

URBAN DESIGN COMMISSION APPLICATION

UDC

City of Madison
Planning Division
Madison Municipal Building, Suite 017
215 Martin Luther King, Jr. Blvd.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635



FOR OFFICE USE ONLY:

Date Received _____

Initial Submittal

Paid _____

Revised Submittal

Complete all sections of this application, including the desired meeting date and the action requested. If your project requires both UDC and Land Use application submittals, a completed [Land Use Application](#) and accompanying submittal materials are also required to be submitted.

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the Planning Division at (608) 266-4635.

Si necesita interprete, traductor, materiales en diferentes formatos, u otro tipo de ayuda para acceder a estos formularios, por favor llame al (608) 266-4635.

Yog tias koj xav tau ib tug neeg txhais lus, tus neeg txhais ntawv, los sis xav tau cov ntaub ntawv ua lwm hom ntawv los sis lwm cov kev pab kom paub txog cov lus qhia no, thov hu rau Koog Npaj (Planning Division) (608) 266-4635.

1. Project Information

Address (list all addresses on the project site): _____

Title: _____

2. Application Type (check all that apply) and Requested Date

UDC meeting date requested _____

New development

Alteration to an existing or previously-approved development

Informational

Initial Approval

Final Approval

3. Project Type

Project in an Urban Design District

Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)

Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)

Planned Development (PD)

General Development Plan (GDP)

Specific Implementation Plan (SIP)

Planned Multi-Use Site or Residential Building Complex

Signage

Comprehensive Design Review (CDR)

Modifications of Height, Area, and Setback

Sign Exceptions as noted in [Sec. 31.043\(3\)](#), MGO

Other

Please specify

4. Applicant, Agent, and Property Owner Information

Applicant name _____

Company _____

Street address _____

City/State/Zip _____

Telephone _____

Email _____

Project contact person _____

Company _____

Street address _____

City/State/Zip _____

Telephone _____

Email _____

Property owner (if not applicant) _____

Street address _____

City/State/Zip _____

Telephone _____

Email _____

Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

Types of Approvals

There are three types of requests considered by the UDC:

- Informational Presentation. A request for an Informational Presentation to the UDC may be requested prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design efforts. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Modification requests)
- Initial Approval. Applicants may, at their discretion, request Initial Approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information that should be addressed at Final Approval stage.
- Final Approval. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the Initial Approval must be addressed at this time.

Presentations to the Commission

The Urban Design Commission meets virtually via Zoom, typically on the second and fourth Wednesdays of each month at 4:30 p.m. Applicant presentations are strongly encouraged, although not required. Prior to the meeting, each individual speaker is required to complete an online registration form to speak at the meeting. A link to complete the online registration will be provided by staff prior to the meeting. Please note that individual presentations will be limited to a **maximum of three (3) minutes**. The pooling of time may be utilized to provide one speaker more time to present, however the additional time will be based on the number of registrants from the applicant team, i.e. two (2) applicant registrants = six (6) minutes for one (1) speaker.

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics. Please note that presentation slides, in a PDF file format, are required to be submitted **the Friday before** the UDC meeting.

URBAN DESIGN DEVELOPMENT PLANS CHECKLIST

The items listed below are minimum application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

1. Informational Presentation

- ☐ Locator Map
- ☐ Letter of Intent (If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- ☐ Contextual site information, including photographs and layout of adjacent buildings/structures
- ☐ Site Plan
- ☐ Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1"= 40' or larger

**** All plans must be legible, including the full-sized landscape and lighting plans (if required)**

2. Initial Approval

- ☐ Locator Map
- ☐ Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- ☐ Contextual site information, including photographs and layout of adjacent buildings/structures
- ☐ Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- ☐ Landscape Plan and Plant List (*must be legible*)
- ☐ Building Elevations in **both** black & white and color for all building sides, including material and color callouts
- ☐ PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

3. Final Approval

All the requirements of the Initial Approval (see above), **plus**:

