

# URBAN DESIGN COMMISSION APPLICATION

# UDC

City of Madison  
Planning Division  
Madison Municipal Building, Suite 017  
215 Martin Luther King, Jr. Blvd.  
P.O. Box 2985  
Madison, WI 53701-2985  
(608) 266-4635



## FOR OFFICE USE ONLY:

Date Received \_\_\_\_\_

Initial Submittal

Paid \_\_\_\_\_

Revised Submittal

**Complete all sections of this application, including the desired meeting date and the action requested.** If your project requires both UDC and Land Use application submittals, a completed [Land Use Application](#) and accompanying submittal materials are also required to be submitted.

*If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the Planning Division at (608) 266-4635.*

*Si necesita interprete, traductor, materiales en diferentes formatos, u otro tipo de ayuda para acceder a estos formularios, por favor llame al (608) 266-4635.*

*Yog tias koj xav tau ib tug neeg txhais lus, tus neeg txhais ntawv, los sis xav tau cov ntaub ntawv ua lwm hom ntawv los sis lwm cov kev pab kom paub txog cov lus qhia no, thov hu rau Koog Npaj (Planning Division) (608) 266-4635.*

## 1. Project Information

Address (list all addresses on the project site): \_\_\_\_\_

Title: \_\_\_\_\_

## 2. Application Type (check all that apply) and Requested Date

UDC meeting date requested \_\_\_\_\_

New development

Alteration to an existing or previously-approved development

Informational

Initial Approval

Final Approval

## 3. Project Type

Project in an Urban Design District

Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)

Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)

Planned Development (PD)

General Development Plan (GDP)

Specific Implementation Plan (SIP)

Planned Multi-Use Site or Residential Building Complex

### Signage

Comprehensive Design Review (CDR)

Modifications of Height, Area, and Setback

Sign Exceptions as noted in [Sec. 31.043\(3\)](#), MGO

### Other

Please specify

\_\_\_\_\_

## 4. Applicant, Agent, and Property Owner Information

**Applicant name** \_\_\_\_\_

Company \_\_\_\_\_

Street address \_\_\_\_\_

City/State/Zip \_\_\_\_\_

Telephone \_\_\_\_\_

Email \_\_\_\_\_

**Project contact person** \_\_\_\_\_

Company \_\_\_\_\_

Street address \_\_\_\_\_

City/State/Zip \_\_\_\_\_

Telephone \_\_\_\_\_

Email \_\_\_\_\_

**Property owner (if not applicant)** \_\_\_\_\_

Street address \_\_\_\_\_

City/State/Zip \_\_\_\_\_

Telephone \_\_\_\_\_

Email \_\_\_\_\_

## Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

## Types of Approvals

There are three types of requests considered by the UDC:

- Informational Presentation. A request for an Informational Presentation to the UDC may be requested prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design efforts. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Modification requests)
- Initial Approval. Applicants may, at their discretion, request Initial Approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information that should be addressed at Final Approval stage.
- Final Approval. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the Initial Approval must be addressed at this time.

## Presentations to the Commission

The Urban Design Commission meets virtually via Zoom, typically on the second and fourth Wednesdays of each month at 4:30 p.m. Applicant presentations are strongly encouraged, although not required. Prior to the meeting, each individual speaker is required to complete an online registration form to speak at the meeting. A link to complete the online registration will be provided by staff prior to the meeting. Please note that individual presentations will be limited to a **maximum of three (3) minutes**. The pooling of time may be utilized to provide one speaker more time to present, however the additional time will be based on the number of registrants from the applicant team, i.e. two (2) applicant registrants = six (6) minutes for one (1) speaker.

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics. Please note that presentation slides, in a PDF file format, are required to be submitted **the Friday before** the UDC meeting.

# URBAN DESIGN DEVELOPMENT PLANS CHECKLIST

The items listed below are minimum application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

## 1. Informational Presentation

- Locator Map
- Letter of Intent (If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan
- Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

### Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1"= 40' or larger

*\*\* All plans must be legible, including the full-sized landscape and lighting plans (if required)*

## 2. Initial Approval

- Locator Map
- Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- Landscape Plan and Plant List (*must be legible*)
- Building Elevations in **both** black & white and color for all building sides, including material and color callouts
- PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

## 3. Final Approval

All the requirements of the Initial Approval (see above), **plus**:

- Grading Plan
- Lighting Plan, including fixture cut sheets and photometrics plan (must be legible)
- Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- Site Plan showing site amenities, fencing, trash, bike parking, etc. (if applicable)
- PD text and Letter of Intent (if applicable)
- Samples of the exterior building materials
- Proposed sign areas and types (if applicable)

## 4. Signage Approval (*Comprehensive Design Review (CDR), Sign Modifications, and Sign Exceptions (per [Sec. 31.043\(3\)](#))*)

- Locator Map
- Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Modifications criteria is required)
- Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- Illustration of the proposed signage that meets [Ch. 31, MGO](#) compared to what is being requested
- Graphic of the proposed signage as it relates to what the [Ch. 31, MGO](#) would permit

**5. Required Submittal Materials**

**Application Form**

- A completed application form is required for each UDC appearance. For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (Initial or Final Approval) from the UDC.

**Letter of Intent**

- If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required.
- For signage applications, a summary of how the proposed signage is consistent with the applicable Comprehensive Design Review (CDR) or Signage Modification review criteria is required.

**Development Plans** (Refer to checklist on Page 4 for plan details)

**Filing Fee** (Refer to Section 7 (below) for a list of application fees by request type)

**Electronic Submittal**

- Complete electronic submittals must be received prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. All plans must be legible and scalable when reduced. Individual PDF files of each item submitted should be submitted via email to UDCapplications@cityofmadison.com. The email must include the project address, project name, and applicant name.
- Email Size Limits. Note that an individual email cannot exceed 20MB and it is the responsibility of the applicant to present files in a manner that can be accepted. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.

**Notification to the District Alder**

- Please provide an email to the District Alder notifying them that you are filing this UDC application. Please send this as early in the process as possible and provide a copy of that email with the submitted application.

**6. Applicant Declarations**

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Jessica Vaughn on August 27, 2024.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant David Oberbeck Relationship to property Architect

Authorizing signature of property owner  Date 10-7-2024

**7. Application Filing Fees**

Fee payments are due by the submittal date. Payments received after the submittal deadline may result in the submittal being scheduled for the next application review cycle. Fees may be paid in-person, via US Mail, or City drop box. If mailed, please mail to: *City of Madison Building Inspection, P.O. Box 2984, Madison, WI 53701-2984*. The City's drop box is located outside the Municipal Building at 215 Martin Luther King, Jr. Blvd. on the E Doty Street side of the building. Please make checks payable to *City Treasurer*, and include a completed application form or cover letter indicating the project location and applicant information with all checks mailed or submitted via the City's drop box.

Please consult the schedule below for the appropriate fee for your request:

Urban Design Districts: \$350 (per §33.24(6) MGO).

Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per §33.24(6)(b) MGO)

Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO)

Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO)

All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for Sign Modifications (of height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

— Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)

— Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)

— Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)

— Planned Multi-Use Site or Residential Building Complex

## David Oberbeck

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**From:** David Oberbeck  
**Sent:** Friday, September 6, 2024 3:27 PM  
**To:** district16@cityofmadison.com; JVaughn@cityofmadison.com  
**Cc:** Jim Gersich; Kate Cook; Brad Bauer  
**Subject:** Notice of UDC/Land Use Application submittal for the development at 4845 Tradewinds Parkway  
**Attachments:** Sports Center - 4845 Tradewinds Parkway.pdf

Good Afternoon Alder Currie,

I am contacting you with a notification that our design team will be filing an **URBAN DESIGN COMMISSION APPLICATION** and **LAND USE APPLICATION** for a new indoor sports complex.

The property is located in Alder District No. 16/Urban Design District No. 1 at **4845 Tradewinds Parkway** which is zoned Industrial – Limited District (IL).

The primary permitted use falls under the subcategory Commercial Recreation, Entertainment and Lodging as a Health/Sports Club.

The submittal will include an **APPLICATION FOR CONDITIONAL USE** associated with the ‘indoor recreation of 2 futsal/pickle ball/volleyball courts’, ‘outdoor recreation for the potential to add future small soccer fields’ and a ‘restaurant/pub’ for the café/pub areas’.

The filing will occur on **October 7, 2024** for the Urban Design Commission meeting to be held **November 20, 2024** followed by the Plan Commission Meeting on **December 2, 2024**.

We would like to request the consideration of a waiver to the 30 day notification time period to potentially move the construction timeline forward with the appropriate review/plan approvals prior to the winter weather setting in.

If granted, the filing would then occur **September 23, 2024** for the Urban Design Commission meeting to be held **November 6, 2024** followed by the Plan Commission Meeting on **November 18, 2024**.

Additional information regarding the operation of the facility is included below for your review...

- **Facility**
  - Primary Use: Premier Futsal Facility (official form of indoor soccer)
  - Additional Use: pickleball, volleyball
  - Exercise Room
  - Pub and Coffee Bar
- **Hours of Operation:**
  - Facility
    - Hours: Daily 8am - 10 pm
    - Lighter usage during the week
  - Coffee Bar (Main Level)
    - Hours: Daily 7am-2pm
  - Mezzanine Level
    - Pub Hours:
      - Weekday: 5pm - 10pm
      - Weekend: 11am-10pm
    - Food served 11am -10pm

- All food prep will be done on the Mezzanine Level (ie, the pub).
  - Drinks served 5pm – 10 pm
    - Pub area serving drinks will only be open 5pm -10pm
  - Applying for beer-wine permit (indoor only)
  - No outdoor garden planned for beer and wine
- **Sport Activities**
  - Weekdays
    - Pickleball: 8am-2pm
    - Futsal: 5pm-10pm
  - Weekends
    - Futsal (mostly)
  - Winter Season: some pickleball
  - Warmer Months: mostly pickleball with some futsal
  - Throughout the Year: some tournaments
- **Outdoor Facilities (South Lawn Area)**
  - Initial Project: Open green space with no activities planned
  - Future Option: Small soccer fields
    - Summer weekday and weekends.
    - Spring/fall weekends and after 5 pm weekdays
    - Outdoor soccer practice/matches No outdoor field lighting
    - No additional parking

We have attached a partial set of plans for your use in learning more about the project... a site plan, floor plans, building elevations and a preliminary rendering of the front of the facility that faces Tradewinds Parkway.

Please feel free to contact me if you have questions regarding the proposed development.

Regards,

David Oberbeck AIA  
 Architect  
 Dimension IV Madison Design Group

608-829-4450 direct  
[doberbeck@dimensionivmadison.com](mailto:doberbeck@dimensionivmadison.com)



[www.dimensionivmadison.com](http://www.dimensionivmadison.com)

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October 21, 2024

City of Madison - Planning Division  
Madison Municipal Building, Suite 017  
215 Martin Luther King Jr. Blvd.  
P.O. Box 2985  
Madison, WI 53701-2985

RE: Bauer Builders Sports Center  
UDC Final Approval Letter of Intent – 4845 Tradewinds Pkwy

Dear Urban Design Commission:

This Urban Design Commission Application submittal packet outlines the proposed design for the development of a new indoor sports center to be constructed at **4845 Tradewinds Parkway** on a vacant 2.97 acre parcel.

The filing of this application package on **October 21, 2024** is for the Urban Design Commission meeting to be held **December 2, 2024** followed by the Plan Commission Meeting on **December 16, 2024**.

**Project & Site:**

The proposed project consists of a single one-story building housing two indoor sports courts designed for Futsal, a form of indoor soccer. Futsal is a 5 vs 5 fast paced small-sided soccer game played on a hard surfaced, basketball sized court with a smaller, low bounce ball. Futsal is played with touchline boundaries and without walls. A central mezzanine open to the sports courts on both sides will allow spectators to watch the matches while also being served beverages and food from a small kitchen. The courts are also designed for pickleball and volleyball when Futsal matches are not being held.

The proposed sports facility will have a 25,827 GSF footprint with a 3942 GSF mezzanine level. Parking for total of 92 vehicles will be provided on the north and west sides of the building with the main accessible entrance facing Tradewinds Parkway. Building emergency exits are placed around the perimeter of the facility all existing onto sidewalks. Bicycle parking for 22 has been placed at the north side of the facility adjacent to the main entrance. A covered area at the front of the building provides a small seating area...no food or beverages will be served to this area.

The property lies in Urban Design District 1 (UDD-1) which was established in 1988 to ensure that John Nolen Drive and the South Beltline are a ‘most visually attractive approach to the City of Madison’, and to assure future development in the district will preserve and enhance the property values in the district.

The design the exterior incorporates architectural metal wall panels, masonry and glass curtain walls adding color, texture and interest to the

6515 Grand Teton Plaza, Suite 120  
Madison, Wisconsin 53719

p 608.829.4444

f 608.829.4445

sport facility. The site grading addresses water drainage with added stormwater retention capacity in the south lawn area. A screened trash enclosure has been located to the rear of the parcel in the northwest corner. A turn around at the south end of the parking area will facilitate emergency/waste vehicle access and departure.

### **Zoning:**

The property is located in Alder District No. 16/Urban Design District No. 1 on the south side of Tradewinds Parkway which is zoned Industrial – Limited District (IL).

The primary permitted use falls under the subcategory Commercial Recreation, Entertainment and Lodging as a Health/Sports Club.

The submittal includes an **APPLICATION FOR CONDITIONAL USE** associated with the ‘indoor recreation use associated with the 2 futsal/pickle ball/volleyball courts’, ‘the outdoor recreation use for the potential to add future outdoor soccer fields’ and a ‘restaurant/pub use’ for the indoor café/pub areas’.

Additional information regarding the operation of the facility is included below for your review...

- **Facility**
  - Primary Use: Premier Futsal Facility (official form of indoor soccer)
  - Additional Use: pickleball, volleyball
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  -
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    - Hours: Daily 7am-2pm
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    - Pub Hours:
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      - Weekend: 11am-10pm
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      - All food prep will be done on the Mezzanine Level (ie, the pub).
    - Drinks served 5pm – 10 pm
      - Pub area serving drinks will only be open 5pm -10pm
    - Applying for beer-wine permit (indoor only)
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- Futsal (mostly)
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- **Outdoor Facilities (South Lawn Area)**
  - Initial Project: Open green space with no activities planned
  - Future Option: Small soccer fields
    - Summer weekday and weekends.
    - Spring/fall weekends and after 5 pm weekdays
    - Outdoor soccer practice/matches
    - No outdoor field lighting
    - No additional parking

Thank you for your time and consideration. We look forward to the opportunity to present our project on November 24, 2024.

