218  
SHEET TITLE  
Partial Site  
Lighting Plan

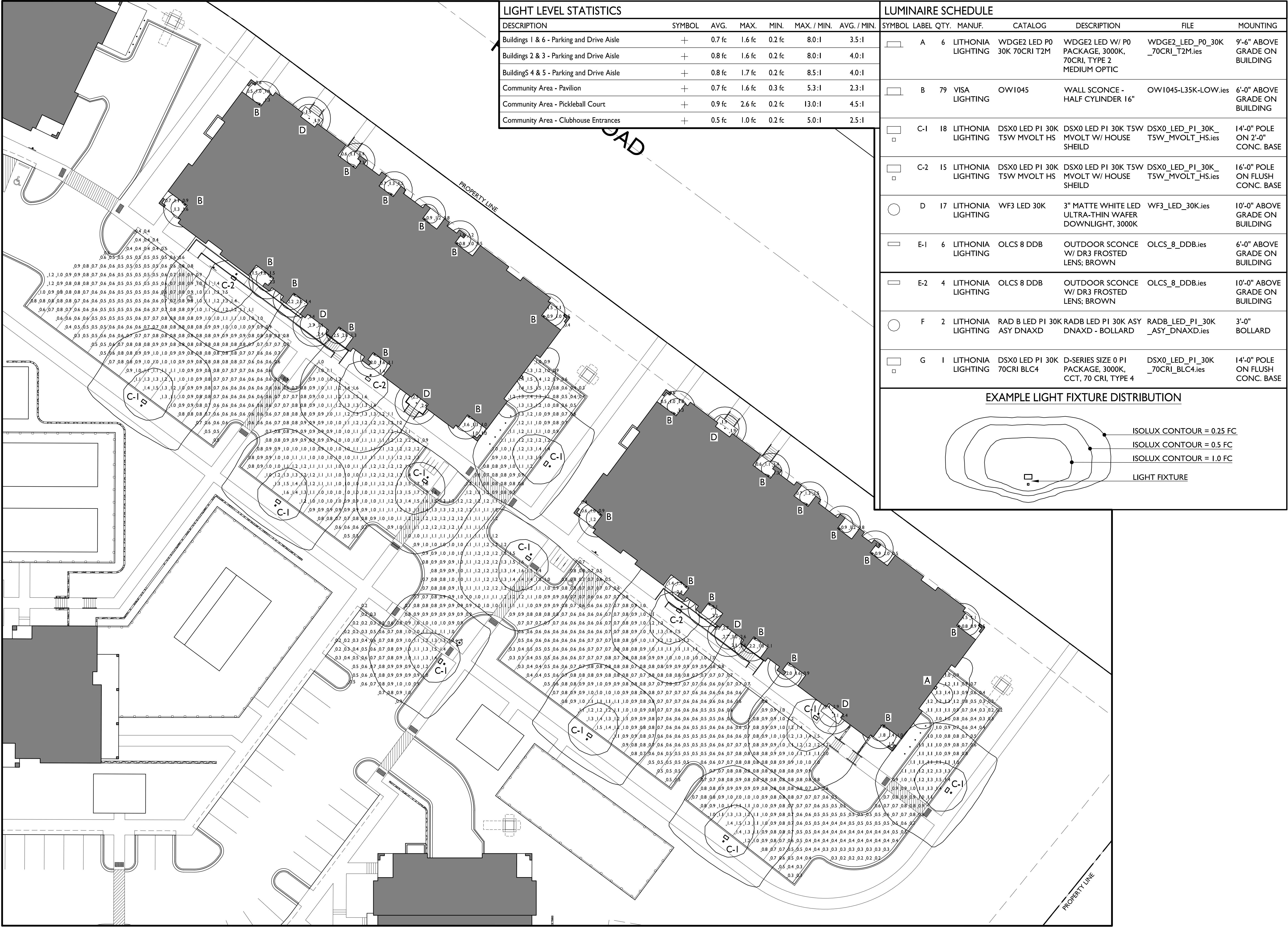
SHEET NUMBER

CA102a

PROJECT NO. 2411

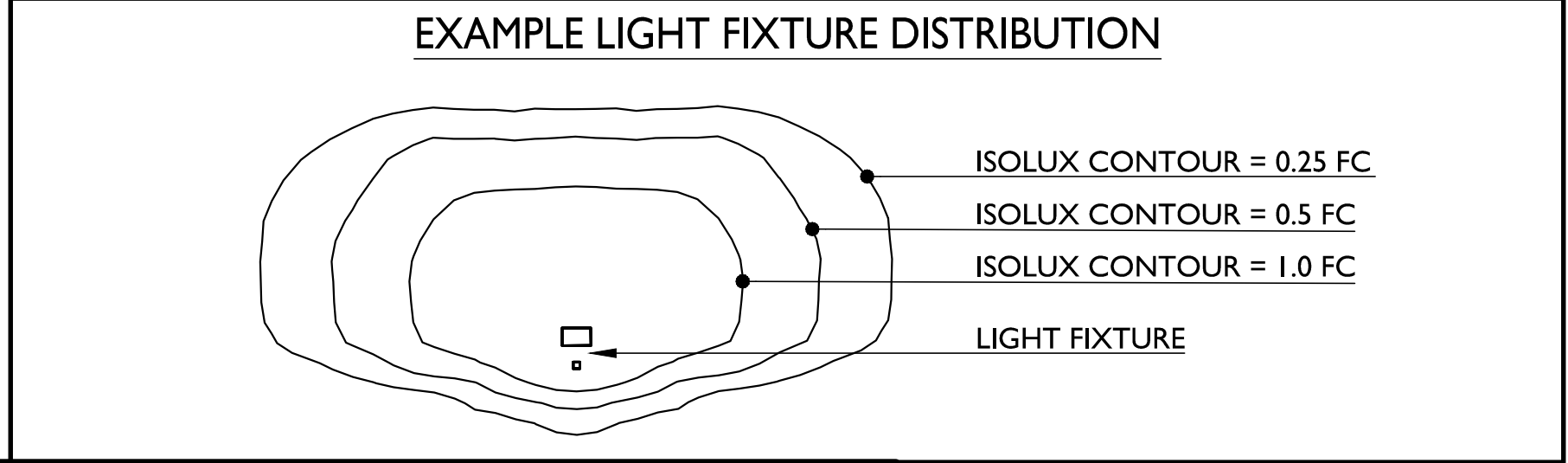
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LIGHT LEVEL STATISTICS						
DESCRIPTION	SYMBOL	AVG.	MAX.	MIN.	MAX. / MIN.	AVG. / MIN.
Buildings 1 & 6 - Parking and Drive Aisle	+	0.7 fc	1.6 fc	0.2 fc	8.0:1	3.5:1
Buildings 2 & 3 - Parking and Drive Aisle	+	0.8 fc	1.6 fc	0.2 fc	8.0:1	4.0:1
Buildings 4 & 5 - Parking and Drive Aisle	+	0.8 fc	1.7 fc	0.2 fc	8.5:1	4.0:1
Community Area - Pavilion	+	0.7 fc	1.6 fc	0.3 fc	5.3:1	2.3:1
Community Area - Pickleball Court	+	0.9 fc	2.6 fc	0.2 fc	13.0:1	4.5:1
Community Area - Clubhouse Entrances	+	0.5 fc	1.0 fc	0.2 fc	5.0:1	2.5:1

LUMINAIRE SCHEDULE								
SYMBOL	LABEL	QTY.	MANUF.	CATALOG	DESCRIPTION	FILE	MOUNTING	
	A	6	LITHONIA LIGHTING	WDGE2 LED P0 30K 70CRI T2M	WDGE2 LED W/ P0 PACKAGE, 3000K, 70CRI, TYPE 2 MEDIUM OPTIC	WDGE2_LED_P0_30K_70CRI_T2M.ies	9'-6" ABOVE GRADE ON BUILDING	
	B	79	VISA LIGHTING	OW1045	WALL SCONCE - HALF CYLINDER 16"	OW1045-L35K-LOW.ies	6'-0" ABOVE GRADE ON BUILDING	
	C-1	18	LITHONIA LIGHTING	DSX0 LED PI 30K T5W MVOLT HS	DSX0 LED PI 30K T5W MVOLT W/ HOUSE SHIELD	DSX0_LED_PI_30K_T5W_MVOLT_HS.ies	14'-0" POLE ON 2'-0" CONC. BASE	
	C-2	15	LITHONIA LIGHTING	DSX0 LED PI 30K T5W MVOLT HS	DSX0 LED PI 30K T5W MVOLT W/ HOUSE SHIELD	DSX0_LED_PI_30K_T5W_MVOLT_HS.ies	16'-0" POLE ON FLUSH CONC. BASE	
	D	17	LITHONIA LIGHTING	WF3 LED 30K	3" MATTE WHITE LED ULTRA-THIN WAFER DOWNLIGHT, 3000K	WF3_LED_30K.ies	10'-0" ABOVE GRADE ON BUILDING	
	E-1	6	LITHONIA LIGHTING	OLCS 8 DDB	OUTDOOR SCONCE W/ DR3 FROSTED LENS; BROWN	OLCS_8_DDB.ies	6'-0" ABOVE GRADE ON BUILDING	
	E-2	4	LITHONIA LIGHTING	OLCS 8 DDB	OUTDOOR SCONCE W/ DR3 FROSTED LENS; BROWN	OLCS_8_DDB.ies	10'-0" ABOVE GRADE ON BUILDING	
	F	2	LITHONIA LIGHTING	RAD B LED PI 30K ASY DNAXD	RAD B LED PI 30K ASY DNAXD - BOLLARD	RADB_LED_PI_30K_ASY_DNAXD.ies	3'-0" BOLLARD	
	G	1	LITHONIA LIGHTING	DSX0 LED PI 30K 70CRI BLC4	D-SERIES SIZE 0 PI PACKAGE, 3000K, CCT, 70 CRI, TYPE 4	DSX0_LED_PI_30K_70CRI_BLC4.ies	14'-0" POLE ON FLUSH CONC. BASE	



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ARCHITECTS

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608.836.3690 Middleton, WI 53562

ISSUED  
UDC / LUA SUBMITTAL 2024.10.07

PROJECT TITLE  
**MIDPOINT MEADOWS**

Multi-Family  
Development Lot 218

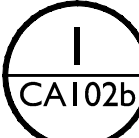
SHEET TITLE  
**Partial Site  
Lighting Plan**

SHEET NUMBER

**CA102b**

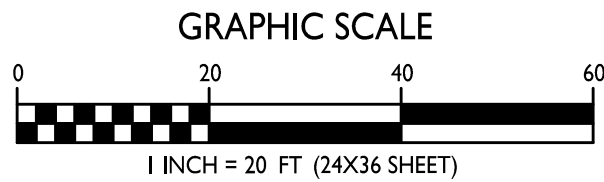
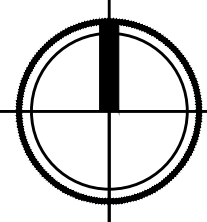
PROJECT NO. **2411**

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**PARTIAL SITE LIGHTING PLAN**

1" = 20'-0"

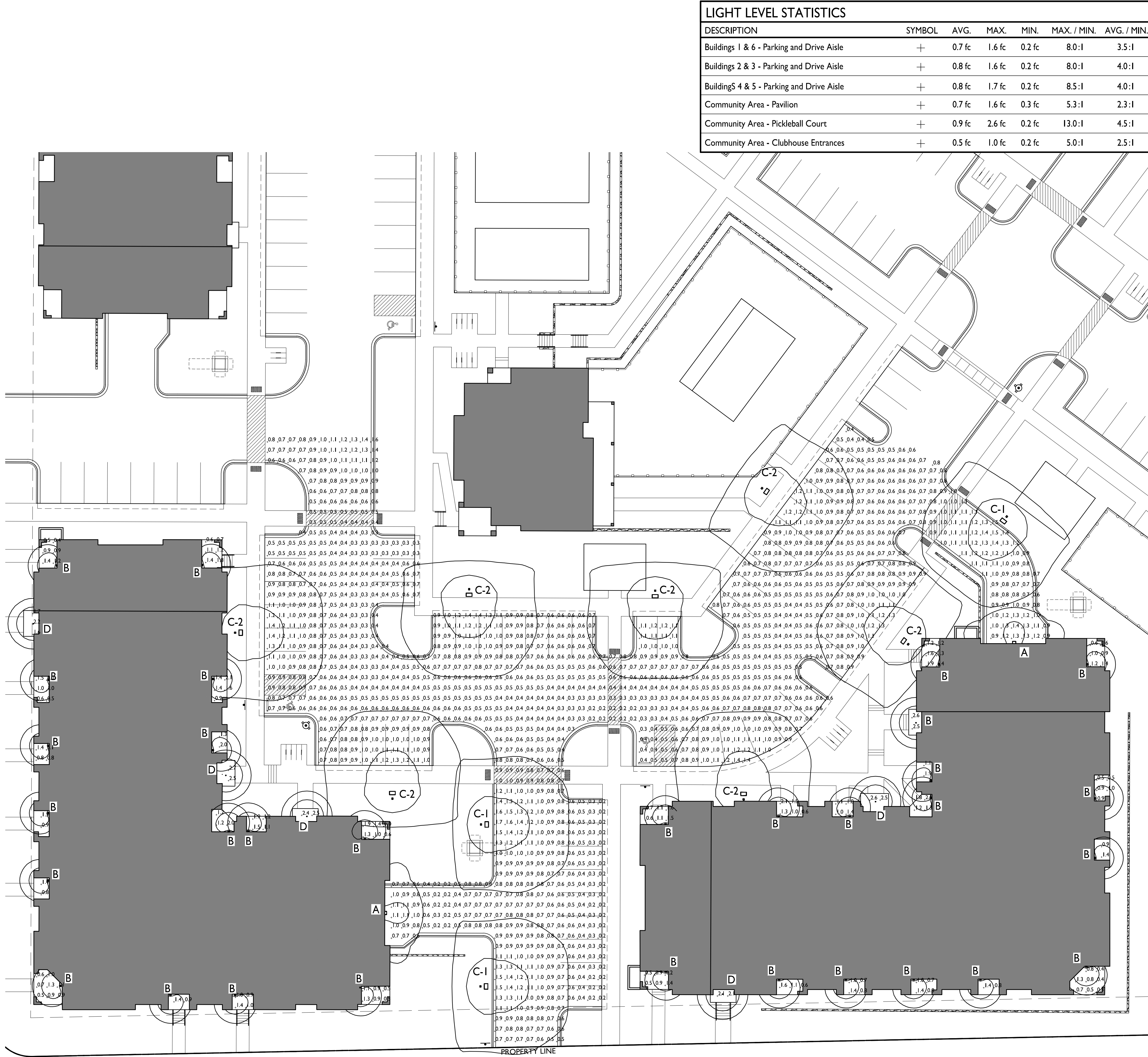


GRAPHIC SCALE

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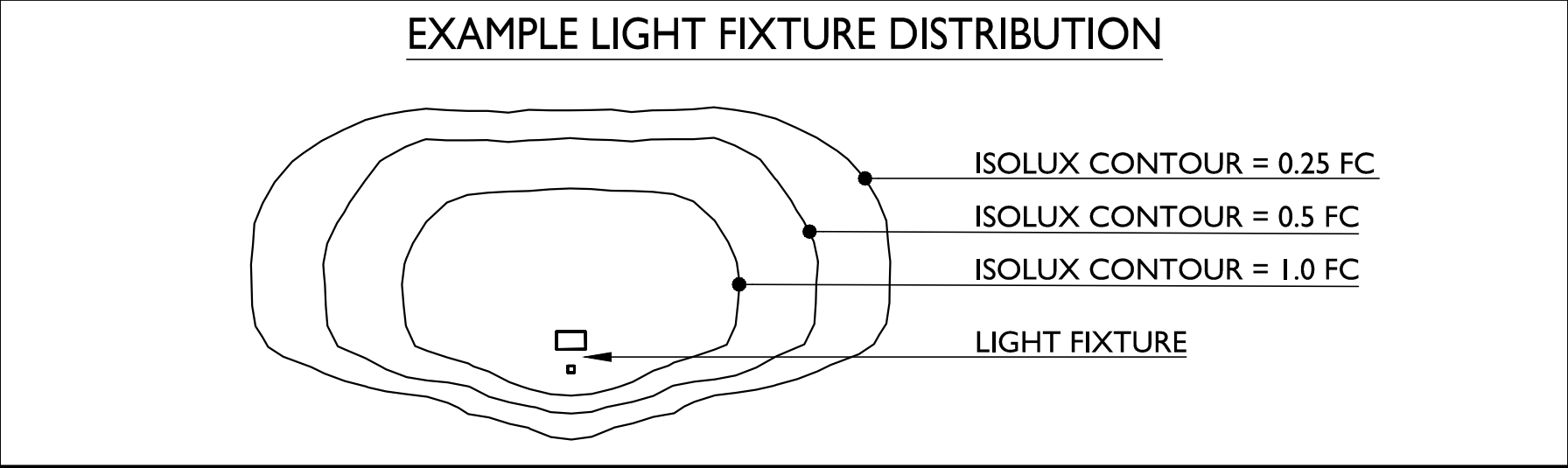
1" = 20 FT (24X36 SHEET)





LIGHT LEVEL STATISTICS						
DESCRIPTION	SYMBOL	AVG.	MAX.	MIN.	MAX. / MIN.	AVG. / MIN.
Buildings 1 & 6 - Parking and Drive Aisle	+	0.7 fc	1.6 fc	0.2 fc	8.0:1	3.5:1
Buildings 2 & 3 - Parking and Drive Aisle	+	0.8 fc	1.6 fc	0.2 fc	8.0:1	4.0:1
Buildings 4 & 5 - Parking and Drive Aisle	+	0.8 fc	1.7 fc	0.2 fc	8.5:1	4.0:1
Community Area - Pavilion	+	0.7 fc	1.6 fc	0.3 fc	5.3:1	2.3:1
Community Area - Pickleball Court	+	0.9 fc	2.6 fc	0.2 fc	13.0:1	4.5:1
Community Area - Clubhouse Entrances	+	0.5 fc	1.0 fc	0.2 fc	5.0:1	2.5:1

LUMINAIRE SCHEDULE							
SYMBOL	LABEL	QTY.	MANUF.	CATALOG	DESCRIPTION	FILE	MOUNTING
	A	6	LITHONIA LIGHTING	WDGE2 LED P0 30K 70CRI T2M	WDGE2 LED W/ P0 PACKAGE, 3000K, 70CRI, TYPE 2 MEDIUM OPTIC	WDGE2_LED_P0_30K_70CRI_T2M.ies	9'-6" ABOVE GRADE ON BUILDING
	B	79	VISA LIGHTING	OW1045	WALL SCONCE - HALF CYLINDER 16"	OW1045-L35K-LOW.ies	6'-0" ABOVE GRADE ON BUILDING
	C-1	18	LITHONIA LIGHTING	DSX0 LED PI 30K T5W MVOLT HS	DSX0 LED PI 30K T5W MVOLT W/ HOUSE SHIELD	DSX0_LED_PI_30K_T5W_MVOLT_HS.ies	14'-0" POLE ON 2'-0" CONC. BASE
	C-2	15	LITHONIA LIGHTING	DSX0 LED PI 30K T5W MVOLT HS	DSX0 LED PI 30K T5W MVOLT W/ HOUSE SHIELD	DSX0_LED_PI_30K_T5W_MVOLT_HS.ies	16'-0" POLE ON FLUSH CONC. BASE
	D	17	LITHONIA LIGHTING	WF3 LED 30K	3" MATTE WHITE LED ULTRA-THIN WAFER DOWNLIGHT, 3000K	WF3_LED_30K.ies	10'-0" ABOVE GRADE ON BUILDING
	E-1	6	LITHONIA LIGHTING	OLCS 8 DDB	OUTDOOR SCONCE W/ DR3 FROSTED LENS; BROWN	OLCS_8_DDB.ies	6'-0" ABOVE GRADE ON BUILDING
	E-2	6	LITHONIA LIGHTING	OLCS 8 DDB	OUTDOOR SCONCE W/ DR3 FROSTED LENS; BROWN	OLCS_8_DDB.ies	10'-0" ABOVE GRADE ON BUILDING
	F	2	LITHONIA LIGHTING	RAD B LED PI 30K ASY DNAXD	RADB LED PI 30K ASY DNAXD - BOLLARD	RADB_LED_PI_30K_ASY_DNAXD.ies	3'-0" BOLLARD
	G	1	LITHONIA LIGHTING	DSX0 LED PI 30K 70CRI BLC4	D-SERIES SIZE 0 PI PACKAGE, 3000K, CCT, 70 CRI, TYPE 4	DSX0_LED_PI_30K_70CRI_BLC4.ies	14'-0" POLE ON FLUSH CONC. BASE



**knothe + bruce**  
ARCHITECTS

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ISSUED  
UDC / LUA SUBMITTAL 2024.10.07

PROJECT TITLE  
MIDPOINT  
MEADOWS

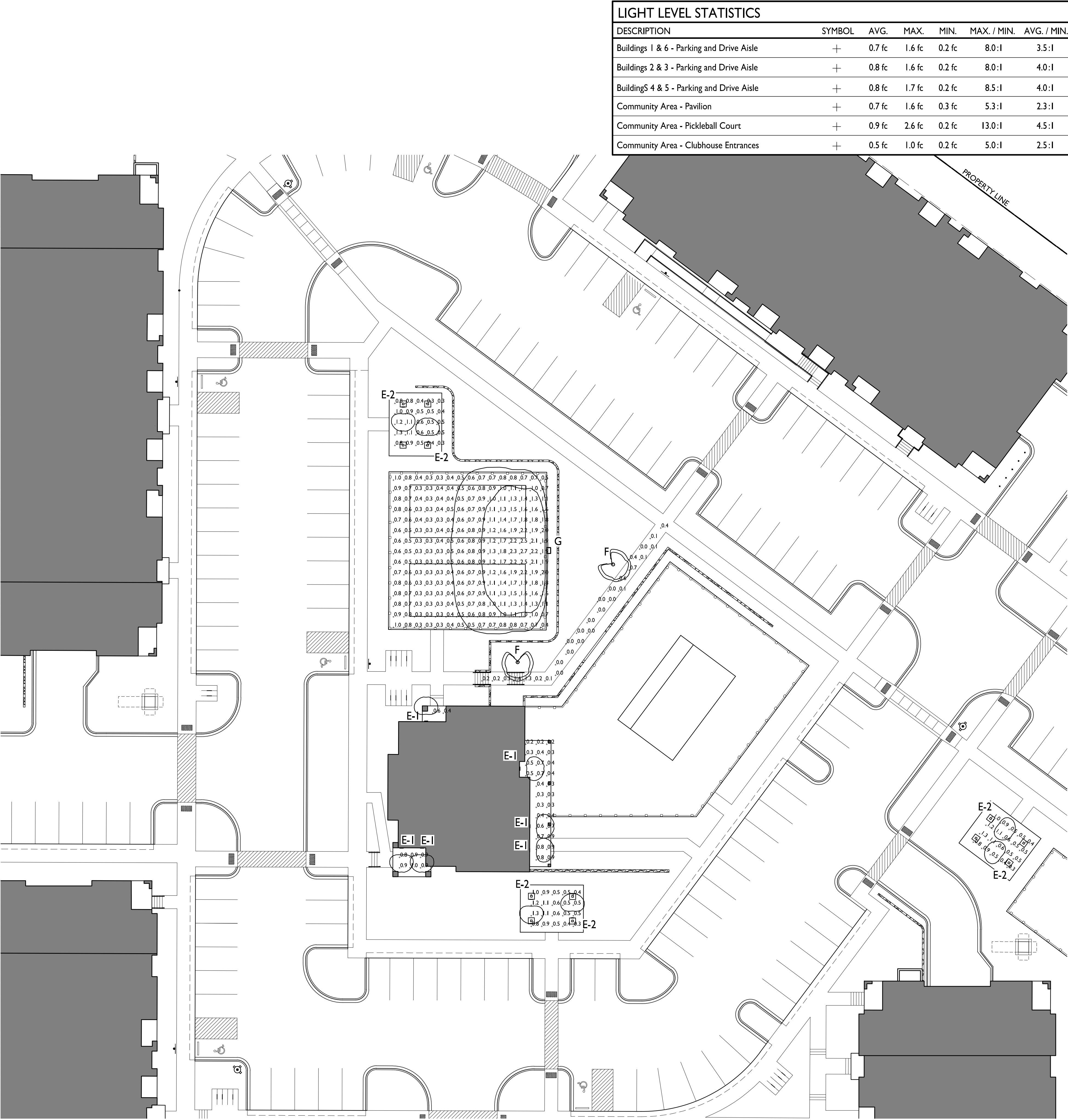
Multi-Family  
Development Lot 218

SHEET TITLE  
Partial Site  
Lighting Plan

SHEET NUMBER

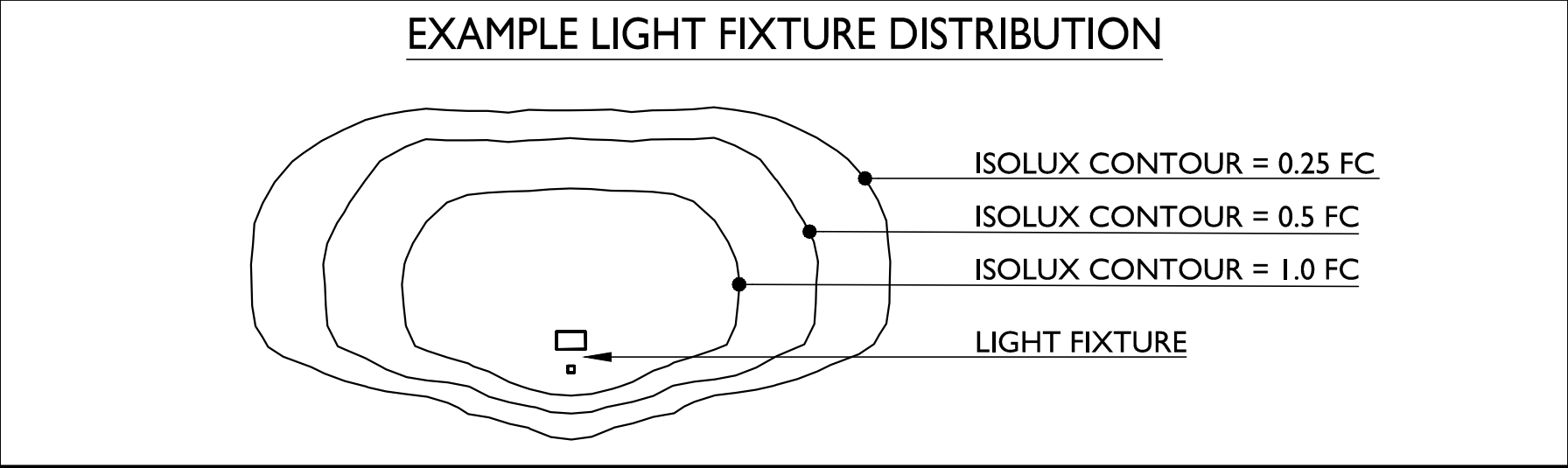






LIGHT LEVEL STATISTICS						
DESCRIPTION	SYMBOL	AVG.	MAX.	MIN.	MAX. / MIN.	AVG. / MIN.
Buildings 1 & 6 - Parking and Drive Aisle	+	0.7 fc	1.6 fc	0.2 fc	8.0:1	3.5:1
Buildings 2 & 3 - Parking and Drive Aisle	+	0.8 fc	1.6 fc	0.2 fc	8.0:1	4.0:1
BuildingS 4 & 5 - Parking and Drive Aisle	+	0.8 fc	1.7 fc	0.2 fc	8.5:1	4.0:1
Community Area - Pavilion	+	0.7 fc	1.6 fc	0.3 fc	5.3:1	2.3:1
Community Area - Pickleball Court	+	0.9 fc	2.6 fc	0.2 fc	13.0:1	4.5:1
Community Area - Clubhouse Entrances	+	0.5 fc	1.0 fc	0.2 fc	5.0:1	2.5:1

LUMINAIRE SCHEDULE							
SYMBOL	LABEL	QTY.	MANUF.	CATALOG	DESCRIPTION	FILE	MOUNTING
	A	6	LITHONIA LIGHTING	WDGE2 LED P0 30K 70CRI T2M	WDGE2 LED W/ P0 PACKAGE, 3000K, 70CRI, TYPE 2 MEDIUM OPTIC	WDGE2_LED_P0_30K_70CRI_T2M.ies	9'-6" ABOVE GRADE ON BUILDING
	B	79	VISA LIGHTING	OW1045	WALL SCONCE - HALF CYLINDER 16"	OW1045-L35K-LOW.ies	6'-0" ABOVE GRADE ON BUILDING
	C-1	18	LITHONIA LIGHTING	DSX0 LED PI 30K T5W MVOLT HS	DSX0 LED PI 30K T5W MVOLT W/ HOUSE SHIELD	DSX0_LED_PI_30K_T5W_MVOLT_HS.ies	14'-0" POLE ON 2'-0" CONC. BASE
	C-2	15	LITHONIA LIGHTING	DSX0 LED PI 30K T5W MVOLT HS	DSX0 LED PI 30K T5W MVOLT W/ HOUSE SHIELD	DSX0_LED_PI_30K_T5W_MVOLT_HS.ies	16'-0" POLE ON FLUSH CONC. BASE
	D	17	LITHONIA LIGHTING	WF3 LED 30K	3" MATTE WHITE LED ULTRA-THIN WAFER DOWNLIGHT, 3000K	WF3_LED_30K.ies	10'-0" ABOVE GRADE ON BUILDING
	E-1	6	LITHONIA LIGHTING	OLCS 8 DDB	OUTDOOR SCONCE W/ DR3 FROSTED LENS; BROWN	OLCS_8_DDB.ies	6'-0" ABOVE GRADE ON BUILDING
	E-2	6	LITHONIA LIGHTING	OLCS 8 DDB	OUTDOOR SCONCE W/ DR3 FROSTED LENS; BROWN	OLCS_8_DDB.ies	10'-0" ABOVE GRADE ON BUILDING
	F	2	LITHONIA LIGHTING	RAD B LED PI 30K ASY DNAXD	RADB LED PI 30K ASY DNAXD - BOLLARD	RADB_LED_PI_30K_ASY_DNAXD.ies	3'-0" BOLLARD
	G	1	LITHONIA LIGHTING	DSX0 LED PI 30K 70CRI BLC4	D-SERIES SIZE 0 PI PACKAGE, 3000K, CCT, 70 CRI, TYPE 4	DSX0_LED_PI_30K_70CRI_BLC4.ies	14'-0" POLE ON FLUSH CONC. BASE



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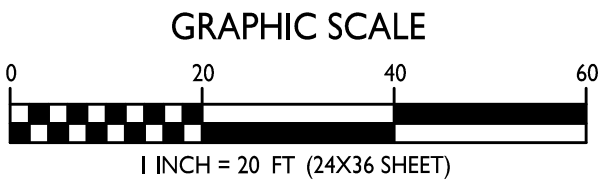
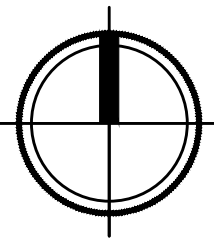
ISSUED  
UDC / LUA SUBMITTAL 2024.10.07

PROJECT TITLE  
MIDPOINT  
MEADOWS

Multi-Family  
Development Lot 218

SHEET TITLE  
Partial Site  
Lighting Plan

SHEET NUMBER







ISSUED  
UDC / LUA SUBMITTAL 2024.10.07

PROJECT TITLE  
MIDPOINT  
MEADOWS

Multi-Family  
Development Lot 218

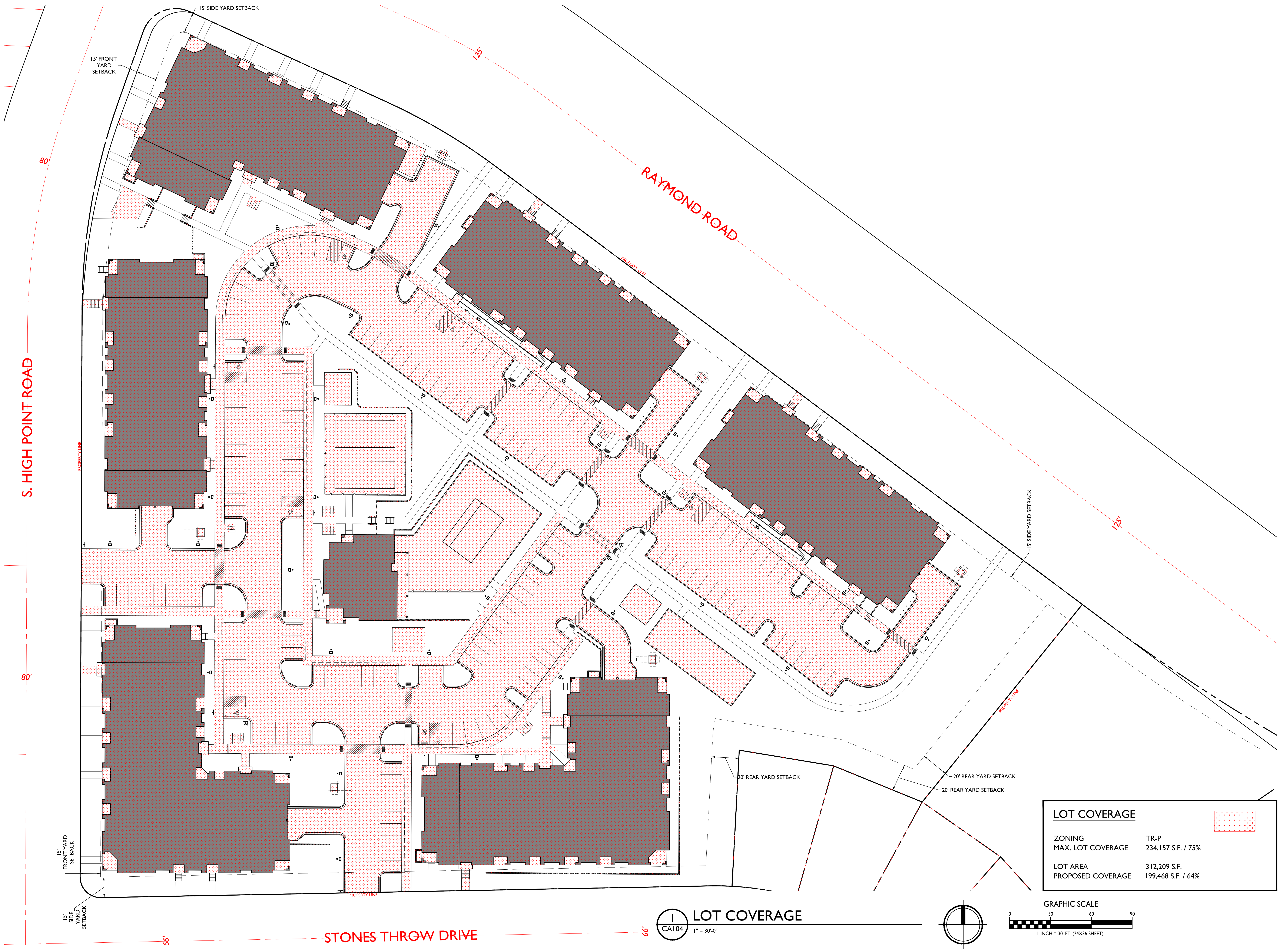
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SHEET TITLE  
**Lot Coverage**