- ☐ Grading Plan
- ☐ Lighting Plan, including fixture cut sheets and photometrics plan (must be legible)
- ☐ Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- ☐ Site Plan showing site amenities, fencing, trash, bike parking, etc. (if applicable)
- ☐ PD text and Letter of Intent (if applicable)
- ☐ Samples of the exterior building materials
- ☐ Proposed sign areas and types (if applicable)

4. Signage Approval (*Comprehensive Design Review (CDR), Sign Modifications, and Sign Exceptions (per [Sec. 31.043\(3\)](#))*)

- ☐ Locator Map
- ☐ Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Modifications criteria is required)
- ☐ Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- ☐ Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- ☐ Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- ☐ Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- ☐ Illustration of the proposed signage that meets [Ch. 31, MGO](#) compared to what is being requested
- ☐ Graphic of the proposed signage as it relates to what the [Ch. 31, MGO](#) would permit

5. Required Submittal Materials☒ **Application Form**

- A completed application form is required for each UDC appearance. For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (Initial or Final Approval) from the UDC.

☒ **Letter of Intent**

- If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required.
- For signage applications, a summary of how the proposed signage is consistent with the applicable Comprehensive Design Review (CDR) or Signage Modification review criteria is required.

☒ **Development Plans** (Refer to checklist on Page 4 for plan details)☒ **Filing Fee** (Refer to Section 7 (below) for a list of application fees by request type)☒ **Electronic Submittal**

- Complete electronic submittals must be received prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. All plans must be legible and scalable when reduced. Individual PDF files of each item submitted should be submitted via email to UDCapplications@cityofmadison.com. The email must include the project address, project name, and applicant name.
- Email Size Limits. Note that an individual email cannot exceed 20MB and it is the responsibility of the applicant to present files in a manner that can be accepted. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.

☒ **Notification to the District Alder**

- Please provide an email to the District Alder notifying them that you are filing this UDC application. Please send this as early in the process as possible and provide a copy of that email with the submitted application.

6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Jessica Vaughn on August 27, 2024.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant David Oberbeck Relationship to property Architect

Authorizing signature of property owner  Date 10-7-2024

7. Application Filing Fees

Fee payments are due by the submittal date. Payments received after the submittal deadline may result in the submittal being scheduled for the next application review cycle. Fees may be paid in-person, via US Mail, or City drop box. If mailed, please mail to: *City of Madison Building Inspection, P.O. Box 2984, Madison, WI 53701-2984*. The City's drop box is located outside the Municipal Building at 215 Martin Luther King, Jr. Blvd. on the E Doty Street side of the building. Please make checks payable to *City Treasurer*, and include a completed application form or cover letter indicating the project location and applicant information with all checks mailed or submitted via the City's drop box.

Please consult the schedule below for the appropriate fee for your request:

☒ Urban Design Districts: \$350 (*per §33.24(6) MGO*).☐ Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (*per §33.24(6)(b) MGO*)☐ Comprehensive Design Review: \$500 (*per §31.041(3)(d)(1)(a) MGO*)☐ Minor Alteration to a Comprehensive Sign Plan: \$100 (*per §31.041(3)(d)(1)(c) MGO*)☐ All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for Sign Modifications (of height, area, and setback), and additional sign code approvals: \$300 (*per §31.041(3)(d)(2) MGO*)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

— Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)

— Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)

— Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)

— Planned Multi-Use Site or Residential Building Complex

David Oberbeck

From: David Oberbeck
Sent: Friday, September 6, 2024 3:27 PM
To: district16@cityofmadison.com; JVaughn@cityofmadison.com
Cc: Jim Gersich; Kate Cook; Brad Bauer
Subject: Notice of UDC/Land Use Application submittal for the development at 4845 Tradewinds Parkway
Attachments: Sports Center - 4845 Tradewinds Parkway.pdf

Good Afternoon Alder Currie,

I am contacting you with a notification that our design team will be filing an **URBAN DESIGN COMMISSION APPLICATION** and **LAND USE APPLICATION** for a new indoor sports complex.