Regards,

David Oberbeck, AIA

Project Team:

Owner: Ilhr Lushaj ([info@madisonfutsal.com](mailto:info@madisonfutsal.com))

Contractor: Bauer Builders, Inc.  
2866 Agriculture Drive  
Madison, WI 53718  
Brad Bauer ([bradbauer@bauerbuildersinc.com](mailto:bradbauer@bauerbuildersinc.com))

Architect: Dimension IV Madison Design Group  
6515 Grand Teton Plaza; Suite 120  
Madison, WI 53719  
David Oberbeck ([doberbeck@dimensionivmadison.com](mailto:doberbeck@dimensionivmadison.com))

Civil Engineer: Wyser Engineering  
300 E. Front St.  
Mount Horeb, WI 53572  
Wade Wyse ([wade.wyse@wyserengineering.com](mailto:wade.wyse@wyserengineering.com))

# BAUER BUILDERS SPORTS COMPLEX

4845 TRADEWINDS PARKWAY,  
MADISON, WI



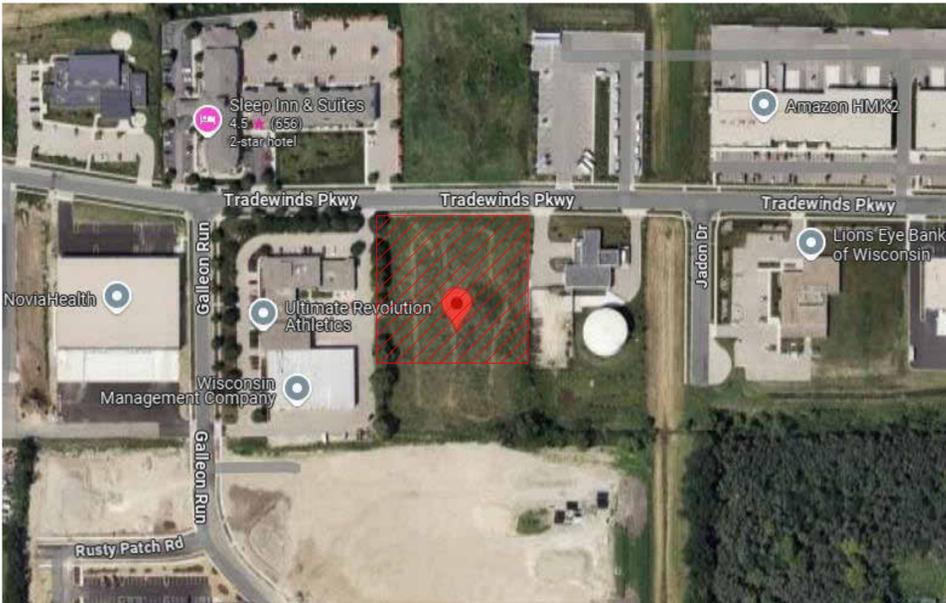
**3D VIEW**

PROJECT/BUILDING DATA	
NEW 1 STORY FUTSAL SPORTING COMPLEX WITH MEZZANINE LEVEL	
FIRST FLOOR AREA	= 25,827 GSF
FIRST FLOOR PATIO AREA	= 280 GSF
MEZZANINE FLOOR AREA	= 3,942 GSF
TOTAL BUILDING AREA	= 29,769 GSF
PARKING COUNTS	
TOTAL PARKING SPACES	= 96
TOTAL ACCESSIBLE PARKING SPACES	= 6

**Architecture :** **Dimension IV - Madison Design Group**  
6515 Grand Teton Plaza, Suite 120, Madison, WI 53719  
p: 608.829.4444 www.dimensionivmadison.com

**General Contractor:** **Bauer Builders**  
2866 Agriculture Dr, Madison, WI 53718  
p: 608.222.8941 bauerbuildersinc.com

- G1 - COVER SHEET
- G2 - SITE PHOTOS
- G3 - SITE PLAN CONTEX
- C100
- C200
- C300
- LANDSCAPE PLAN
- LIGHTING LAYOUT
- LIGHTING LAYOUT
- AS1.1 - SITE PLAN
- A1 - FIRST FLOOR PLAN
- A2 - MEZZANINE PLAN
- A3a - EXTERIOR ELEVATION
- A3b - EXTERIOR ELEVATION
- A4 - EXTERIOR RENDERINGS
- A5 - EXTERIOR RENDERINGS
- A6 - MATERIAL BOARD
- COVRIT CUTSHEETS
- AS1.1 - COVRIT LOCATIONS
- M103 - ROOF HVAC



**NEIGHBORHOOD MAP**



**CITY MAP**



**STATE MAP**

**UDC APPROVAL**

10/21/2024

PROJECT # 23078

**G1**



GENERAL VIEW FROM TRADEWINDS PKWY N



VIEW FROM TRADEWINDS PKWY NW



VIEW FROM TRADEWINDS PKWY NE



VIEW FROM GALLEON RUN NW



VIEW FROM GALLEON RUN SW



AERIAL VIEW LOOKING NORTH WEST

**BAUER BUILDERS  
SPORTS COMPLEX**

4845 TRADEWINDS PARKWAY,  
MADISON, WI

DATE OF ISSUE: 10/21/2024

REVISIONS:


PROJECT # 23078

**SITE PHOTOS**



UTILITY BUILDING FROM NW



UTILITY BUILDING FROM NE



MAINSTAY SUITES



WISCONSIN WEIGHTS & MEASURES LAB



HO-CHUNK NATION MADISON OFFICE



SLEEP INN & SUITES



AMAZON HMK2 WAREHOUSE



WISCONSIN MANAGEMENT COMPANY



LIONS EYE BANK OF WI, NON-PROFIT



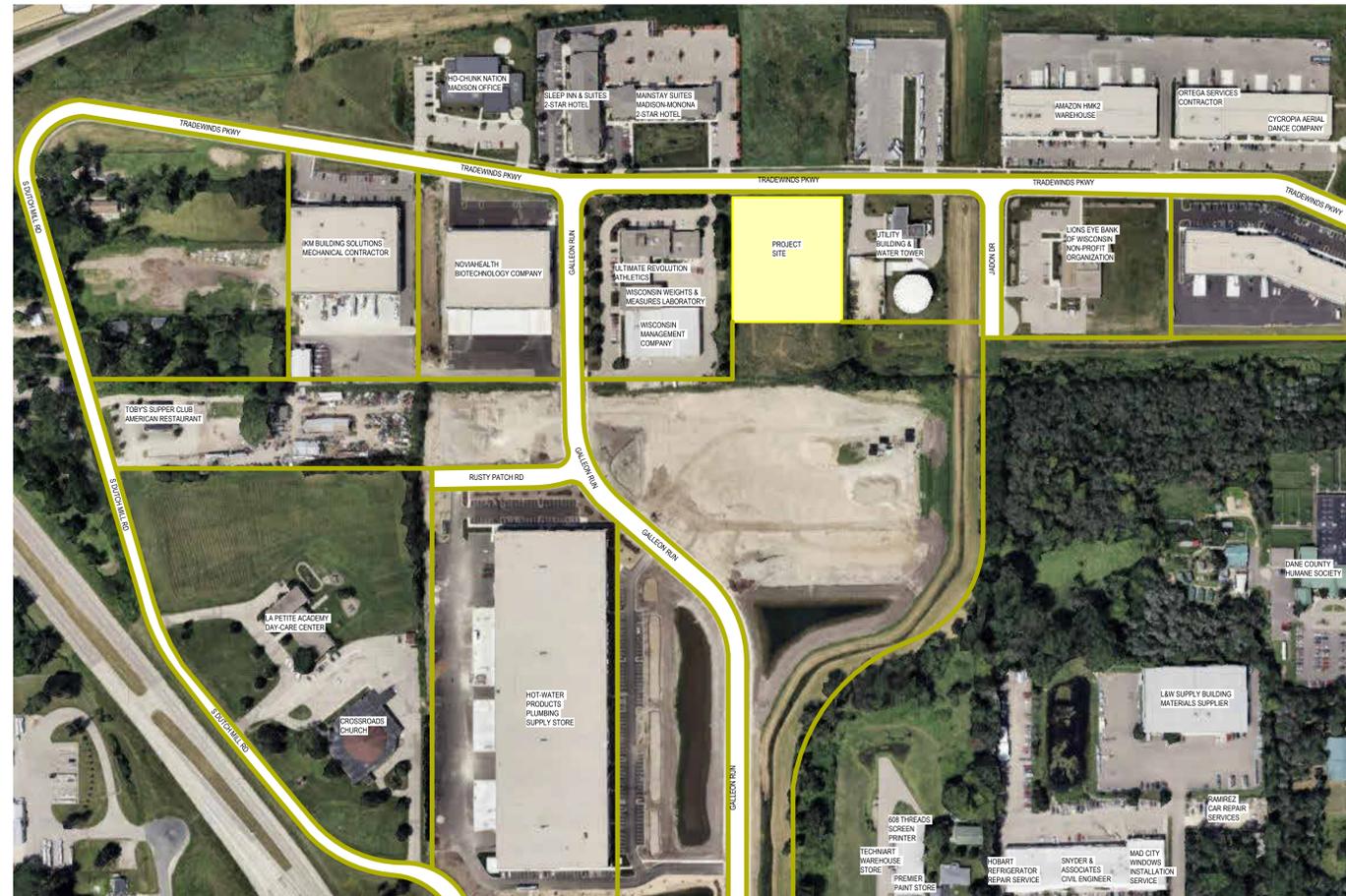
TOBY'S SUPPER CLUB, RESTAURANT



PREMIER PAINT STORE



CROSSROADS CHURCH



**BAUER BUILDERS  
SPORTS COMPLEX**

4845 TRADEWINDS PARKWAY,  
MADISON, WI

DATE OF ISSUE: 10/21/2024

REVISIONS:

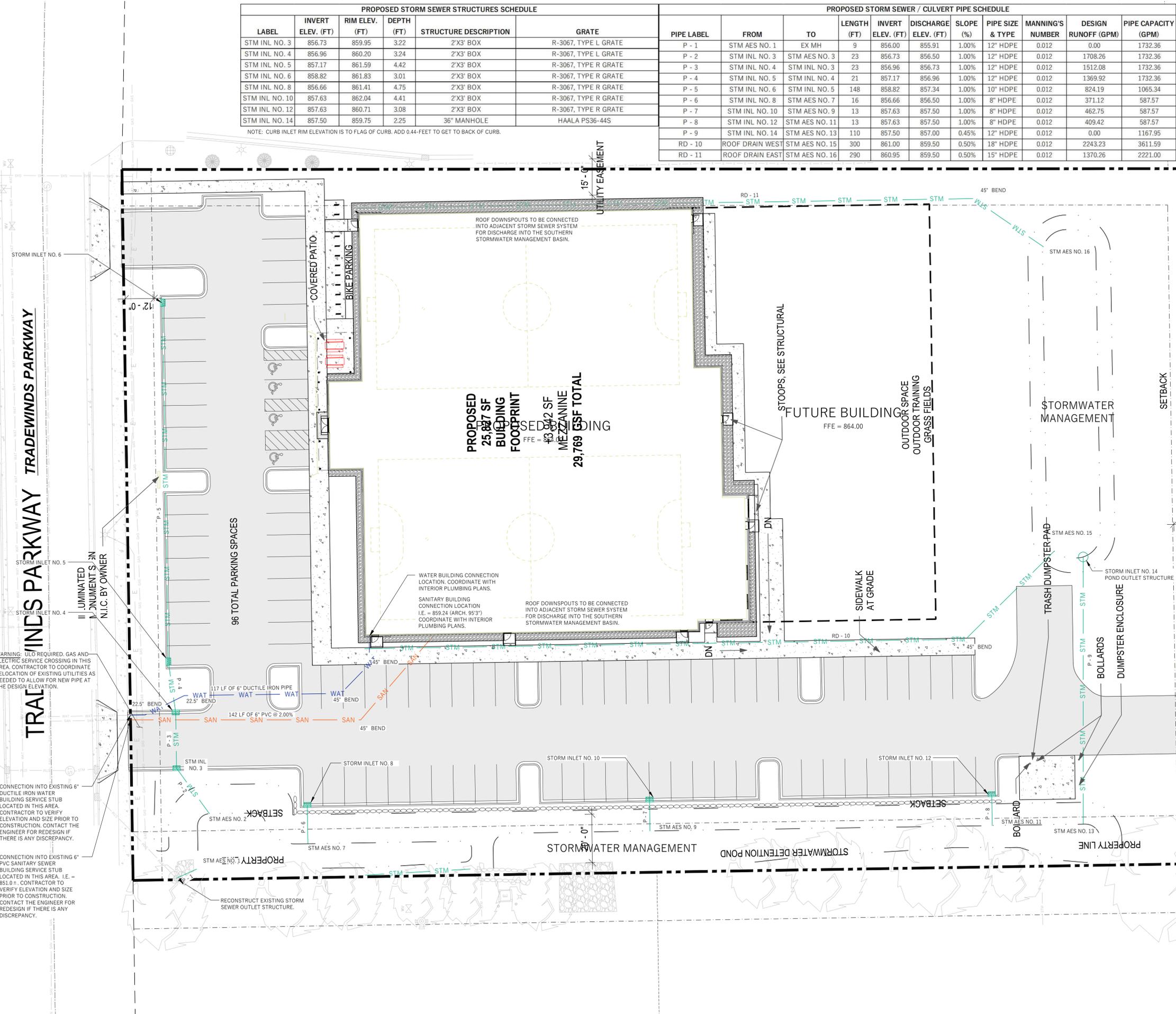
PROJECT # 23078

**SITE PLAN  
CONTEXT**





File: W:\2024\241260\_Bauer Builders - 4845 Tradewinds Parkway\241260\_Civil Design.dwg Layout: Utility Plan User: dschneider Plotted: Oct 16, 2024 - 2:44pm



PROPOSED STORM SEWER STRUCTURES SCHEDULE					
LABEL	INVERT ELEV. (FT)	RIM ELEV. (FT)	DEPTH (FT)	STRUCTURE DESCRIPTION	GRATE
STM INL NO. 3	856.73	859.95	3.22	2'X3' BOX	R-3067, TYPE L GRATE
STM INL NO. 4	856.96	860.20	3.24	2'X3' BOX	R-3067, TYPE L GRATE
STM INL NO. 5	857.17	861.59	4.42	2'X3' BOX	R-3067, TYPE R GRATE
STM INL NO. 6	858.82	861.83	3.01	2'X3' BOX	R-3067, TYPE R GRATE
STM INL NO. 8	856.66	861.41	4.75	2'X3' BOX	R-3067, TYPE R GRATE
STM INL NO. 10	857.63	862.04	4.41	2'X3' BOX	R-3067, TYPE R GRATE
STM INL NO. 12	857.63	860.71	3.08	2'X3' BOX	R-3067, TYPE R GRATE
STM INL NO. 14	857.50	859.75	2.25	36" MANHOLE	HAALA PS36-44S

PROPOSED STORM SEWER / CULVERT PIPE SCHEDULE										
PIPE LABEL	FROM	TO	LENGTH (FT)	INVERT ELEV. (FT)	DISCHARGE ELEV. (FT)	SLOPE (%)	PIPE SIZE & TYPE	MANNING'S NUMBER	DESIGN RUNOFF (GPM)	PIPE CAPACITY (GPM)
P - 1	STM AES NO. 1	EX MH	9	856.00	855.91	1.00%	12" HDPE	0.012	0.00	1732.36
P - 2	STM INL NO. 3	STM AES NO. 3	23	856.73	856.50	1.00%	12" HDPE	0.012	1708.26	1732.36
P - 3	STM INL NO. 4	STM INL NO. 3	23	856.96	856.73	1.00%	12" HDPE	0.012	1512.08	1732.36
P - 4	STM INL NO. 5	STM INL NO. 4	21	857.17	856.96	1.00%	12" HDPE	0.012	1369.92	1732.36
P - 5	STM INL NO. 6	STM INL NO. 5	148	858.82	857.34	1.00%	10" HDPE	0.012	824.19	1065.34
P - 6	STM INL NO. 8	STM AES NO. 7	16	856.66	856.50	1.00%	8" HDPE	0.012	371.12	587.57
P - 7	STM INL NO. 10	STM AES NO. 9	13	857.63	857.50	1.00%	8" HDPE	0.012	462.75	587.57
P - 8	STM INL NO. 12	STM AES NO. 11	13	857.63	857.50	1.00%	8" HDPE	0.012	409.42	587.57
P - 9	STM INL NO. 14	STM AES NO. 13	110	857.50	857.00	0.45%	12" HDPE	0.012	0.00	1167.95
RD - 10	ROOF DRAIN WEST	STM AES NO. 15	300	861.00	859.50	0.50%	18" HDPE	0.012	2243.23	3611.59
RD - 11	ROOF DRAIN EAST	STM AES NO. 16	290	860.95	859.50	0.50%	15" HDPE	0.012	1370.26	2221.00

NOTE: CURB INLET RIM ELEVATION IS TO FLAG OF CURB, ADD 0.44 FEET TO GET TO BACK OF CURB.