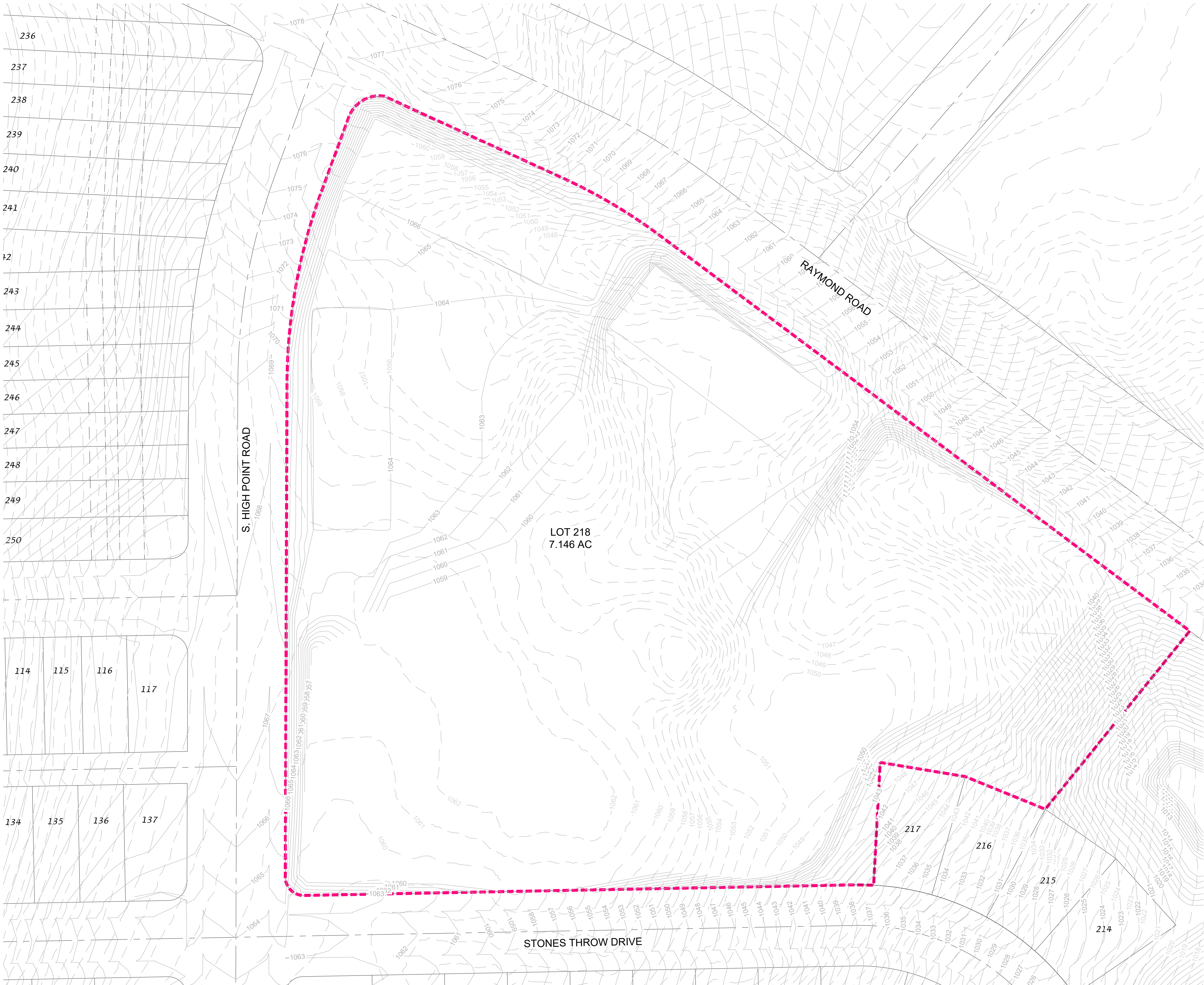
SHEET NUMBER

# CA104

PROJECT NO. **2411**  
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#### EXISTING SITE CONDITIONS LEGEND

	FOUND PLS MONUMENT
	FOUND 3/4" RED CAPPED REBAR
	FOUND 3/4" REBAR
	FOUND PK NAIL
	FOUND CHISELED "X" IN CONCRETE
	PLACED 3/4"x18" REBAR (WT=1.5 LBS/FT)
	SANITARY SEWER
	WATER MAIN
	STORM SEWER
	GAS MAIN
	OVERHEAD ELECTRIC
	UNDERGROUND ELECTRIC
	UNDERGROUND FIBER OPTIC
	UNDERGROUND TELECOMMUNICATION
	ELECTRIC TRANSFORMER
	TELEPHONE PEDESTAL/Vault
	MANHOLE
	CATCH BASIN/INLET
	POWER POLE
	POWER POLE W/LIGHT
	LIGHT POLE
	TRAFFIC SIGNAL
	GAS METER
	VALVE
	HYDRANT
	GUARD POST
	SIGN
	GUY WIRE
	DECIDUOUS TREE
	BUSH
	CONIFEROUS TREE
	TREE/SHRUB LINE
	FLAGPOLE
	GUARD RAIL
	CONCRETE
	BOULDER RETAINING WALL
	CONCRETE RETAINING WALL
	FENCE
	CONCRETE CURB AND GUTTER
	EXISTING CONTOUR
	BACK OF WALK SPOT ELEVATION (9 + 1)
	"RECORDED AS" INFORMATION

#### DEMOLITION LEGEND

	REMOVE EXISTING PAVEMENT OR GRAVEL
	REMOVE EXISTING STRUCTURES
	REMOVE EXISTING UTILITY STRUCTURE
	REMOVE EXISTING STREET TREE
	REMOVE EXISTING UTILITIES
	SAWCUT EXISTING CURB OR PAVEMENT
	LIMITS OF DISTURBANCE



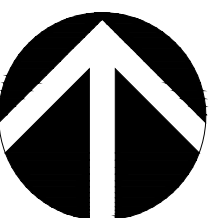
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7530 Westwood Way, Madison, WI 53717  
Phone: 608.833.7530 • Fax: 608.833.1089  
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

**ISSUED**  
Issued for LUA Submittal - October 7, 2024

PROJECT TITLE  
**MIDPOINT  
MEADOWS**



SCALE: 1"= 40'



SHEET TITLE  
**EXISTING  
CONDITIONS AND  
DEMO PLAN**

SHEET NUMBER

**C001**

PROJECT NO. 24-03-101  
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MIDPOINT MEADOWS - SITE CALCULATIONS			
Total Property	311,318 sf	7.15 ac	
Zoning District:	X		
Setbacks:	15'-0"	Street Yard 1st Floor	
	15'-0"	Corner Lots	
	20'-0"	Side Yard	
	20'-0"	Rear Yard	
Maximum Building Height:			
Minimum Greenspace Requirement:	40%	124,527 sf	
Use:	Multi-Family		

Existing Site:			
Existing Buildings	0 sf	0.00 ac	
Existing Pavement	0 sf	0.00 ac	
Total Existing Impervious	0 sf	0.00 ac	0%
Remainder Greenspace	311,318 sf	7.15 ac	100%

Proposed Site:			
New Buildings	91,395 sf	2.10 ac	
New Pavement	116,458 sf	2.67 ac	
Total New & Existing Impervious	207,853 sf	4.77 ac	67%
Remainder Greenspace	103,465 sf	2.38 ac	33%

Total Additional New Impervious Area	207,853 sf	
--------------------------------------	------------	--

LEGEND	
	BUILDING (IMPERVIOUS AREA)
	PAVEMENT (IMPERVIOUS AREA)
	GRASS (PERVIOUS AREA)

LIMITS OF DISTURBANCE = 311,318 SQ FT  
= 7.146 AC



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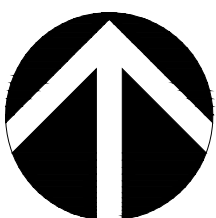
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Issued for LUA Submittal - October 7, 2024

PROJECT TITLE  
**MIDPOINT  
MEADOWS**



SCALE: 1" = 40'



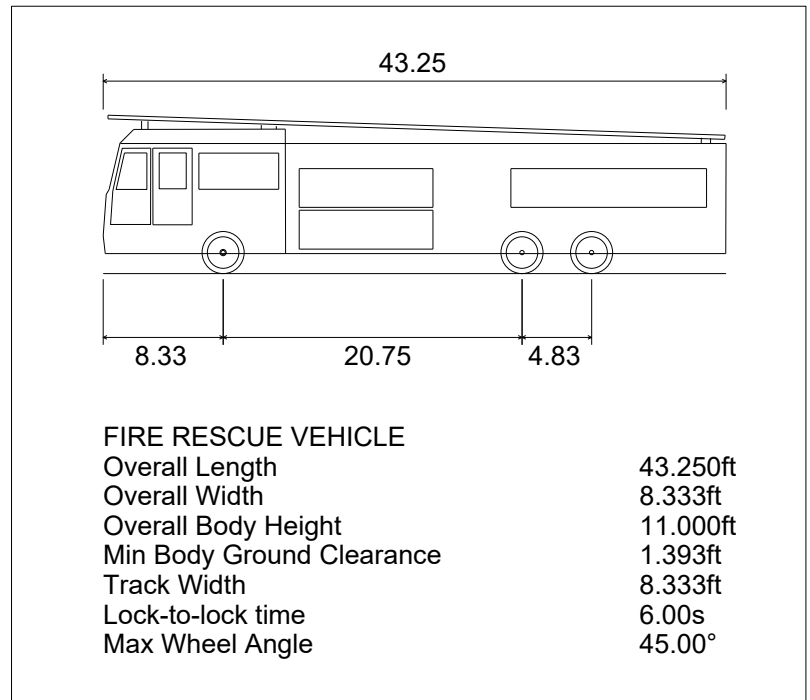
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**SITE LAND USE PLAN  
- OVERALL**

SHEET NUMBER

**C101**

PROJECT NO. 24-03-101  
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Kb2

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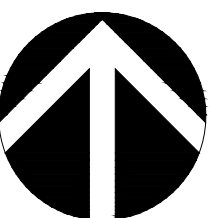
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PROJECT TITLE

# MIDPOINT MEADOWS



SCALE: 1" = 40'



SHEET TITLE

## FIRE ACCESS PLAN

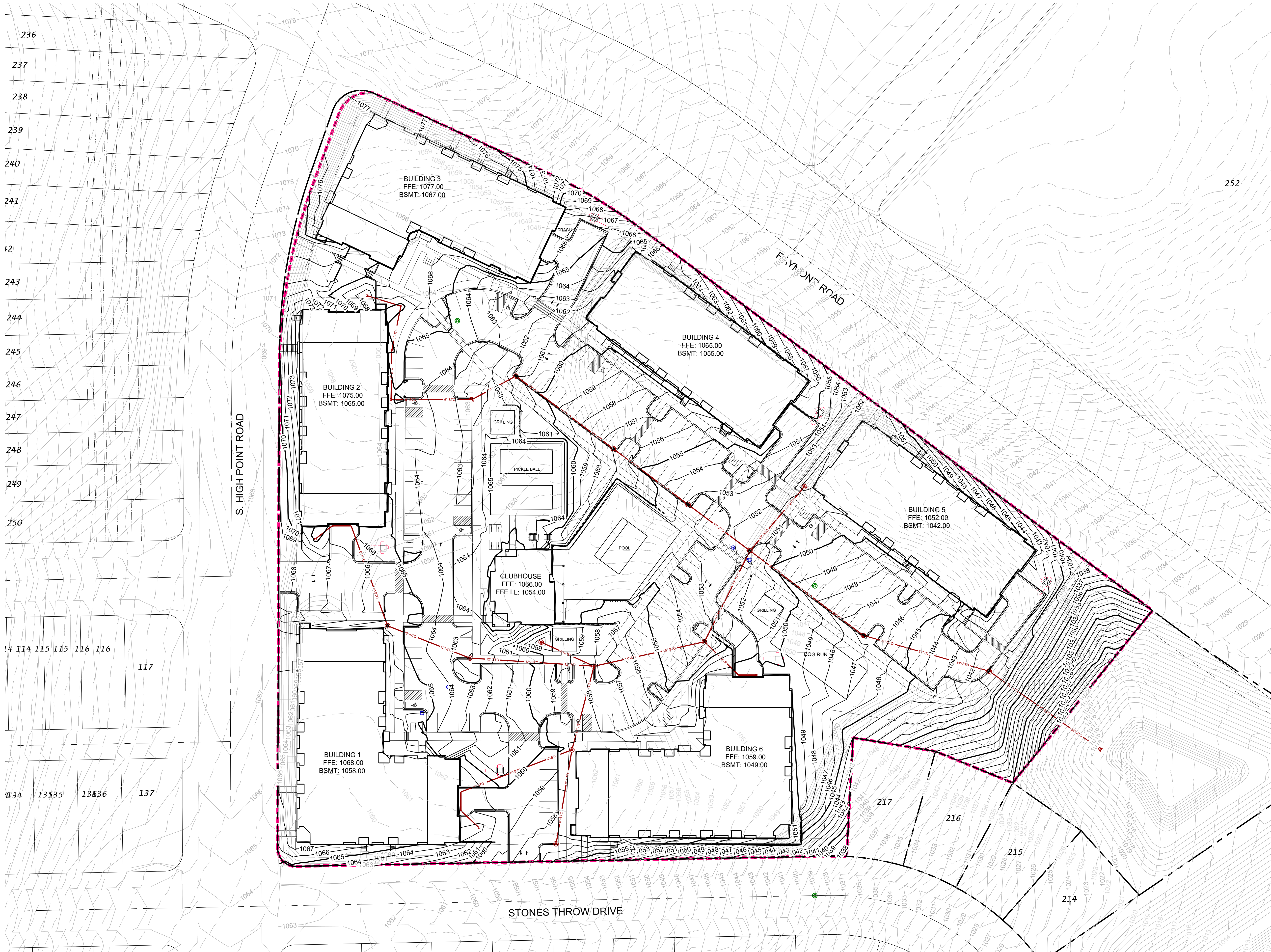
SHEET NUMBER

# C102

PROJECT NO. 24-03-101

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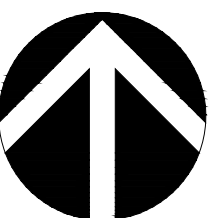
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PROJECT TITLE  
**MIDPOINT  
MEADOWS**



SCALE: 1" = 40'



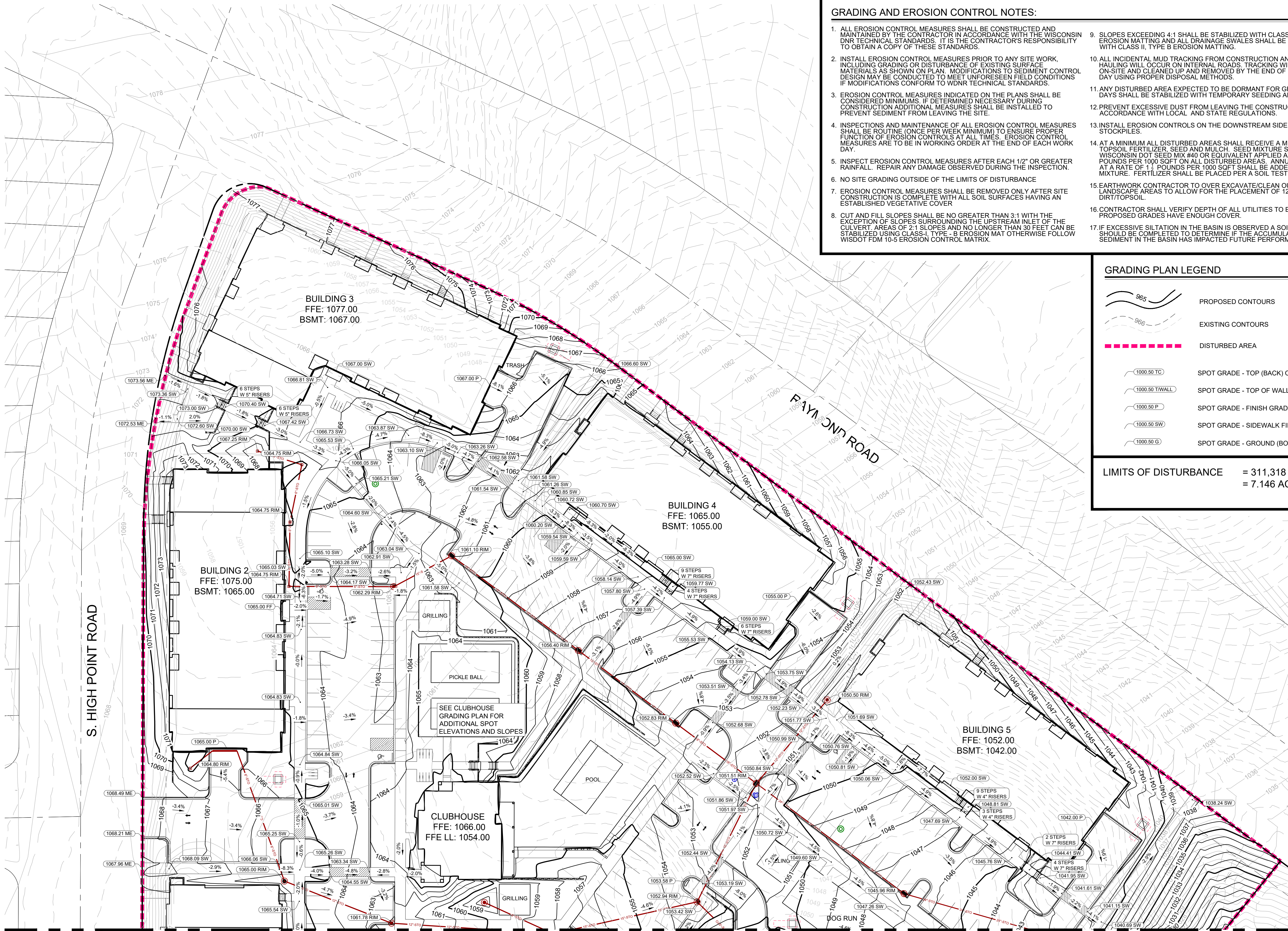
SHEET TITLE  
**GRADING PLAN -  
OVERALL**

SHEET NUMBER

**C300**

PROJECT NO. 24-03-101  
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- GRADING AND EROSION CONTROL NOTES:**
- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE WISCONSIN DNR TECHNICAL STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS.
  - INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WDNR TECHNICAL STANDARDS.
  - EROSION CONTROL MEASURES INDICATED ON THE PLANS SHALL BE CONSIDERED MINIMUMS. IF DETERMINED NECESSARY DURING CONSTRUCTION ADDITIONAL MEASURES SHALL BE INSTALLED TO PREVENT SEDIMENT FROM LEAVING THE SITE.
  - INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
  - INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
  - NO SITE GRADING OUTSIDE OF THE LIMITS OF DISTURBANCE
  - EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER
  - CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1 WITH THE EXCEPTION OF SLOPES SURROUNDING THE UPSTREAM INLET OF THE CULVERT. AREAS OF 2:1 SLOPES AND NO LONGER THAN 30 FEET CAN BE STABILIZED USING CLASS II, TYPE B EROSION MAT OTHERWISE FOLLOW WISDOT FDM 10-5 EROSION CONTROL MATRIX.
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  - ALL INCIDENTAL MUD TRACKING FROM CONSTRUCTION AND MATERIAL HAULING WILL OCCUR ON INTERNAL ROADS. TRACKING WILL BE KEPT ON-SITE AND CLEANED UP AND REMOVED BY THE END OF EACH WORKING DAY USING PROPER DISPOSAL METHODS.
  - ANY DISTURBED AREA EXPECTED TO BE DORMANT FOR GREATER THAN 5 DAYS SHALL BE STABILIZED WITH TEMPORARY SEEDING AND MULCH.
  - PREVENT EXCESSIVE DUST FROM LEAVING THE CONSTRUCTION SITE IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.
  - INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES.
  - AT A MINIMUM ALL DISTURBED AREAS SHALL RECEIVE A MINIMUM OF 4" OF TOPSOIL FERTILIZER, SEED AND MULCH. SEED MIXTURE SHALL BE WISCONSIN DOT SEED MIX #40 OR EQUIVALENT APPLIED AT A RATE OF 5 POUNDS PER 1000 SQFT ON ALL DISTURBED AREAS. ANNUAL RYEGRASS AT A RATE OF 1.1 POUNDS PER 1000 SQFT SHALL BE ADDED TO THE MIXTURE. FERTILIZER SHALL BE PLACED PER A SOIL TEST.
  - EARTHWORK CONTRACTOR TO OVER EXCAVATE/CLEAN OUT ALL LANDSCAPE AREAS TO ALLOW FOR THE PLACEMENT OF 12" OF BLACK DIRT/TOPSOIL.
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  - IF EXCESSIVE SILTATION IN THE BASIN IS OBSERVED A SOILS PROBE SHOULD BE COMPLETED TO DETERMINE IF THE ACCUMULATED DEPTH OF SEDIMENT IN THE BASIN HAS IMPACTED FUTURE PERFORMANCE.

GRADING PLAN LEGEND	
	PROPOSED CONTOURS
	EXISTING CONTOURS
	DISTURBED AREA
	SPOT GRADE - TOP (BACK) OF CURB
	SPOT GRADE - TOP OF WALL
	SPOT GRADE - FINISH GRADE (PAVEMENT)
	SPOT GRADE - SIDEWALK FINISH GRADE
	SPOT GRADE - GROUND (BOTTOM OF WALL)

LIMITS OF DISTURBANCE = 311,318 SQ FT  
= 7.146 AC





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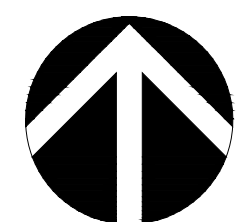
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Issued for LUA Submittal - October 7, 2024

PROJECT TITLE  
**MIDPOINT  
MEADOWS**



SCALE: 1" = 30'

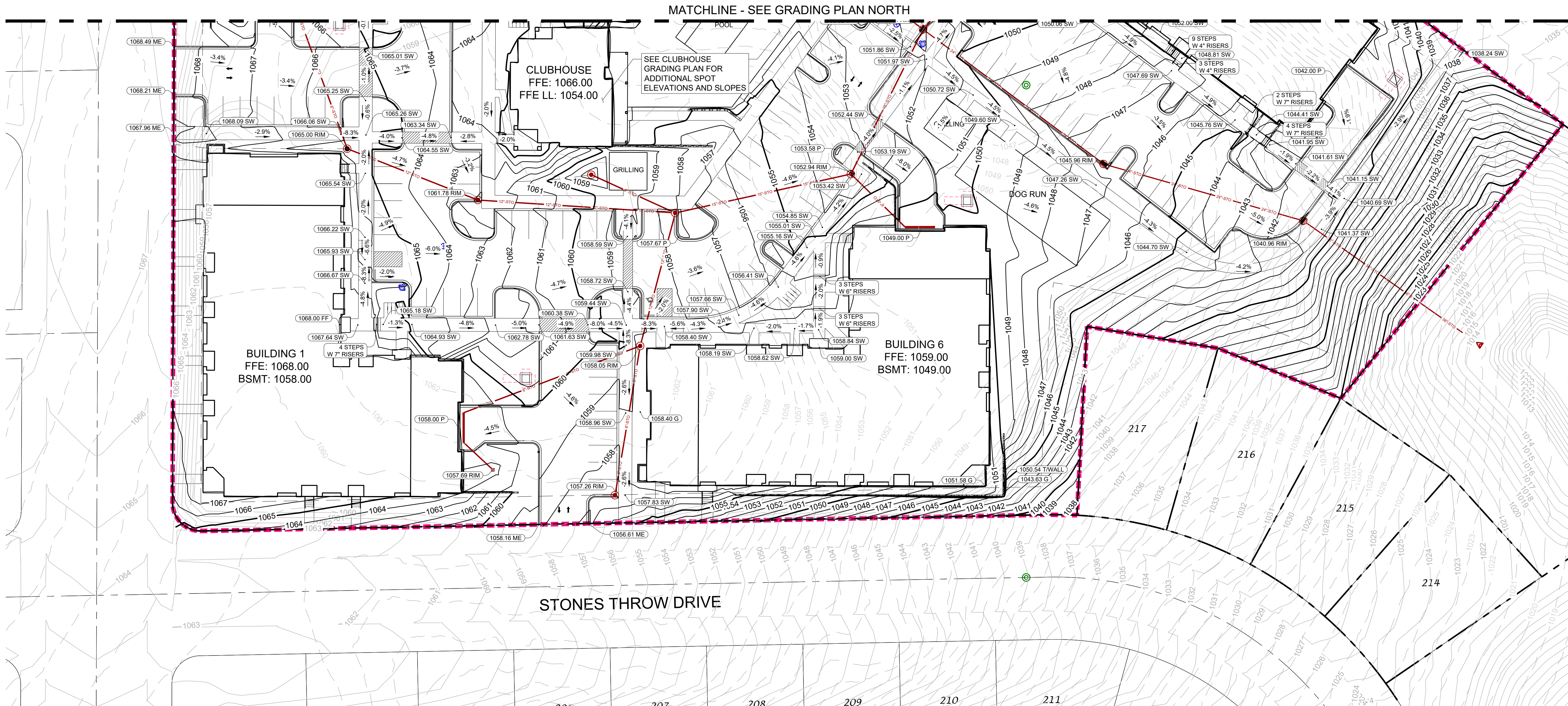


SHEET TITLE  
**GRADING PLAN -  
SOUTH**

SHEET NUMBER

**C302**

PROJECT NO. 24-03-101  
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**GRADING PLAN LEGEND**

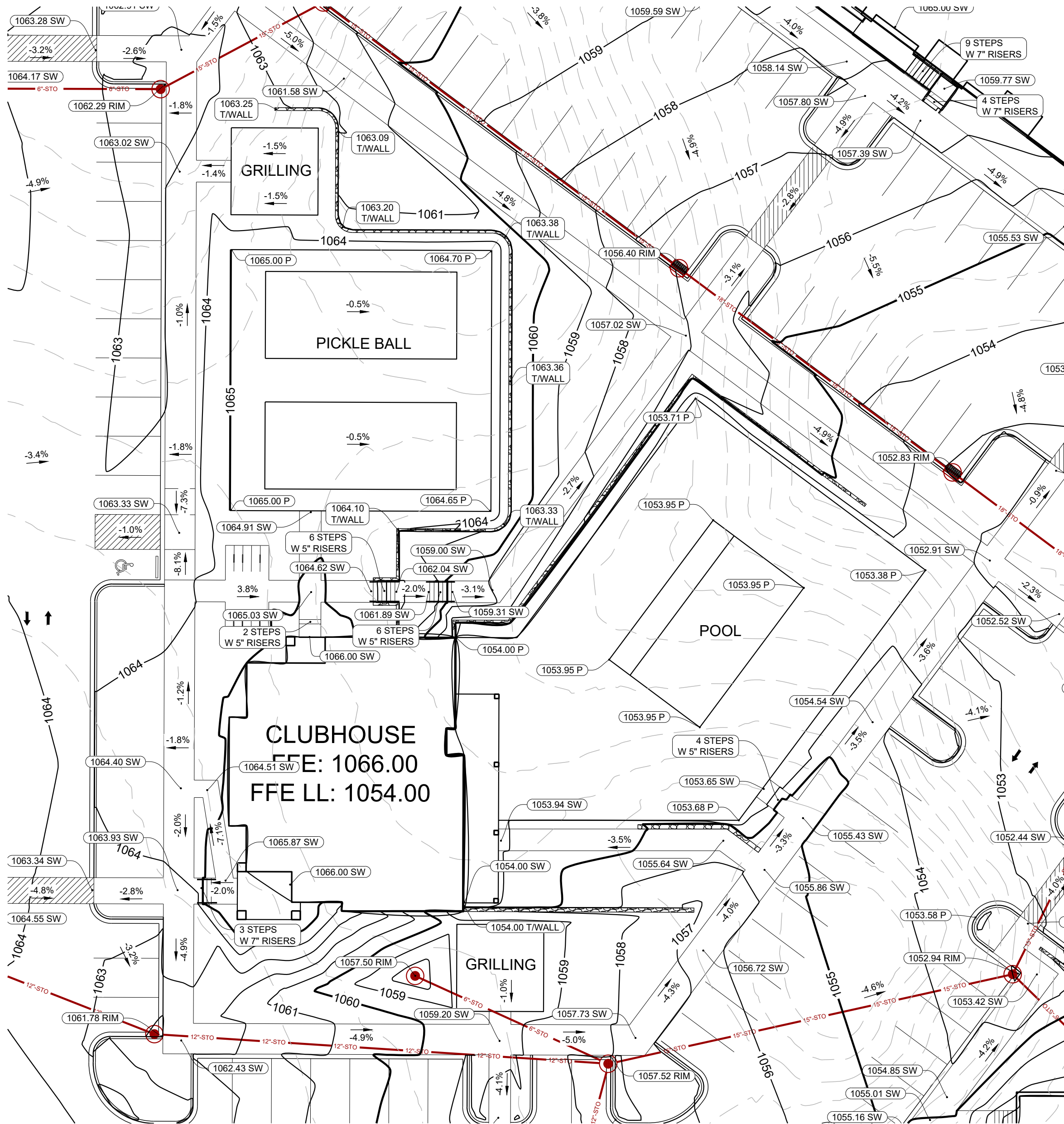
	PROPOSED CONTOURS
	EXISTING CONTOURS
	DISTURBED AREA
	SPOT GRADE - TOP (BACK) OF CURB
	SPOT GRADE - TOP OF WALL
	SPOT GRADE - FINISH GRADE (PAVEMENT)
	SPOT GRADE - SIDEWALK FINISH GRADE
	SPOT GRADE - GROUND (BOTTOM OF WALL)

LIMITS OF DISTURBANCE = 311,318 SQ FT  
= 7.146 AC

**GRADING AND EROSION CONTROL NOTES:**

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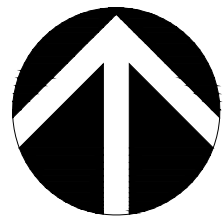
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11. ANY DISTURBED AREA EXPECTED TO BE DORMANT FOR GREATER THAN 6 DAYS SHALL BE STABILIZED WITH TEMPORARY SEEDING AND MULCH.
12. PREVENT EXCESSIVE DUST FROM LEAVING THE CONSTRUCTION SITE IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.
13. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES.
14. AT A MINIMUM ALL DISTURBED AREAS SHALL RECEIVE A MINIMUM OF 4" OF TOPSOIL FERTILIZER, SEED AND MULCH. SEED MIXTURE SHALL BE WISCONSIN DOT SEED MIX #40 OR EQUIVALENT APPLIED AT A RATE OF 5 POUNDS PER 1000 SQFT ON ALL DISTURBED AREAS. ANNUAL RYEGRASS AT A RATE OF 1.1 POUNDS PER 1000 SQFT SHALL BE ADDED TO THE MIXTURE. FERTILIZER SHALL BE PLACED PER A SOIL TEST.
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GRADING PLAN LEGEND

- PROPOSED CONTOURS
- EXISTING CONTOURS
- DISTURBED AREA
- SPOT GRADE - TOP (BACK) OF CURB
- SPOT GRADE - TOP OF WALL
- SPOT GRADE - FINISH GRADE (PAVEMENT)
- SPOT GRADE - SIDEWALK FINISH GRADE
- SPOT GRADE - GROUND (BOTTOM OF WALL)

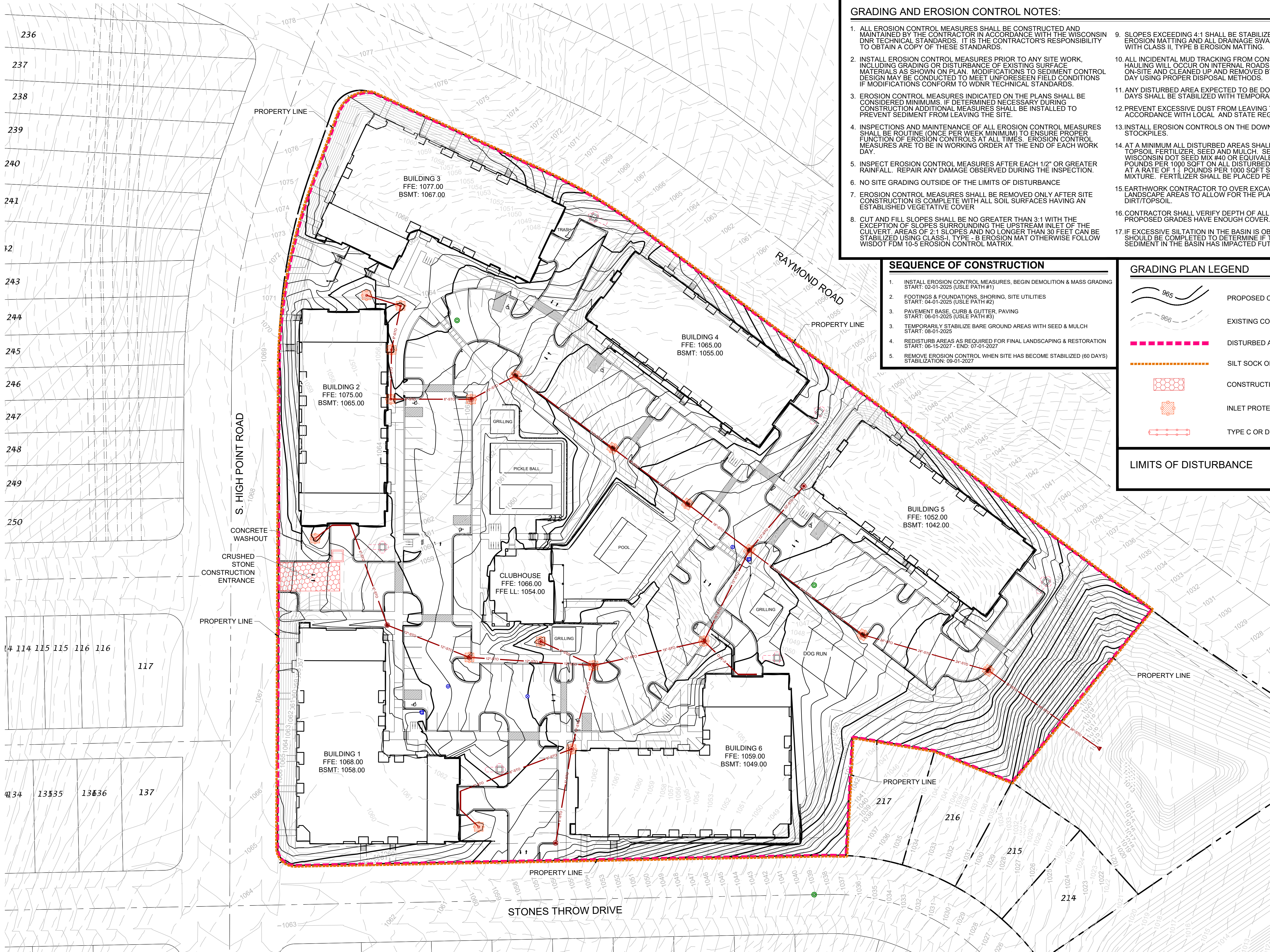
LIMITS OF DISTURBANCE = 311,318 SQ FT  
= 7.146 AC



SCALE: 1" = 20'







GRADING AND EROSION CONTROL NOTES:

1. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE WISCONSIN DNR TECHNICAL STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS.
2. INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WDNr TECHNICAL STANDARDS.
3. EROSION CONTROL MEASURES INDICATED ON THE PLANS SHALL BE CONSIDERED MINIMUMS. IF DETERMINED NECESSARY DURING CONSTRUCTION ADDITIONAL MEASURES SHALL BE INSTALLED TO PREVENT SEDIMENT FROM LEAVING THE SITE.
4. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
5. INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
6. NO SITE GRADING OUTSIDE OF THE LIMITS OF DISTURBANCE
7. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER
8. CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1 WITH THE EXCEPTION OF SLOPES SURROUNDING THE UPSTREAM INLET OF THE CULVERT. AREAS OF 2:1 SLOPES AND NO LONGER THAN 30 FEET CAN BE STABILIZED USING CLASS II TYPE B EROSION MAT OTHERWISE FOLLOW WISDOT FDM 10-5 EROSION CONTROL MATRIX.
9. SLOPES EXCEEDING 4:1 SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING AND ALL DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING.
10. ALL INCIDENTAL MUD TRACKING FROM CONSTRUCTION AND MATERIAL HAULING WILL OCCUR ON INTERNAL ROADS. TRACKING WILL BE KEPT ON-SITE AND CLEANED UP AND REMOVED BY THE END OF EACH WORKING DAY USING PROPER DISPOSAL METHODS.
11. ANY DISTURBED AREA EXPECTED TO BE DORMANT FOR GREATER THAN 5 DAYS SHALL BE STABILIZED WITH TEMPORARY SEEDING AND MULCH.
12. PREVENT EXCESSIVE DUST FROM LEAVING THE CONSTRUCTION SITE IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.
13. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES.
14. AT A MINIMUM ALL DISTURBED AREAS SHALL RECEIVE A MINIMUM OF 4" OF TOPSOIL FERTILIZER, SEED AND MULCH. SEED MIXTURE SHALL BE WISCONSIN DOT SEED MIX #40 OR EQUIVALENT APPLIED AT A RATE OF 5 POUNDS PER 1000 SQFT ON ALL DISTURBED AREAS. ANNUAL RYEGRASS AT A RATE OF 1.5 POUNDS PER 1000 SQFT SHALL BE ADDED TO THE MIXTURE. FERTILIZER SHALL BE PLACED PER A SOIL TEST.
15. EARTHWORK CONTRACTOR TO OVER EXCAVATE/CLEAN OUT ALL LANDSCAPE AREAS TO ALLOW FOR THE PLACEMENT OF 12" OF BLACK DIRT/TOPSOIL.
16. CONTRACTOR SHALL VERIFY DEPTH OF ALL UTILITIES TO ENSURE PROPOSED GRADES HAVE ENOUGH COVER.
17. IF EXCESSIVE SILTATION IN THE BASIN IS OBSERVED A SOILS PROBE SHOULD BE COMPLETED TO DETERMINE IF THE ACCUMULATED DEPTH OF SEDIMENT IN THE BASIN HAS IMPACTED FUTURE PERFORMANCE.