The property is located in Alder District No. 16/Urban Design District No. 1 at **4845 Tradewinds Parkway** which is zoned Industrial – Limited District (IL).

The primary permitted use falls under the subcategory Commercial Recreation, Entertainment and Lodging as a Health/Sports Club.

The submittal will include an **APPLICATION FOR CONDITIONAL USE** associated with the ‘indoor recreation of 2 futsal/pickle ball/volleyball courts’, ‘outdoor recreation for the potential to add future small soccer fields’ and a ‘restaurant/pub’ for the café/pub areas’.

The filing will occur on **October 7, 2024** for the Urban Design Commission meeting to be held **November 20, 2024** followed by the Plan Commission Meeting on **December 2, 2024**.

We would like to request the consideration of a waiver to the 30 day notification time period to potentially move the construction timeline forward with the appropriate review/plan approvals prior to the winter weather setting in.

If granted, the filing would then occur **September 23, 2024** for the Urban Design Commission meeting to be held **November 6, 2024** followed by the Plan Commission Meeting on **November 18, 2024**.

Additional information regarding the operation of the facility is included below for your review...

- **Facility**
 - Primary Use: Premier Futsal Facility (official form of indoor soccer)
 - Additional Use: pickleball, volleyball
 - Exercise Room
 - Pub and Coffee Bar
- **Hours of Operation:**
 - Facility
 - Hours: Daily 8am - 10 pm
 - Lighter usage during the week
 - Coffee Bar (Main Level)
 - Hours: Daily 7am-2pm
 - Mezzanine Level
 - Pub Hours:
 - Weekday: 5pm - 10pm
 - Weekend: 11am-10pm
 - Food served 11am -10pm

- All food prep will be done on the Mezzanine Level (ie, the pub).
 - Drinks served 5pm – 10 pm
 - Pub area serving drinks will only be open 5pm -10pm
 - Applying for beer-wine permit (indoor only)
 - No outdoor garden planned for beer and wine
- **Sport Activities**
 - Weekdays
 - Pickleball: 8am-2pm
 - Futsal: 5pm-10pm
 - Weekends
 - Futsal (mostly)
 - Winter Season: some pickleball
 - Warmer Months: mostly pickleball with some futsal
 - Throughout the Year: some tournaments
- **Outdoor Facilities (South Lawn Area)**
 - Initial Project: Open green space with no activities planned
 - Future Option: Small soccer fields
 - Summer weekday and weekends.
 - Spring/fall weekends and after 5 pm weekdays
 - Outdoor soccer practice/matches No outdoor field lighting
 - No additional parking

We have attached a partial set of plans for your use in learning more about the project... a site plan, floor plans, building elevations and a preliminary rendering of the front of the facility that faces Tradewinds Parkway.

Please feel free to contact me if you have questions regarding the proposed development.

Regards,

David Oberbeck AIA
Architect
Dimension IV Madison Design Group

608-829-4450 direct
doberbeck@dimensionivmadison.com



www.dimensionivmadison.com

The information contained in this email and any attachments may be confidential and is intended only for the use of the named recipient(s). If you are not the intended recipient, you are hereby notified that any dissemination, distribution, or copying of this email and any attachments is strictly prohibited. If you have received this email in error, please return it to the sender immediately and permanently delete the original message and destroy any copies or printouts of this email and any attachments.

October 21, 2024

City of Madison - Planning Division
Madison Municipal Building, Suite 017
215 Martin Luther King Jr. Blvd.
P.O. Box 2985
Madison, WI 53701-2985

RE: Bauer Builders Sports Center
UDC Final Approval Letter of Intent – 4845 Tradewinds Pkwy

Dear Urban Design Commission:

This Urban Design Commission Application submittal packet outlines the proposed design for the development of a new indoor sports center to be constructed at **4845 Tradewinds Parkway** on a vacant 2.97 acre parcel.