**LEGEND (PROPOSED)**

- PROPOSED PROPERTY BOUNDARY
- EASEMENT
- BUILDING FOOTPRINT
- 18" CURB AND GUTTER
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- WAT - PROPOSED WATER MAIN
- SAN - PROPOSED SANITARY SEWER
- STM - PROPOSED STORM SEWER
- GAS - PROPOSED GAS SERVICE (DESIGN BY OTHERS)
- E - PROPOSED ELECTRIC SERVICE (DESIGN BY OTHERS)
- STORMWATER TREATMENT FACILITY

- GENERAL NOTES**
- UNDERLYING SITE CONTOURS AND INFORMATION BASED ON TOPOGRAPHIC & UTILITY DATA AS SURVEYED BY WYSER ENGINEERING ON THE WEEK OF JULY 13, 2022. WYSER ENGINEERING SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY ARISE AS A RESULT OF ERRONEOUS OR INCOMPLETE INFORMATION PROVIDED BY OTHERS. CONTRACTOR TO CONFIRM ALL ELEVATIONS, GENERAL DRAINAGE AND EARTHWORK REQUIREMENTS PRIOR TO CONSTRUCTION.
  - THE BENCHMARK LOCATIONS ARE SHOWN FOR REFERENCE ONLY ON THIS PLAN. THE BENCHMARKS SHALL BE VALIDATED BY LICENSED LAND SURVEYOR PRIOR TO CONSTRUCTION. CONTRACTOR ASSUMES RISK ASSOCIATED WITH BENCHMARK ELEVATIONS UNTIL CONFIRMED.
  - CONTRACTOR TO OBTAIN APPROPRIATE PERMITS FOR STREET OPENINGS & TO WORK WITHIN THE CITY'S LAND IF REQUIRED.
  - WYSER ENGINEERING SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER OR CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY REGULATORY AGENCIES.
  - IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
  - ALL MUNICIPAL UTILITY CONNECTIONS, WORK IN ROW, PUBLIC OUTLETS AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.

- UTILITY NOTES**
- DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
  - LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
  - CONTRACTOR SHALL VERIFY ALL ELEVATIONS, LOCATIONS, AND SIZES OF SANITARY, WATER AND STORM LATERALS AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS.
  - THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND WISDOT, WISDPS, AND WDW. R.

- PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
  - EXAMINING ALL SITES CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
  - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
  - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
  - NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
  - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED. IF REQUIRED, ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
- ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE. NO BLASTING IS ALLOWED WITHIN 30 FEET OF EXISTING UTILITIES.
- ALL PRIVATE INTERCEPTOR WATER MAIN AND WATER SERVICES SHALL BE INSTALLED WITH A 6' MINIMUM BURY. PROVIDE INSULATION ABOVE PIPES WITH LESS THAN 5' OF GROUND COVER.
- GRANULAR BACKFILL MATERIALS ARE REQUIRED IN ALL UTILITY TRENCHES UNDER SIDEWALKS AND PROPOSED PAVED AREAS UNLESS OTHERWISE SPECIFIED BY A GEOTECHNICAL ENGINEER. ALL UTILITY TRENCH BACKFILL SHALL BE COMPACTED PER SPECIFICATIONS. ALL PAVEMENT PATCHING SHALL COMPLY WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. ADDITIONAL PAVEMENT MILLING AND OVERLAY MAY BE REQUIRED BY PERMIT.
- CONTRACTOR SHALL NOTIFY THE MUNICIPAL PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES.
- ALL NON-METALLIC BUILDING SEWER AND WATER SERVICES MUST BE ACCOMPANIED BY MEANS OF LOCATING UNDERGROUND PIPE TRACER WIRE VALVE BOXES SHALL BE INSTALLED ON ALL LATERALS AND AS INDICATED ON THESE PLANS.
- ALL EXTERIOR CLEANOUTS SHALL BE PROVIDED WITH A FROST SLEEVE IN ACCORDANCE WITH SPS 382.34(5)(a)(b) AND SPS 384.30(2)(c).
- ALL PRIVATE PLUMBING MATERIALS SHALL CONFORM TO SPS 384.30.
- ALL PRIVATE PIPE JOINTS SHALL BE INSTALLED PER SPS 384.40.
- ALL PRIVATE WATER PIPE, INCLUDING DEPTH AND SERRATION REQUIREMENTS, SHALL BE IN ACCORDANCE WITH SPS 382.40(8).
- THE CONTRACTOR SHALL ALLOW 10 WORKING DAYS FOR THE CONSTRUCTION OF GAS MAINS WHEN SCHEDULING THE WORK AND SHALL NOT RESTRICT ACCESS TO THE GAS MAIN CONTRACTOR OR OTHER UTILITY COMPANIES.
- INLET CASTINGS SHALL BE SET TO GRADE PRIOR TO AND SEPARATE FROM THE POURING OF THE CONCRETE CURB AND GUTTER. IS IS REQUIRED THAT THREE FEET OF CONCRETE CURB AND GUTTER ON EACH SIDE OF THE INLET SHALL BE POURED BY HAND, NOT THROUGH THE USE OF A CURB MACHINE. THE INLET CASTING SHALL BE SET TO GRADE ON A BED OF MORTAR WHICH SHALL BE A MINIMUM OF TWO INCHES THICK. THE INLET SHALL BE PLACED ON THE MORTAR BED AND SHALL BE ADJUSTED TO GRADE BY APPLYING DIRECT PRESSURE TO THE CASTING. ONCE THE CASTING ADJUSTMENT IS COMPLETE, THREE FEET OF CURB AND GUTTER ON EACH SIDE OF THE CASTING SHALL BE POURED BY HAND.
- CONTRACTOR SHALL VERIFY AND COORDINATE ALL UTILITY CONNECTIONS WITH THE BUILDING PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL CONDUCT HIS OPERATIONS SO AS TO BE IN CONFORMANCE WITH THE CITY EROSION CONTROL AND STORMWATER ORDINANCE, AND DNR ADMINISTRATIVE RULE NR 216 AT ALL TIMES.



4845 TRADEWINDS PARKWAY  
MADISON, WI 53718

BAUER BUILDERS  
SPORTS COMPLEX  
CITY OF MADISON, DANE COUNTY, WI  
Sheet Title: UTILITY PLAN

Revisions:

No.	Date:	Description:

Graphic Scale: 0' 5' 10' 20' 30'

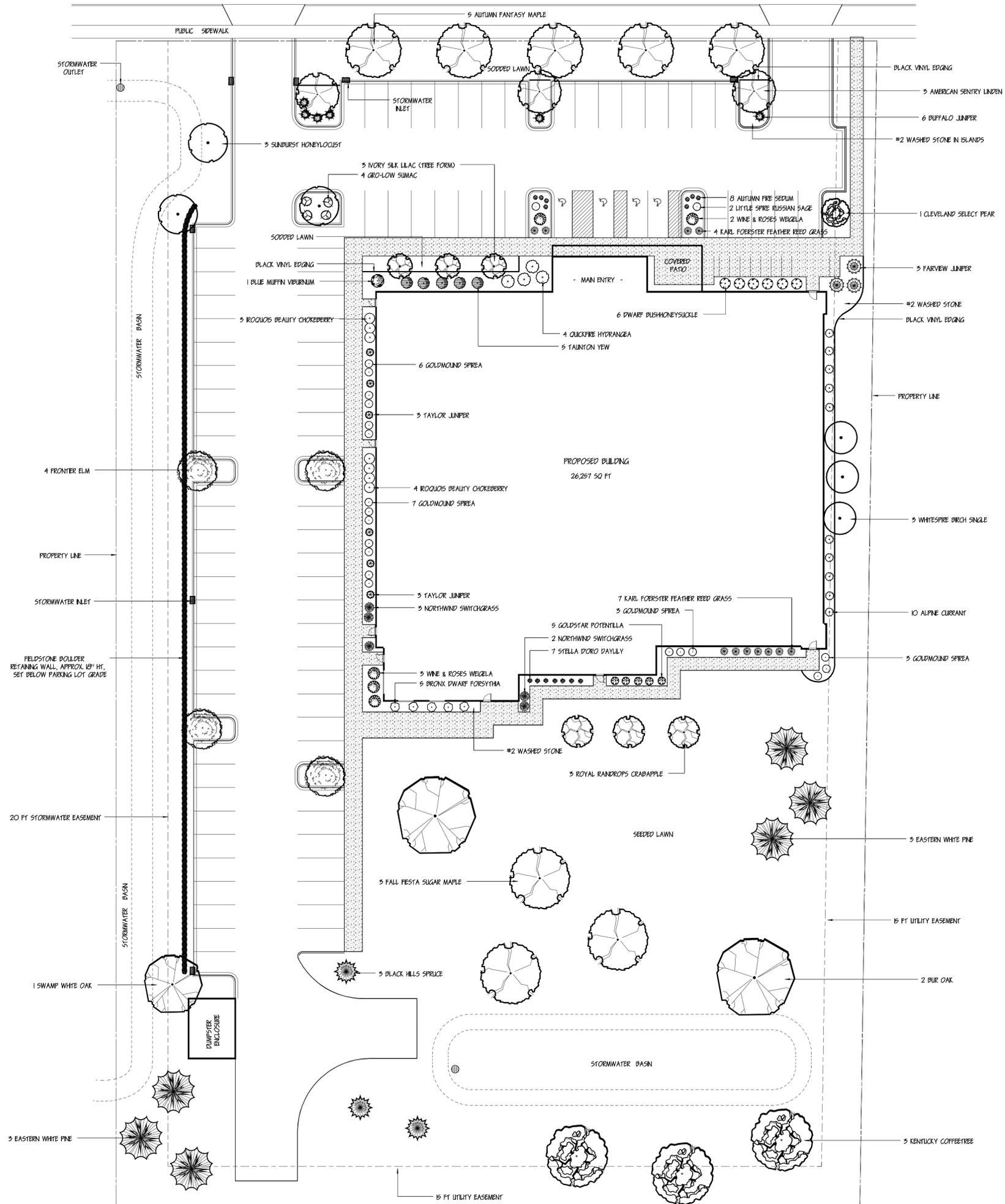
Wysen Number: 24-1260

Set Type: REVIEW

Date Issued: 10/16/2024

Sheet Number: C300

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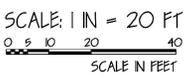
Qty	Botanical Name	Common Name	Size/Condition
<b>Trees</b>			
3	<i>Acer saccharum</i> 'Rubra'	FALL FESTA SUGAR MAPLE	25" in DB
5	<i>Acer x Freemanii</i> 'Autumn Fantasy'	AUTUMN FANTASY MAPLE	25" in DB
3	<i>Betula populifolia</i> 'Whitepaper'	WHITESPICE BIRCH SINGLE	25" in DB
3	<i>Gleditsia tricanthos</i> 'Suncoke'	SUNBURST HONEYLOCUST	25" in DB
3	<i>Gymnocladia dioica</i>	KENTUCKY COFFEETREE	25" in DB
3	<i>Malus transcorsa</i> 'Royal Randrops'	ROYAL RANDROPS CRABAPPLE	15" in DB
3	<i>Picea glauca</i> 'denata'	BLACK HILLS SPRUCE	5 ft BB
6	<i>Pinus strobus</i>	EASTERN WHITE PINE	5 ft BB
1	<i>Pinus californiana</i> 'Cleveland Select'	CLEVELAND SELECT PEAR	25" in DB
1	<i>Quercus laevis</i>	SWAMP WHITE OAK	25" in DB
2	<i>Quercus macrocarpa</i>	PUR OAK	25" in DB
3	<i>Syringa reticulata</i> 'Ivorii 5K'	IVORY SILK LLAC (TREE FORM)	15" in DB
3	<i>Tilia americana</i> 'McSentry'	AMERICAN SENTRY LINDEN	25" in DB
4	<i>Ulmus x Frontier</i>	FRONTIER ELM	25" in DB
<b>Shrubs</b>			
7	<i>Aronia melanocarpa</i> 'Morton'	ROQUIOS BEAUTY CHOKEBERRY	#5 CG
6	<i>Dieris lonicera</i>	DWARF BUSHHONEYSUCKLE	#5 CG
5	<i>Forsythia viridissima</i> 'Bronx'	BRONX DWARF FORSYTHIA	#5 CG
4	<i>Hydrangea paniculata</i> 'Pik'	QUICKFREE HYDRANGEA	#5 CG
3	<i>Jaspidea densa</i> 'Fairview'	FAIRVIEW JUNIPER	5 ft BB
3	<i>Jaspidea salina</i> 'Buffalo'	BUFFALO JUNIPER	#5 CG
6	<i>Jaspidea virginiana</i> 'Tajah'	TAYLOR JUNIPER	5 ft BB
5	<i>Potentilla fruticosa</i> 'Goldstar'	GOLDSTAR POTENTILLA	#5 CG
4	<i>Rhus aromatica</i> 'Gro-Low'	GRO-LOW SUMAC	#5 CG
10	<i>Ribes alpinum</i>	ALPINE CURRANT	#5 CG
19	<i>Spiraea japonica</i> 'Goldmound'	GOLDMOUND SPIREA	#5 CG
5	<i>Taxus x media</i> 'Taunton'	TAUNTON YEW	15" in DB
1	<i>Viburnum dentatum</i> 'Blue Muffin'	BLUE MUFFIN VIBURNUM	#5 CG
5	<i>Weigela florida</i> 'Alexandra'	WINE & ROSES WEIGELA	#5 CG
<b>Ornamental Grasses</b>			
1	<i>Calamagrostis acutiflora</i> 'Karl Foerster'	KARL FOERSTER FEATHER REED GRASS	#1 CG
5	<i>Panicum virgatum</i> 'Northwind'	NORTHWIND SWITCHGRASS	#1 CG
<b>Perennials and Annuals</b>			
7	<i>Hebe x exoniifolia</i> 'Stella Doro'	STELLA DORO DAYLILY	#1 CG
2	<i>Perovskia atriplicifolia</i> 'Little Spire'	LITTLE SPIRE RUSSIAN SAGE	#1 CG
<b>Succulents</b>			
8	<i>Sedum x 'Autumn Fire'</i>	AUTUMN FIRE SEDUM	#1 CG