SEQUENCE OF CONSTRUCTION

1. INSTALL EROSION CONTROL MEASURES, BEGIN DEMOLITION & MASS GRADING START: 02-01-2025 (USLE PATH #1)
2. FOOTINGS & FOUNDATIONS, SHORING, SITE UTILITIES START: 04-01-2025 (USLE PATH #2)
3. PAVEMENT BASE, CURB & GUTTER, PAVING START: 06-01-2025 (USLE PATH #3)
3. TEMPORARILY STABILIZE BARE GROUND AREAS WITH SEED & MULCH START: 08-01-2025
4. REDISTURB AREAS AS REQUIRED FOR FINAL LANDSCAPING & RESTORATION START: 08-15-2027 - END: 07-01-2028
5. REMOVE EROSION CONTROL WHEN SITE HAS BECOME STABILIZED (60 DAYS) STABILIZATION: 09-01-2027

GRADING PLAN LEGEND

- PROPOSED CONTOURS
- EXISTING CONTOURS
- DISTURBED AREA
- SILT SOCK OR SILT FENCE
- CONSTRUCTION ENTRANCE PER WDNr-1057
- INLET PROTECTION PER WDNr-1060
- TYPE C OR D - INLET PROTECTION

LIMITS OF DISTURBANCE = 311,318 SQ FT  
= 7.146 AC



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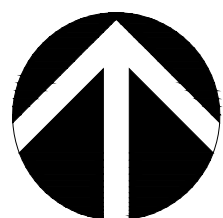
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Issued for LUA Submittal - October 7, 2024

PROJECT TITLE  
MIDPOINT  
MEADOWS



SCALE: 1" = 40'



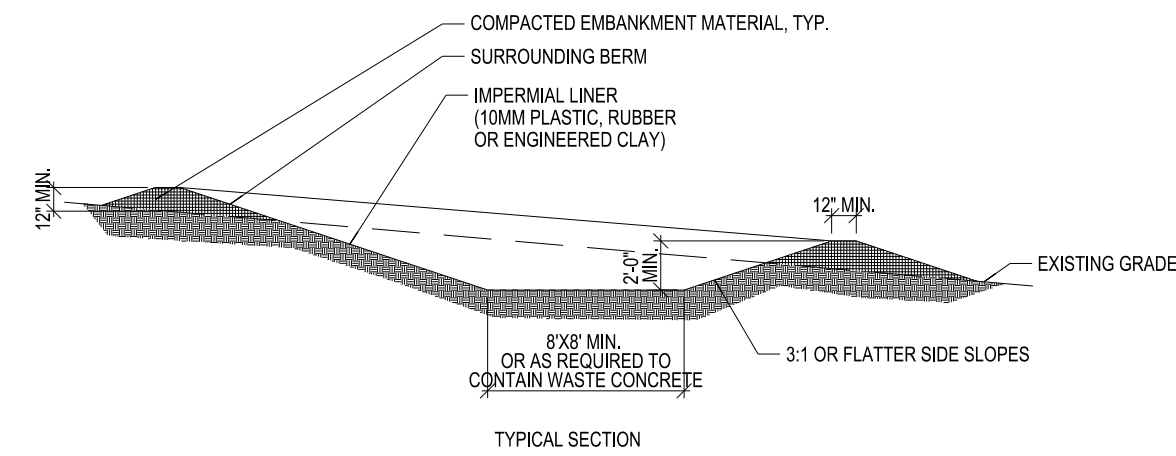
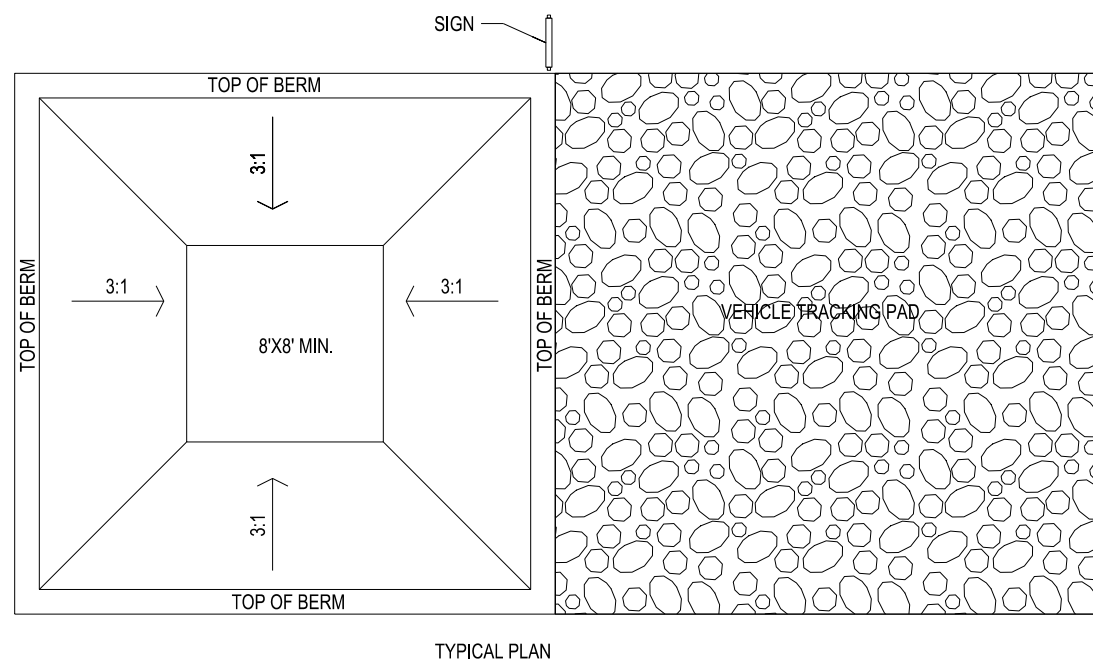
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EROSION CONTROL  
PLAN - OVERALL

SHEET NUMBER

C304

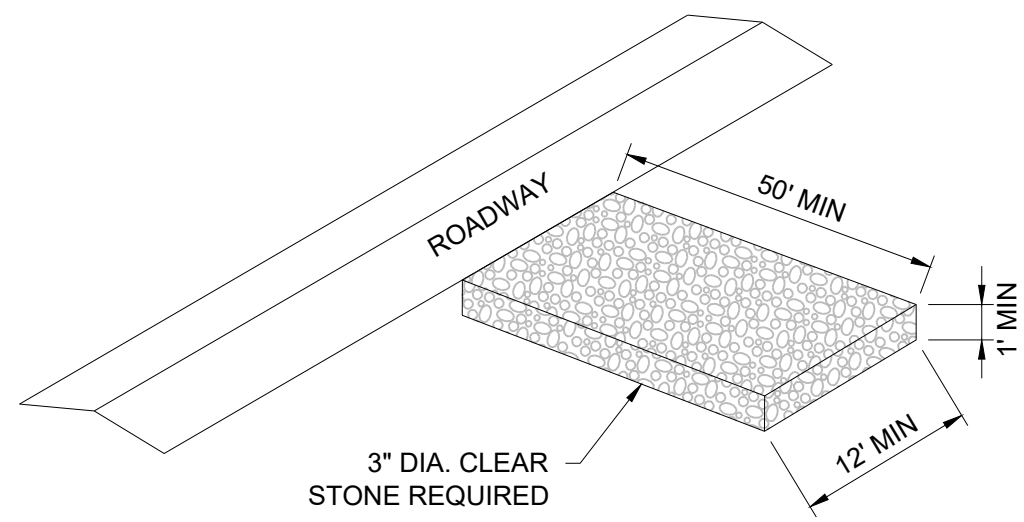
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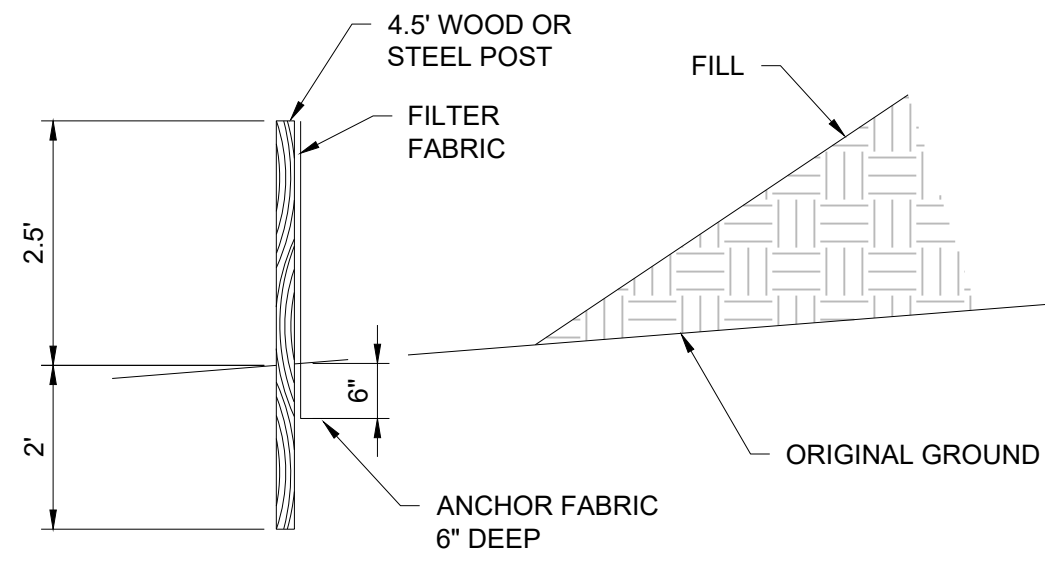


- CONCRETE WASHOUT AREA INSTALLATION NOTES
- SEE EROSION CONTROL PLAN FOR LOCATIONS OF CONCRETE WASHOUT AREA(S). TO BE PLACED A MIN. OF 50' FROM DRAINAGEWAYS, BODIES OF WATER, AND INLETS.
  - THE CONCRETE WASHOUT AREA(S) SHALL BE INSTALLED PRIOR TO ANY CONCRETE PLACEMENT ON SITE.
  - VEHICLE TRACKING CONTROL PAD IS REQ'D AT THE ACCESS POINT(S).
  - SIGNS SHALL BE PLACED AT THE CONSTRUCTION ENTRANCE, AT THE WASHOUT AREA(S), AND ELSEWHERE AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CONCRETE WASHOUT AREAS TO OPERATORS OF CONCRETE TRUCKS AND PUMP RIGS.
  - EXCAVATED MATERIAL SHALL BE UTILIZED IN PERIMETER BERM CONSTRUCTION.
- CONCRETE WASHOUT AREA MAINTENANCE NOTES
- THE CONCRETE WASHOUT AREA SHALL BE REPAIRED AND ENLARGED OR CLEANED OUT AS NECESSARY TO MAINTAIN CAPACITY FOR WASTED CONCRETE.
  - AT THE END OF CONSTRUCTION, ALL CONCRETE SHALL BE REMOVED FROM SITE AND DISPOSED OF AT AN APPROVED WASTE SITE.
  - WHEN CONCRETE WASHOUT AREA(S) IS REMOVED, THE DISTURBED AREA SHALL BE STABILIZED PER SITE EROSION CONTROL MEASURES.
  - INSPECT WEEKLY AND DURING AND AFTER ALL STORM EVENTS. CLEAN-OUT OR COVER WASHOUT AREA PRIOR TO PREDICTED STORM EVENTS TO PREVENT OVER-FLOW.

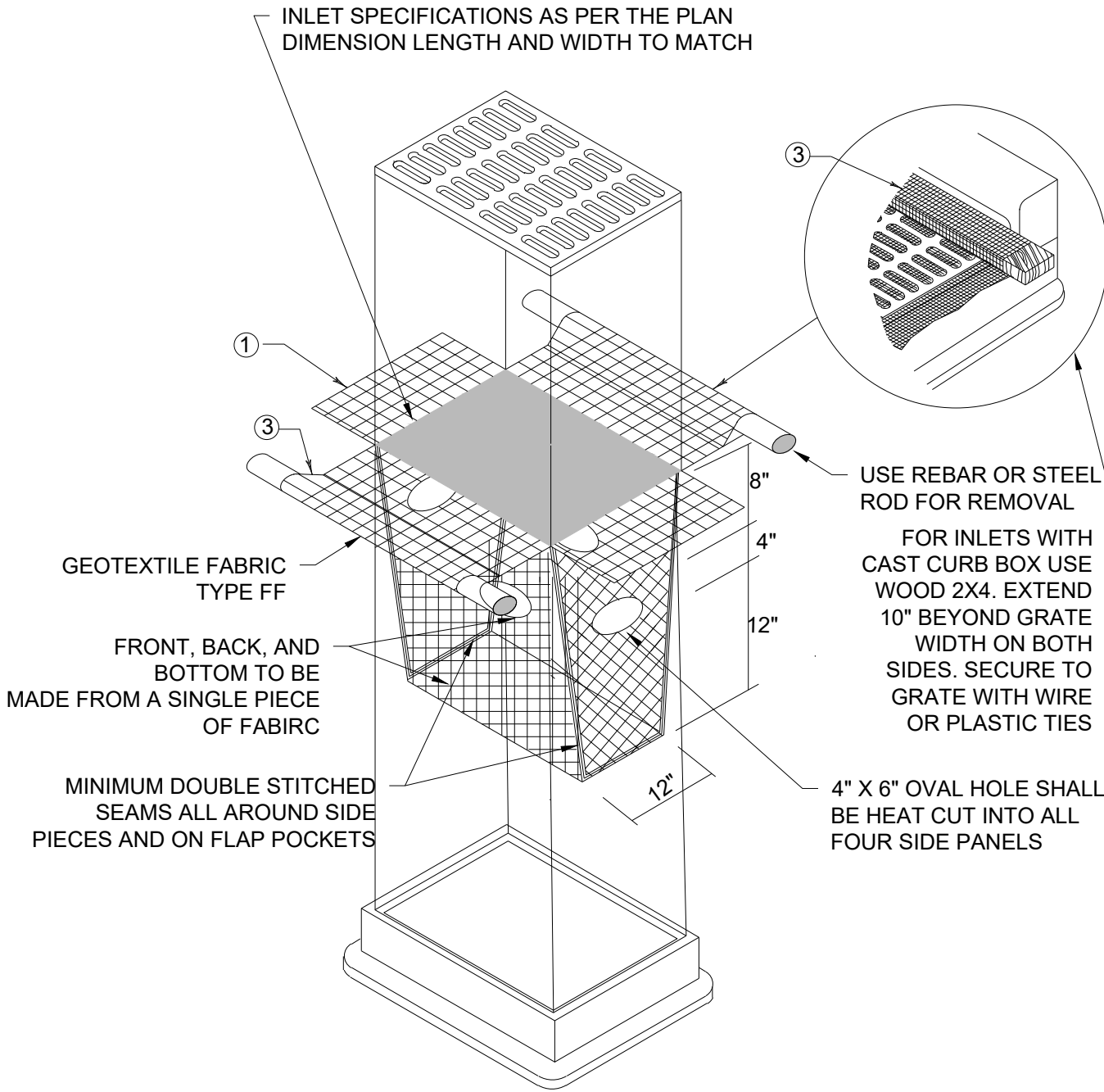
CONCRETE WASHOUT AREA  
NOT TO SCALE



STONE TRACKING PAD  
NOT TO SCALE

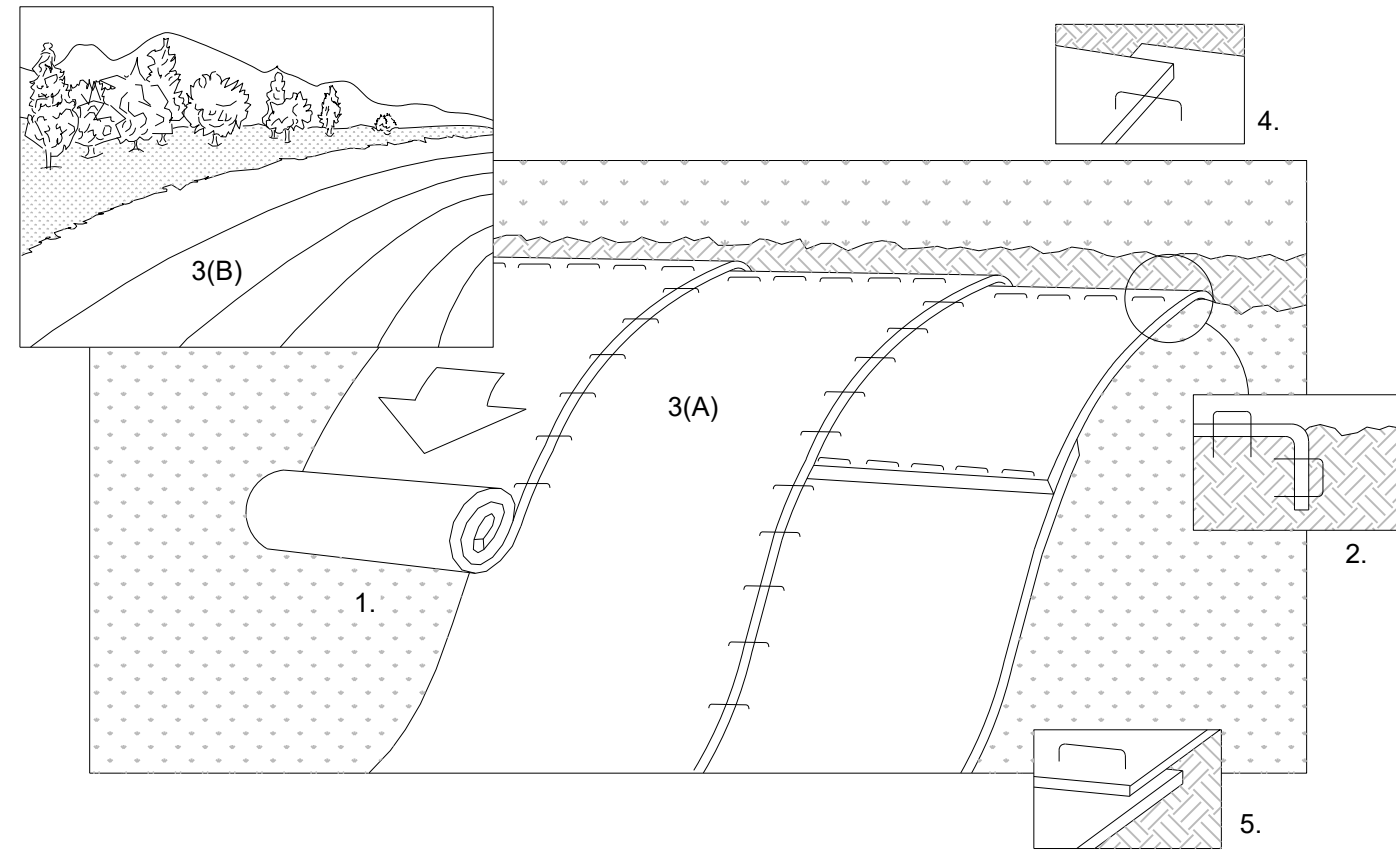


SILT FENCE  
NOT TO SCALE



- NOTES:
- FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10\"/>
  - FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18\"/>
  - FLAP POCKETS SHALL BE LARGE ENOUGH OT ACCPET WOOD 2X4.

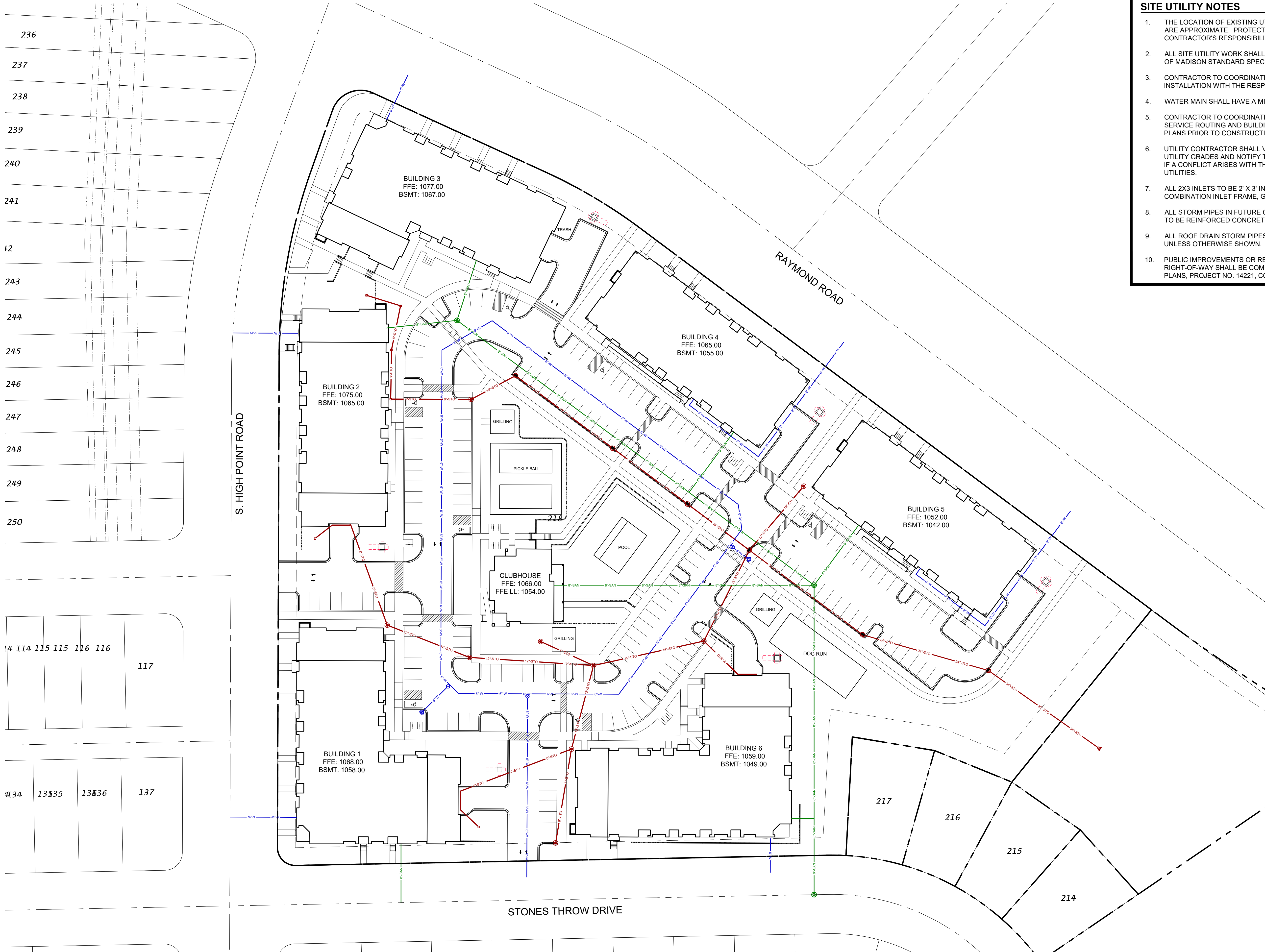
TYPE D INLET PROTECTION  
NOT TO SCALE



- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF FERTILIZER AND SEED. WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
- BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6\"/>
- ROLL THE BLANKET (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE.
- THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2\"/>
- WHEN BLANKETS MUST BE SPLICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 4\"/>
- ALL BLANKETS MUST BE SECURELY FASTENED TO THE SLOPE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS RECOMMENDED BY THE MANUFACTURER.
- REFER TO GENERAL PATTERN GUIDE FOR CORRECT STAPLE PATTERN RECOMMENDATIONS FOR SLOPE INSTALLATIONS.

EROSION CONTROL MAT - SLOPE INSTALLATION  
NOT TO SCALE





SITE UTILITY NOTES

1. THE LOCATION OF EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE. PROTECTION OF EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY.
2. ALL SITE UTILITY WORK SHALL BE CONSTRUCTED PER THE CITY OF MADISON STANDARD SPECIFICATIONS.
3. CONTRACTOR TO COORDINATE ELECTRIC, GAS, PHONE & CABLE INSTALLATION WITH THE RESPECTIVE UTILITY COMPANIES.
4. WATER MAIN SHALL HAVE A MINIMUM 6.5' BURY TO TOP OF PIPE.
5. CONTRACTOR TO COORDINATE SANITARY LATERAL AND WATER SERVICE ROUTING AND BUILDING CONNECTION WITH PLUMBING PLANS PRIOR TO CONSTRUCTION.
6. UTILITY CONTRACTOR SHALL VERIFY EXISTING UNDERGROUND UTILITY GRADES AND NOTIFY THE PROJECT SUPERINTENDENT IF A CONFLICT ARISES WITH THE INSTALLATION OF NEW UTILITIES.
7. ALL 2X3 INLETS TO BE 2' X 3' INLET BOXES WITH NEENAH R-3067 COMBINATION INLET FRAME, GRATE.
8. ALL STORM PIPES IN FUTURE CITY OF MADISON RIGHT-OF-WAY TO BE REINFORCED CONCRETE PIPE.
9. ALL ROOF DRAIN STORM PIPES TO BE ADS N-12 @ 1.0% UNLESS OTHERWISE SHOWN.
10. PUBLIC IMPROVEMENTS OR RESTORATION OF THE PUBLIC RIGHT-OF-WAY SHALL BE COMPLETED PER THE CITY ISSUED PLANS, PROJECT NO. 14221, CONTRACT NO. 9189.



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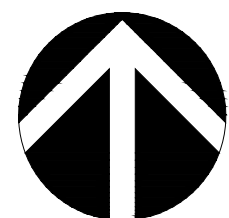
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PROJECT TITLE  
MIDPOINT  
MEADOWS



SCALE: 1" = 40'



SHEET TITLE  
SITE UTILITY PLAN -  
OVERALL

SHEET NUMBER

C400

PROJECT NO. 24-03-101  
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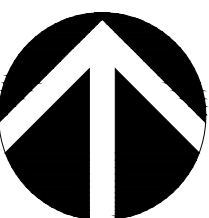
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PROJECT TITLE  
**MIDPOINT  
MEADOWS**



SCALE: 1" = 30'