CITY OF MADISON LANDSCAPING REQUIREMENTS

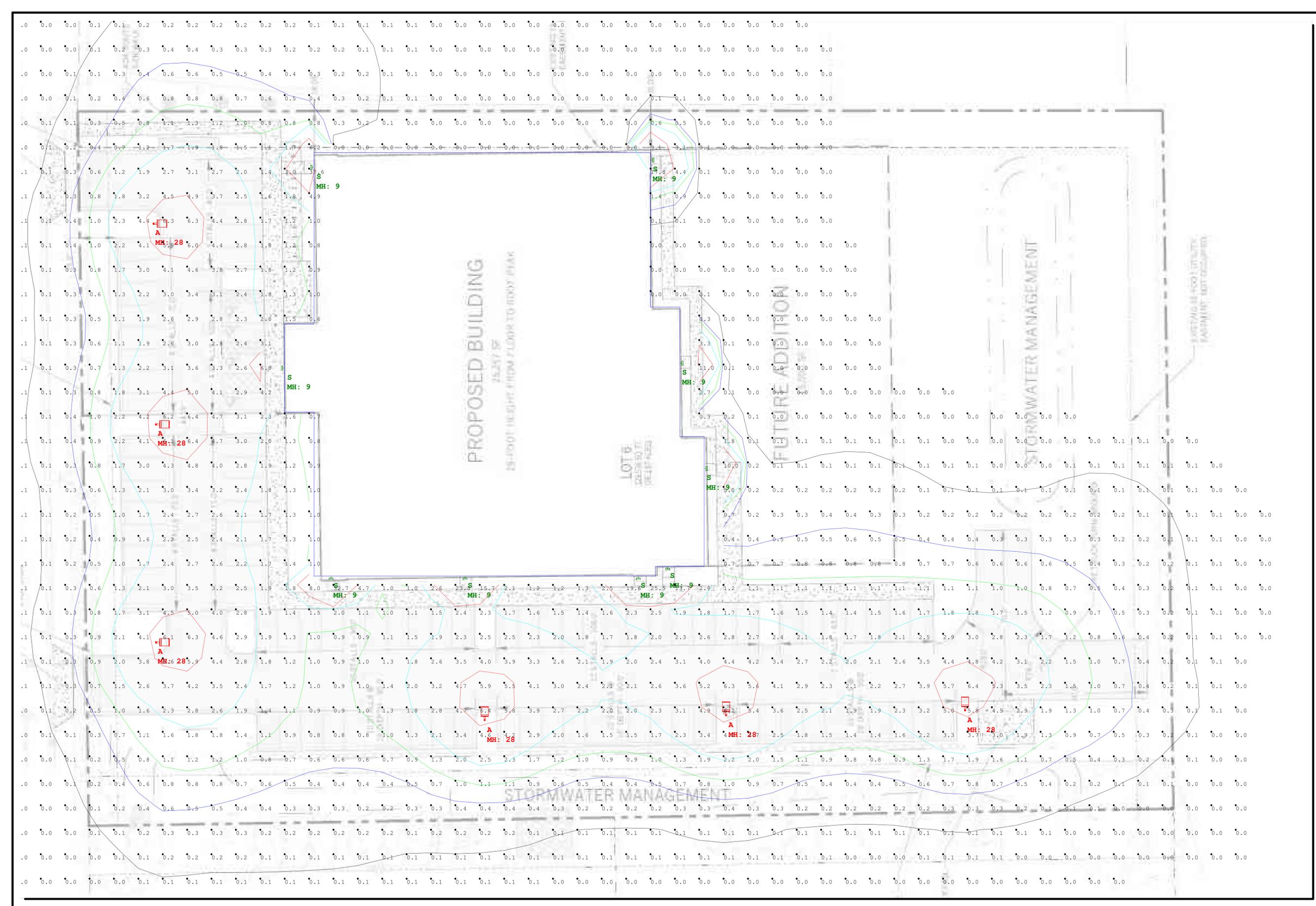
Total developed square footage	103,379
Required landscape units (Total/300 sq ft)	345
Required landscape points (Units X 5pts)	1725

LANDSCAPE POINTS CALCULATION

PLANT TYPE (MINIMUM SIZE)	NEW/ PROPOSED		POINTS ACHIEVED
	POINT VALUE	QUANTITY	
Overstory deciduous trees (25" caliper)	35	27	945
Evergreen trees (5' tall)	35	9	315
Ornamental trees (15" caliper)	15	7	105
Upright evergreen shrub (3'-4' tall)	10	9	90
Shrub, deciduous	3	66	198
Shrub, evergreen	4	11	44
Ornamental grasses/perennials	2	33	66
<b>TOTAL</b>			<b>1763</b>



DESIGN BY:  
**HERMAN**  
 LANDSCAPE SERVICE, INC  
 6606 SEYBOLD ROAD  
 MADISON, WI 53744 Ph: 608/288-9400  
 DATE: 9/16/2024  
 REVISED: 10/17/24



The light footcandle values shown on this plan are based on a uniform distribution of light from the fixtures shown. These values are not intended to represent the actual lighting conditions. The lighting design is based on the design parameters and design intent provided by the client. The lighting design is based on the design parameters and design intent provided by the client. The lighting design is based on the design parameters and design intent provided by the client. The lighting design is based on the design parameters and design intent provided by the client.

Scale: as noted
Date: 10/17/2024
Filename: Bauer Sports Parking Rev1.AGI
Drawn By: Andrew Kuehn

Job Name:  
Bauer Sports Parking  
Lighting Layout  
Version B

Prepared For:  
E&S Electric  
Mike Elchost



**Calculation Summary**

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Description	PtSpcLr	PtSpcTb	Meter Type
Planar_Planar	Illuminance	Fc	1.09	37.6	0.0	N.A.	N.A.	Readings taken at ground	10	10	Normal

**Luminaire Schedule**

Symbol	Qty	Tag	Label	Arrangement	Lum. Lumens	Arr. Lum. Lumens	LLF	Description	Lum. Watts	Arr. Watts	Total Watts
	9	S	SLIM	Single	4389	4389	1.000	26w, 4000K, Full Cut-Off	29.4	29.4	264.6
	6	A	A22-4T150	Single	21764	21764	1.000	150w, 4000K, Type IV	143.6	143.6	861.6

**Expanded Luminaire Location Summary**

LumNo	Tag	X	Y	MTG HT	Orient	Tilt
1	A	69	280	28	0	0
2	A	70	198	28	0	0
3	A	70	109	28	0	0
4	A	205	77	28	90	0
5	A	304	79	28	90	0
6	A	402	81	28	90	0
7	S	122.75	221	9	180	0
8	S	134.75	303	9	180	0
9	S	273.25	306	9	0	0
10	S	285.25	223	9	0	0
11	S	295.25	180	9	0	0
12	S	280	139.75	9	270	0
13	S	268	135.75	9	270	0
14	S	197	135.75	9	270	0
15	S	142	135.75	9	270	0

Total Quantity: 15

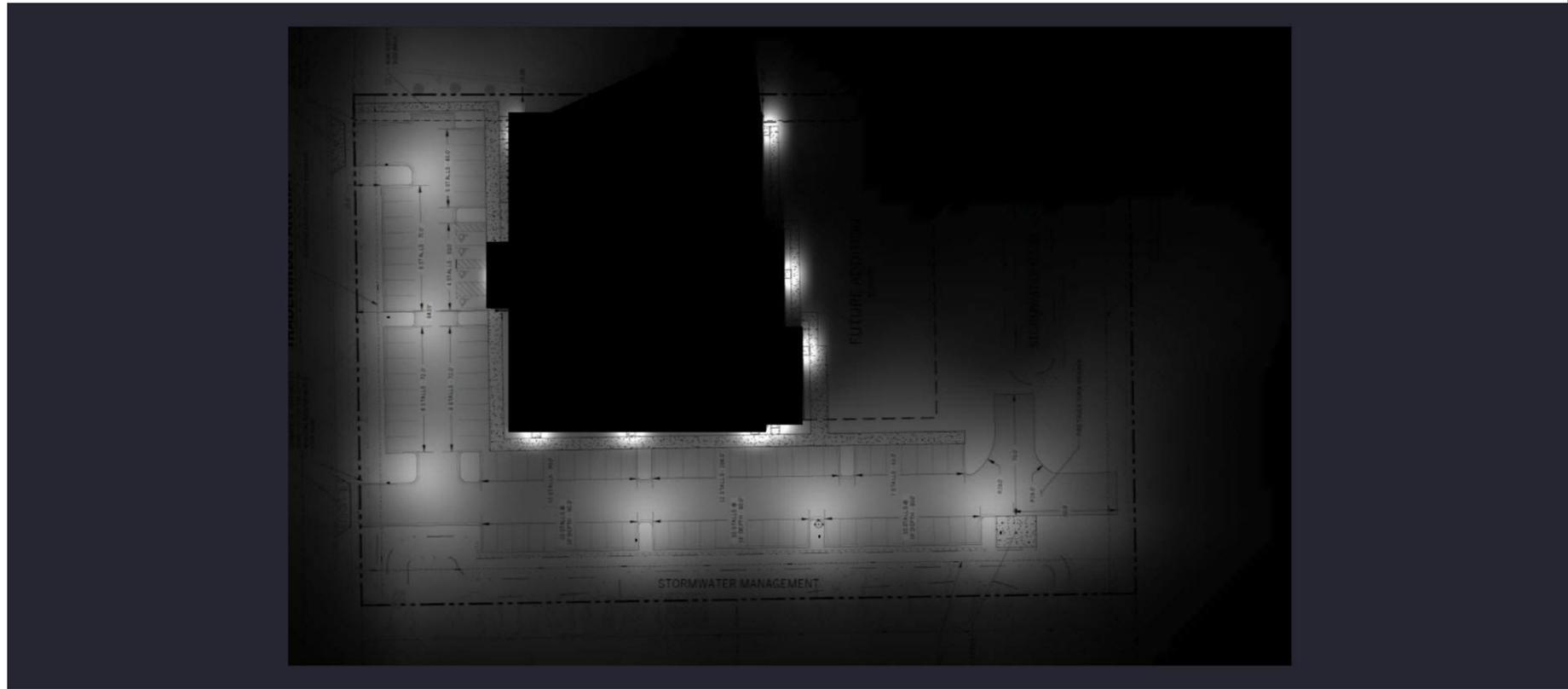
The light loss factor (LLF) is a product of many variables, only lamp lumen depreciation (LLD) has been applied to the calculated results unless otherwise noted. The LLD is the result (quotient) of mean lumens / initial lumens per lamp manufacturers' specifications.

\* Illumination values shown (in footcandles) are the predicted results for planes of calculation either to the plane of calculation.

\* The calculated results of this lighting simulation represent an anticipated prediction of system performance. Actual measured results may vary from the anticipated performance and are subject to means and methods which are beyond the control of the designer.

\* Mounting height determination is job site specific, our lighting simulations assume a mounting height (insertion point of the luminaire symbol) to be taken at the top of the symbol for ceiling mounted luminaires and at the bottom of the symbol for all other luminaire mounting configurations.

\* RAB Lighting Inc. luminaire and product designs are protected under U.S. and International intellectual property laws. horizontal, vertical or inclined as designated in the calculation summary. Meter orientation is normal. Patents issued or pending apply.



Scale: as noted

Date: 10/17/2024

Filename: Bauer Sports Parking Rev1.AGI

Drawn By: Andrew Kuehn

Job Name:  
Bauer Sports Parking  
Lighting Layout  
Version B

Prepared For:  
E&S Electric  
Mike Eichorst

Filename: C:\Users\inside\Sales\Documents\Andrew\AGI\2024\October\Bauer Sports Parking Rev1.AGI



**NOTES:**

\* The light loss factor (LLF) is a product of many variables, only lamp lumen depreciation (LLD) has been applied to the calculated results unless otherwise noted. The LLD is the result (quotient) of mean lumens / initial lumens per lamp manufacturers' specifications.

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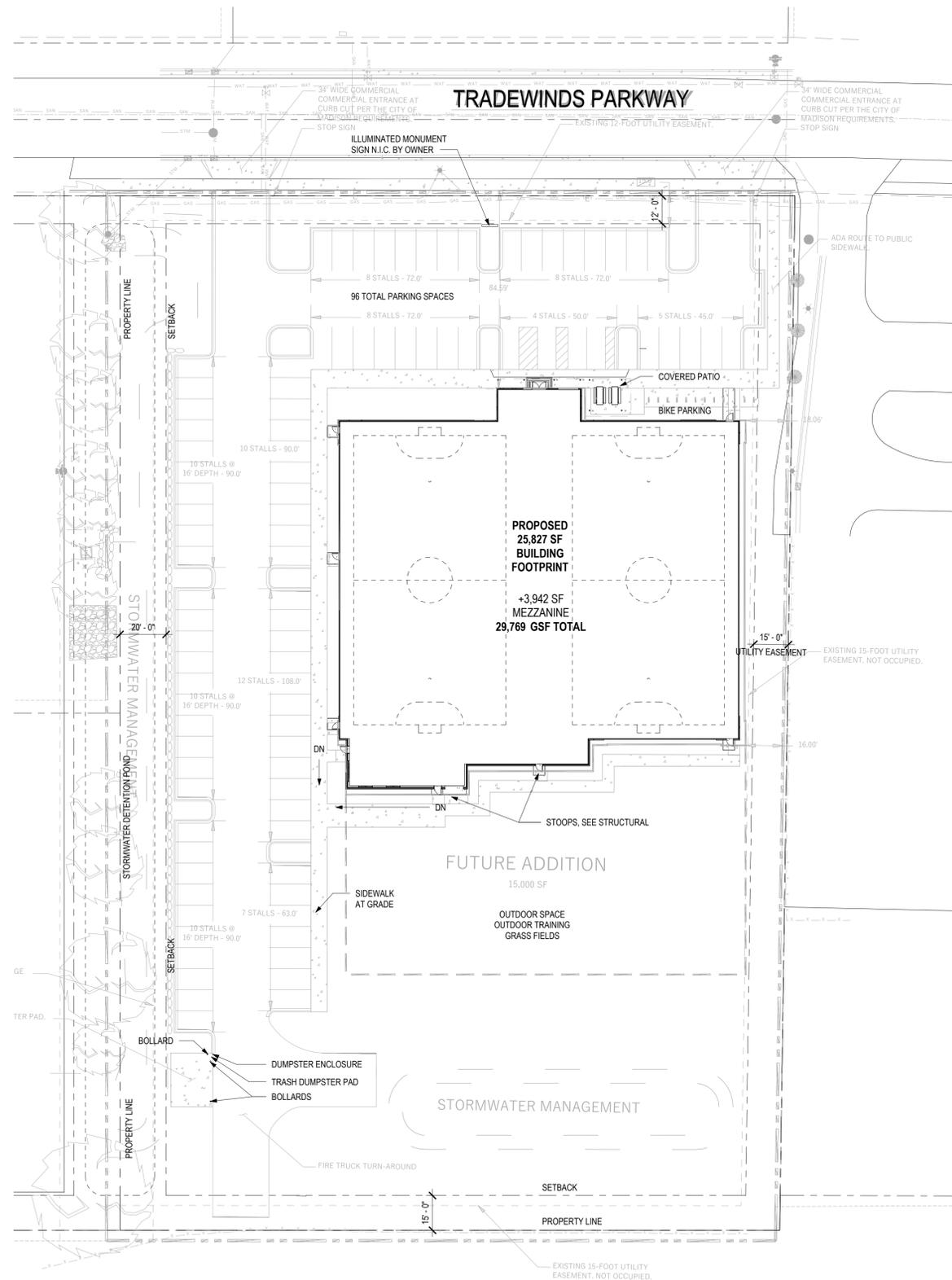
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**FOR ALL SITE IMPROVEMENTS, SEE CIVIL**

**BAUER BUILDERS  
SPORTS COMPLEX**

4845 TRADEWINDS PARKWAY,  
MADISON, WI



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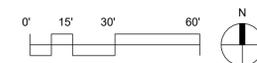
DATE OF ISSUE: 10/21/2024

REVISIONS:

PROJECT # 23078

**SITE PLAN**

**1 ARCHITECTURAL SITE PLAN**  
1" = 30'-0"



**AS1.1**

**FLOOR PLAN GENERAL NOTES**

- A. PROVIDE VERTICAL CONTROL JOINTS (C/S) WHERE STRUCTURAL SYSTEMS CHANGE. LOCATIONS THAT ARE PRONE TO CRACKING AND AS REQUIRED BY MANUFACTURERS INSTALLATION RECOMMENDATIONS.
- B. VERIFY SIZE AND LOCATIONS OF ALL MECHANICAL OPENINGS. GENERAL CONTRACTOR TO PAINT AND SEAL LOUVER PERIMETER, TYPICAL.
- C. GENERAL CONTRACTOR TO PROVIDE CONCRETE EQUIPMENT PADS/CURBS AS REQUIRED FOR MECHANICAL/ELECTRICAL EQUIPMENT. VERIFY SIZE/PROFILE/LOCATION WITH PLUMBING/MECHANICAL/ELECTRICAL.
- D. GENERAL CONTRACTOR TO INSTALL FOAM FILLER AT ALL MASONRY WALL CONTROL/EXPANSION JOINTS AND SEAL BOTH SIDES (WALL REINFORCING TO DISCONTINUE AT JOINTS).
- E. GENERAL CONTRACTOR TO PROVIDE WOOD BLOCKING BETWEEN WOOD/METAL STUDS AS REQUIRED FOR CASEWORK/HANDRAIL/TOILET ACCESSORIES ETC. MOUNTING.
- F. PROVIDE VINYL CARPET EDGE AT TRANSITIONS FROM CARPET TO DISSIMILAR FLOOR MATERIALS, UNLESS NOTED OTHERWISE (U.N.O.).
- G. REFER TO EXTERIOR ELEVATIONS FOR EXTERIOR WALL CONTROL JOINTS.
- H. VERIFY ALL ACTUAL CHASE DIMENSIONS WITH HVAC CONTRACTOR.
- I. ADA CLEARANCE CIRCLES AND BOXES SHOWN ON PLAN ARE FOR INFORMATION PURPOSES ONLY.
- J. DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD UNLESS NOTED OTHERWISE.
- K. CONFIRM ALL SPORTS COURT PAINT STRIPING WITH OWNER.

**FLOOR PLAN KEYNOTES**

- 1. SPORTS NETTING ATTACHED TO UNDERSIDE OF MEZZANINE. (N.I.C. BY OWNER)
- 2. SPORTS WALL BUMPERS AT ALL COURT EXTERIOR WALLS TYP.
- 3. GOAL NET AND SPORTS EQUIPMENT N.I.C. BY OWNER, TYP.
- 4. TRANSACTION OPENING, COILING SHUTTER.
- 5. DRINKING FOUNTAIN WITH BOTTLE FILLER.
- 6. WALL MOUNTED LED SCOREBOARD N.I.C. BY OWNER, ELECTRICAL BY EC.
- 7. HARDWOOD SPORTS FLOORING, RECESSED IN CONCRETE SLAB.
- 8. (11) BIKE RACK DERO HOOP OR EQUAL
- 9. FLOOR MOUNT RAILING, WELDED TO FLOOR EDGE WITH MESH INFILL AND SLOPED WOOD TOP.
- 10. SOLID SURFACE COUNTERTOP.
- 11. WALL MOUNTED TV LOCATION.
- 12. GARAGE DOOR WITH AUTO OPENER.
- 13. 7'-0" HIGH DIVIDER WALL
- 14. LULA PIT - SEE STRUCTURAL. VERIFY PIT DEPTH
- 15. SLAB-ON-GRADE - SEE STRUCTURAL
- 16. STOOPS - SEE STRUCTURAL
- 17. WINDOW COVERINGS, N.I.C. BY OWNER

**BAUER BUILDERS SPORTS COMPLEX**

4845 TRADEWINDS PARKWAY,  
MADISON, WI

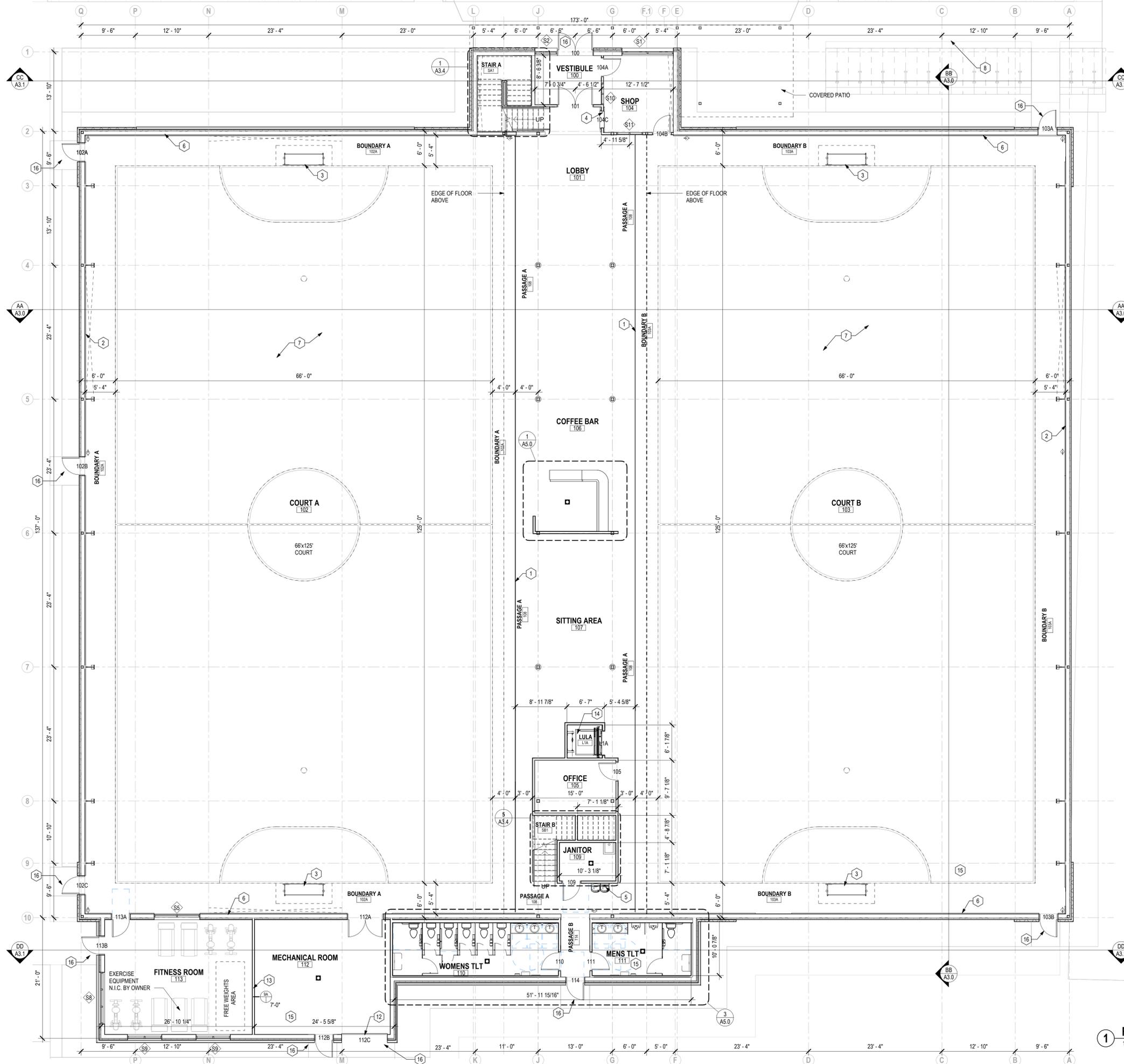
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DATE OF ISSUE: 10/21/2024

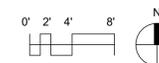
REVISIONS:

PROJECT # 23078

**FIRST FLOOR PLAN**



**1 FIRST FLOOR PLAN**  
1/8" = 1'-0"



**A1**

**FLOOR PLAN GENERAL NOTES**

- A. PROVIDE VERTICAL CONTROL JOINTS (CJS) WHERE STRUCTURAL SYSTEMS CHANGE. LOCATIONS THAT ARE PRONE TO CRACKING AND AS REQUIRED BY MANUFACTURERS INSTALLATION RECOMMENDATIONS.
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- 5. DRINKING FOUNTAIN WITH BOTTLE FILLER.
- 6. WALL MOUNTED LED SCOREBOARD N.I.C. BY OWNER. ELECTRICAL BY EC.
- 7. HARDWOOD SPORTS FLOORING, RECESSED IN CONCRETE SLAB.
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- 17. WINDOW COVERINGS, N.I.C. BY OWNER

**BAUER BUILDERS SPORTS COMPLEX**

4845 TRADEWINDS PARKWAY,  
MADISON, WI

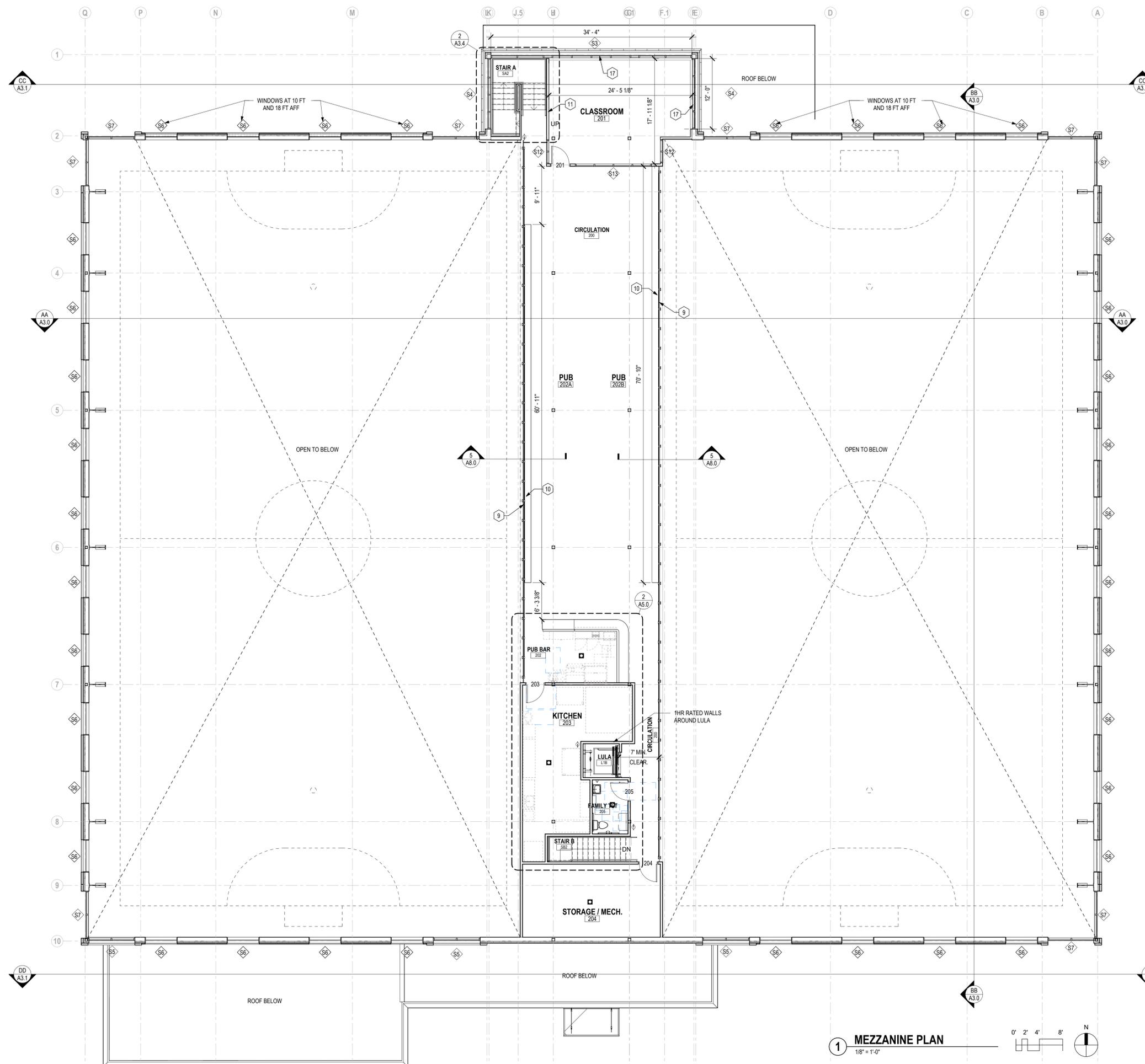
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DATE OF ISSUE: 10/21/2024

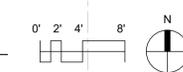
REVISIONS:

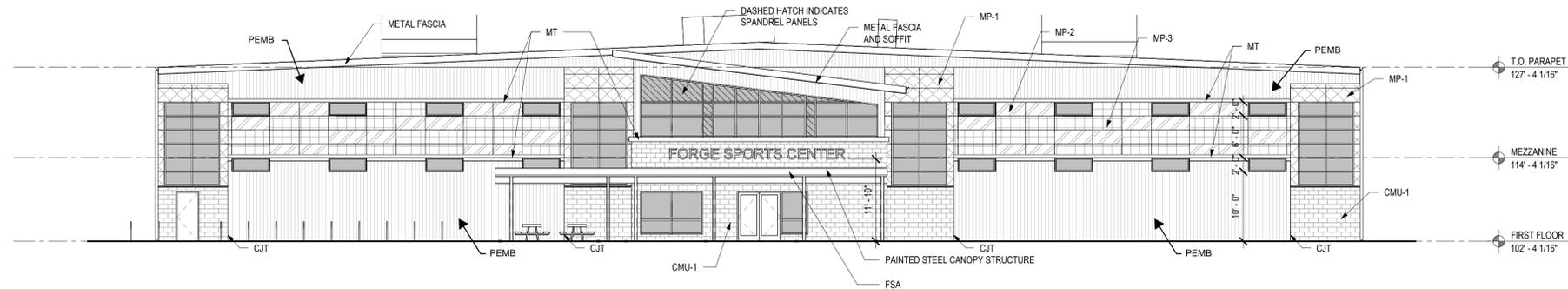
PROJECT # 23078

**MEZZANINE PLAN**

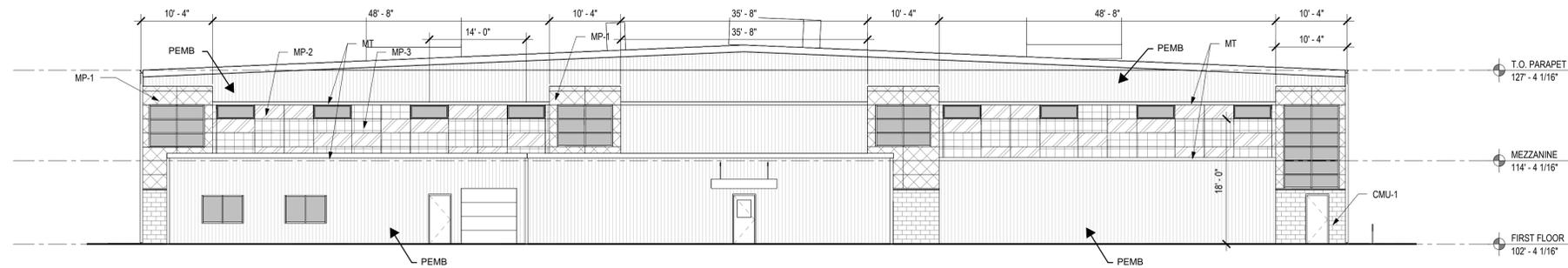


**1 MEZZANINE PLAN**  
1/8" = 1'-0"

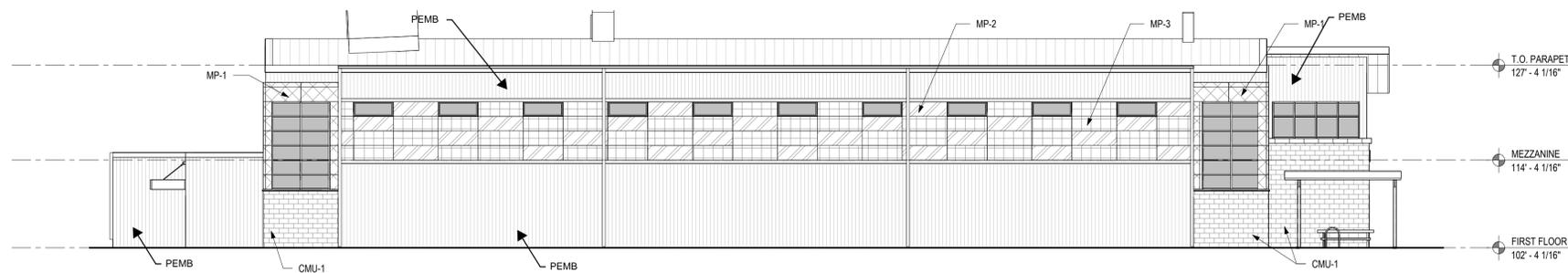




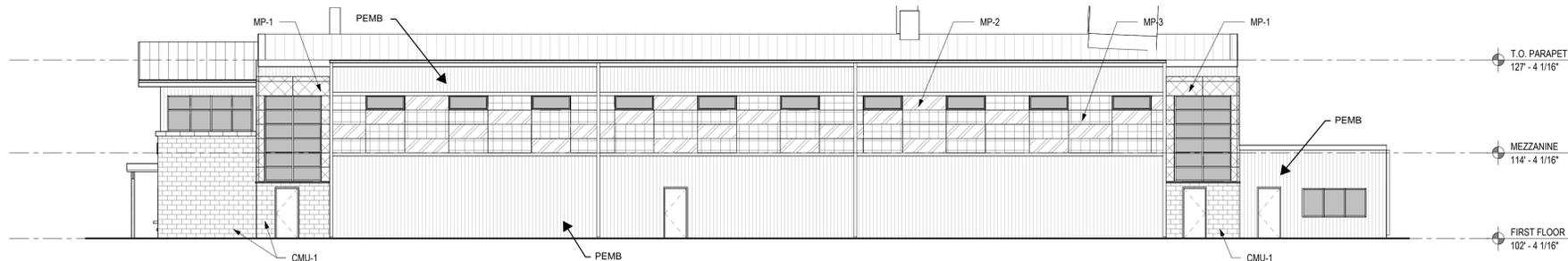
**4 NORTH ELEVATION**  
3/32" = 1'-0"



**3 SOUTH ELEVATION**  
3/32" = 1'-0"



**2 EAST ELEVATION**  
3/32" = 1'-0"



**1 WEST ELEVATION**  
3/32" = 1'-0"



ELEVATION LEGEND & NOTES		
<b>MASONRY</b>	<b>COLOR</b>	<b>MORTAR</b>
CMU-1	SPLIT-FACE CMU	DESERT EDGE
CNC	CONCRETE	
CJ	CONTROL JOINT	
<b>SIDING &amp; TRIM</b>		
MP-1	METAL PANEL	COLOR
MP-2	METAL PANEL	SW 6684 BRITTLEBUSH
MP-3	METAL PANEL	SW 6965 HYPER BLUE
MT	METAL TRIM	SW 6968 DYNAMIC BLUE
FSA	METAL FASCIA	WHITE
SFT	METAL SOFFIT	SW 6684 BRITTLEBUSH
		SW 6524 COMMODORE
<b>PRE-FINISHED METAL</b>		
CPG	COPING	WHITE
SCR	SCUPPER	COLOR
<b>CANOPY ACCESSORIES</b>		
CSY	CABLE STAY	CLEAR ANODIZED
<b>STOREFRONT</b>		
	ANODIZED ALUMINUM	COLOR
		CLEAR ANODIZED
<b>OTHER</b>		
PEMB	EXTERIOR BEAM & COLUMNS	COLOR
		SW 6524 COMMODORE
		LIGHT GRAY
	BIKE RACKS	SW 6684 BRITTLEBUSH
<b>GENERAL NOTES</b>		
A. NOT ALL MASONRY PENETRATIONS SHOWN, COORDINATE WITH MEP CONTRACTORS.		
B. AT 135 DEGREE OUTSIDE CORNERS PROVIDE 135 DEGREE BRICK CORNER UNITS.		
C. REFER TO WINDOW TYPE SHEET A6.2 FOR MORE WINDOW INFORMATION.		
D. REFER TO SHEET A8.0 FOR ARCHITECTURAL WALL PANEL DETAIL.		
E. CONTROL JOINTS CONTINUOUS FROM TOP OF FOUNDATION TO TOP OF WALL.		

**BAUER BUILDERS SPORTS COMPLEX**

4845 TRADEWINDS PARKWAY,  
MADISON, WI

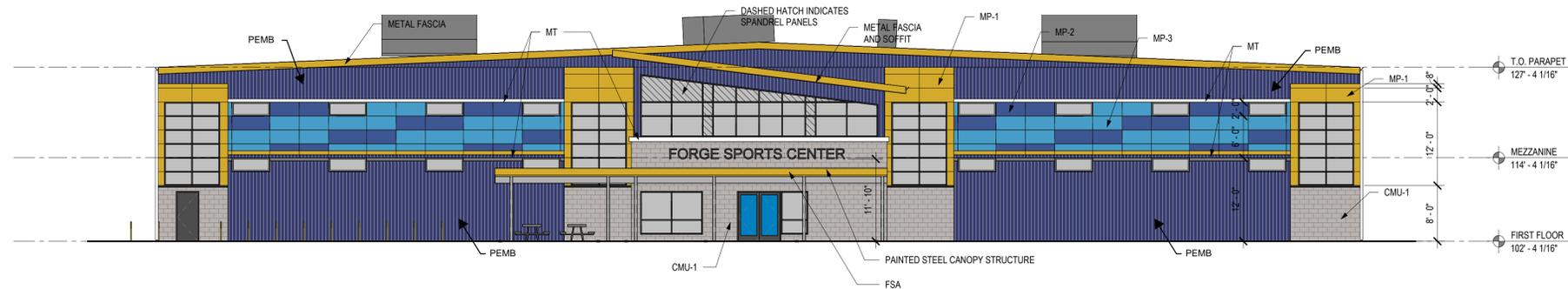
**99% REVIEW SET**

DATE OF ISSUE: 10/21/2024

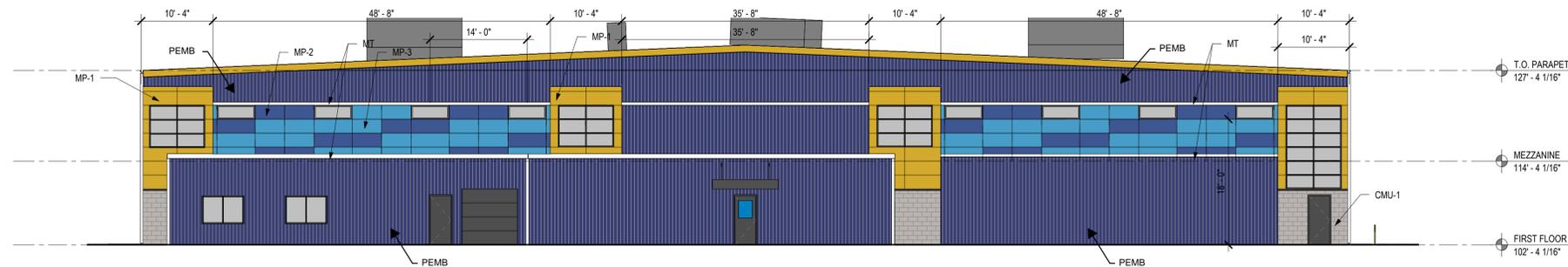
REVISIONS:

PROJECT # 23078

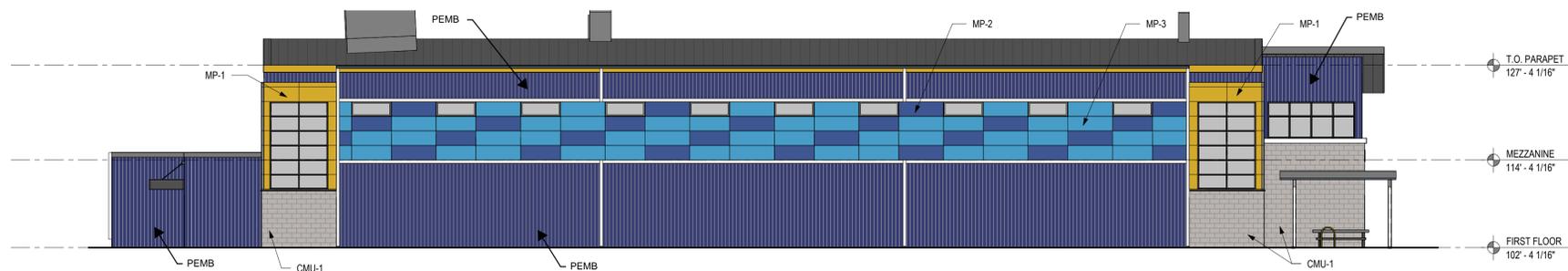
**EXTERIOR ELEVATIONS (BW)**



4 NORTH ELEVATION COLOR  
3/32" = 1'-0"



3 SOUTH ELEVATION COLOR  
3/32" = 1'-0"



2 EAST ELEVATION COLOR  
3/32" = 1'-0"



1 WEST ELEVATION COLOR  
3/32" = 1'-0"

ELEVATION LEGEND & NOTES		
<b>MASONRY</b>	<b>COLOR</b>	<b>MORTAR</b>
CMU-1	SPLIT-FACE CMU	DESERT EDGE
CNC	CONCRETE	
CJ	CONTROL JOINT	
<b>SIDING &amp; TRIM</b>		<b>COLOR</b>
MP-1	METAL PANEL	SW 6684 BRITTLEBUSH
MP-2	METAL PANEL	SW 6965 HYPER BLUE
MP-3	METAL PANEL	SW 6968 DYNAMIC BLUE
MT	METAL TRIM	WHITE
FSA	METAL FASCIA	SW 6684 BRITTLEBUSH
SFT	METAL SOFFIT	SW 6524 COMMODORE
<b>PRE-FINISHED METAL</b>	<b>MANUFACTURER (COATED METALS GROUP)</b>	
CPG	COPING	WHITE
SCR	SCUPPER	COLOR
<b>CANOPY ACCESSORIES</b>		<b>COLOR</b>
CSY	CABLE STAY	CLEAR ANNOZIDED
<b>STOREFRONT</b>		<b>COLOR</b>
	ANNOZIDED ALUMINUM	CLEAR ANNOZIDED
<b>OTHER</b>		<b>COLOR</b>
PEMB		SW 6524 COMMODORE
EXTERIOR BEAM & COLUMNS		LIGHT GRAY
BIKE RACKS		SW 6684 BRITTLEBUSH
<b>GENERAL NOTES</b>		
A. NOT ALL MASONRY PENETRATIONS SHOWN, COORDINATE WITH MEP CONTRACTORS.		
B. AT 135 DEGREE OUTSIDE CORNERS PROVIDE 135 DEGREE BRICK CORNER UNITS.		
C. REFER TO WINDOW TYPE SHEET A6.2 FOR MORE WINDOW INFORMATION.		
D. REFER TO SHEET A8.0 FOR ARCHITECTURAL WALL PANEL DETAIL.		
E. CONTROL JOINTS CONTINUOUS FROM TOP OF FOUNDATION TO TOP OF WALL.		