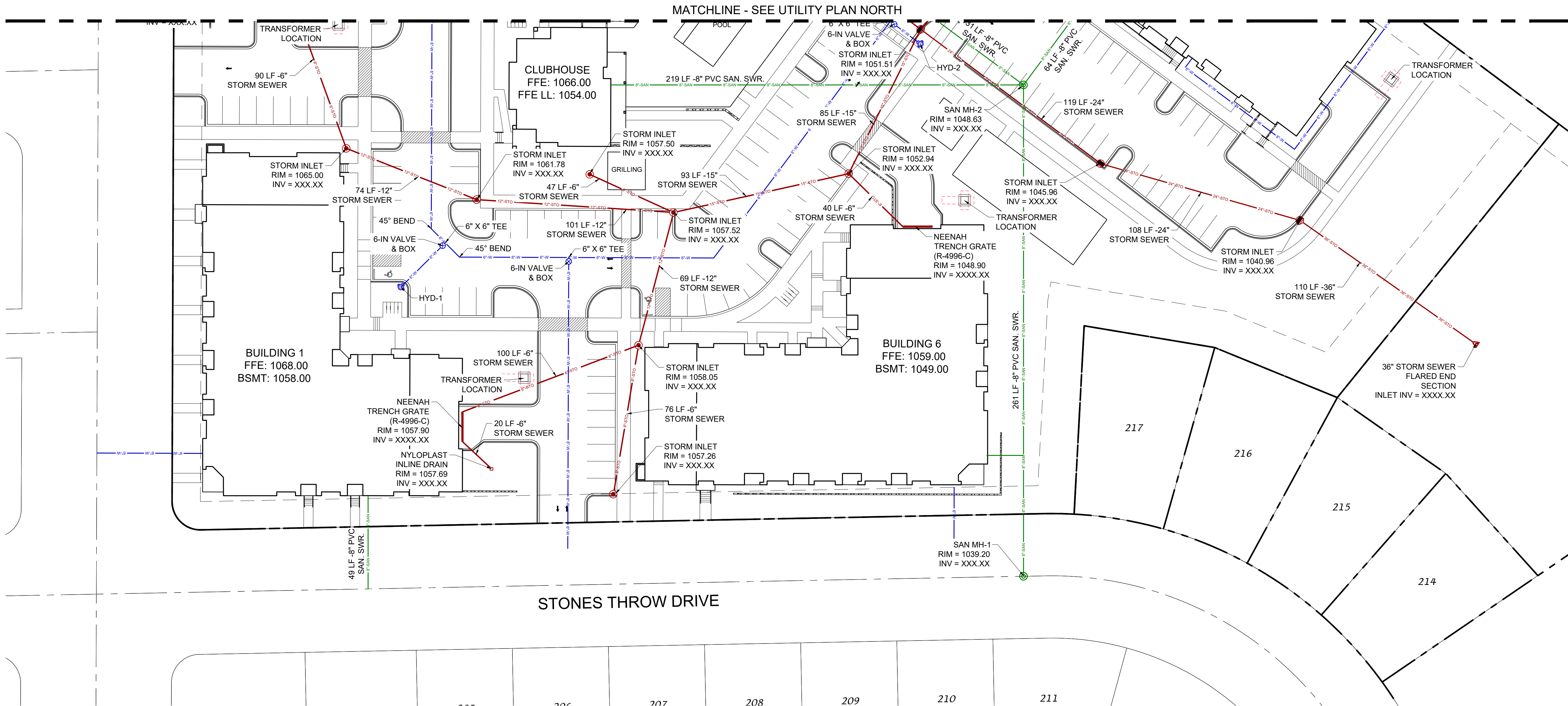


SHEET TITLE  
**SITE UTILITY PLAN -  
SOUTH**

SHEET NUMBER

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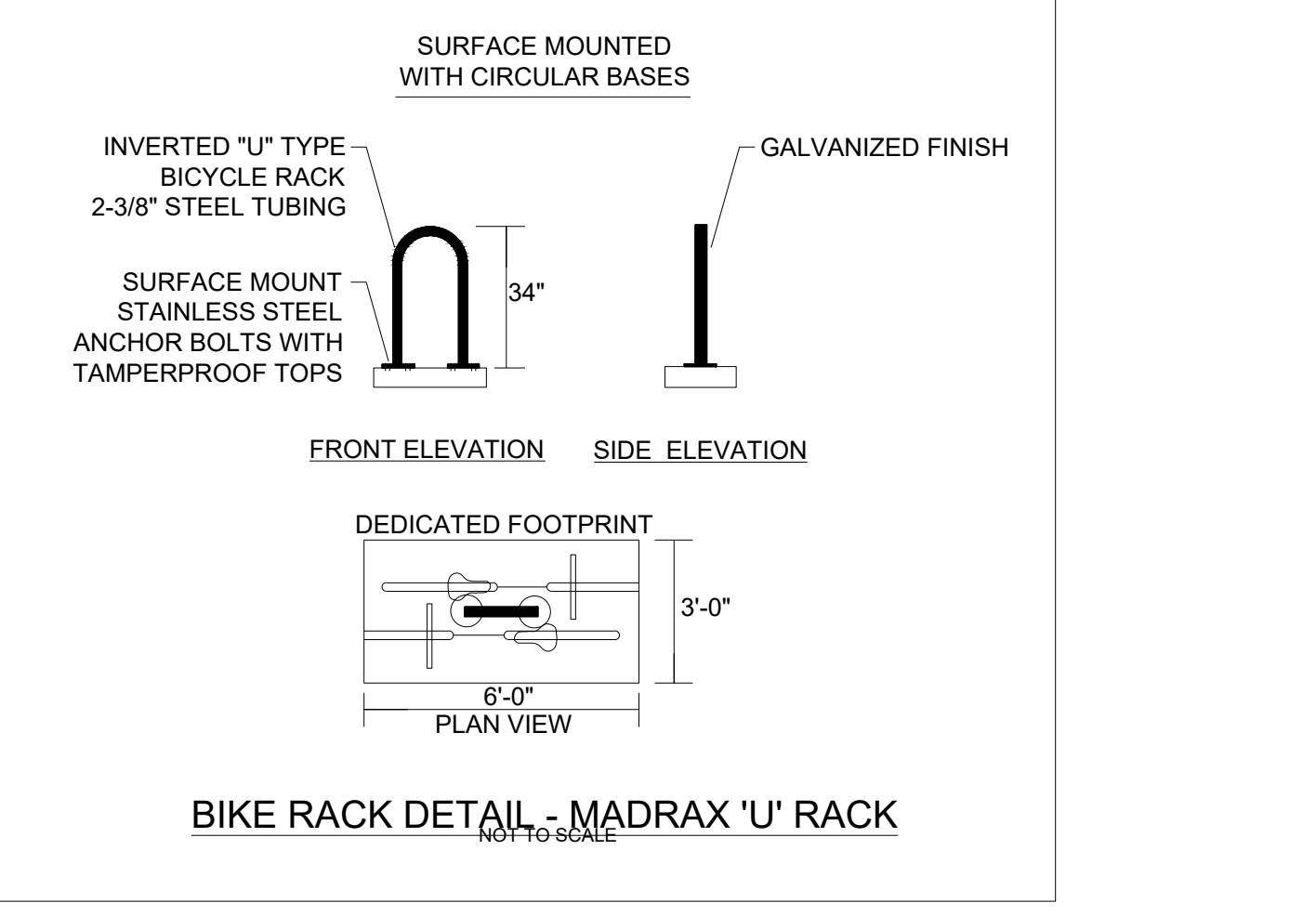
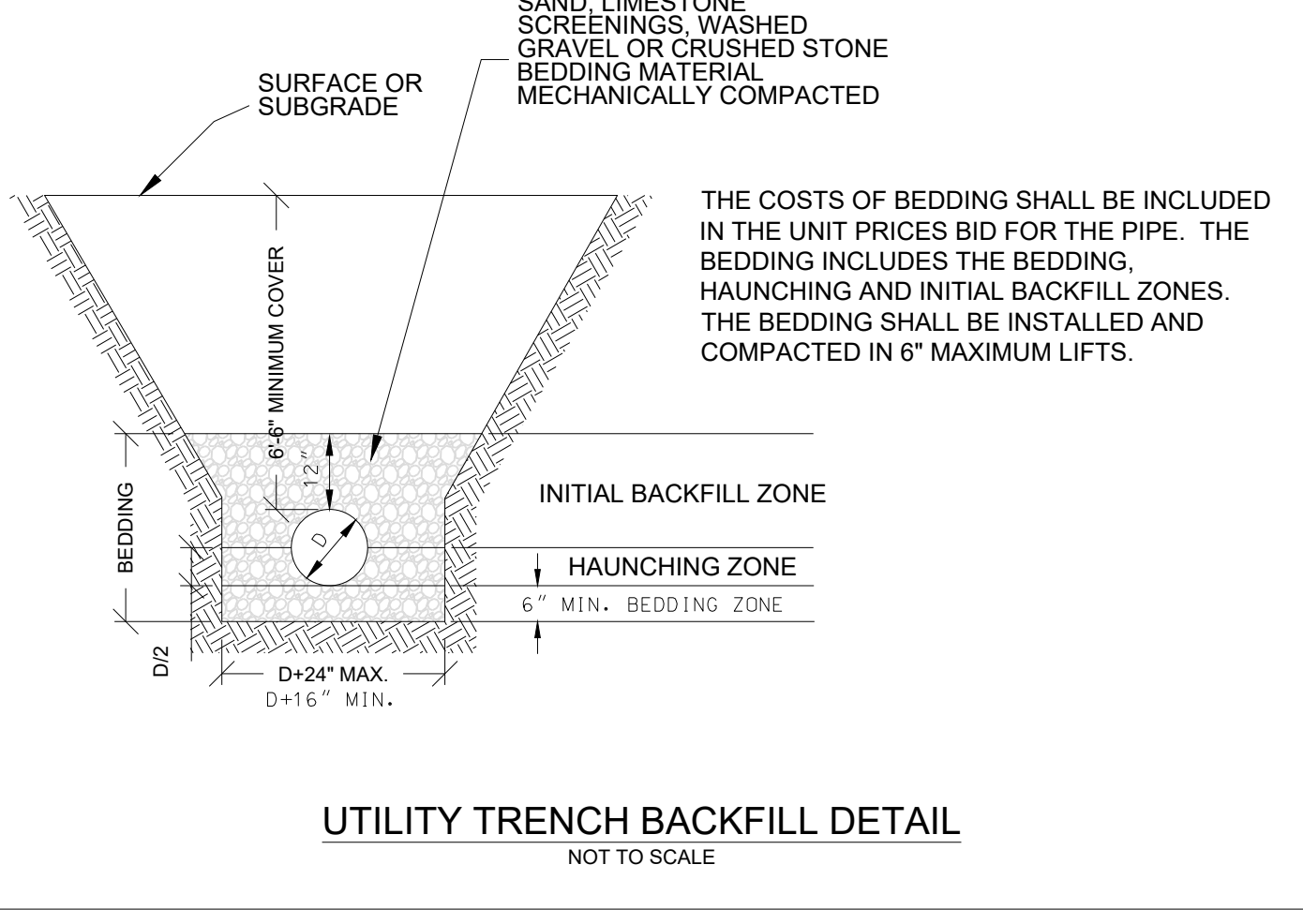
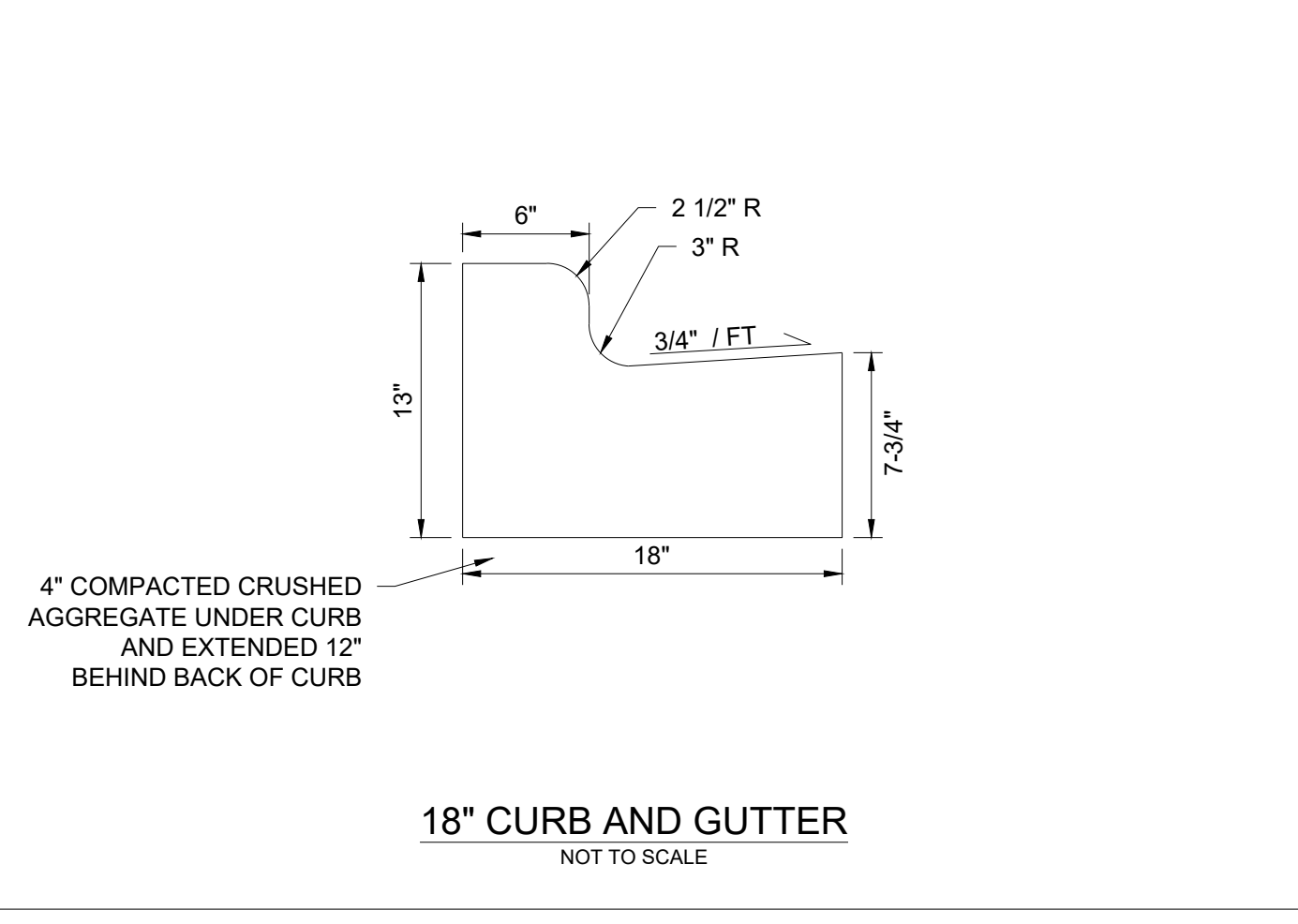
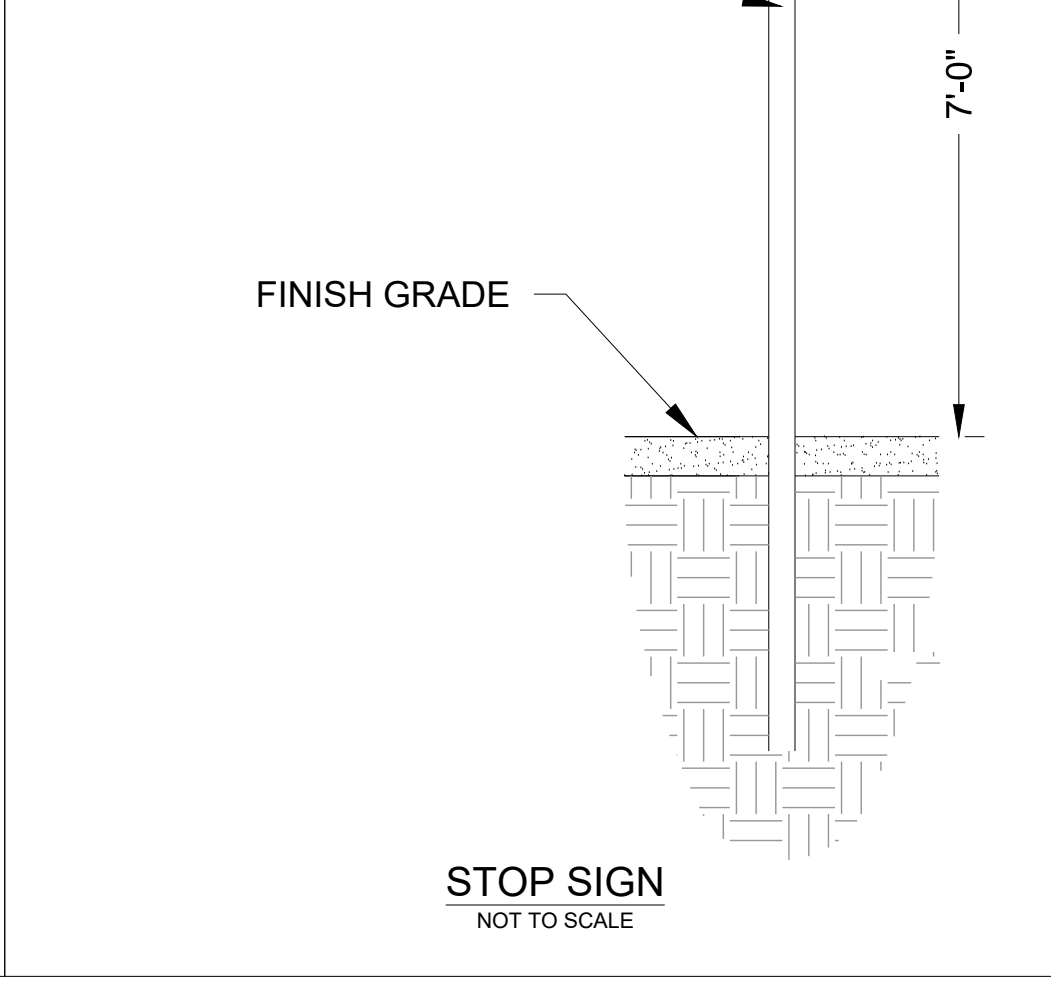
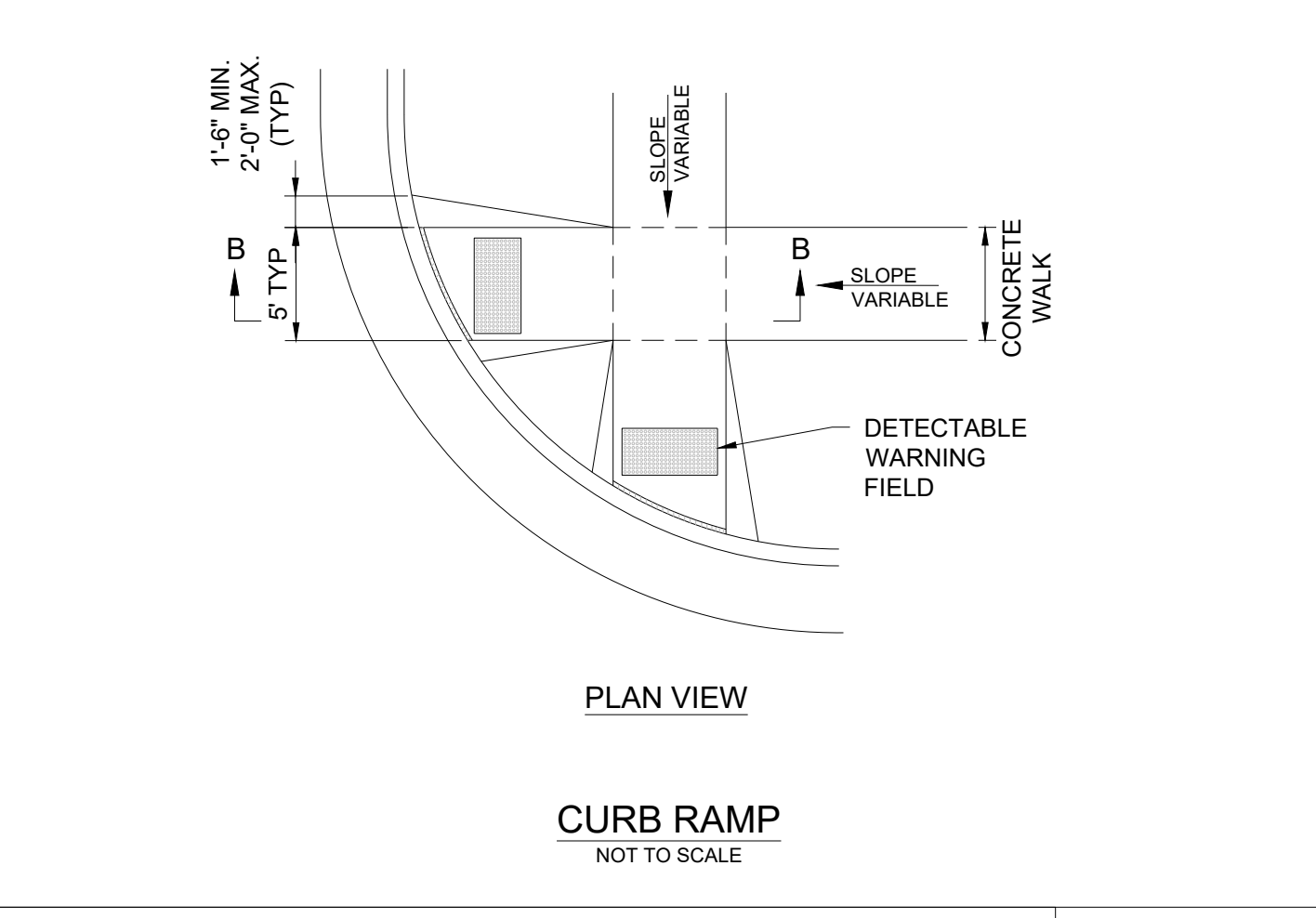
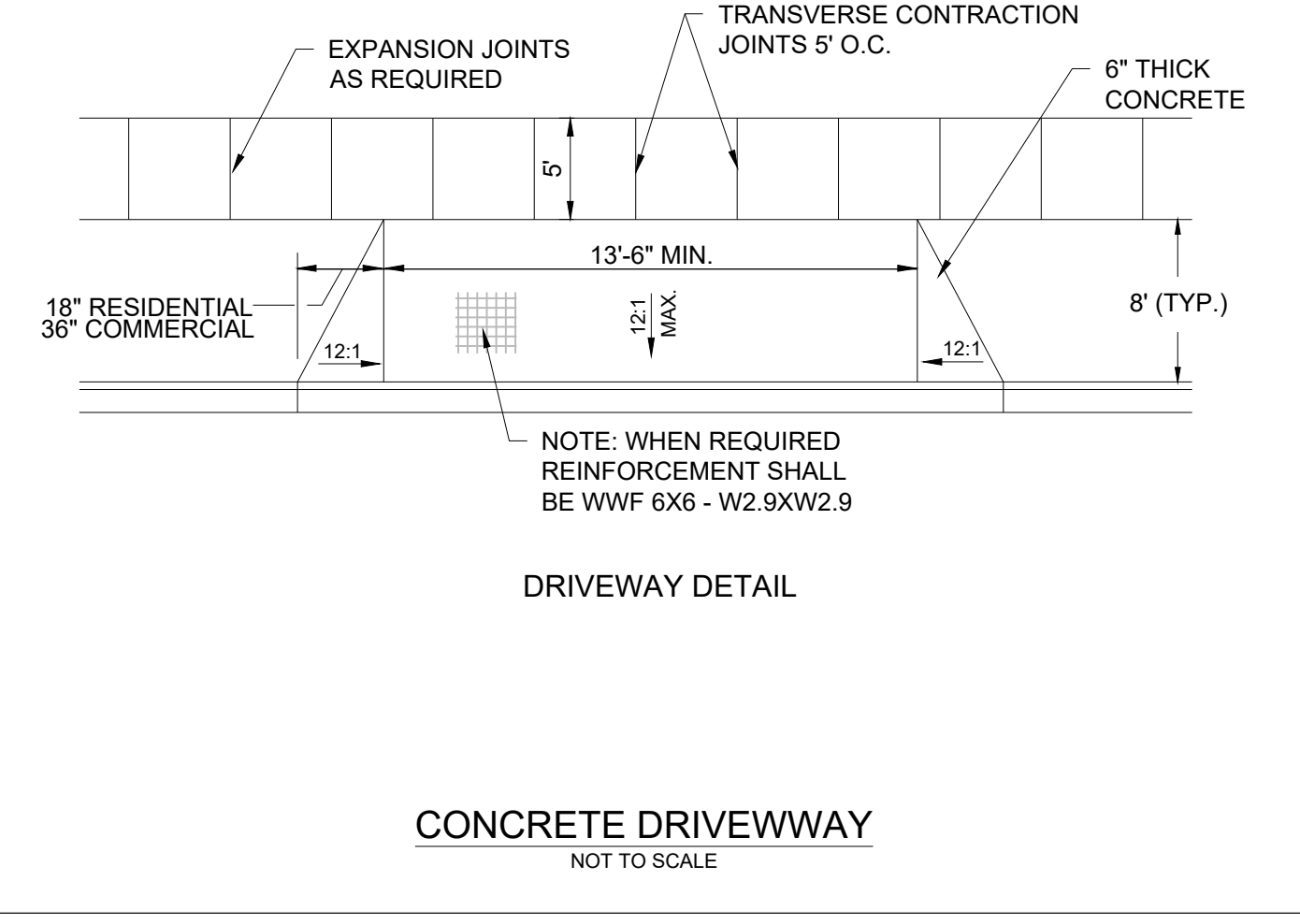
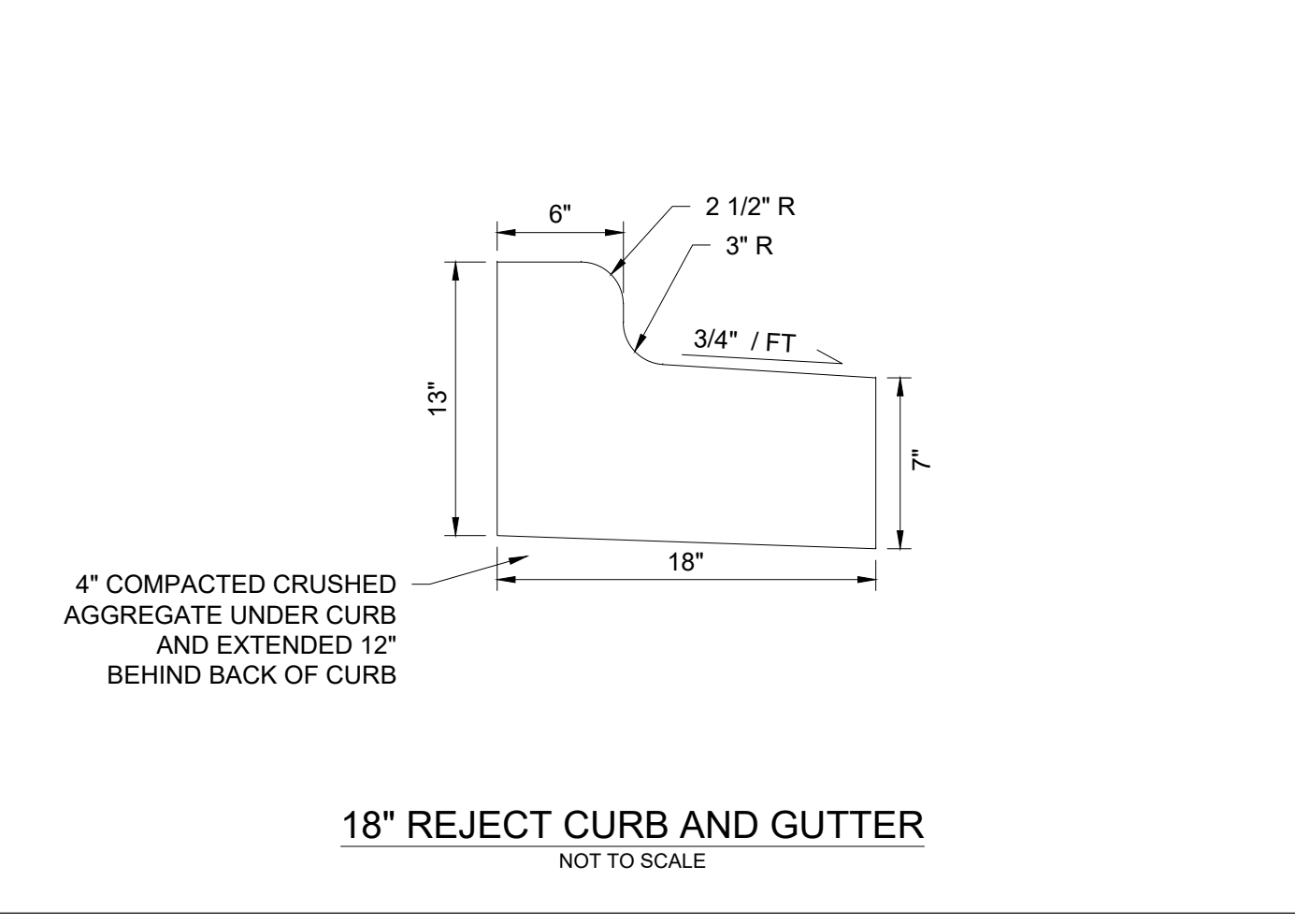
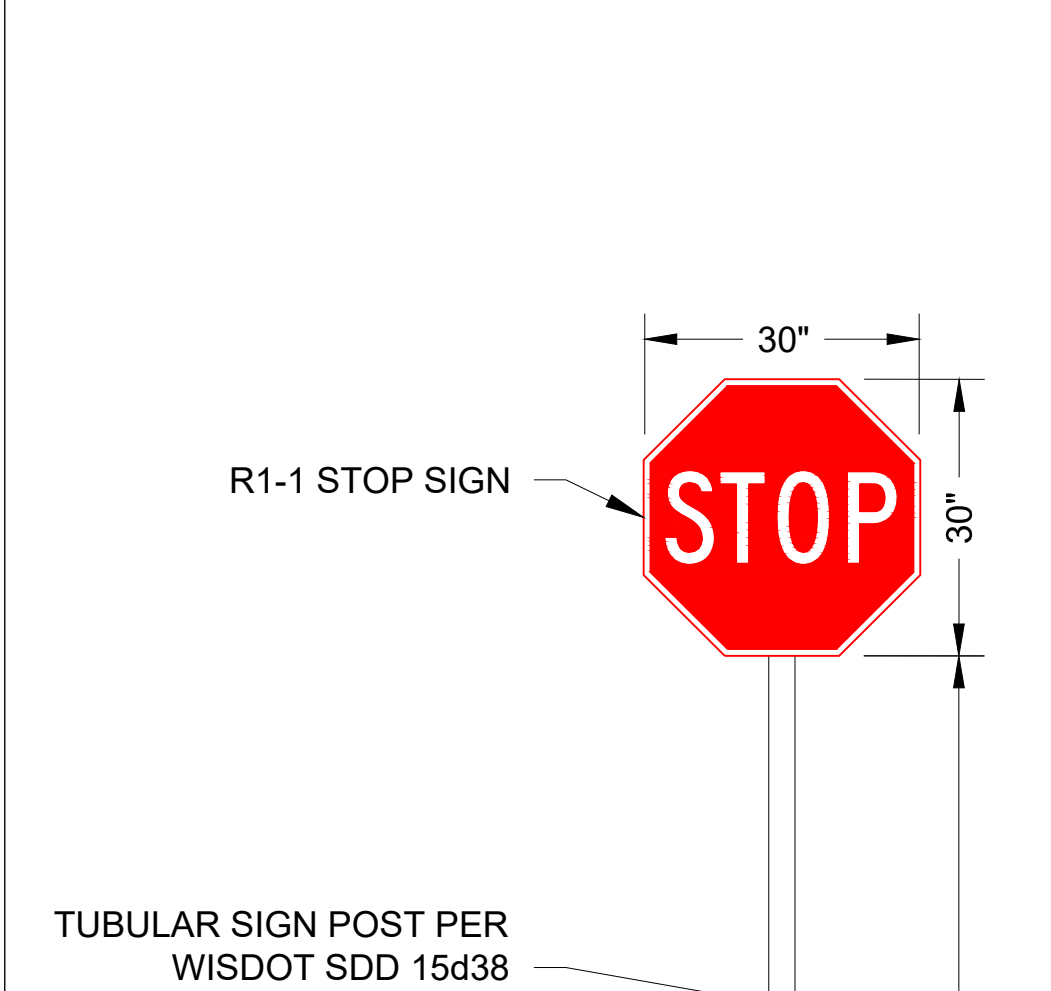
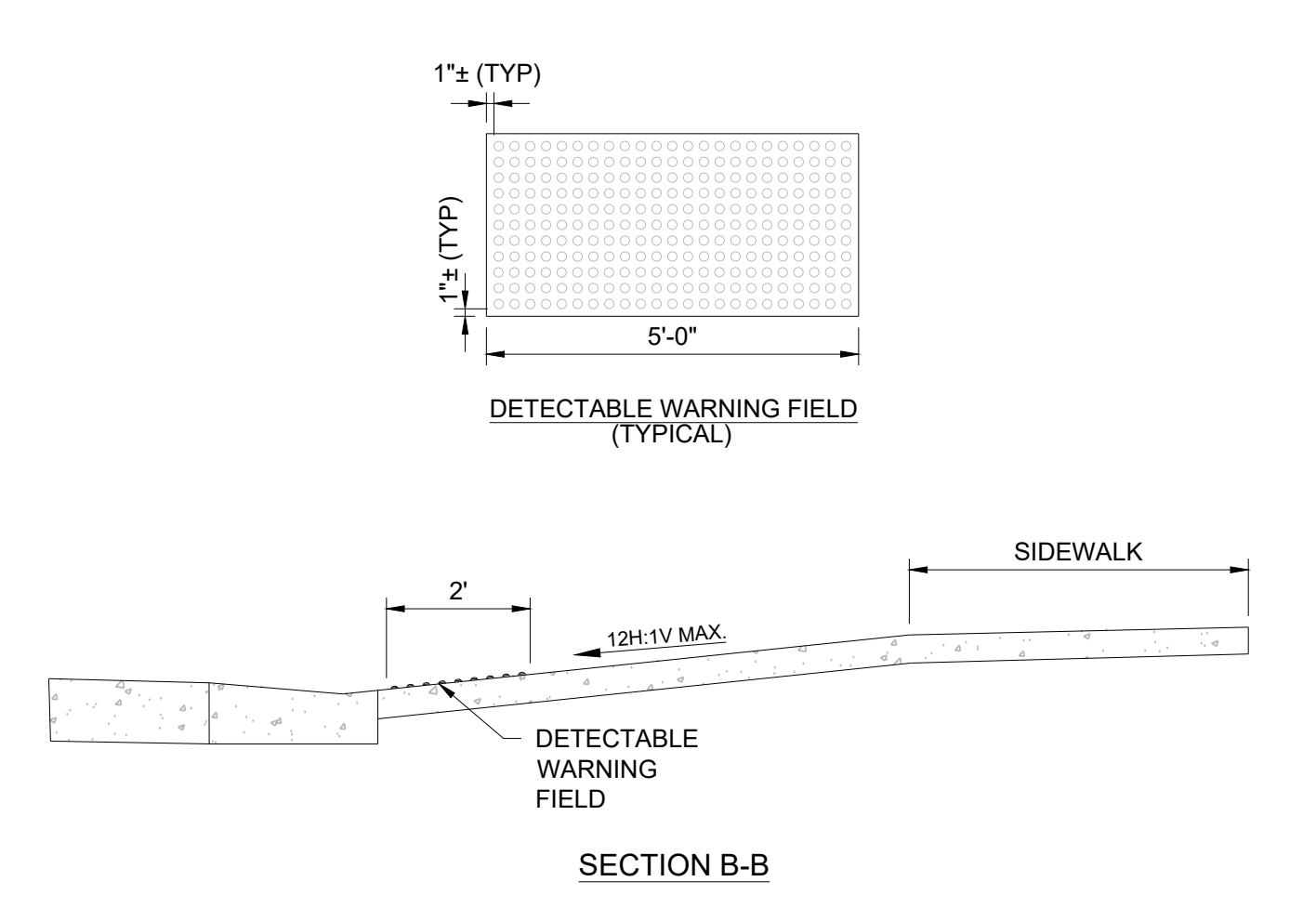