**99% REVIEW SET**

DATE OF ISSUE: 10/21/2024

REVISIONS:

NO.	DESCRIPTION

PROJECT # 23078

**EXTERIOR  
ELEVATIONS  
(COLOR)**

**A3.b**

**BAUER BUILDERS  
SPORTS COMPLEX**

4845 TRADEWINDS PARKWAY,  
MADISON, WI

**99% REVIEW SET**

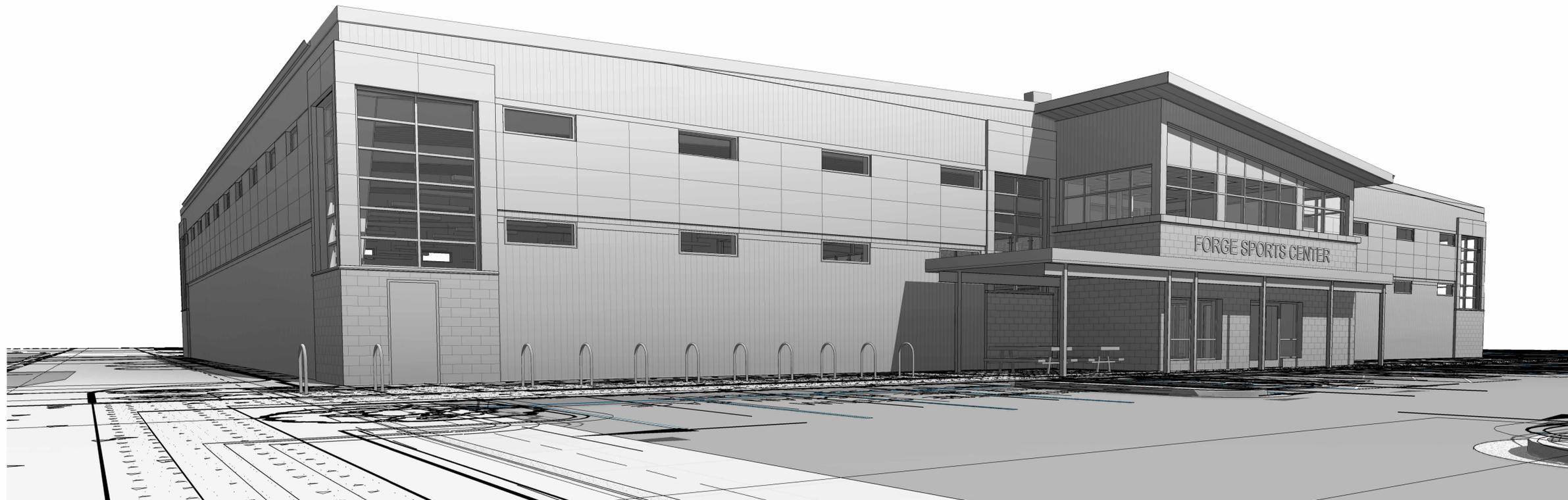
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REVISIONS:

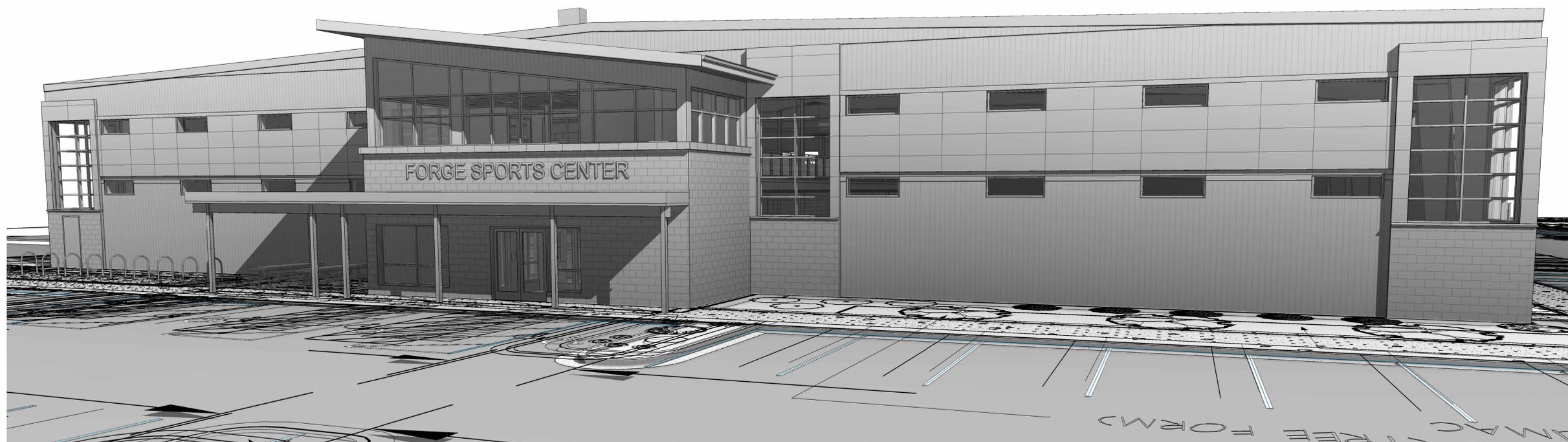
PROJECT # 23078

**EXTERIOR  
RENDERING**

**A4**



2 EXTERIOR PERSPECTIVE 2 Copy 1



1 EXTERIOR PERSPECTIVE 1 Copy 1

**3D VIEWS ARE FOR ILLUSTRATION PURPOSES ONLY. IF ANY VARIATION EXISTS BETWEEN 3D VIEWS AND ARCHITECTURAL DRAWINGS, 3D VIEWS SHALL NOT APPLY.**

**BAUER BUILDERS  
SPORTS COMPLEX**

4845 TRADEWINDS PARKWAY,  
MADISON, WI

**99% REVIEW SET**

DATE OF ISSUE: 10/21/2024

REVISIONS:

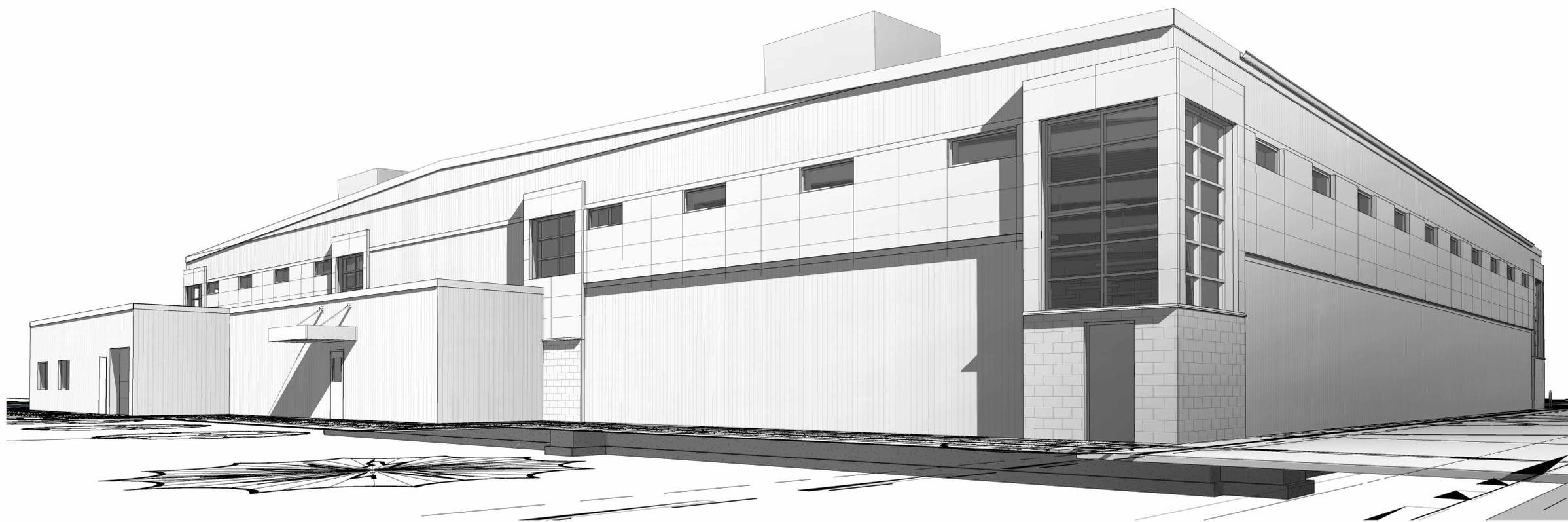
PROJECT # 23078

**EXTERIOR  
RENDERING**

**A5**



2 EXTERIOR PERSPECTIVE 4 Copy 1



1 EXTERIOR PERSPECTIVE 3 Copy 1

**3D VIEWS ARE FOR ILLUSTRATION PURPOSES ONLY. IF ANY VARIATION EXISTS BETWEEN 3D VIEWS AND ARCHITECTURAL DRAWINGS, 3D VIEWS SHALL NOT APPLY.**



TYPICAL PEMB WALL PANEL - NOT USED

### R-Panel

The R-Panel provides an even-shadowed appearance and are reinforced between the ribs for added strength. This panel offers a 36" width coverage with major ribs on 12" centers. It is available in 24 & 26 gauge.

[R-Panel Specifications](#)

### A-Panel

The A-Panel provides an excellent choice for decorative wall designs with an attractive shadow pattern and semi-concealed fasteners. These panels offer 36" of coverage with ribs on 12" centers. The A-Panel is made of 26 gauge steel, with 24 gauge available by special order. [A-Panel Specifications](#)



PEMB WALL PANEL



ROOF PANEL

### Standing Seam II & Standing Seam 360

The American Buildings Standing Seam II & Standing Seam 360 roof systems are designed to float on a system of sliding clips that prevent damage from thermal expansion and contraction. This standing seam design eliminates 80% of through-fasteners found in other systems, offering greater weathertightness. These panel systems provide 24" width coverage with 3" high ribs. Standing Seam 360 panels are joined by an electric seaming machine, developing a full 360° rolled seam – preferred by many architects and specifiers.

[Standing Seam II Specifications](#) [Standing Seam 360 Specifications](#)



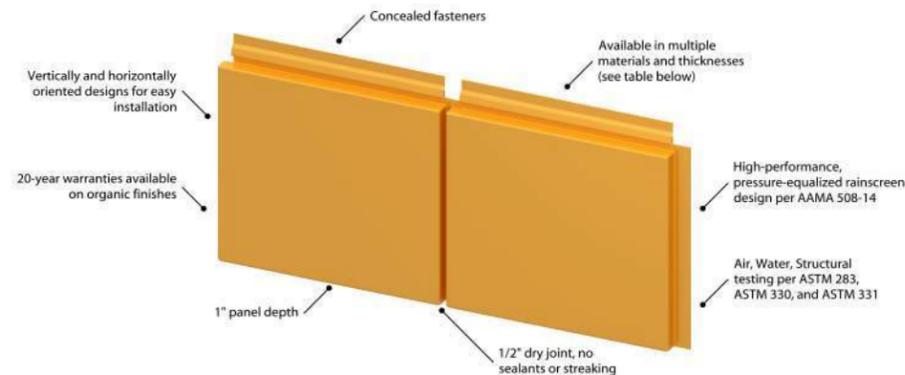
STOREFRONT/WINDOWS -  
KAWNEER 541UT CLEAR  
ANODIZED

### PEMB CUSTOM COLOR



SW6524 COMMODORE

### ARCHITECTURAL METAL WALL PANELS



### MCELROY METAL - ARCHITECTURAL WALL PANELS - CUSTOM COLORS



MP-2

MP-3

MP-1



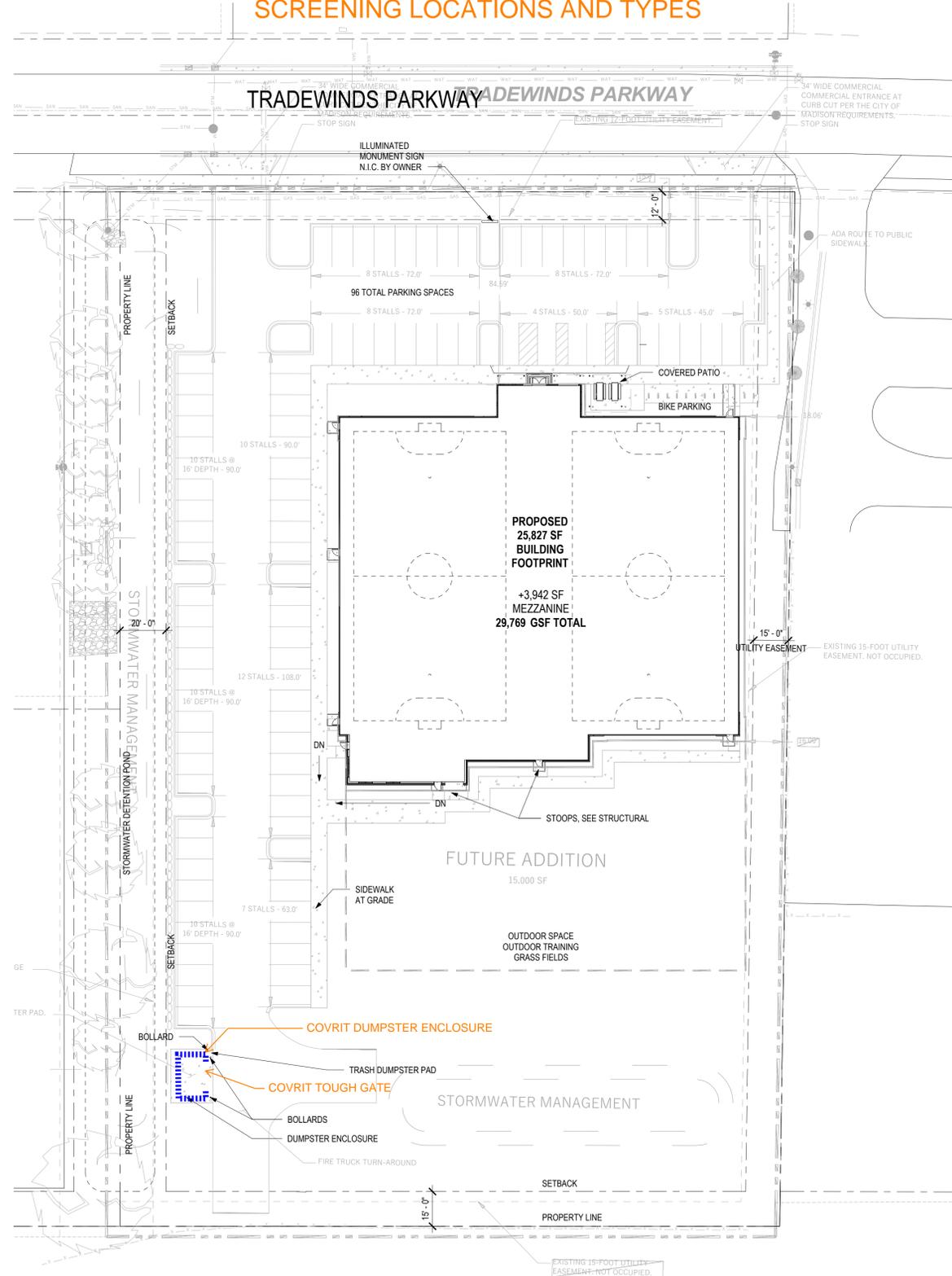
CAST STONE - LIGHT  
GUNPOWDER  
STOREFRONT SILLS



SPLIT-FACE CMU DESERT  
EDGE - COUNTY MATERIALS  
CORPORATION

**FOR ALL SITE IMPROVEMENTS, SEE CIVIL**

**TRASH ENCLOSURES, GATES,  
SCREENING LOCATIONS AND TYPES**



**BAUER BUILDERS  
SPORTS COMPLEX**

4845 TRADEWINDS PARKWAY,  
MADISON, WI

**99% REVIEW SET**

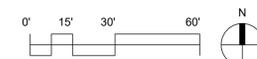
DATE OF ISSUE: 10/21/2024

REVISIONS:

PROJECT # 23078

**SITE PLAN**

**1 ARCHITECTURAL SITE PLAN**  
1" = 30'-0"



**AS1.1**

# covrit®

SCREENING SYSTEMS



CityScapes®  
ARCHITECTURAL INNOVATIONS



Pepper Construction HQ  
Dublin, OH

# COVRIT®

## COVER ALL YOUR BASES

For any enclosure needs, Covrit® has your back, front, and sides. Covrit walls, gates, and dumpster enclosures redefine any space and are the go-to solution for hiding, protecting, or partitioning anything on your property.