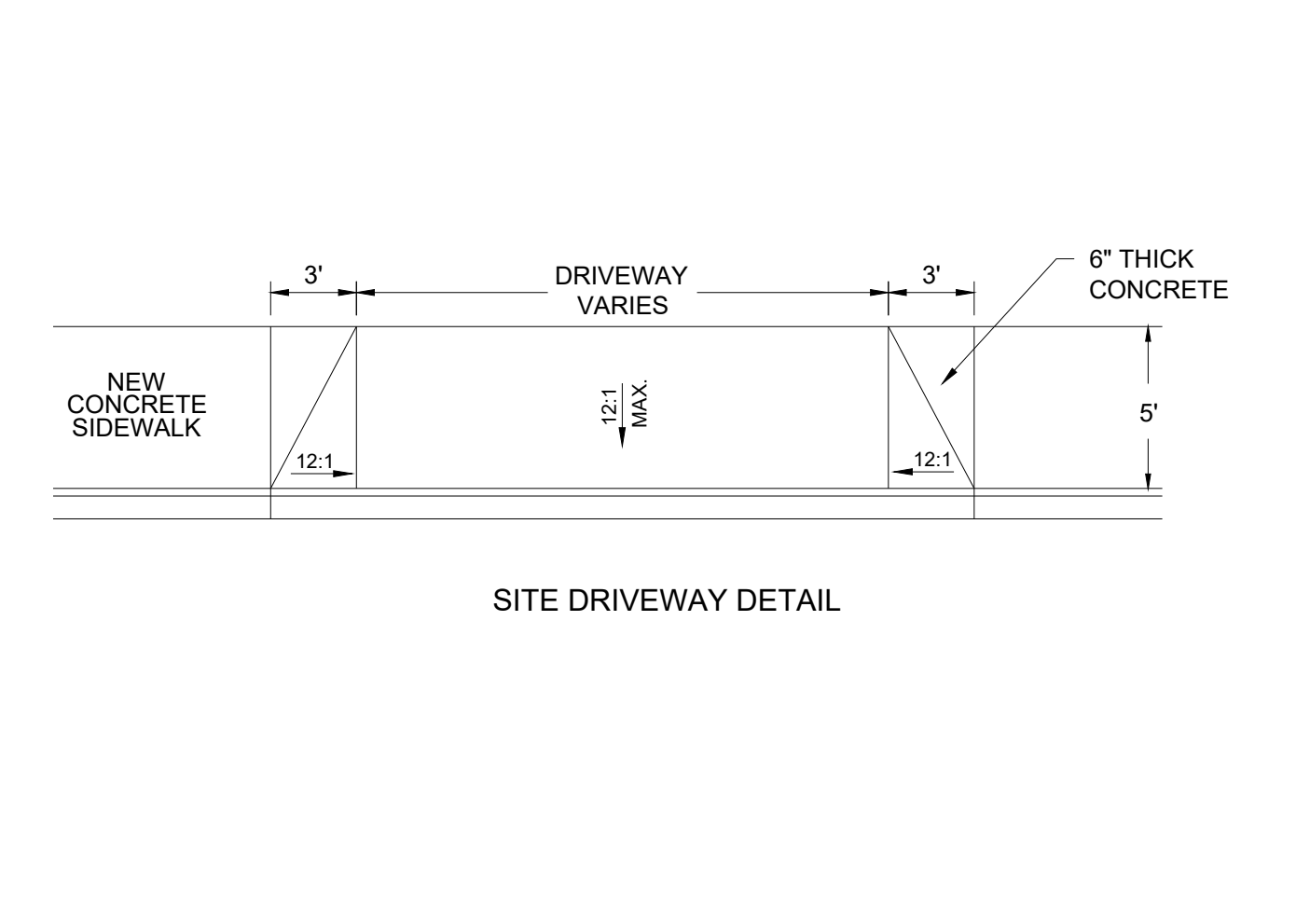
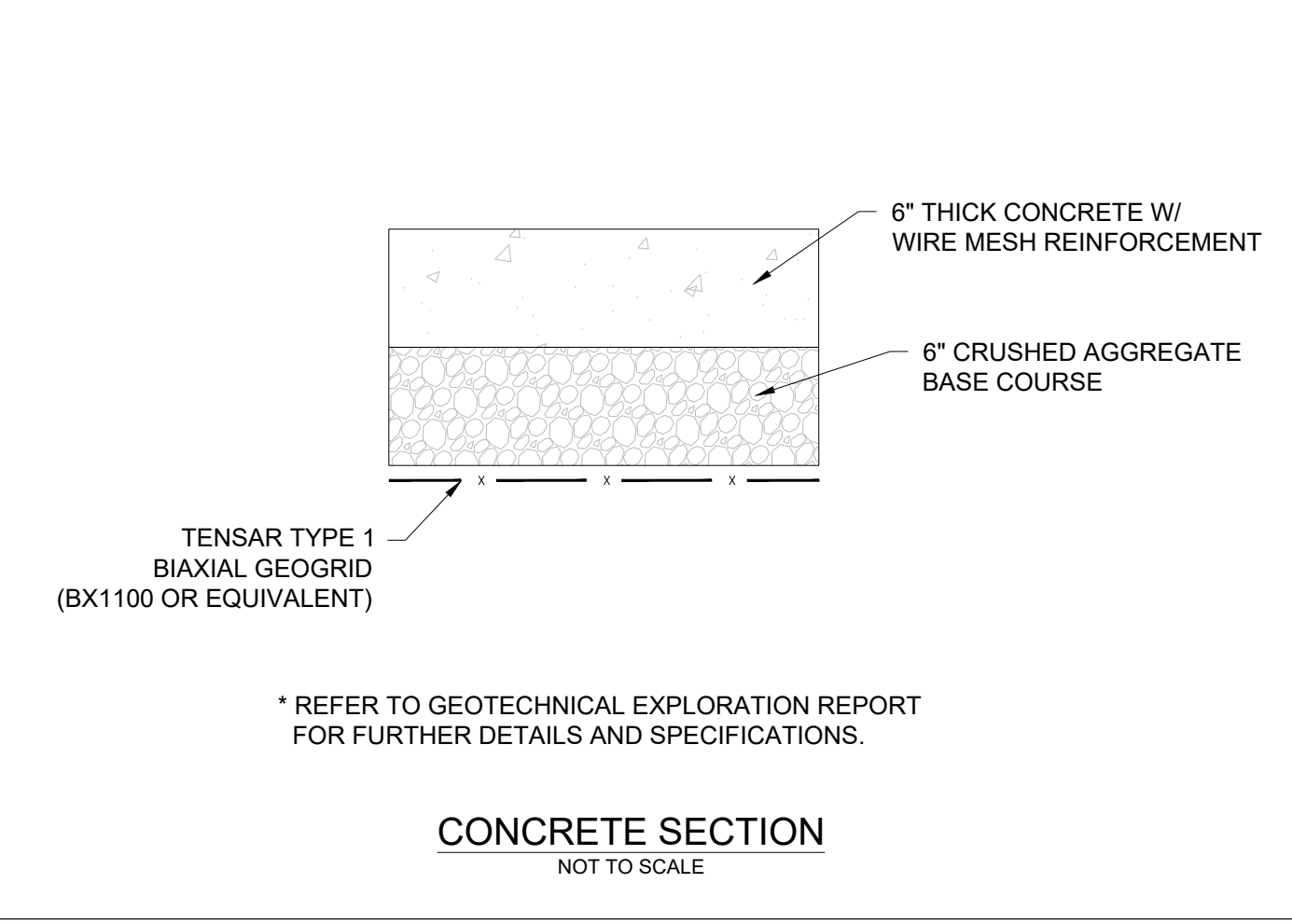
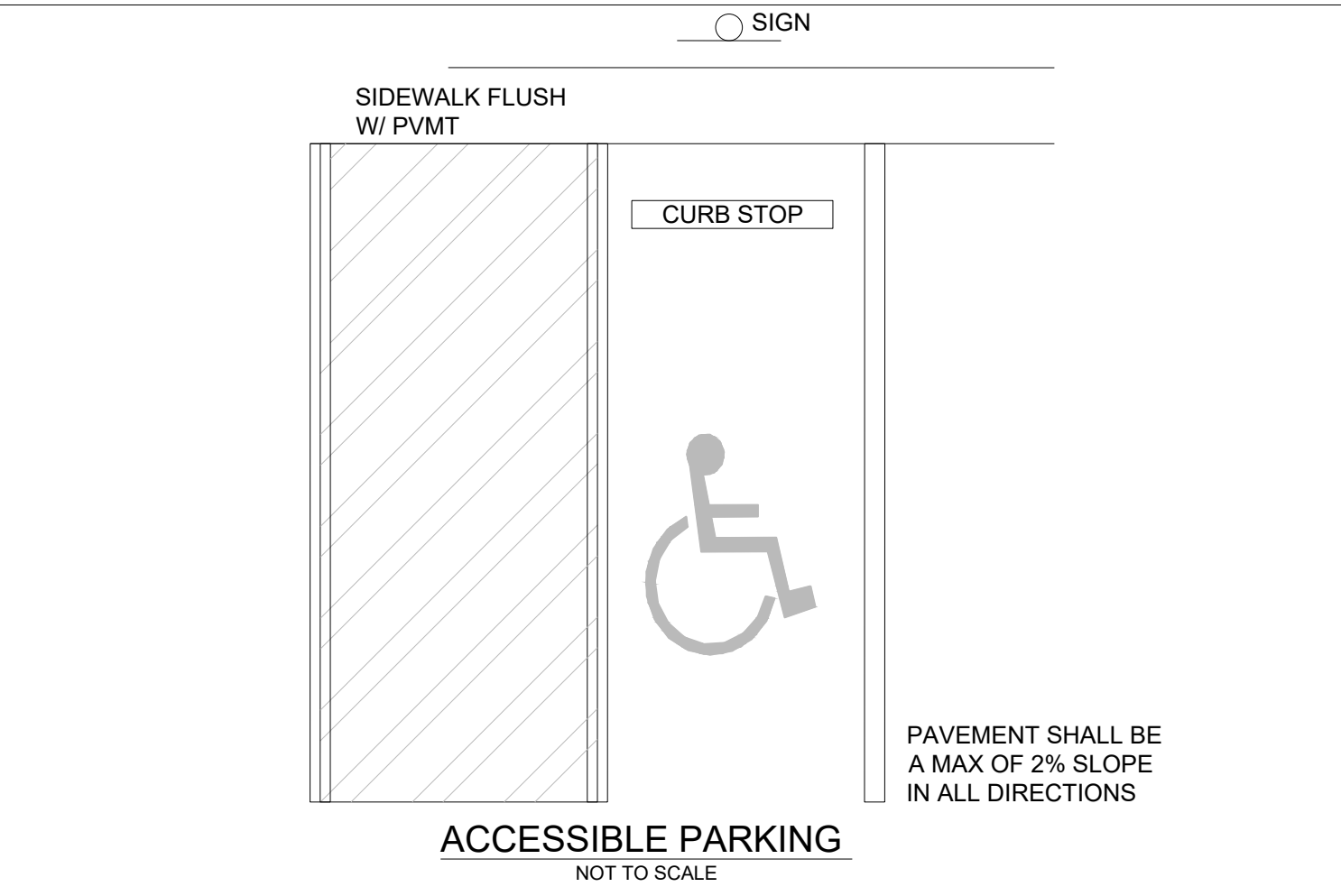
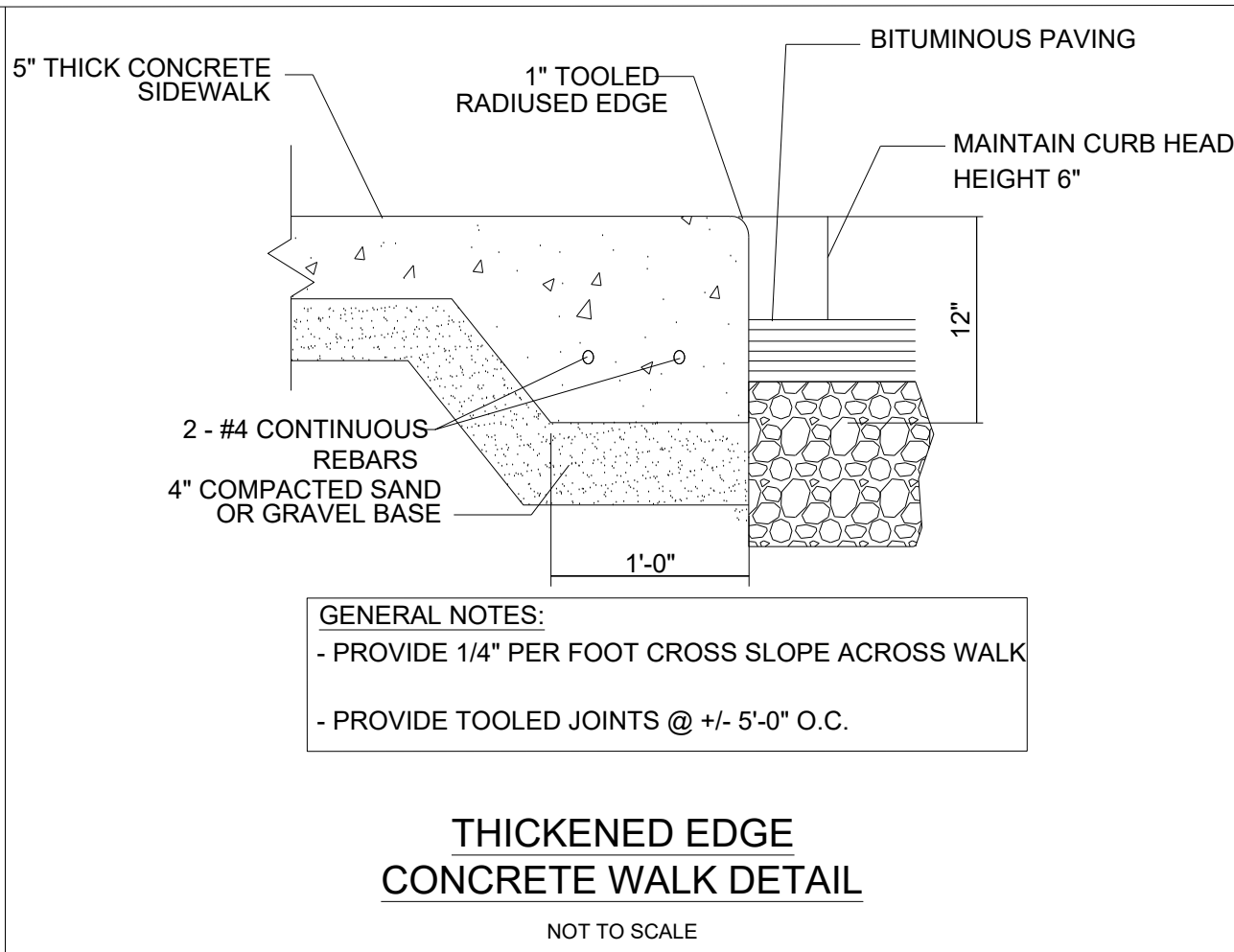
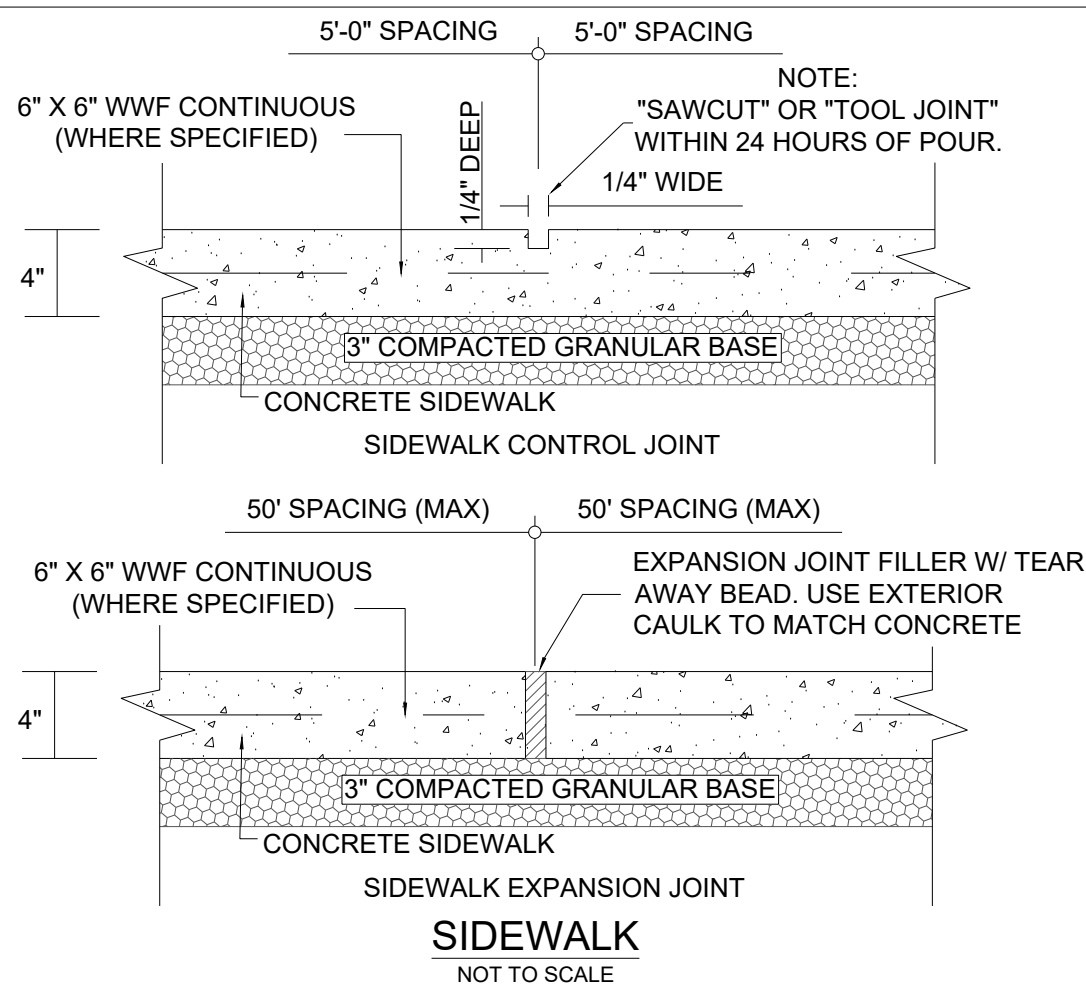
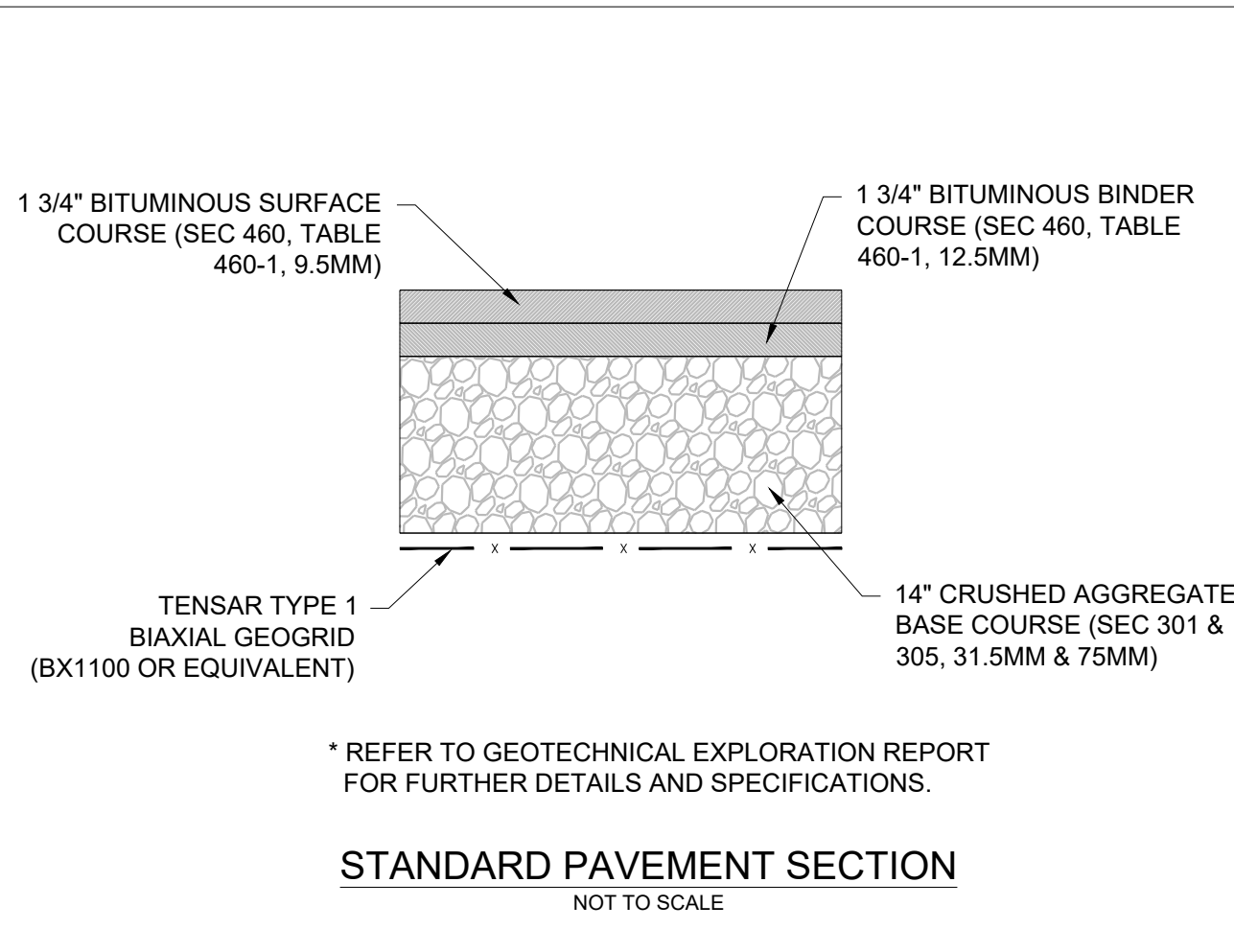
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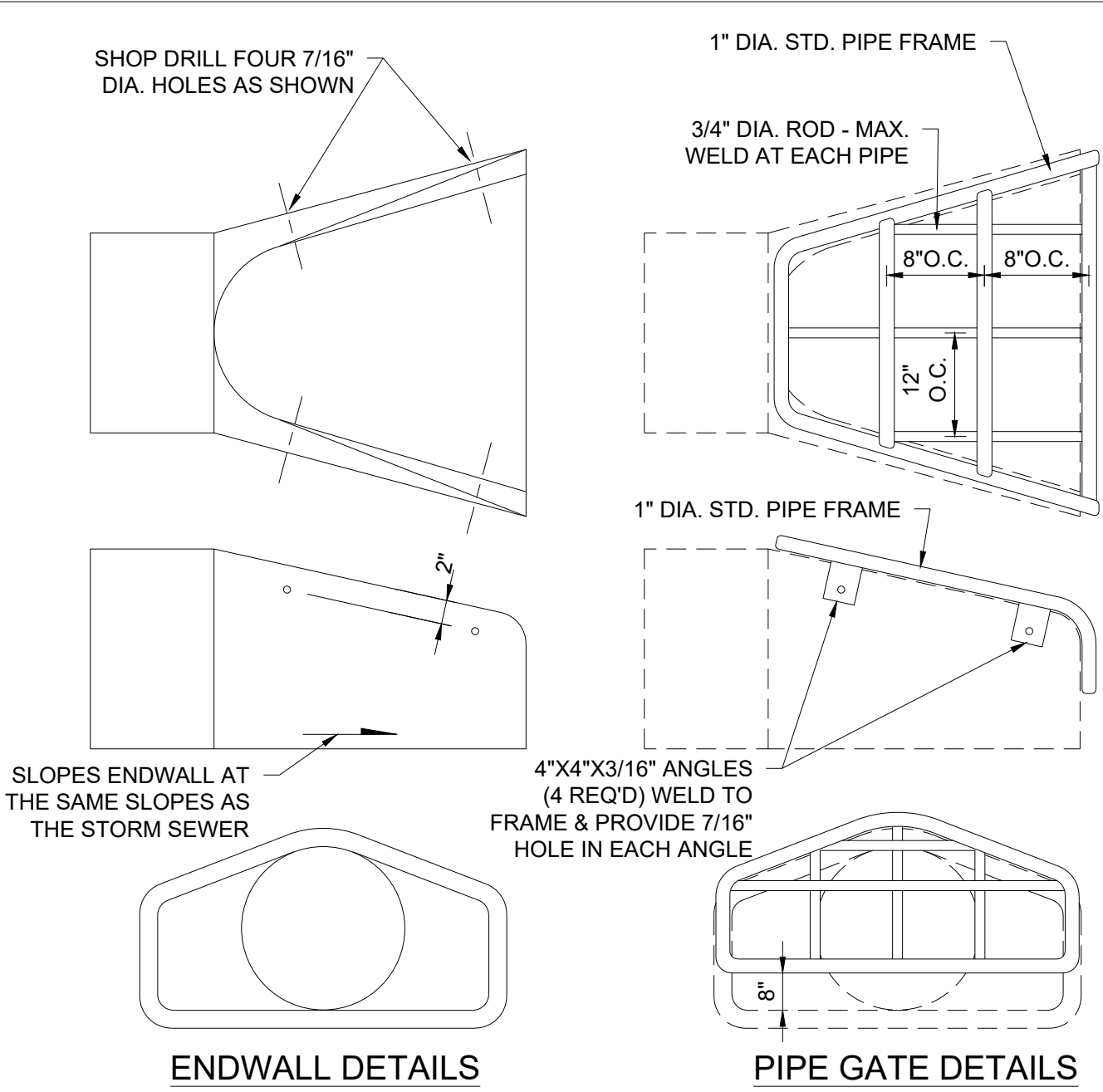
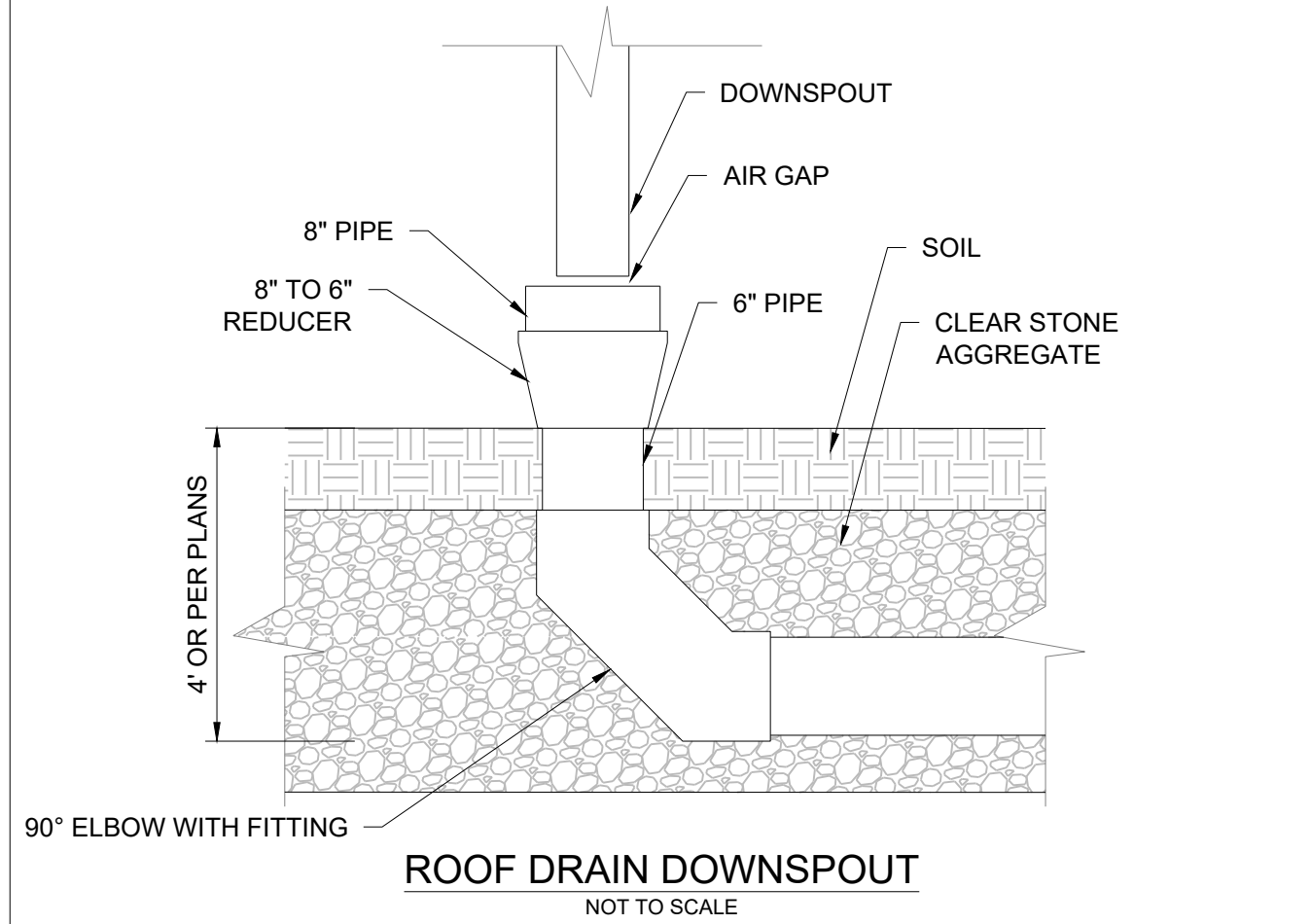
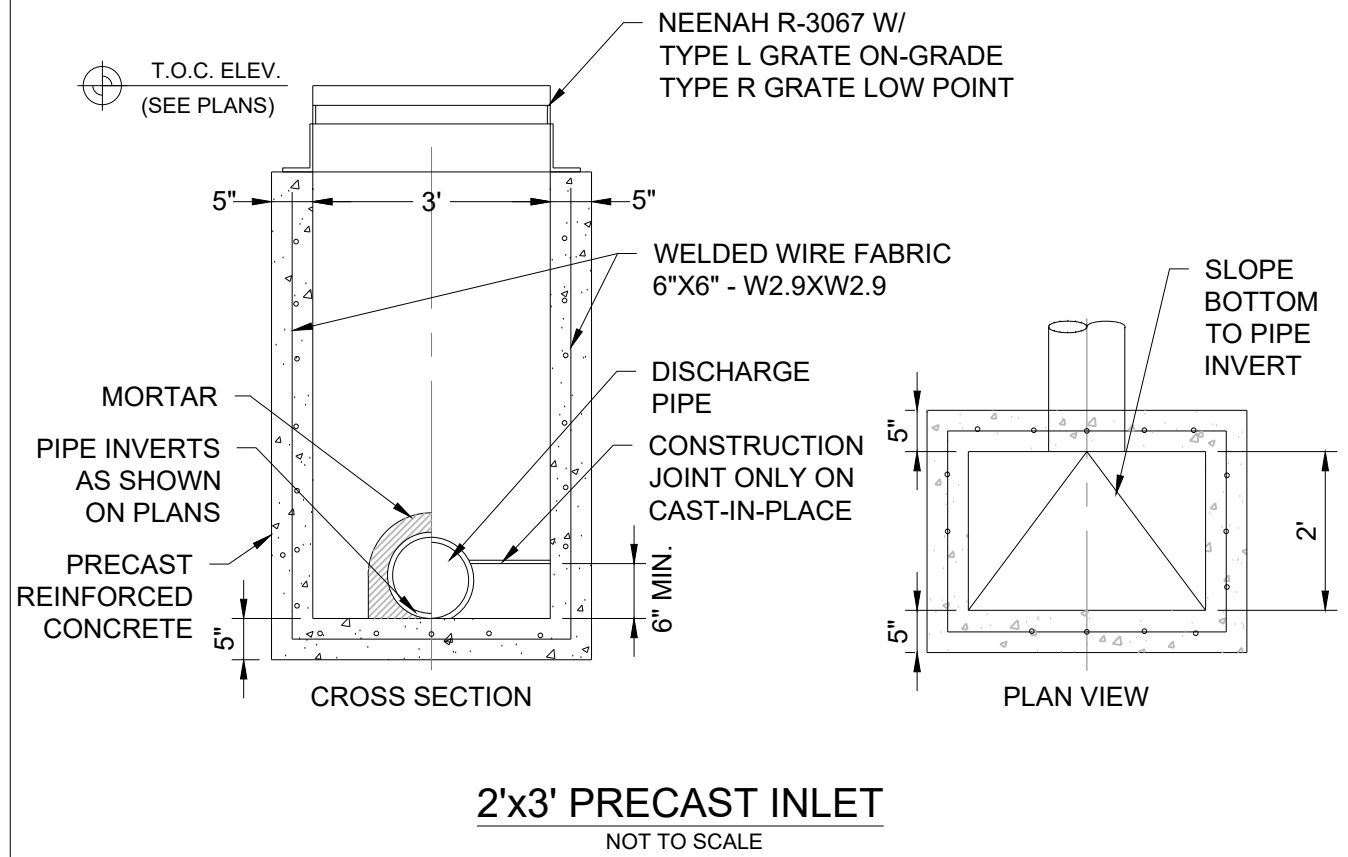
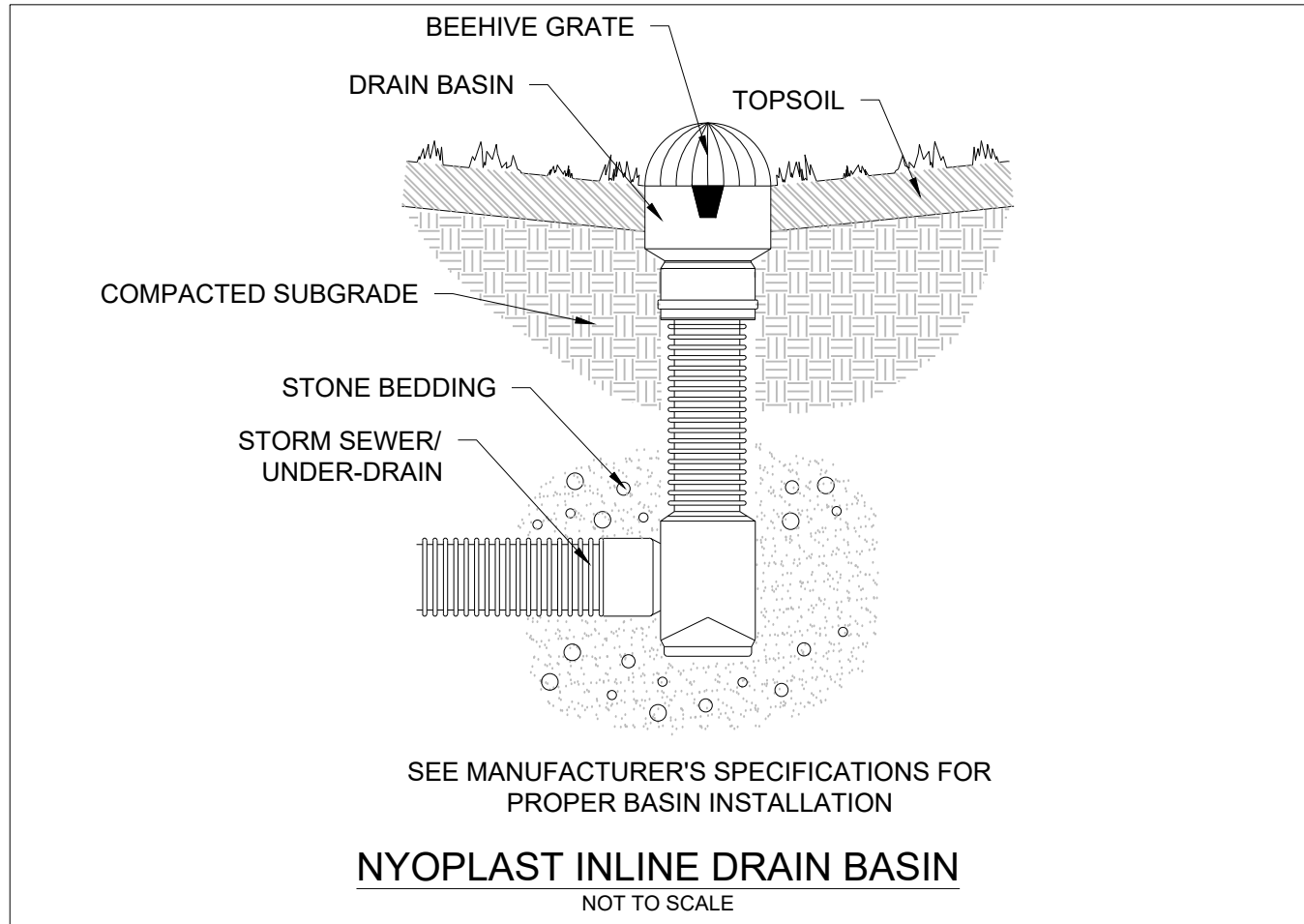
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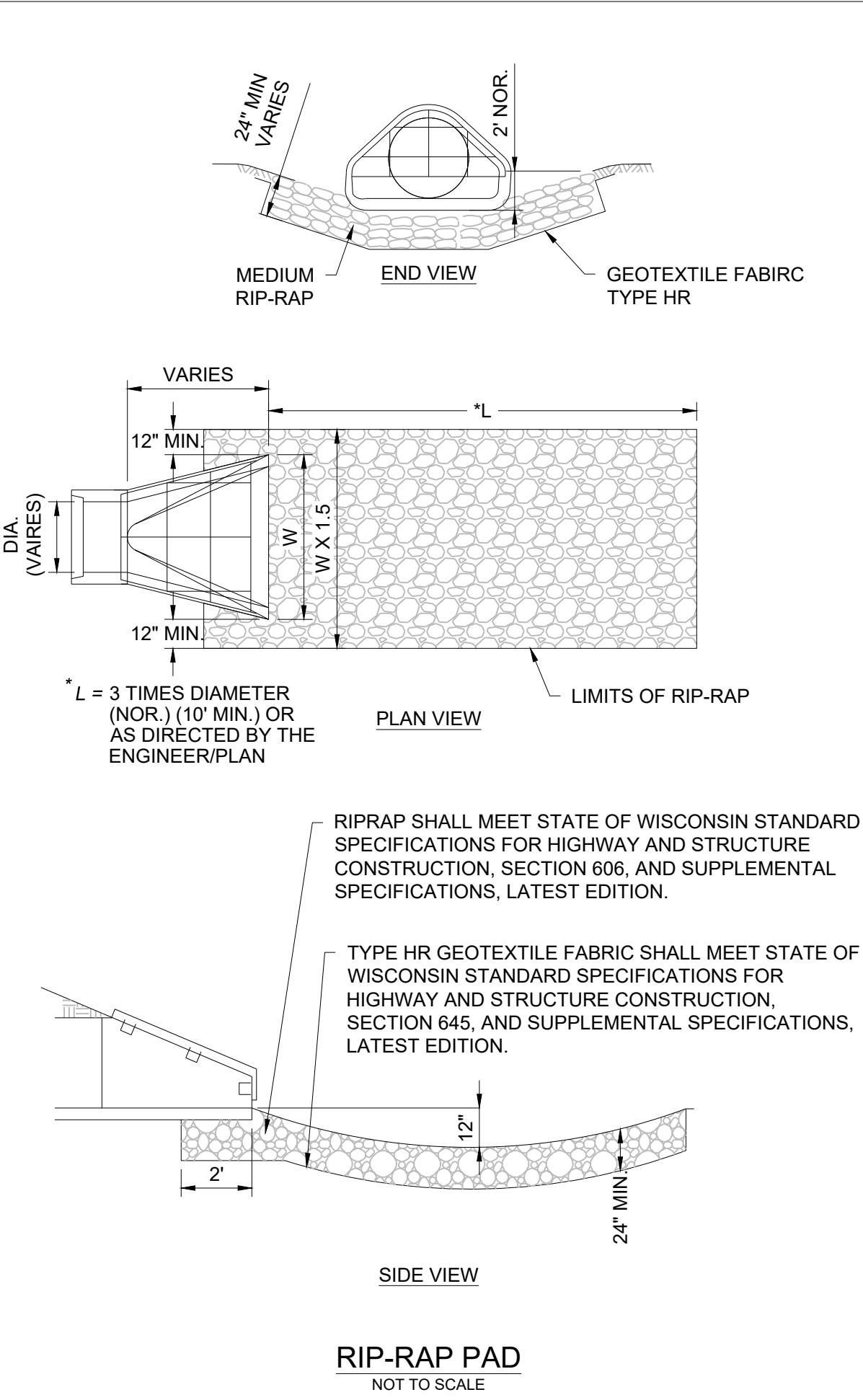


NOTES:  
- THE CONTRACTOR SHALL BOLT THE PIPE GATE TO THE CONCRETE ENDWALL WITH FOUR 3/8"x6" MACHINE BOLTS WITH NUTS ON INSIDE WALL.

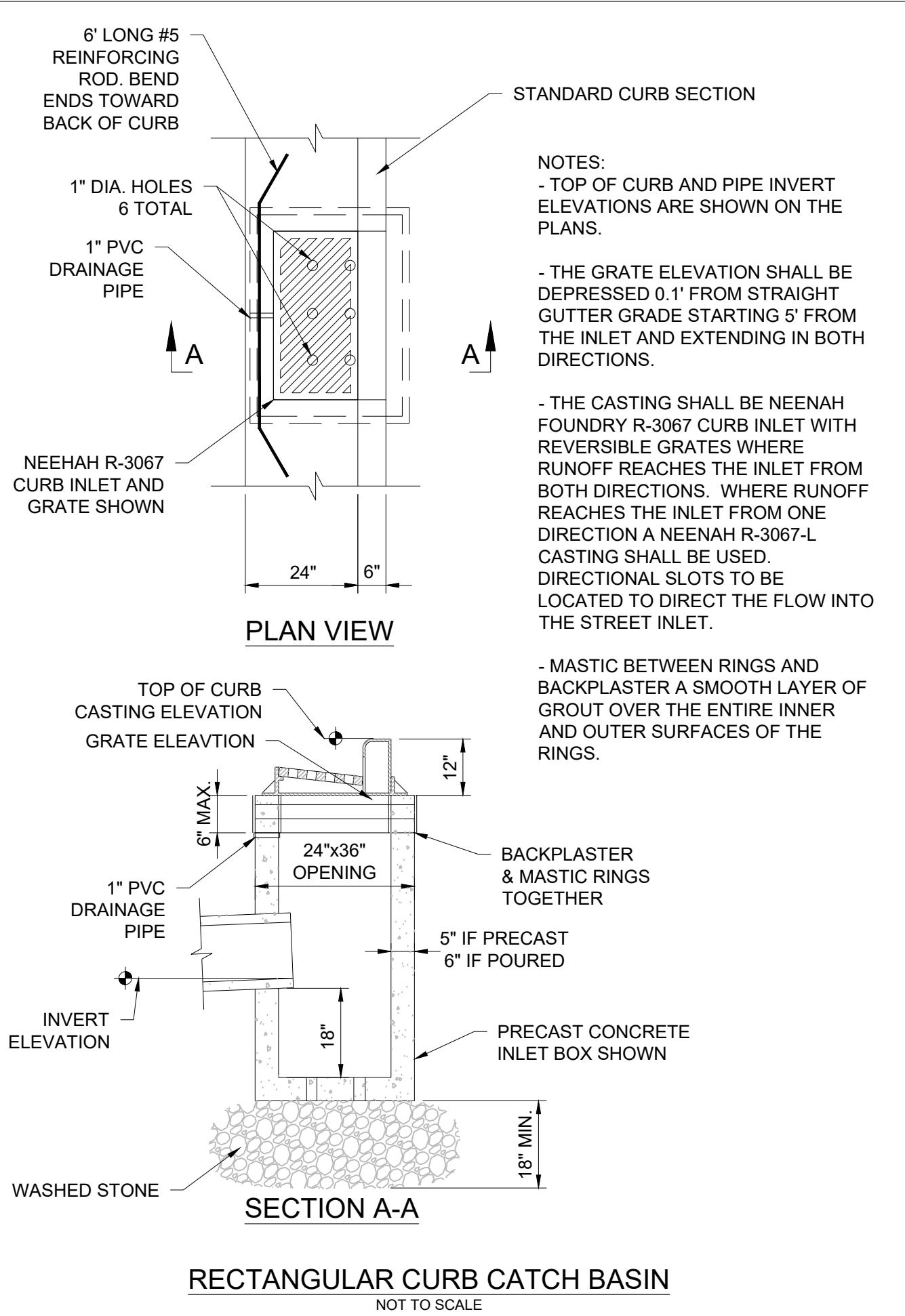
PAINTING SPECIFICATIONS:  
- THE PIPE GATE SHALL RECEIVER THE FOLLOWING PREPARATION & PAINTING. THE FIRST COAT SHALL BE RUS-OLEUM X-60 RED BARE METAL PRIMER OR APPROVED EQUAL. THE SECOND COAT SHALL BE RUS-OLEUM 960 ZINC CHROMATE PRIMER OR APPROVED EQUAL. THE THIRD COAT SHALL BE RUS-OLEUM 1282 HIGH GLOSS METAL FINISH OR APPROVED EQUAL.

PREPARATION STEPS:  
1. BARE METAL SURFACES - TREAT WITH THE THREE-COAT PAINTING SYSTEM LISTED AFTER A THOROUGH SCRAPING, WIRE BRUSHING & CLEANING.  
2. EACH COAT OF PAINT SHALL BE APPLIED OVER THE ENTIRE GATE SURFACE.  
3. ALLOW 24-48 HOURS DRYING TIME AT 60° OR ABOVE BETWEEN COATS.

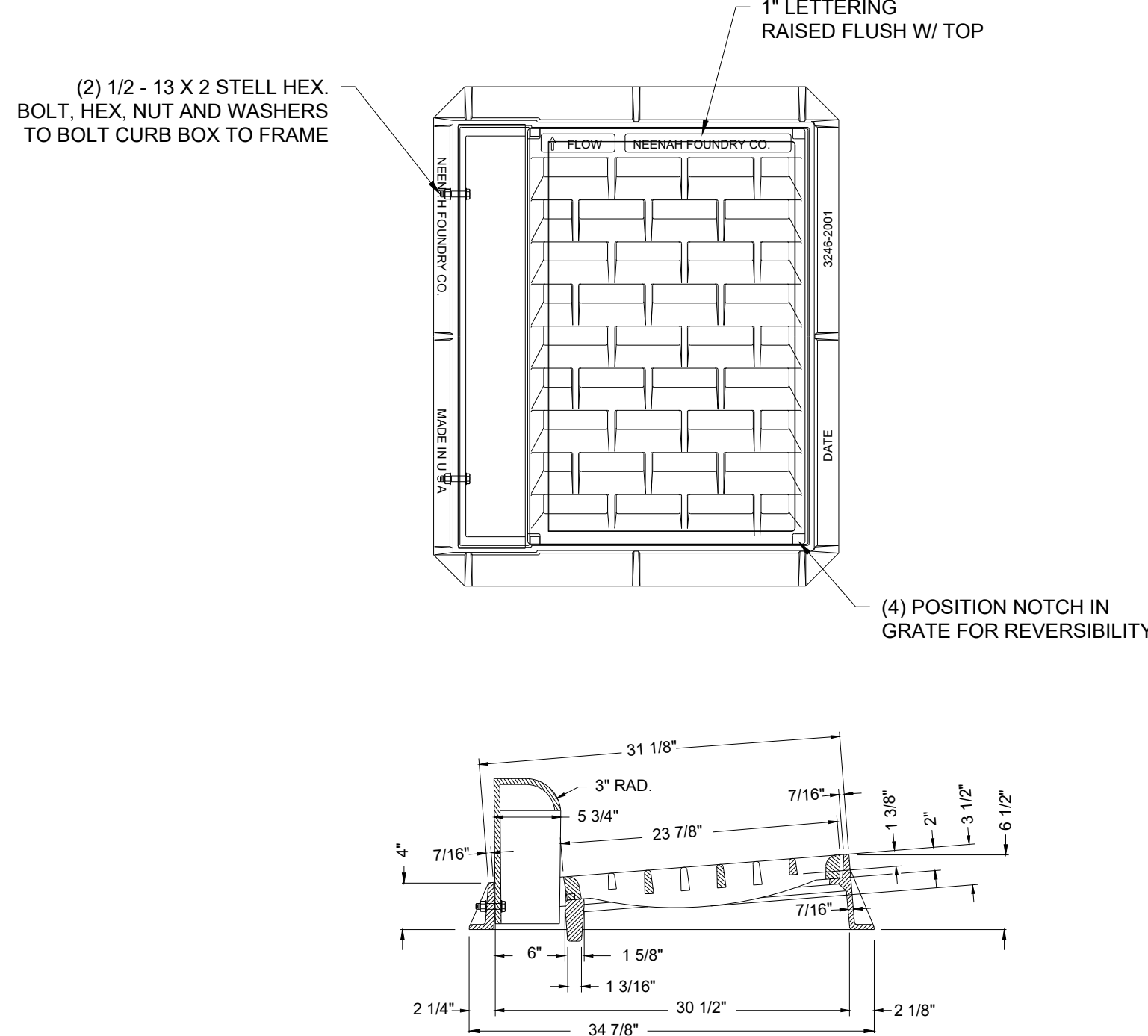
**BEEHIVE CASTING**  
NOT TO SCALE



**RIP-RAP PAD**  
NOT TO SCALE

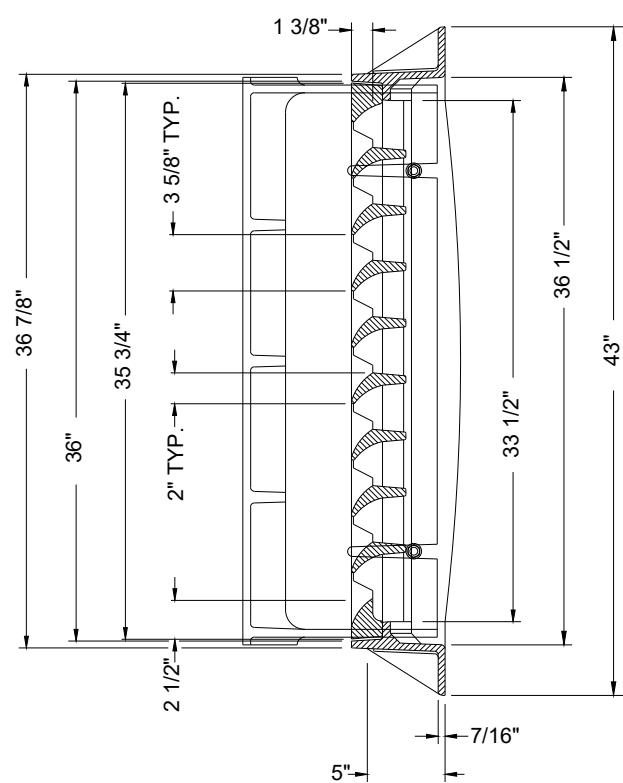


**RECTANGULAR CURB CATCH BASIN**  
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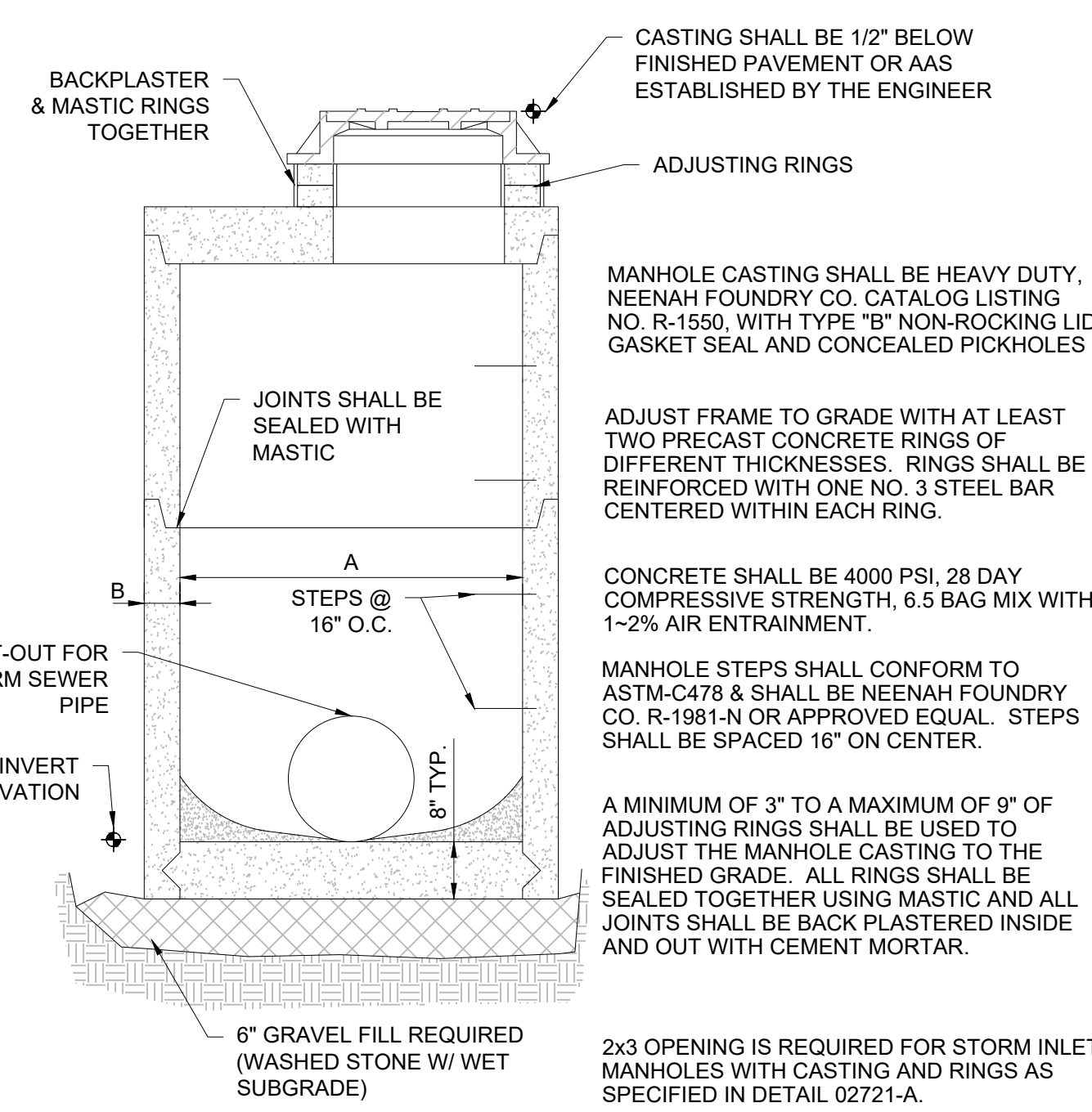


NOTE: ALL DIMENSIONS SHOWN ARE IN ENGLISH AND [METRIC].  
COMPONENT NO'S: FRAME, GRATE, CURB BOX - NEENAH R-3067  
MATERIAL: CAST GRAY IRON ASTM A-48, CLASS 35B  
FINISH: NO PAINT  
WEIGHT: FRAME 200#, GRATE 196#, CURB BOX 140#

**FRAME, TYPE "L" GRATE AND CURB BOX**  
NOT TO SCALE



NOTE:  
1. ALL ON-GRADE INLETS TO BE TYPE L  
2. ALL LOW POINT INLETS TO BE TYPE R  
3. INSTALL 6\"/>



**STORM MANHOLE DIMENSIONS**

MANHOLE SIZE	DIMENSION	
	A	B (MIN.)
48"	48"	5"
60"	60"	6"
72"	72"	7"
84"	84"	7"
96"	96"	9"

**STORM SEWER MANHOLE DETAIL**  
NOT TO SCALE



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**PROJECT TITLE**  
**MIDPOINT MEADOWS**

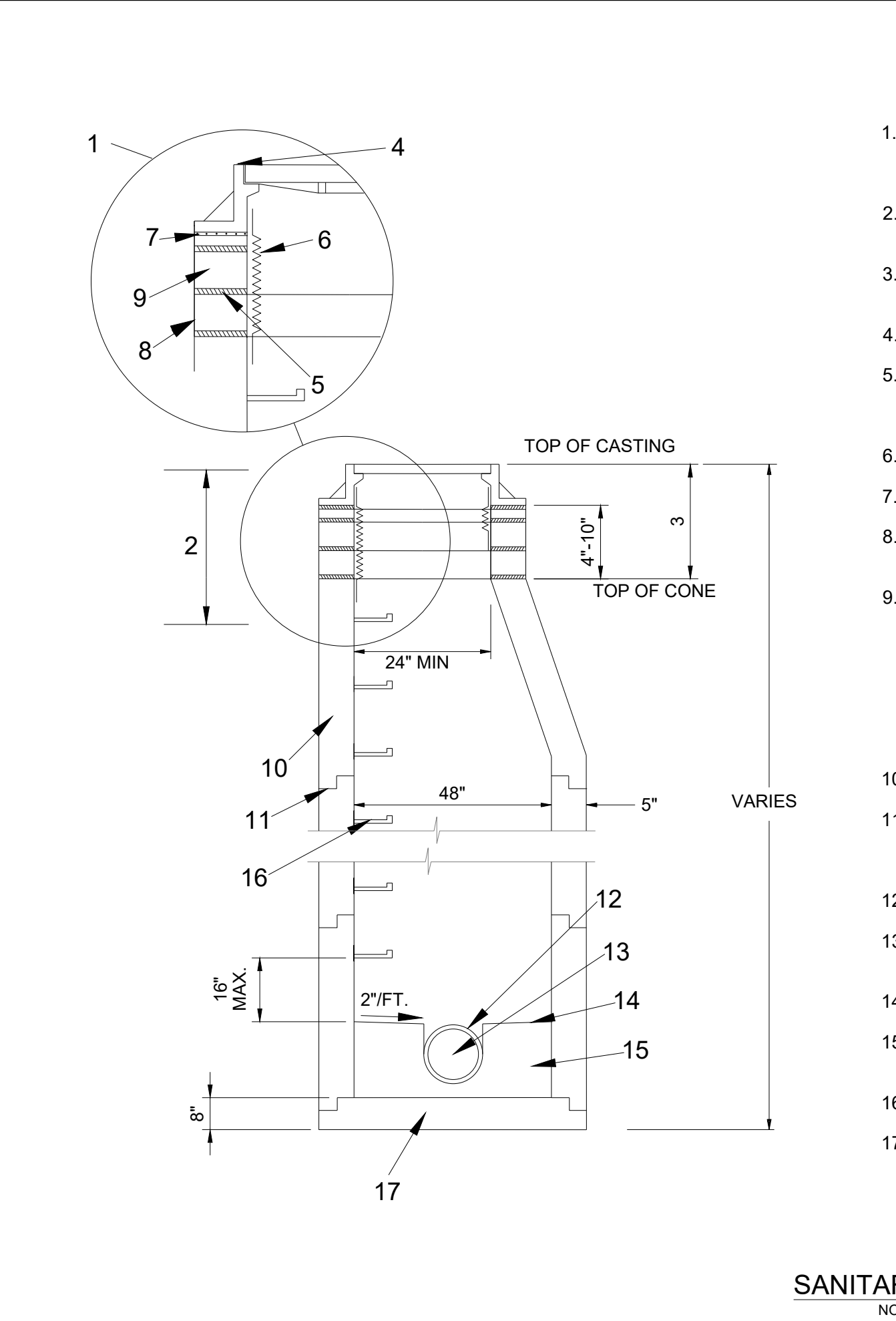
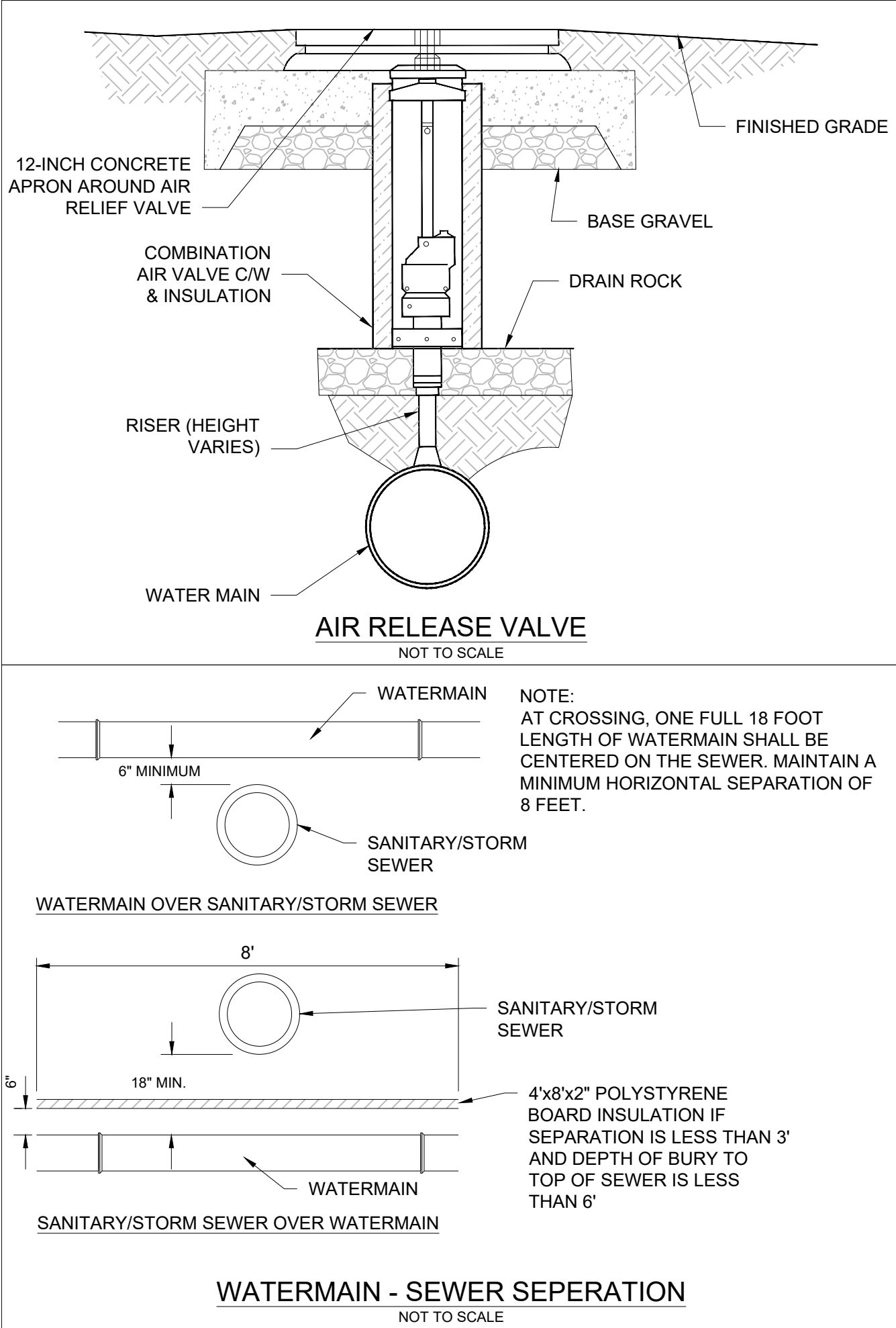
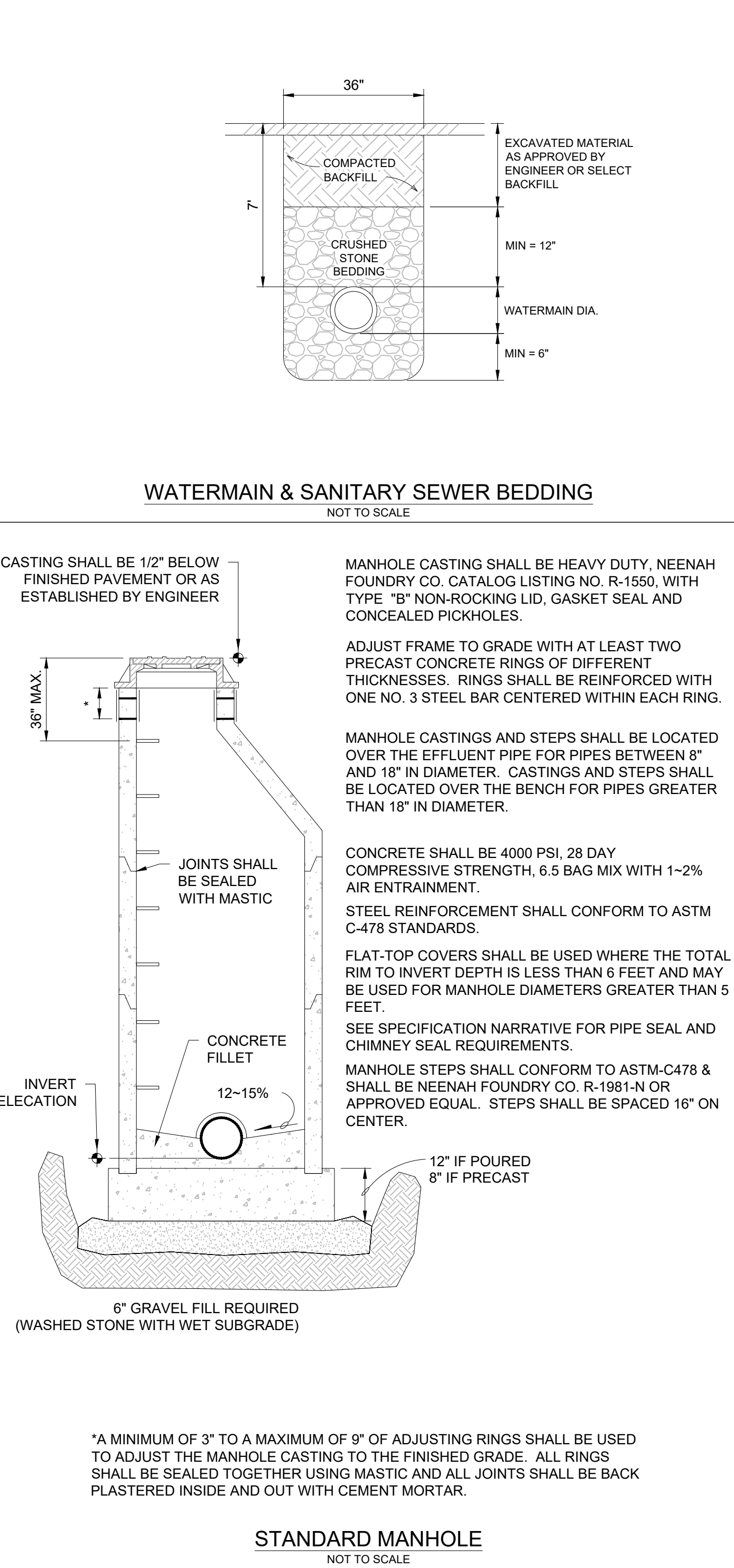
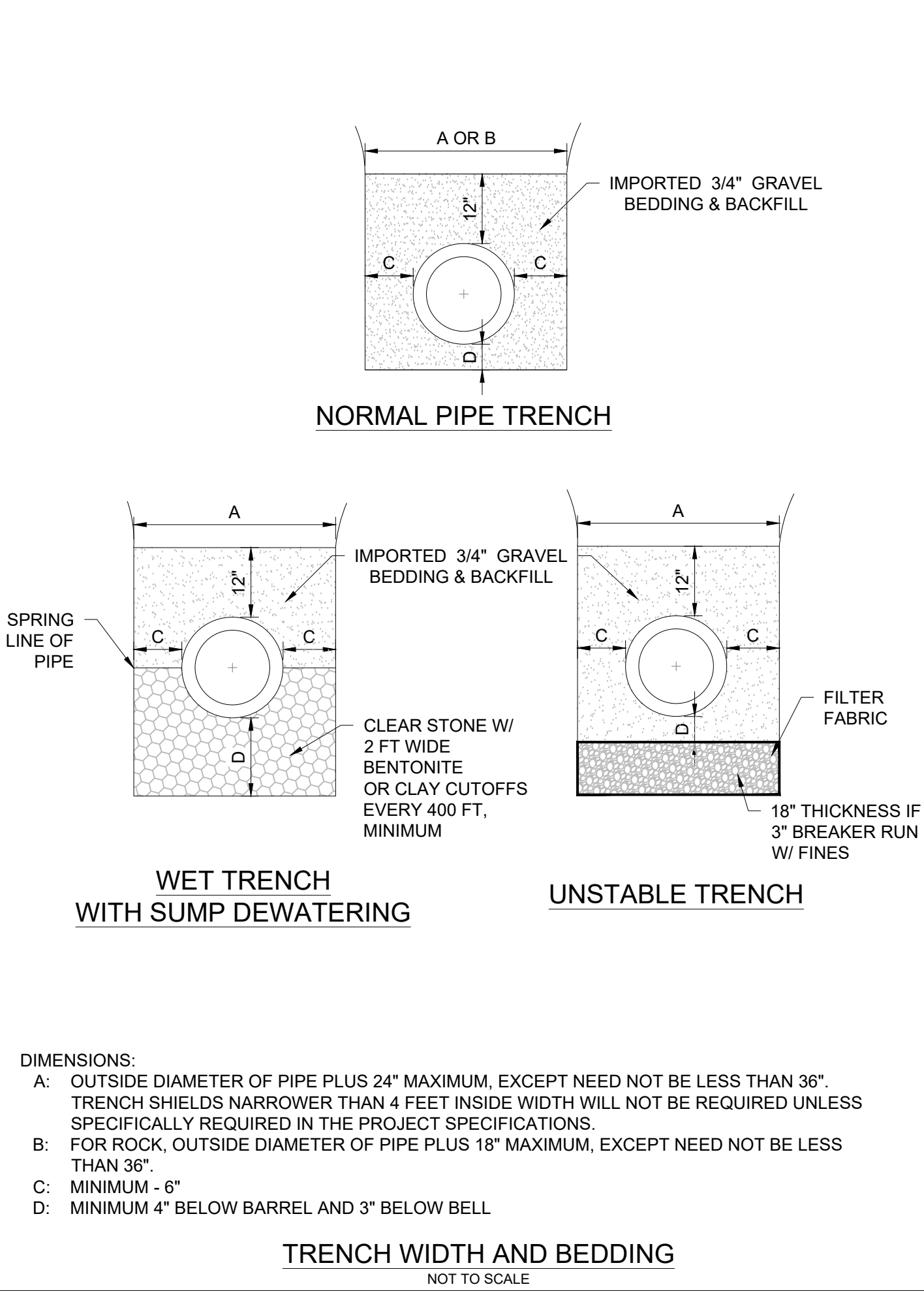
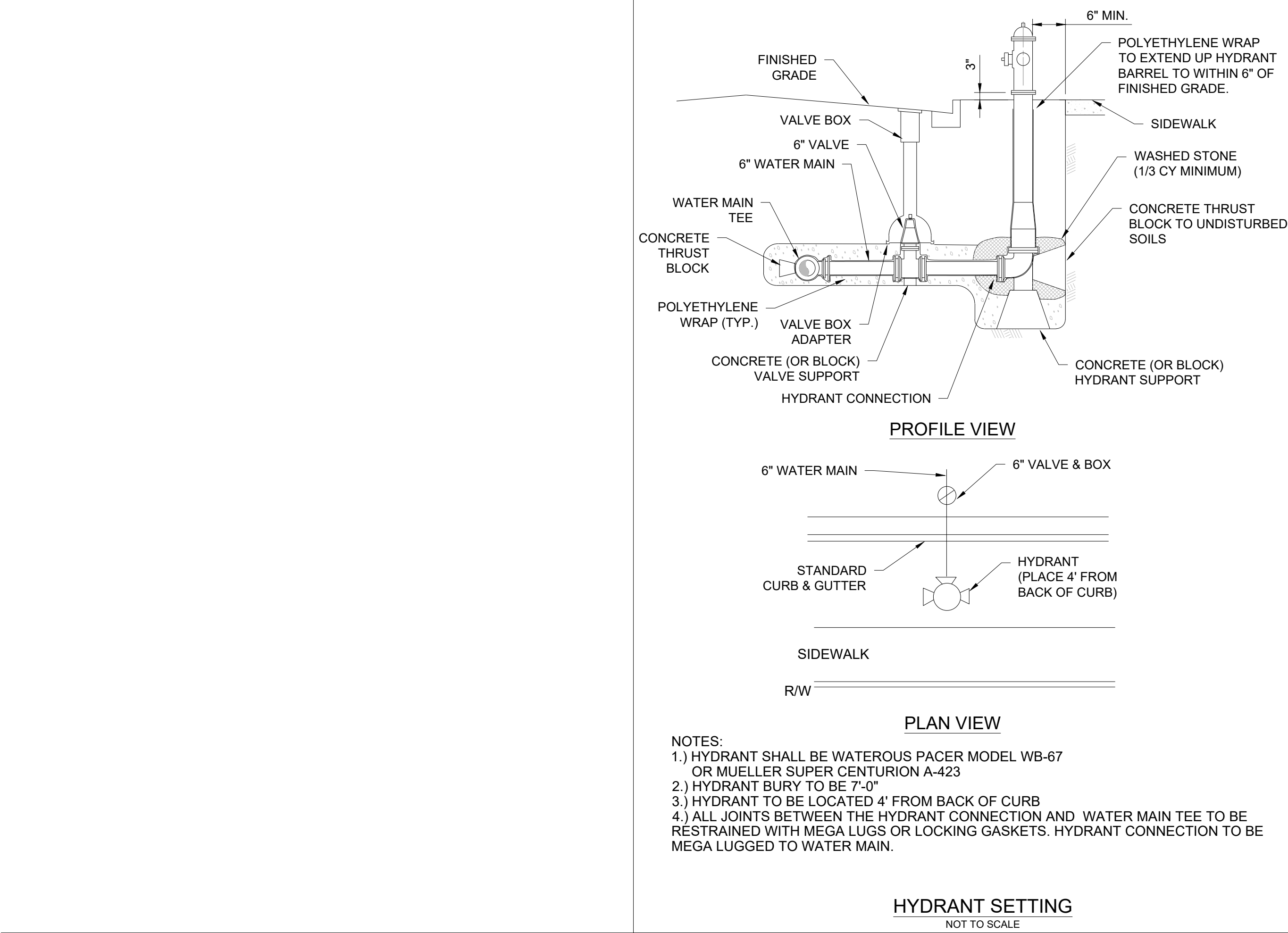
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**CONSTRUCTION DETAILS**

**SHEET NUMBER**

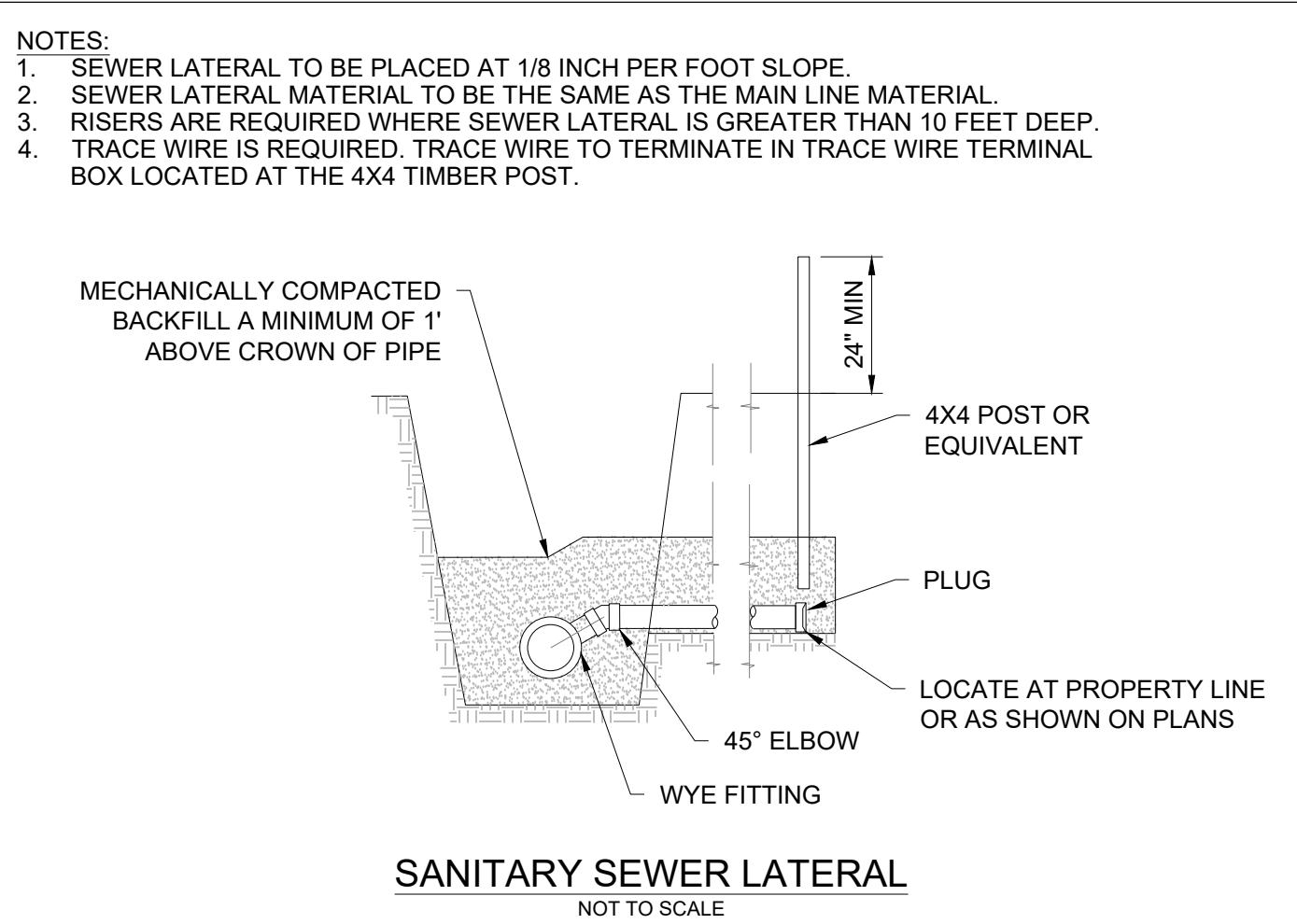
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**PROJECT NO.** 24-03-101  
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1. WHEN MANHOLES ARE LOCATED UNDER PAVEMENTS, THE TOP OF THE MANHOLE FRAME SHALL BE SET TO BINDER PAVEMENT GRADE AND ADJUSTED TO FINAL GRADE WHEN SURFACE PAVEMENT IS PLACED.
2. TOP MANHOLE STEP SHALL BE PLACED IN THE CONE AT A MAXIMUM OF 28" FROM THE TOP OF THE FRAME.
3. ADJUSTING RINGS. ADJUST FRAME TO GRADE WITH A MINIMUM OF ONE HDPE ADJUSTMENT RING.
4. MANHOLE FRAME & LID - SEE SPEC.
5. PRE-MOLDED BUTYL BASE SEALANT PLACED CONTINUOUSLY AROUND ENTIRE PERIMETER OF THE RINGS REQUIRED COMMENCING BETWEEN EACH RING AND TERMINATING BETWEEN BOTTOM RING AND TOP OF CONE.
6. INTERNAL FRAME CHIMNEY SEAL.
7. SET MANHOLE FRAME WITH MORTAR.
8. COVER OUTSIDE OF CHIMNEY FROM FRAME TO CONE WITH TROWEL GRADE BUTYL BASED SEALANT. OVERLAP CONE SECTION A MIN. OF 4".
9. HDPE ADJUSTMENT RING (LADTECH OR EQUAL). SHALL HAVE A MAXIMUM THICKNESS OF 6" AND A MINIMUM THICKNESS OF 2". RINGS SHALL BE SUPPLIED IN 1/2" INCREMENTS (THICKNESS) TO ALLOW ADJUSTMENT OF THE FRAME TO WITHIN 1/4" OF PLAN GRADE. THE OUTSIDE DIAMETER OF RINGS SHALL BE UNIFORM AND EQUAL TO OR LESS THAN THE TOP OF THE CONE. THE WALL THICKNESS OF THE RINGS SHALL BE EQUAL THE WALL THICKNESS OF THE MANHOLE SECTIONS. WHEN ASSEMBLED, THE TOP OF THE CONE, THE RINGS, AND THE FRAME SHALL BE ALIGNED VERTICALLY WITH NO PROTRUSIONS.
10. PRECAST CONCRETE MANHOLE SECTIONS, TYPICAL, CONFORMING TO ASTM C-478.
11. WATERTIGHT JOINT. TYPICAL, WITH GASKETS CONFORMING TO C-443, OR JOINTS SEALED WITH MASTIC JOINTING COMPOUND. PROVIDE EXTERNAL MASTIC WRAP AT ALL MANHOLE JOINTS.
12. PRESS SEAL GASKET, KOR-N-SEAL GASKET OR EQUAL.
13. SANITARY SEWER-SIZE, NUMBER OF CONNECTIONS TO MANHOLE, ORIENTATION, AND ELEVATION SHOWN ON PLAN.
14. BENCH SLOPE 2 IN/FT.
15. STANDARD MANHOLE INVERT TO CROWN OF THE PIPE, SEE FILE NO. 13 OF "STANDARD SPECIFICATIONS".
16. MANHOLE STEP, TYPICAL, SEE FILE NO. 15 "STANDARD SPECIFICATIONS".
17. PRECAST INTEGRAL BASE.