### HIGH-QUALITY CONSTRUCTION

Professional grade extruded aluminum frames with powder-coated finishes

### TAILORED DIMENSIONS

Crafting Distinctive Spaces with Both Standard and Customized Designs

### STREAMLINED INSTALLATION

Directly mounting to concrete slabs without the need for footings

### TOUGHGATE™ INTEGRATION

ToughGate™ doors & gates used on every Covrit® enclosure

# ENGINEERED WOOD INFILLS

- Frames are 6063 T6 extruded aluminum
- Woodgrain surface planks are 1" thick 100% cellular PVC or composite LLDPE
- 1/2" or 2 1/2" Extruded Aluminum Stiffeners
- Sherwin Williams 4000 Series Powder-Coated Components
- Optional digitally printed graphics with UV resistant Nazdar ink

**DUMPSTER ENCLOSURE STYLE**

**Vertical Plank (Standard Stiffener)**    **Vertical Plank (Wide Stiffener)**    **Horizontal Plank (Standard Stiffener)**    **Horizontal Plank (Wide Stiffener)**

**THIS IMAGE SHOWS THE COLOR COMBINATION**

**FRAME COLOR**    **PANEL INFILL COLOR**

**BLACK TEXTURED**    **DARK HICKORY**

## COLOR OPTIONS

WOODGRAIN SURFACE 1-SIDED



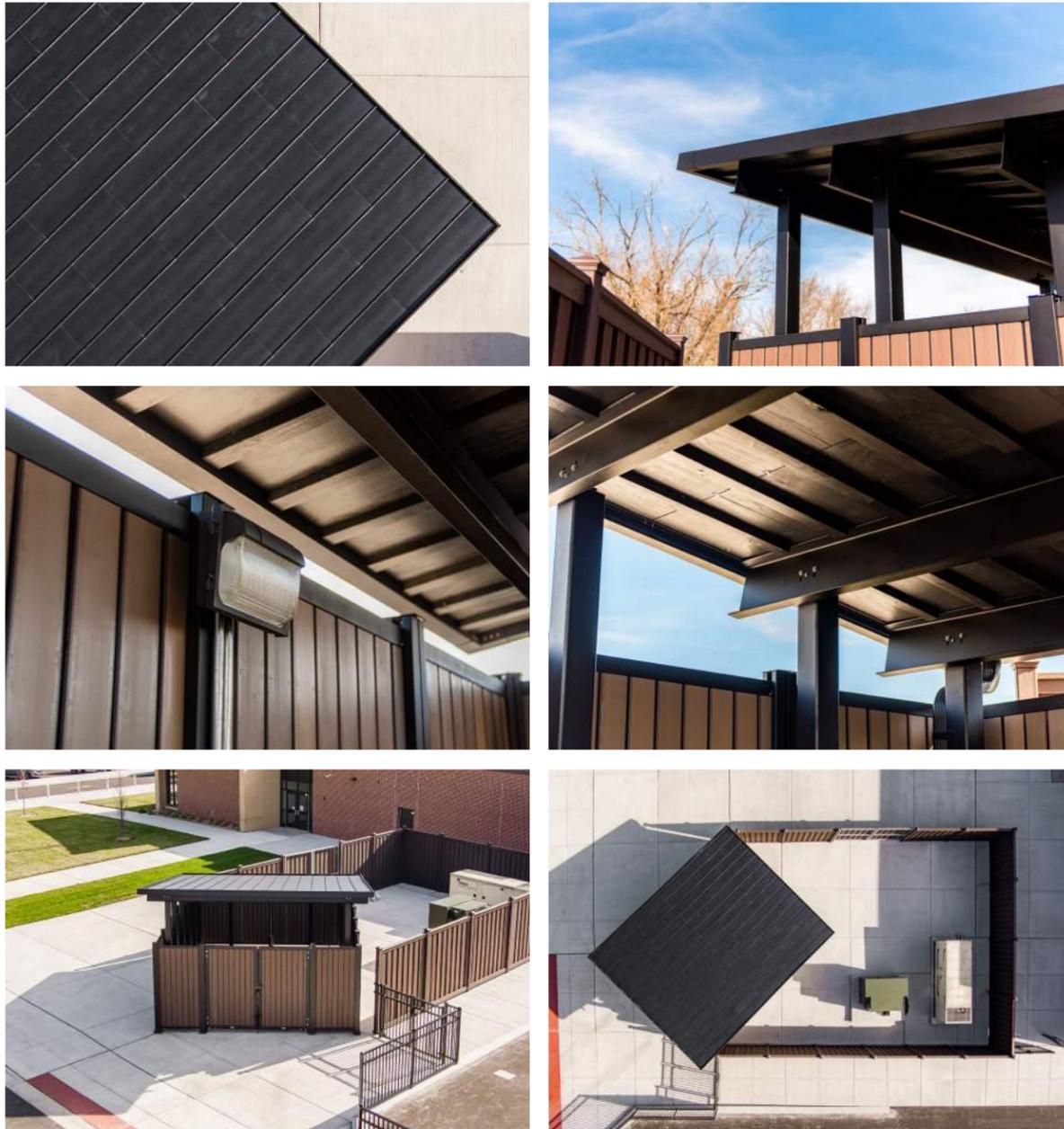
WOODGRAIN SURFACE 2-SIDED



**Robbers Cave State Park**  
Wilburton, OK

# ROOFTOP SOLUTIONS

Covrit® Roof Tops are engineered to excel in any weather. Its innovative design seamlessly allows rain, snow, and wind to pass through, ensuring the integrity of your rooftop and access to your dumpster enclosures. Crafted from robust ABS and extruded aluminum, it withstands the harshest weather elements while maintaining its visual allure.



Westbrook School  
Glenview, IL

# ELEGANT. DURABLE. DISTINCTIVE.

ToughGate™ by CityScapes® offers expertly crafted gates and doors built to your specifications, budget and job site demands. We use only professional grade materials for years of maintenance free operation.

For stunning good looks, amazing longevity, and extraordinary first impressions, choose ToughGate™.

- MAINTENANCE FREE MATERIALS
- SHIPPED PRE-ASSEMBLED FOR FAST INSTALLATION
- WIDE VARIETY OF DESIGN OPTIONS



## **ToughGate™**

ToughGate's™ innovative design makes field assembly fast and easy. All of our gates are shipped pre-assembled directly to your project site, accompanied by all required installation hardware. Our complete installation guides provide a clearly-defined process from start to finish.

Gates are available in heights of up to 14 ft\* and widths of up to 20 ft\*\* to accommodate almost any opening dimension.

\* Maximum height determined by infill material and style selected.  
\*\* Contact a CityScapes® representative for details on our newest MegaGate options. Certain Height x Width limitations apply.



## DOOR HANDLES

All ToughGate™ and Covrit® handles and hardware are powder coated and color-matched to the coordinating gate frame for superior aesthetics.



Bridge



Modern



Classic

## MODERN LATCH

Our color matched, lockable latches are designed for years of maintenance free use.



Modern

## CUSTOM DESIGNS

Don't see a style or color that fits our plan? No problem. We can color match many of our gate options or allow you to create a fully custom design. Print your image directly onto the gate or laser cut an intricate design into your gate. Have another idea? Let us know. We love a challenge.

**PVC PLANK INFILL SERIES**



**1-INCH PVC PLANK INFILL COLOR OPTIONS**

Textured Woodgrain Surface On One Side Only



Textured Woodgrain Surface On Both Sides



**ENGINEERED WOOD INFILL SERIES SPECS**

- Woodgrain surface 2 sided planks are 1" thick 100% cellular PVC
- Woodgrain surface 1 sided planks are 1" thick composite LLDPE

**MILLED PVC INFILL SERIES**

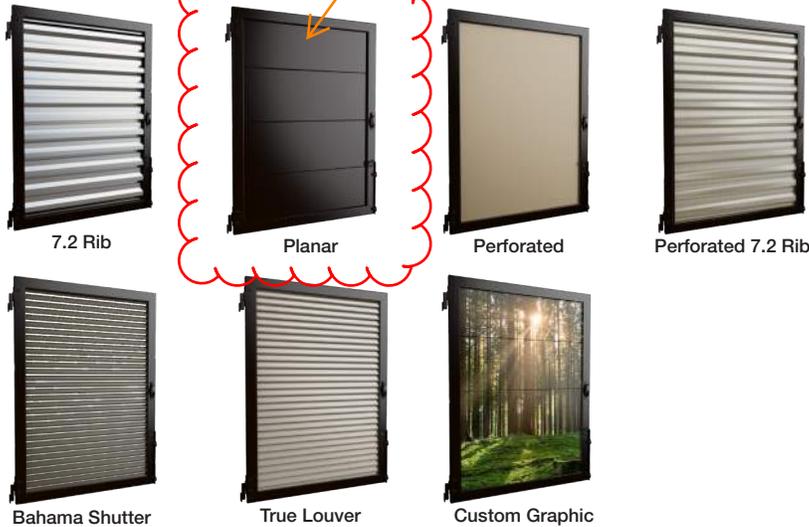


**ALL GATES  
- DUMPSTER ENCLOSURE GATES**

**ACRYLICAP® ABS INFILL SERIES SPECS**

- Acrylicap® uses a thermoformed .187 acrylic-capped ABS for UV protection

**METAL INFILL SERIES**



**METAL SERIES SPECS**

- Structural material thickness varies depending on infill choice
- Typical 7.2 Rib Metal Panels - .040", .050" Precoated aluminum
- Typical Perforated Metal Panels - .063" Aluminum, 1/8" holes, 1/4" staggered centers, 23% open area

For current color availability for metal wall styles, contact a CityScapes® representative.

**SLAT WALL INFILL SERIES**



**SLAT SERIES SPECS**

- Powder coated aluminum slats
- 1"x 4" - .080" Wall thickness
- 1"x 6" - .100" Wall thickness
- 6063 T6 Aluminum
- 4000 Series powder coated

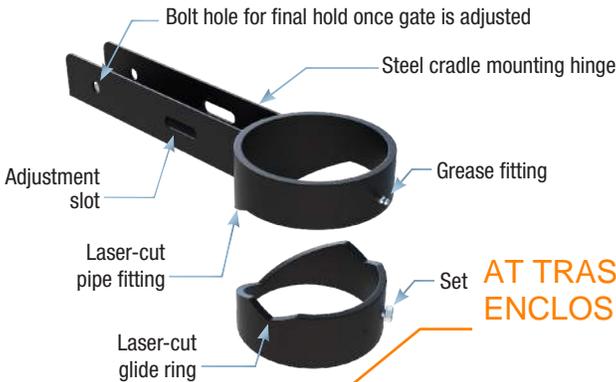
For current color availability for slat wall styles, contact a CityScapes® representative.

# CRADLE HINGE OPTIONS - New and Retrofitted Installations

Choose from our fully adjustable hinge options. We recommend installation using our hold-open pipe hinge which offers a convenient and enhanced safety feature to “hold open” your gate; reducing injuries as well as damage to your property. Alternative hinge options to retrofit to your existing post or wall are shown below.

## HOLD-OPEN PIPE HINGE

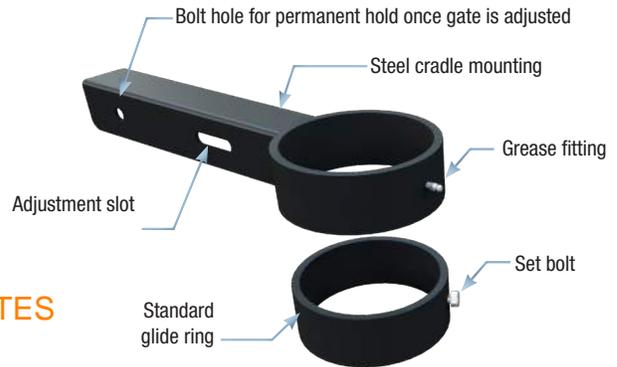
- Pre-welded steel construction
- Laser-cut rings nest and work together to provide a 100° hold-open gate position. Gate will automatically close prior to 100°.
- Adjustment slot in cradle to help level door on pipe.
- Grease fitting included
- Powder coated to match frame



**AT TRASH ENCLOSURE GATES**

## ADJUSTABLE PIPE HINGE

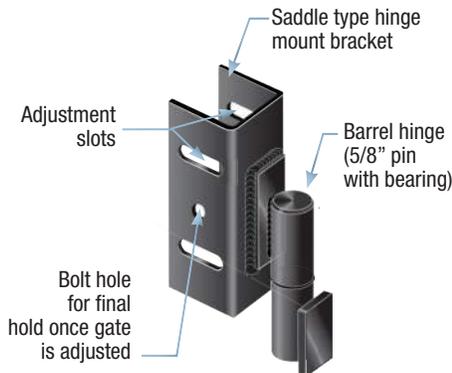
- Pre-welded steel construction
- Adjustment slot in cradle to help level door on pipe.
- Grease fittings included
- Powder coated to match frame



## BARREL HINGE

(retrofit for square post or wall mount)

- Set bolts in post included for setting gate height off grade.
- Pre-welded steel gate frame saddle to barrel hinge. Barrel hinge leaf side requires field welding to structure or can be made to bolt onto structure after engineering review.
- Powder coated to match gate frame
- Steel or Aluminum construction available (Material used is determined by weight)



## PLATE HINGE

(retrofit for square post or wall mount)

- Set bolts in post included for setting gate height off grade.
- Pre-welded steel gate frame saddle to barrel hinge. Barrel hinge leaf side requires field welding to structure or can be made to bolt onto structure after engineering review.
- Powder coated to match gate frame
- Steel or Aluminum construction available (Material used is determined by weight)