CITY OF MADISON  
LANDSCAPE WORKSHEET

Section 28.142 Madison General Ordinance

Project Location / Address 2150 Marty Road & 7751 Mid Town Road

Name of Project Residential Building Complex for Midpoint Meadows Multi-Family Development

Owner / Contact DSI Real Estate Group, Inc. Dan Brinkman

Contact Phone (608)575-9023 Contact Email dbrinkman@dsirealestate.com

**\*\* Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size  
MUST be prepared by a registered landscape architect. \*\***

**Applicability**

The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless **all** of the following conditions apply, in which case only the affected areas need to be brought up to compliance:

- (a) The area of site disturbance is less than ten percent (10%) of the entire development site during any ten-(10) year period.
- (b) Gross floor area is only increased by ten percent (10%) during any ten-(10) year period.
- (c) No demolition of a principal building is involved.
- (d) Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

**Landscape Calculations and Distribution**

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and Zoning District.

- (a) For all lots except those described in (b) and (c) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.

Total square footage of developed area 199,468 sf

Total landscape points required 1718

- (b) **For lots larger than five (5) acres**, points shall be provided at five (5) points per three hundred (300) square feet for the first five (5) developed acres, and one (1) point per one hundred (100) square feet for all additional acres.

Total square footage of developed area \_\_\_\_\_

Five (5) acres = 217,800 square feet

First five (5) developed acres = 3,630 points

Remainder of developed area \_\_\_\_\_

Total landscape points required \_\_\_\_\_

- (c) **For the Industrial – Limited (IL) and Industrial – General (IG) districts**, one (1) point shall be provided per one hundred (100) square feet of developed area.

Total square footage of developed area \_\_\_\_\_

Total landscape points required \_\_\_\_\_



**Tabulation of Points and Credits**

Use the table to indicate the quantity and points for all existing and proposed landscape elements.

Plant Type/ Element	Minimum Size at Installation	Points	Credits/ Existing Landscaping		New/ Proposed Landscaping	
			Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2½ inch caliper measured diameter at breast height (dbh)	35			57	1995
Tall evergreen tree (i.e. pine, spruce)	5-6 feet tall	35			14	490
Ornamental tree	1 1/2 inch caliper	15			58	870
Upright evergreen shrub (i.e. arborvitae)	3-4 feet tall	10			55	550
Shrub, deciduous	#3 gallon container size, Min. 12”-24”	3			370	1110
Shrub, evergreen	#3 gallon container size, Min. 12”-24”	4			116	464
Ornamental grasses/ perennials	#1 gallon container size, Min. 8”-18”	2			487	974
Ornamental/ decorative fencing or wall	n/a	4 per 10 lineal ft.				
Existing significant specimen tree	Minimum size: 2 ½ inch caliper dbh. *Trees must be within developed area and cannot comprise more than 30% of total required points.	14 per caliper inch dbh. Maximum points per tree: 200				
Landscape furniture for public seating and/or transit connections	* Furniture must be within developed area, publically accessible, and cannot comprise more than 5% of total required points.	5 points per “seat”				
Sub Totals						6453

**Total Number of Points Provided 6453**

\* As determined by ANSI, ANLA- American standards for nursery stock. For each size, minimum plant sizes shall conform to the specifications as stated in the current American Standard for Nursery Stock.



Landscaping shall be distributed throughout the property along street frontages, within parking lot interiors, as foundation plantings, or as general site landscaping. The total number of landscape points provided shall be distributed on the property as follows.

**Total Developed Area**

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot.

**Development Frontage Landscaping**

Landscaping and/or ornamental fencing shall be provided between buildings or parking areas and the adjacent street(s), except where buildings are placed at the sidewalk. Landscape material shall include a mix of plant materials.

**Interior Parking Lot Landscaping**

The purpose of interior parking lot landscaping is to improve the appearance of parking lots, provide shade, and improve stormwater infiltration. **All parking lots with twenty (20) or more parking spaces** shall be landscaped in accordance with the interior parking lot standards.

**Foundation Plantings**

Foundation plantings shall be installed along building facades, except where building facades directly abut the sidewalk, plaza, or other hardscape features. Foundation plantings shall consist primarily of shrubs, perennials, and native grasses.

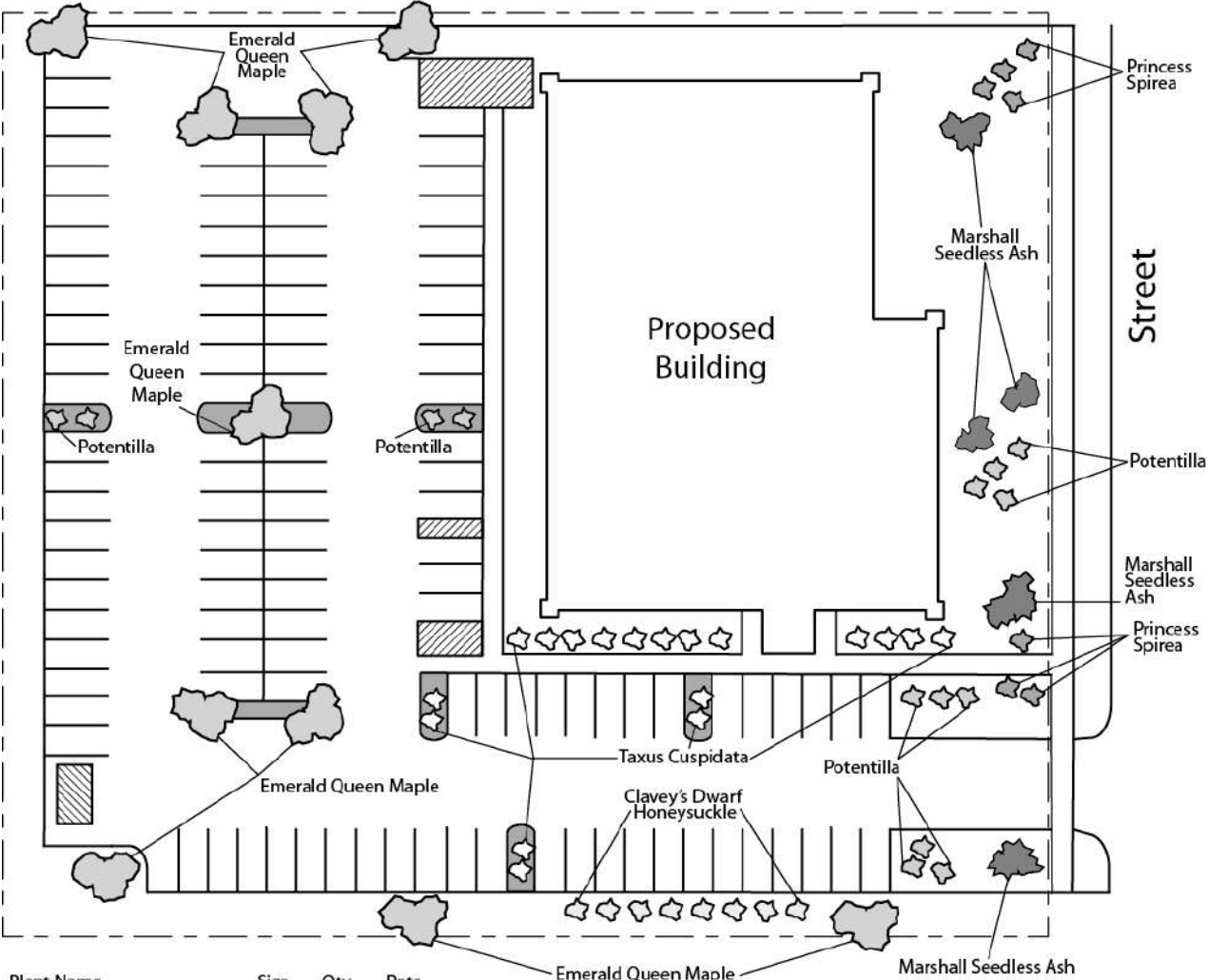
**Screening Along District Boundaries**

Screening shall be provided along side and rear property boundaries between commercial, mixed use or industrial districts and residential districts.

**Screening of Other Site Elements**

The following site elements shall be screened in compatibility with the design elements, materials and colors used elsewhere on the site: refuse disposal areas, outdoor storage areas, loading areas, and mechanical equipment.

**Example Landscape Plan**



Plant Name	Size	Qty.	Pnts.
Emerald Queen Maple	2-2.5"	9	-
Marshall Seedless Ash	2-2.5"	4	450
Clavey's Dwarf Honelysuckle	1 Gal	8	24
Princess Spirea	1 Gal	7	21
Potentilla	1 Gal	10	30
Taxus Cuspidata	2 Gal	12	60
TOTAL			585

Call City Zoning, 266-4551, with your questions about this type of plan



## LANDSCAPE PLAN AND LANDSCAPE WORKSHEET INSTRUCTIONS

Refer to Zoning Code Section 28.142 LANDSCAPING AND SCREENING REQUIREMENTS for the complete requirements for preparing and submitting a Landscape Plan and Landscape Worksheet.

### **Applicability.**

The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless all of the following conditions apply, in which case only the affected areas need to be brought up to compliance:

- (a) The area of site disturbance is less than ten percent (10%) of the entire development site during any ten-(10) year period.
- (b) Gross floor area is only increased by ten percent (10%) during any ten-(10) year period.
- (c) No demolition of a principal building is involved.
- (d) Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

### **Landscape Plan and Design Standards.**

Landscape plans shall be submitted as a component of a site plan, where required, or as a component of applications for other actions, including zoning permits, where applicable. Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size must be prepared by a registered landscape architect.

- (a) Elements of the landscape plan shall include the following:
  - 1. Plant list including common and Latin names, size and root condition (i.e. container or ball & burlap).
  - 2. Site amenities, including bike racks, benches, trash receptacles, etc.
  - 3. Storage areas including trash and loading.
  - 4. Lighting (landscape, pedestrian or parking area).
  - 5. Irrigation.
  - 6. Hard surface materials.
  - 7. Labeling of mulching, edging and curbing.
  - 8. Areas of seeding or sodding.
  - 9. Areas to remain undisturbed and limits of land disturbance.
  - 10. Plants shall be depicted at their size at sixty percent (60%) of growth.
  - 11. Existing trees eight (8) inches or more in diameter.
  - 12. Site grading plan, including stormwater management, if applicable.
- (b) Plant Selection. Plant materials provided in conformance with the provisions of this section shall be nursery quality and tolerant of individual site microclimates.
- (c) Mulch shall consist of shredded bark, chipped wood or other organic material installed at a minimum depth of two (2) inches.

### **Landscape Calculations and Distribution.**

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area, for the purpose of this requirement, is defined as that area within a single contiguous boundary which is made up of structures, parking driveways and docking/loading facilities, but **excluding** the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot.

- (a) Landscaping shall be distributed throughout the property along street frontages, within parking lot interiors, and as foundation plantings, or as general site landscaping.
- (b) Planting beds or planted areas must have at least seventy-five percent (75%) vegetative cover.
- (c) Canopy tree diversity requirements for new trees:
  - 1. If the development site has fewer than 5 canopy trees, no tree diversity is required.
  - 2. If the development site has between 5 and 50 canopy trees, no single species may comprise more than 33% of trees.
  - 3. If the development site has more than 50 canopy trees, no single species may comprise more than 20% of trees.

### **Development Frontage Landscaping.**

Landscaping and/or ornamental fencing shall be provided between buildings or parking areas and the adjacent street(s), except where buildings are placed at the sidewalk. Landscape material shall include a mix of plant material meeting the following minimum requirements:



- (a) One (1) overstory deciduous tree and five (5) shrubs shall be planted for each thirty (30) lineal feet of lot frontage. Two (2) ornamental trees or two (2) evergreen trees may be used in place of one (1) overstory deciduous tree.
- (b) In cases where building facades directly abut the sidewalk, required frontage landscaping shall be deducted from the required point total.
- (c) In cases where development frontage landscaping cannot be provided due to site constraints, the zoning administrator may waive the requirement or substitute alternative screening methods for the required landscaping.
- (d) Fencing shall be a minimum of three (3) feet in height, and shall be constructed of metal, masonry, stone or equivalent material. Chain link or temporary fencing is prohibited.

#### **Interior Parking Lot Landscaping.**

The purpose of interior parking lot landscaping is to improve the appearance of parking lots, provide shade, and improve stormwater infiltration. **All parking lots with twenty (20) or more parking spaces** shall be landscaped in accordance with the following interior parking lot standards.

- (a) For new development on sites previously undeveloped or where all improvements have been removed, a minimum of eight percent (8%) of the asphalt or concrete area of the parking lot shall be devoted to interior planting islands, peninsulas, or landscaped strips. For changes to a developed site, a minimum of five percent (5%) of the asphalt or concrete area shall be interior planting islands, peninsulas, or landscaped strips. A planting island shall be located at least every twelve (12) contiguous stalls with no break or alternatively, landscaped strips at least seven (7) feet wide between parking bays.
- (b) The primary plant materials shall be shade trees with at least one (1) deciduous canopy tree for every one hundred sixty (160) square feet of required landscaped area. Two (2) ornamental deciduous trees may be substituted for one (1) canopy tree, but ornamental trees shall constitute no more than twenty-five percent (25%) of the required trees. No light poles shall be located within the area of sixty percent (60%) of mature growth from the center of any tree.
- (c) Islands may be curbed or may be designed as uncurbed bio-retention areas as part of an approved low impact stormwater management design approved by the Director of Public Works. The ability to maintain these areas over time must be demonstrated. (See Chapter 37, Madison General Ordinances, Erosion and Stormwater Runoff Control.)

#### **Foundation Plantings.**

Foundation plantings shall be installed along building facades, except where building facades directly abut the sidewalk, plaza, or other hardscape features. Foundation plantings shall consist primarily of shrubs, perennials, and native grasses. The Zoning Administrator may modify this requirement for development existing prior to the effective date of this ordinance, as long as improvements achieve an equivalent or greater level of landscaping for the site.

#### **Screening Along District Boundaries.**

Screening shall be provided along side and rear property boundaries between commercial, mixed use or industrial districts and residential districts. Screening shall consist of a solid wall, solid fence, or hedge with year-round foliage, between six (6) and eight (8) feet in height, except that within the front yard setback area, screening shall not exceed four (4) feet in height. Height of screening shall be measured from natural or approved grade. Berms and retaining walls shall not be used to increase grade relative to screening height.

#### **Screening of Other Site Elements.**

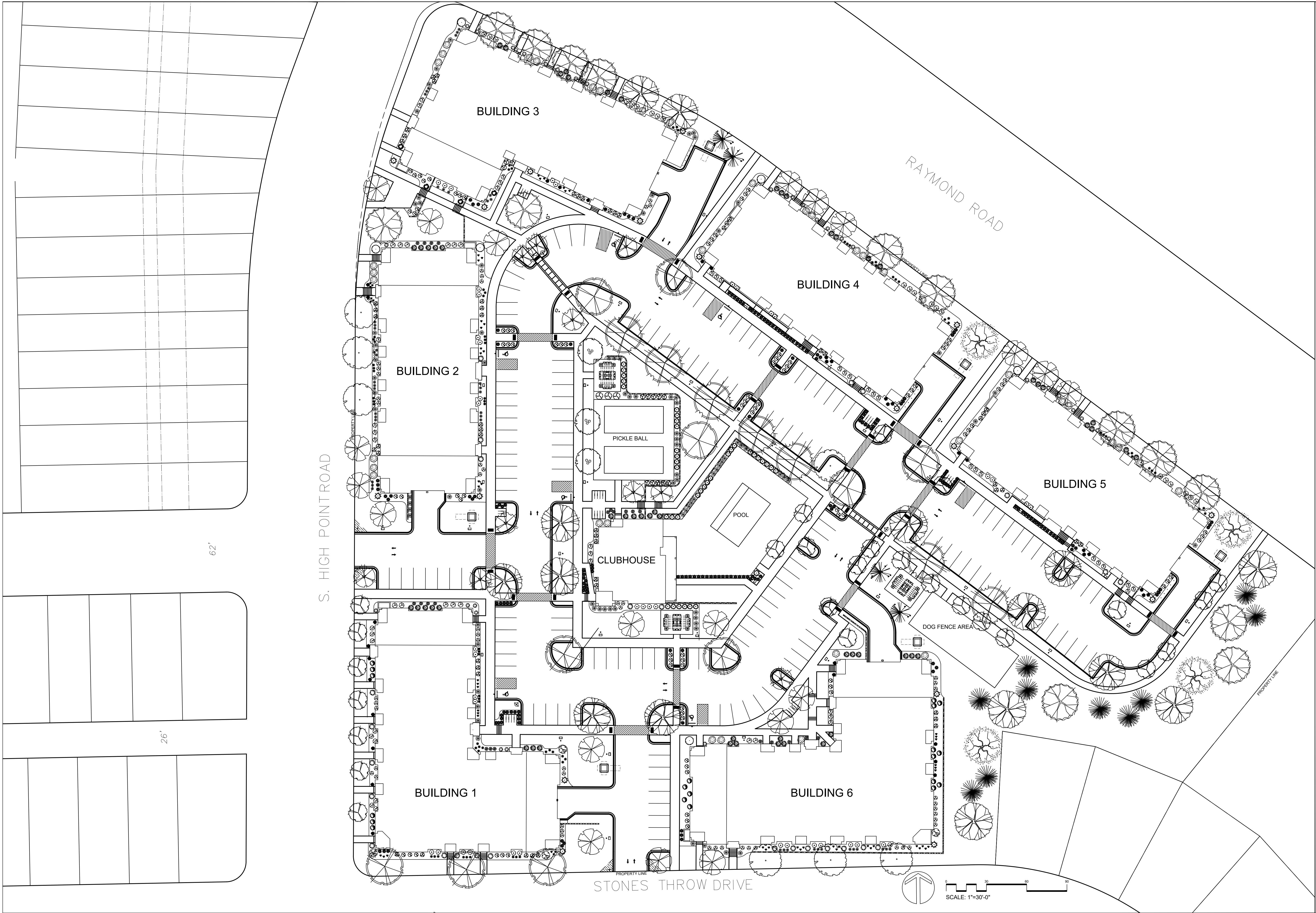
The following site elements shall be screened in compatibility with the design elements, materials and colors used elsewhere on the site, as follows:

- (a) Refuse Disposal Areas. All developments, except single family and two family developments, shall provide a refuse disposal area. Such area shall be screened on four (4) sides (including a gate for access) by a solid, commercial-grade wood fence, wall, or equivalent material with a minimum height of six (6) feet and not greater than seven (7) feet.
- (b) Outdoor Storage Areas. Outdoor storage areas shall be screened from abutting residential uses with a by a building wall or solid, commercial-grade wood fence, wall, year-round hedge, or equivalent material, with a minimum height of six (6) feet and not greater than seven (7) feet. Screening along district boundaries, where present, may provide all or part of the required screening.
- (c) Loading Areas. Loading areas shall be screened from abutting residential uses and from street view to the extent feasible by a building wall or solid, commercial-grade wood fence, or equivalent material, with a minimum height of six (6) feet and not greater than seven (7) feet. Screening along district boundaries, where present, may provide all or part of the required screening.
- (d) Mechanical Equipment. All rooftop and ground level mechanical equipment and utilities shall be fully screened from view from any street or residential district, as viewed from six (6) feet above ground level. Screening may consist of a building wall or fence and/or landscaping as approved by the Zoning Administrator.

#### **Maintenance.**

The owner of the premises is responsible for the watering, maintenance, repair and replacement of all landscaping, fences, and other landscape architectural features on the site. All planting beds shall be kept weed free. Plant material that has died shall be replaced no later than the upcoming June 1.





3570 Pioneer Road  
Verona, WI 53593  
PH: (608) 827-9401  
FAX: (608) 827-9402  
WEB: www.olsontoon.com

**MIDPOINT MEADOWS**  
OVERALL LANDSCAPE PLAN  
Madison, Wisconsin

Date: October 7, 2024  
Scale: 1"=30'-0"  
Designer: kms  
Job #

Seal:  
To protect against legal liability,  
the plans presented herein are  
"schematic," and should not be  
outsourced as "biddable" or  
"construction documents" unless  
approved by the Landscape  
Designer. This is not an original  
document unless stamped in  
red, as ORIGINAL.

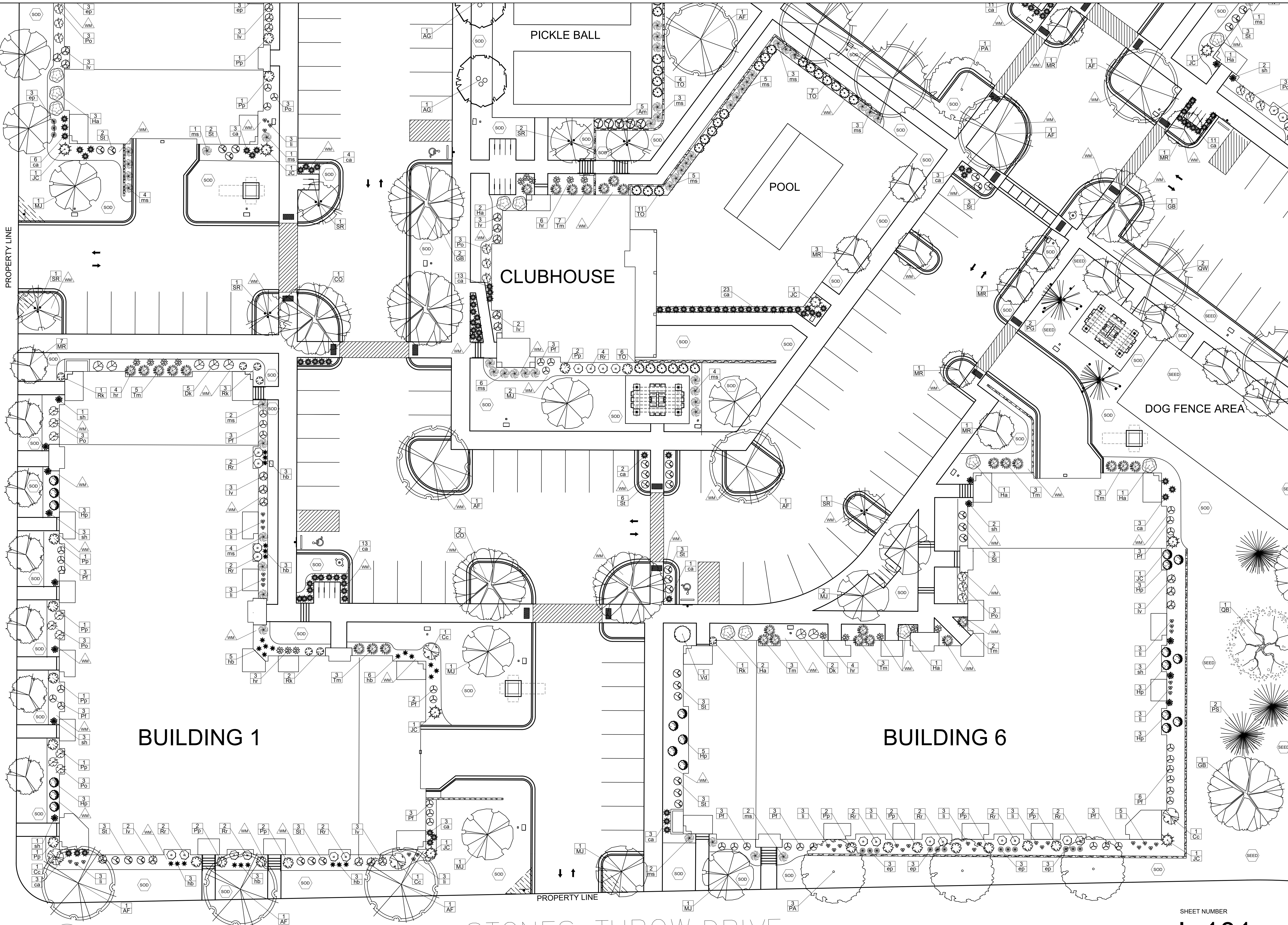
Revisions:

Reference Name:  
DSI

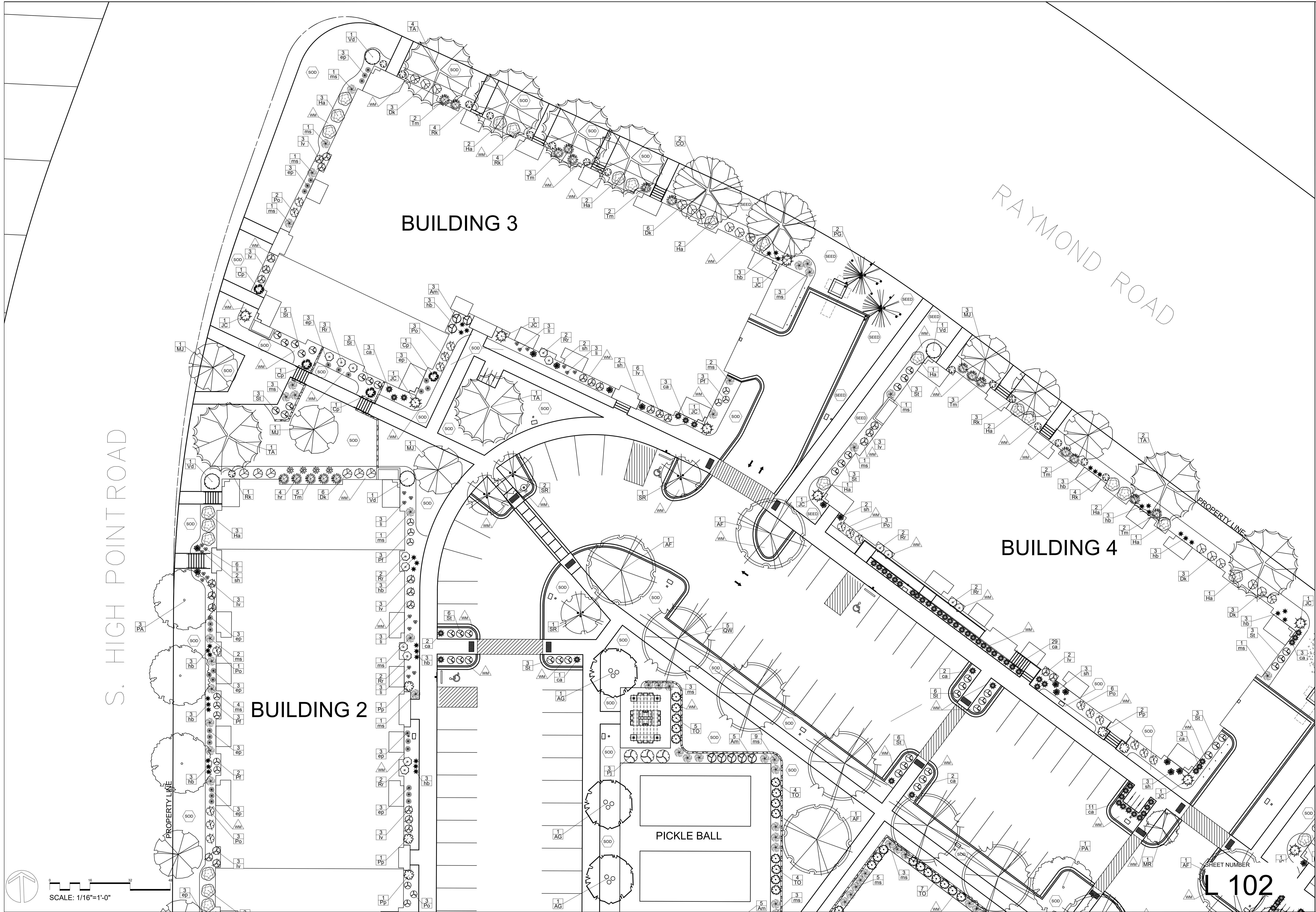


S. HIGH POINT ROAD

STONES THROW DRIVE







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WEB: www.olsontoon.com

**MIDPOINT MEADOWS**  
DETAIL LANDSCAPE PLAN  
Madison, Wisconsin

Date: October 7, 2024  
Scale: 1/16"=1'-0"  
Designer: kms  
Job #

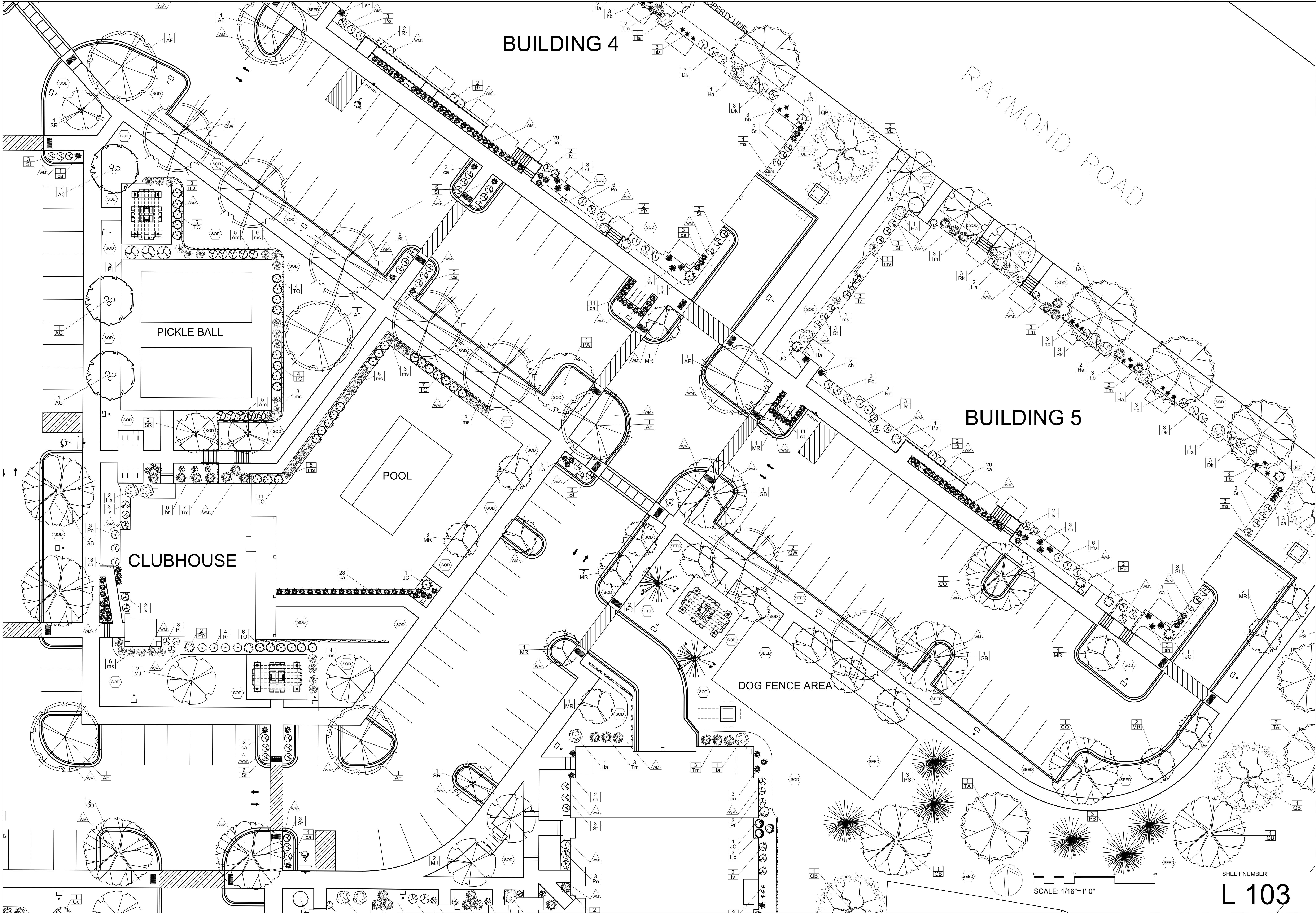
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Revisions:

Reference Name:  
DSI

SHEET NUMBER  
**L 102**





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Madison, Wisconsin

Date: October 7, 2024  
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Designer. This is not an original  
document unless stamped in  
red, as ORIGINAL.

Revisions:

Reference Name:  
Cascade Development



STREET TREE NOTE:

Existing street trees shall be protected. Contractor shall install tree protection fencing in the area between the curb and sidewalk and extend it at least 5 feet from both sides of the tree along the length of the terrace. No excavation is permitted within 5 feet of the outside edge of a tree trunk. If excavation within 5 feet of any tree is necessary, contractor shall contact City Forestry (Wayne Buckley 608-266-4892) prior to excavation to assess the impact to the tree and root system. Tree pruning shall be coordinated with City Forestry prior to the start of construction. Tree protection specifications can be found in section 107.13 of *City of Madison Standard Specifications for Public Works Construction* - <http://www.cityofmadison.com/business/pw/documents/StdSpecs/2013/Part1.pdf>.


Any tree removals that are required for construction after the development plan is approved will require at least a 72 hour wait period before a tree removal permit can be issued by Forestry, to notify the Alder of the change in the tree plan.


Contractor shall contact City Forestry (Wayne Buckley 608-266-4892) at least one week prior to planting to schedule inspecting the nursery stock and review planting specifications with the landscaper.


LANDSCAPE NOTES:

- Please refer to Grading & Erosion Control Plan for final contour information.
- Individual tree and shrub groupings in lawn areas to receive organic bark mulch rings with trench edge.

CITY OF MADISON LANDSCAPE WORKSHEET					
Total Developed Area	SQUARE FEET	5 points per 300 sq ft			LANDSCAPE POINTS REQ.
199,468 sf (lot) - 96,394 sf (building footprint)	103,074				1718
		CREDITS / EXISTING LANDSCAPING	NEW / PROPOSED LANDSCAPING		
PLANT TYPE / ELEMENT	POINT VALUE	QUANTITY	POINTS ACHIEVED	QUANTITY	POINTS ACHIEVED
Overstory Deciduous (2.5" caliper)	35		0	57	1995
Tall Evergreen Tree (5'-6')	35		0	14	490
Ornamental Tree (1.5" caliper)	15		0	58	870
Upright Evergreen Shrub (i.e. arborvitae) 3'-4' tall	10		0	55	550
Shrub, deciduous (#3 gal cont)	3		0	370	1110
Shrub, evergreen (#3 gal. cont)	4		0	116	464
Ornamental Grasses/Perennials (#1 gal cont)	2		0	487	974
Ornamental/Decorative Fencing or Wall (4pts / 10LF)	4		0		0
Existing Significant Specimen Tree (2.5" dbh)	14		0		0
Landscape Furniture for public seating and/or transit connections (Spts. per seat)	5		0		0
			0		6453
TOTAL POINTS ACHIEVED					6453

- 

All planting beds to be Organic Bark Mulch with Dimex EdgePro polyvinyl (black plastic) edging
- 

Premium Kentucky Bluegrass sod
- 

Premium sunny grass seed blend with straw mat. (Class 1 Type B single net)

PLANT LIST

KEY	SCIENTIFIC NAME	COMMON NAME	QTY	SIZE	ROOT	STEM
DECIDUOUS TREES						
AF	<i>Acer x freemanii 'Jefersred'</i>	Autumn Blaze Maple	10	2"	B&B	
CO	<i>Celtis occidentalis</i>	Common Hackberry	4	2"	B&B	
GB	<i>Ginkgo biloba 'Princeton Sentry'</i>	Princeton Sentry Ginkgo	11	2"	B&B	
PA	<i>Platanus x acerifolia 'Exclamation'</i>	Exclamation London Planetree	7	2"	B&B	
QB	<i>Quercus bicolor</i>	Swamp White Oak	4	2"	B&B	
QW	<i>Quercus x warei 'Long'</i>	Regal Prince Oak	7	2"	B&B	
TA	<i>Tilia americana 'McKSentry'</i>	American Sentry Linden	14	2"	B&B	

ORNAMENTAL TREES						
AG	<i>Amelanchier x grandiflora 'Autumn Brilliance'</i>	Autumn Brilliance Serviceberry	3	2"	B&B	
MJ	<i>Malus 'Red Jewel'</i>	Red Jewel Crabapple	22	2"	B&B	
MR	<i>Malus 'Royal Raindrops'</i>	Royal Raindrops Crabapple	23	2"	B&B	
SR	<i>Syringa reticulata 'Ivory Silk'</i>	Ivory Silk Japanese Tree Lilac	10	2"	B&B	

EVERGREEN TREES						
JC	<i>Juniperus chinensis 'Trautman'</i>	Trautman Juniper	18	6'	B&B	
PG	<i>Picea glauca var. densata</i>	Black Hills Spruce	4	6'	B&B	
PS	<i>Pinus strobus</i>	Eastern White Pine	10	6'	B&B	
TO	<i>Thuja occidentalis 'Emerald Green'</i>	Emerald Green Arborvitae	37	6'	B&B	

EVERGREEN SHRUBS						
Cp	<i>Chamaecyparis pisifera 'Golden Mop'</i>	Golden Mop Japanese False Cypress	4	#5	Cont.	
Pp	<i>Picea pungens 'Globosa'</i>	Dwarf Globe Blue Spruce	26	#5	Cont.	
Rk	<i>Rhododendron 'Karen'</i>	Karen Rhododendron	30	#5	Cont.	
Tm	<i>Taxus x media 'Tautonii'</i>	Taunton Yew	56	#5	Cont.	

DECIDUOUS SHRUBS						
Am	<i>Aronia melanocarpa 'UCONNAM166'</i>	Low Scape Hedger Aronia	13	#3	Cont.	
Cc	<i>Cotinus coggygia 'NCCO1'</i>	Winecraft Black Smokebush	4	#5	Cont.	
Dk	<i>Diervilla 'G2X885411'</i>	Kodiak Red Bush Honeysuckle	34	#3	Cont.	
Ha	<i>Hydrangea arborescens 'Abetwo'</i>	Incrediball Hydrangea	35	#3	Cont.	
Hp	<i>Hydrangea paniculata 'NCHP1'</i>	Puffer Fish Hydrangea	20	#3	Cont.	
Iv	<i>Itea virginica 'Sprich'</i>	Little Henry Dwarf Virginia Sweetspire	47	#3	Cont.	
Pf	<i>Potentilla fruticosa 'Bailbrule'</i>	Creme Brulee Potentilla	49	#3	Cont.	
Pj	<i>Physocarpus opulifolius 'Jefam'</i>	Amber Jubilee Ninebark	3	#3	Cont.	
Po	<i>Physocarpus opulifolius 'SMPOTW'</i>	Tiny Wine Ninebark	45	#3	Cont.	
Rr	<i>Rosa 'Meigigli'</i>	Coral Drift Rose	41	#3	Cont.	
St	<i>Spiraea betulifolia 'Tor'</i>	Tor Birchleaf Spirea	73	#3	Cont.	
Vd	<i>Viburnum dentatum 'Christom'</i>	Blue Muffin Arrowwood Viburnum	6	#5	Cont.	

ORNAMENTAL GRASSES & PERENNIALS						
ca	<i>Calamagrostis x acutiflora 'Karl Foerster'</i>	Karl Foerster Feather Reed Grass	174	#1	Cont.	
ep	<i>Echinacea 'Prairie Splendor'</i>	Prairie Splendor Coneflower	45	#1	Cont.	
hb	<i>Hemerocallis 'Going Bananas'</i>	Going Bananas Daylily	74	#1	Cont.	
hr	<i>Hosta 'Rainbow's End'</i>	Rainbow's End Hosta	22	#1	Cont.	
li	<i>Lavandula x intermedia 'Niko'</i>	Phenomenal Lavender	59	#1	Cont.	
ms	<i>Miscanthus sinensis 'Purpurascens'</i>	Purple Maiden Grass	80	#1	Cont.	
sh	<i>Sporobolus heterolepis</i>	Prairie Dropseed	33	#1	Cont.	



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MIDPOINT MEADOWS  
PLANT SCHEDULE AND LANDSCAPE POINTS  
Madison, Wisconsin

Date: October 7, 2024  
Scale: 1/16"=1'-0"  
Designer: kms  
Job #

Seal:  
To protect against legal liability,  
the plans presented herein are  
"schematic," and should not be  
outsourced as "biddable" or  
"construction documents" unless  
approved by the Landscape  
Designer. This is not an original  
document unless stamped in  
red, as ORIGINAL.

Revisions:

SHEET NUMBER

L 104

Reference Name:  
DSI

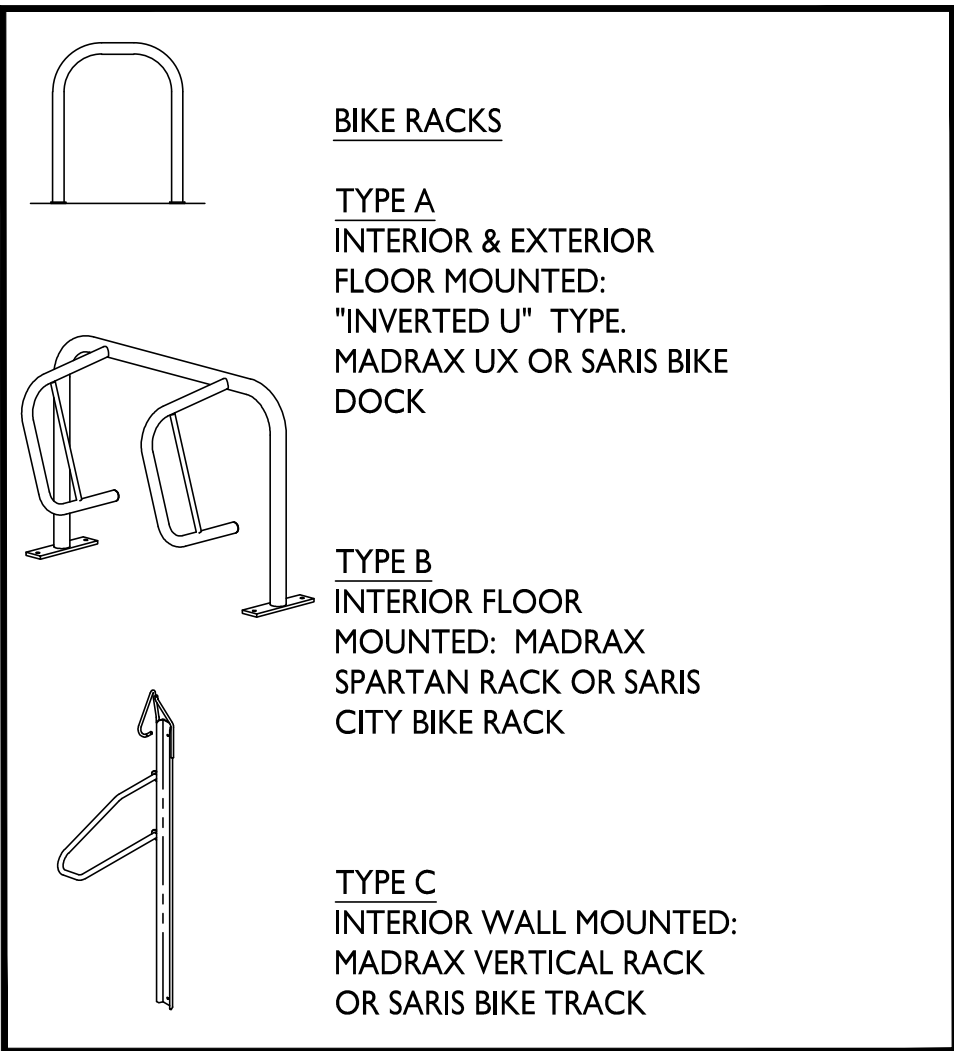




PROJECT TITLE  
MIDPOINT  
MEADOWS

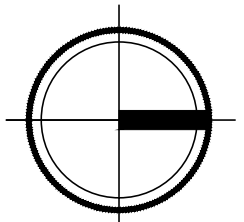
# AC100-1

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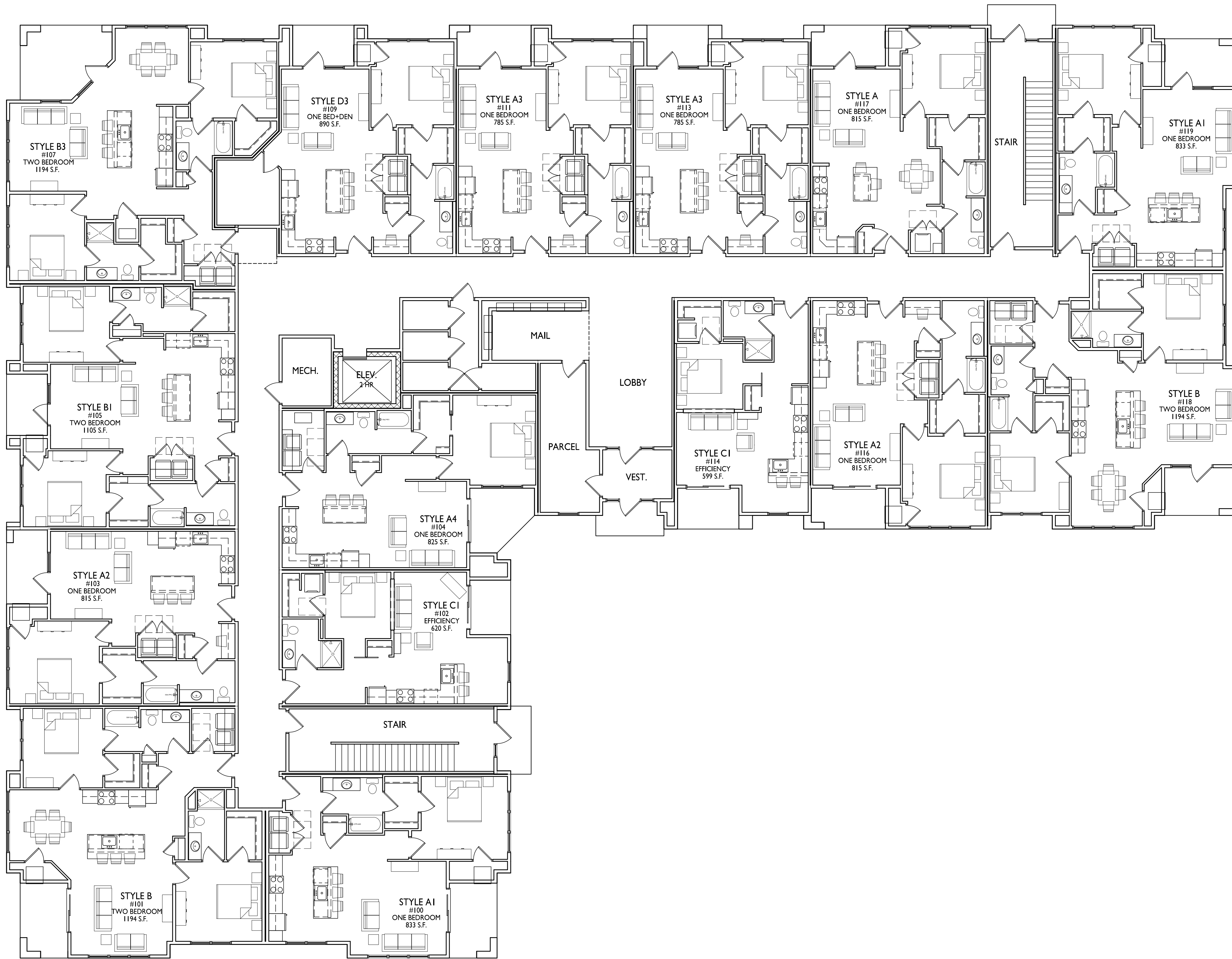


**BUILDING #1**  
**BASEMENT PLAN**

1/8" = 1'-0"







**BUILDING #1  
FIRST FLOOR PLAN**

I  
ACI01-I

1/8" = 1'-0"



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ARCHITECTS

Phone: 8401 Greenway Blvd., Suite 900  
608.836.3690 Middleton, WI 53562

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PROJECT TITLE

**MIDPOINT  
MEADOWS**

Multi-Family  
Development Lot 218

SHEET TITLE

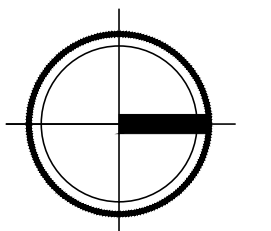
**Building #1  
First Floor Plan**

SHEET NUMBER

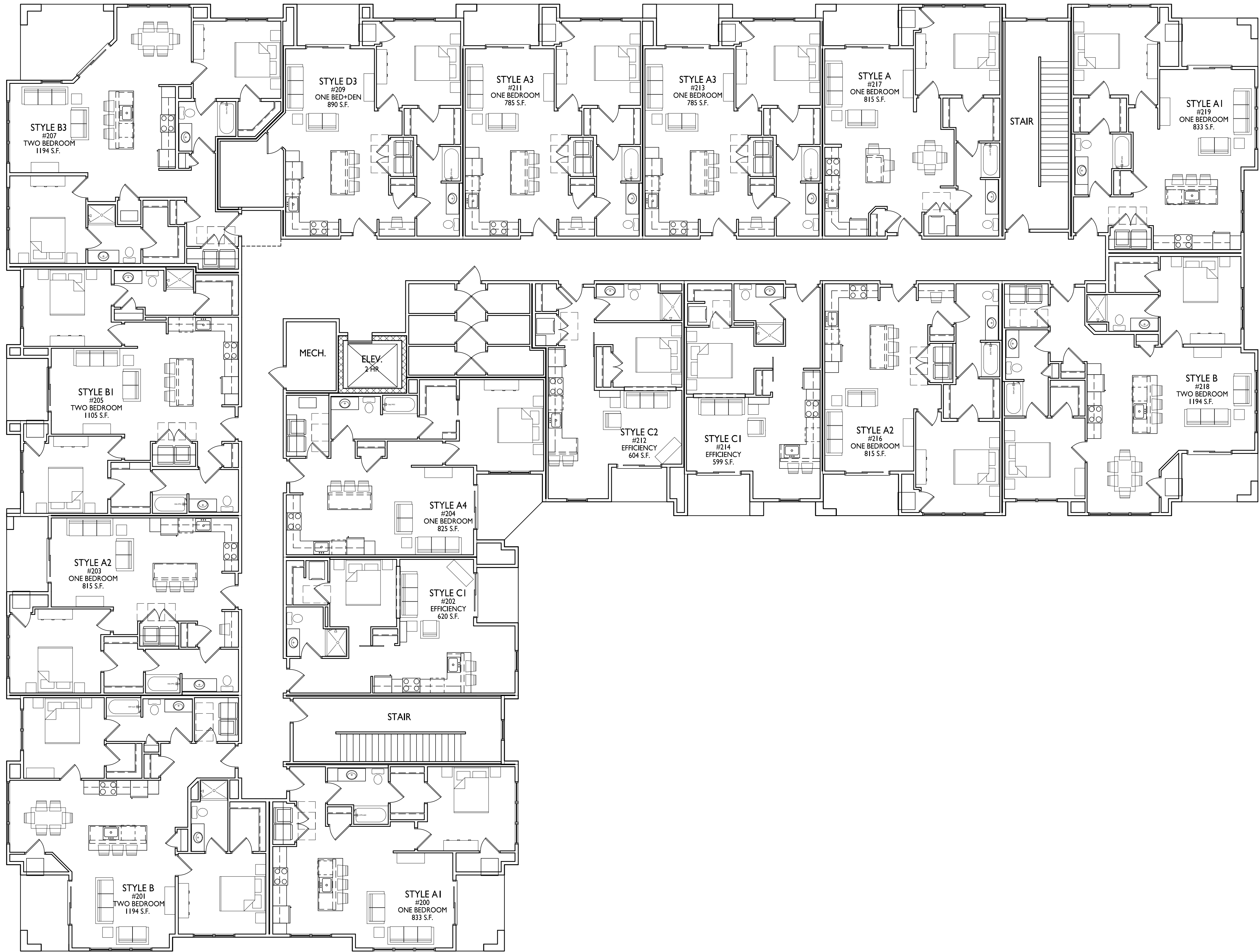
**ACI01-I**

PROJECT NO. **2411**

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**BUILDING #1  
SECOND FLOOR PLAN**

1  
AC102-1  
1/8" = 1'-0"



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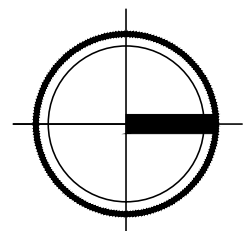
PROJECT TITLE  
**MIDPOINT  
MEADOWS**

Multi-Family  
Development Lot 218  
SHEET TITLE  
**Building #1  
Second Floor Plan**

SHEET NUMBER

**AC102-1**

PROJECT NO. **2411**  
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**BUILDING #1**  
**THIRD FLOOR PLAN**

I  
ACI03-1

1/8" = 1'-0"



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PROJECT TITLE

**MIDPOINT  
MEADOWS**

Multi-Family  
Development Lot 218

SHEET TITLE

**Building #1**  
**Third Floor Plan**

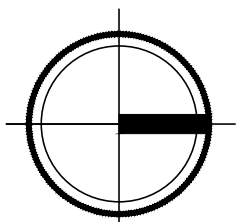
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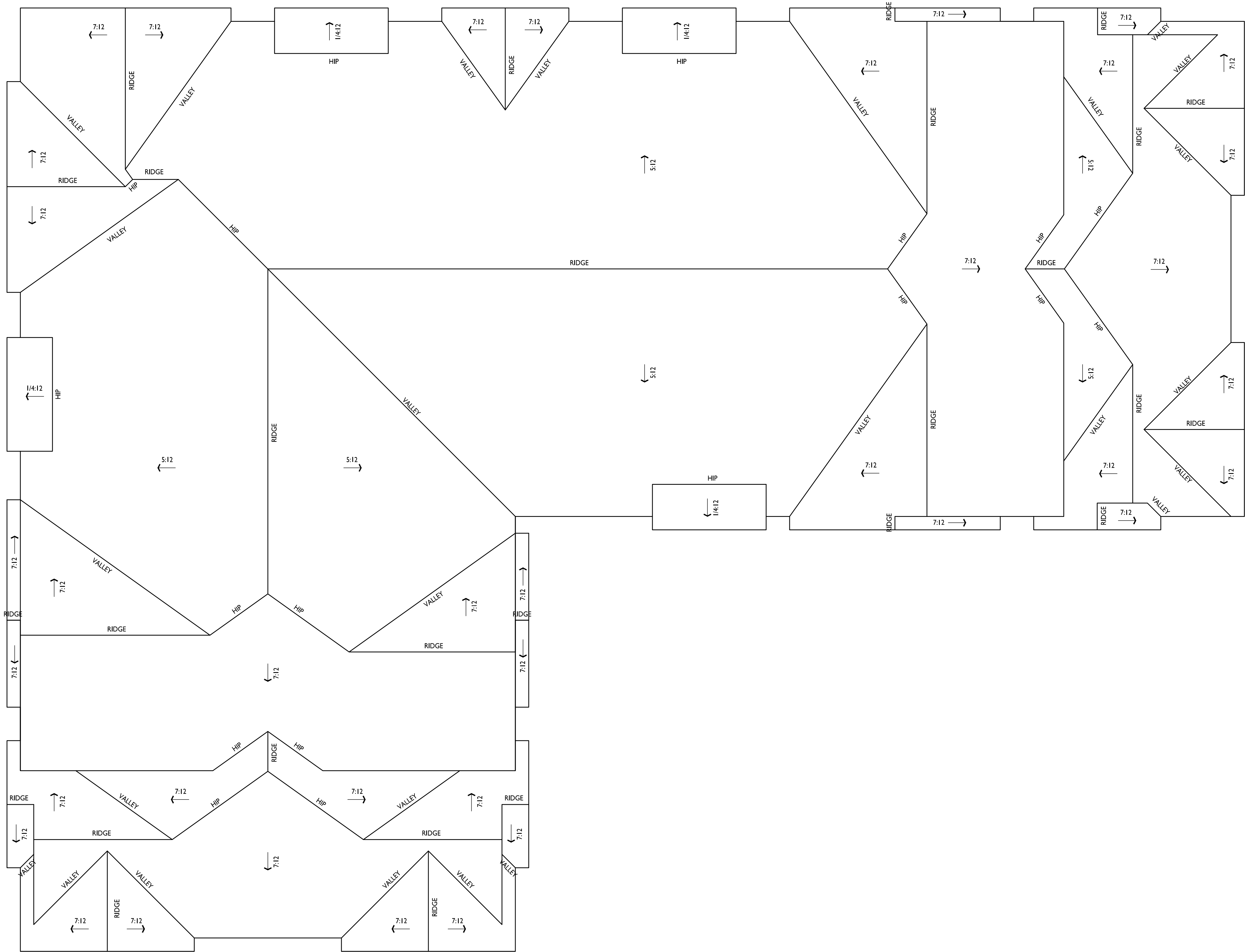
PROJECT NO.

**2411**

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**BUILDING #1  
ROOF PLAN**  
1/8" = 1'-0"



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PROJECT TITLE

**MIDPOINT  
MEADOWS**

Multi-Family  
Development Lot 218

SHEET TITLE

**Building #1  
Roof Plan**

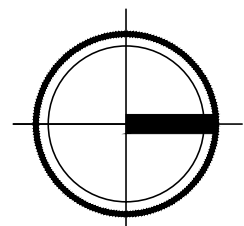
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PROJECT NO.

**2411**

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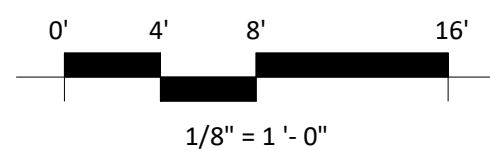




2 ELEVATION - NORTH  
AC201-1 1/8" = 1'-0"



1 ELEVATION - EAST  
AC201-1 1/8" = 1'-0"



EXTERIOR MATERIAL SCHEDULE			
MARK	BUILDING ELEMENT	MANUFACTURER	COLOR
01	COMPOSITE LAP SIDING 6"	JAMES HARDIE	DEEP OCEAN
02	COMPOSITE BOARD & BATTEN	JAMES HARDIE	LIGHT MIST
03	COMPOSITE LAP SIDING 6"	JAMES HARDIE - WOODTONE	OLD CHERRY
04	COMPOSITE PANEL	JAMES HARDIE	LIGHT MIST
05	COMPOSITE TRIM	JAMES HARDIE	LIGHT MIST
06	STONE VENEER	COUNTY MATERIAL	CUSTOM GRAY BLEND
07	CAST STONE	EDWARDS	GRAY
08	ACCENT TRIM	JAMES HARDIE - WOODTONE	CORDOVAN BROWN
09	RAILINGS & HANDRAILS	SUPERIOR	BLACK
10	COMPOSITE WINDOW	ANDERSEN	BLACK
11	ALUMINIUM STOREFRONT	N/A	BLACK
12	ROOF SHINGLES	TBD	GRAY
13	METAL ROOF	TBD	SILVER

ISSUED  
LUA SUBMITTAL - 2024.10.07

PROJECT TITLE  
Midpoint  
Meadows -  
Building #1

Madison, WI  
SHEET TITLE  
Exterior  
Elevations

SHEET NUMBER

AC201-1  
PROJECT NUMBER  
2411

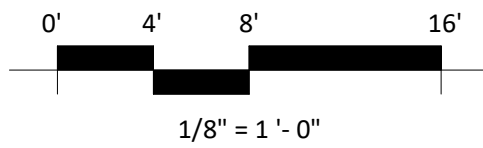




1 ELEVATION - SOUTH  
1/8" = 1'-0"



2 ELEVATION - WEST  
1/8" = 1'-0"



EXTERIOR MATERIAL SCHEDULE			
MARK	BUILDING ELEMENT	MANUFACTURER	COLOR
01	COMPOSITE LAP SIDING 6"	JAMES HARDIE	DEEP OCEAN
02	COMPOSITE BOARD & BATTEN	JAMES HARDIE	LIGHT MIST
03	COMPOSITE LAP SIDING 6"	JAMES HARDIE - WOODTONE	OLD CHERRY
04	COMPOSITE PANEL	JAMES HARDIE	LIGHT MIST
05	COMPOSITE TRIM	JAMES HARDIE	LIGHT MIST
06	STONE VENEER	COUNTY MATERIAL	CUSTOM GRAY BLEND
07	CAST STONE	EDWARDS	GRAY
08	ACCENT TRIM	JAMES HARDIE - WOODTONE	CORDOVAN BROWN
09	RAILINGS & HANDRAILS	SUPERIOR	BLACK
10	COMPOSITE WINDOW	ANDERSEN	BLACK
11	ALUMINIUM STOREFRONT	N/A	BLACK
12	ROOF SHINGLES	TBD	GRAY
13	METAL ROOF	TBD	SILVER

ISSUED  
LUA SUBMITTAL - 2024.10.07

PROJECT TITLE  
Midpoint  
Meadows -  
Building #1

Madison, WI  
SHEET TITLE  
Exterior  
Elevations

SHEET NUMBER

AC202-1  
PROJECT NUMBER  
2411

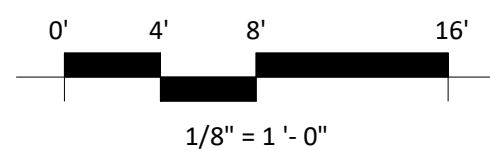




2  
AC203-1  
COLORED ELEVATION - NORTH  
1/8" = 1'-0"



1  
AC203-1  
COLORED ELEVATION - EAST  
1/8" = 1'-0"



EXTERIOR MATERIAL SCHEDULE			
MARK	BUILDING ELEMENT	MANUFACTURER	COLOR
01	COMPOSITE LAP SIDING 6"	JAMES HARDIE	DEEP OCEAN
02	COMPOSITE BOARD & BATTEN	JAMES HARDIE	LIGHT MIST
03	COMPOSITE LAP SIDING 6"	JAMES HARDIE - WOODTONE	OLD CHERRY
04	COMPOSITE PANEL	JAMES HARDIE	LIGHT MIST
05	COMPOSITE TRIM	JAMES HARDIE	LIGHT MIST
06	STONE VENEER	COUNTY MATERIAL	CUSTOM GRAY BLEND
07	CAST STONE	EDWARDS	GRAY
08	ACCENT TRIM	JAMES HARDIE - WOODTONE	CORDOVAN BROWN
09	RAILINGS & HANDRAILS	SUPERIOR	BLACK
10	COMPOSITE WINDOW	ANDERSEN	BLACK
11	ALUMINIUM STOREFRONT	N/A	BLACK
12	ROOF SHINGLES	TBD	GRAY
13	METAL ROOF	TBD	SILVER

ISSUED  
LUA SUBMITTAL - 2024.10.07

PROJECT TITLE  
Midpoint  
Meadows -  
Building #1

Madison, WI  
SHEET TITLE

Exterior  
Elevations Colored

SHEET NUMBER

AC203-1

PROJECT NUMBER  
2411





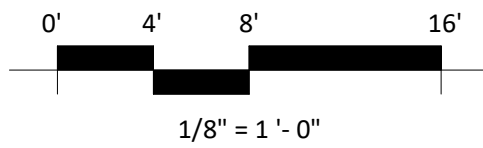
1  
AC204-1

COLORED ELEVATION - SOUTH  
1/8" = 1'-0"



2  
AC204-1

COLORED ELEVATION - WEST  
1/8" = 1'-0"



EXTERIOR MATERIAL SCHEDULE			
MARK	BUILDING ELEMENT	MANUFACTURER	COLOR
01	COMPOSITE LAP SIDING 6"	JAMES HARDIE	DEEP OCEAN
02	COMPOSITE BOARD & BATTEN	JAMES HARDIE	LIGHT MIST
03	COMPOSITE LAP SIDING 6"	JAMES HARDIE - WOODTONE	OLD CHERRY
04	COMPOSITE PANEL	JAMES HARDIE	LIGHT MIST
05	COMPOSITE TRIM	JAMES HARDIE	LIGHT MIST
06	STONE VENEER	COUNTY MATERIAL	CUSTOM GRAY BLEND
07	CAST STONE	EDWARDS	GRAY
08	ACCENT TRIM	JAMES HARDIE - WOODTONE	CORDOVAN BROWN
09	RAILINGS & HANDRAILS	SUPERIOR	BLACK
10	COMPOSITE WINDOW	ANDERSEN	BLACK
11	ALUMINIUM STOREFRONT	N/A	BLACK
12	ROOF SHINGLES	TBD	GRAY
13	METAL ROOF	TBD	SILVER

NOT FOR CONSTRUCTION

ISSUED  
LUA SUBMITTAL - 2024.10.07

PROJECT TITLE  
Midpoint  
Meadows -  
Building #1

Madison, WI  
SHEET TITLE  
Exterior  
Elevations Colored

SHEET NUMBER

AC204-1  
PROJECT NUMBER  
2411





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# MIDPOINT MEADOWS

Development Lot 218

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SHEET TITLE

**Building #2**

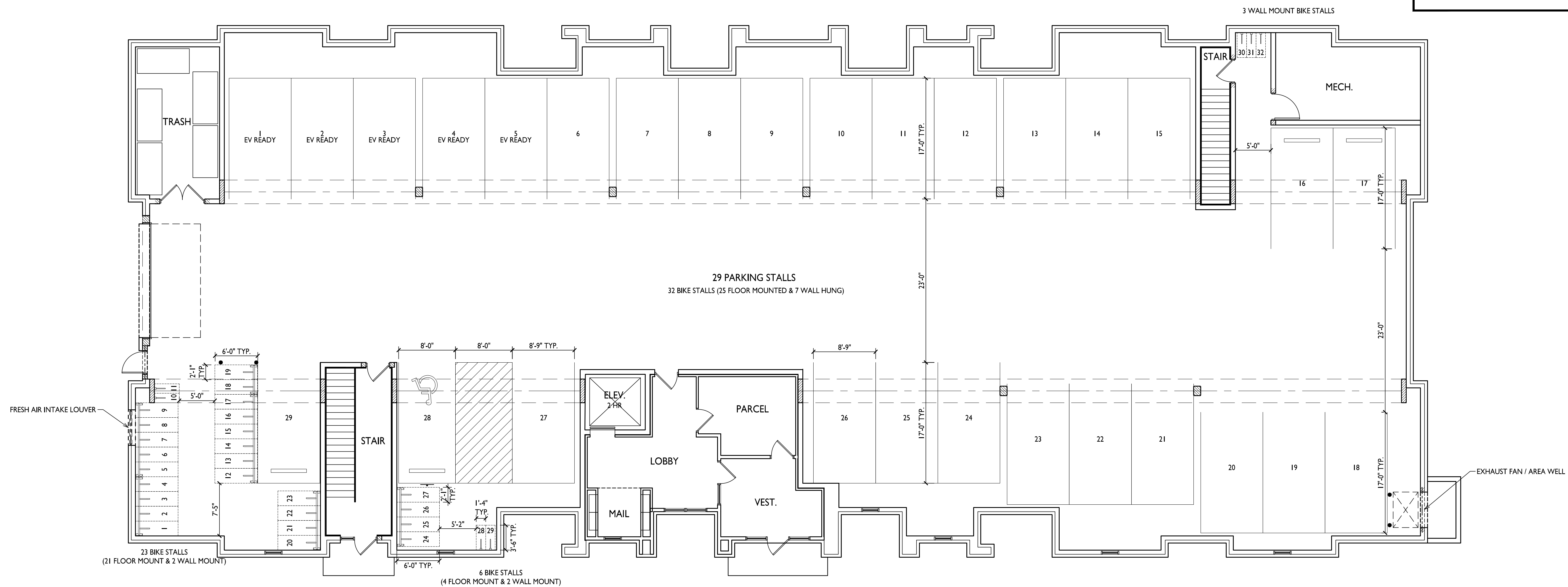
**Basement Plan**

SHEET NUMBER \_\_\_\_\_

# ACI 00-2

PROJECT NO. 2411

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**BUILDING #2**  
**BASEMENT PLAN**

**BAS**  
1/8" = 1'-0"