The filing of this application package on **October 21, 2024** is for the Urban Design Commission meeting to be held **December 2, 2024** followed by the Plan Commission Meeting on **December 16, 2024**.

Project & Site:

The proposed project consists of a single one-story building housing two indoor sports courts designed for Futsal, a form of indoor soccer. Futsal is a 5 vs 5 fast paced small-sided soccer game played on a hard surfaced, basketball sized court with a smaller, low bounce ball. Futsal is played with touchline boundaries and without walls. A central mezzanine open to the sports courts on both sides will allow spectators to watch the matches while also being served beverages and food from a small kitchen. The courts are also designed for pickleball and volleyball when Futsal matches are not being held.

The proposed sports facility will have a 25,827 GSF footprint with a 3942 GSF mezzanine level. Parking for total of 92 vehicles will be provided on the north and west sides of the building with the main accessible entrance facing Tradewinds Parkway. Building emergency exits are placed around the perimeter of the facility all existing onto sidewalks. Bicycle parking for 22 has been placed at the north side of the facility adjacent to the main entrance. A covered area at the front of the building provides a small seating area...no food or beverages will be served to this area.

The property lies in Urban Design District 1 (UDD-1) which was established in 1988 to ensure that John Nolen Drive and the South Beltline are a 'most visually attractive approach to the City of Madison', and to assure future development in the district will preserve and enhance the property values in the district.

The design the exterior incorporates architectural metal wall panels, masonry and glass curtain walls adding color, texture and interest to the

6515 Grand Teton Plaza, Suite 120
Madison, Wisconsin 53719

p 608.829.4444

f 608.829.4445

sport facility. The site grading addresses water drainage with added stormwater retention capacity in the south lawn area. A screened trash enclosure has been located to the rear of the parcel in the northwest corner. A turn around at the south end of the parking area will facilitate emergency/waste vehicle access and departure.

Zoning:

The property is located in Alder District No. 16/Urban Design District No. 1 on the south side of Tradewinds Parkway which is zoned Industrial – Limited District (IL).

The primary permitted use falls under the subcategory Commercial Recreation, Entertainment and Lodging as a Health/Sports Club.

The submittal includes an **APPLICATION FOR CONDITIONAL USE** associated with the ‘indoor recreation use associated with the 2 futsal/pickle ball/volleyball courts’, ‘the outdoor recreation use for the potential to add future outdoor soccer fields’ and a ‘restaurant/pub use’ for the indoor café/pub areas’.

Additional information regarding the operation of the facility is included below for your review...

- **Facility**
 - Primary Use: Premier Futsal Facility (official form of indoor soccer)
 - Additional Use: pickleball, volleyball
 - Exercise Room
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 - Initial Project: Open green space with no activities planned
 - Future Option: Small soccer fields
 - Summer weekday and weekends.
 - Spring/fall weekends and after 5 pm weekdays
 - Outdoor soccer practice/matches
 - No outdoor field lighting
 - No additional parking

Thank you for your time and consideration. We look forward to the opportunity to present our project on November 24, 2024.

Regards,

David Oberbeck, AIA

Project Team:

Owner:	Ilhr Lushaj (info@madisonfutsal.com)
Contractor:	Bauer Builders, Inc. 2866 Agriculture Drive Madison, WI 53718 Brad Bauer (bradbauer@bauerbuildersinc.com)
Architect:	Dimension IV Madison Design Group 6515 Grand Teton Plaza; Suite 120 Madison, WI 53719 David Oberbeck (doberbeck@dimensionivmadison.com)
Civil Engineer:	Wyser Engineering 300 E. Front St. Mount Horeb, WI 53572 Wade Wyse (wade.wyse@wyserengineering.com)

BAUER BUILDERS SPORTS COMPLEX

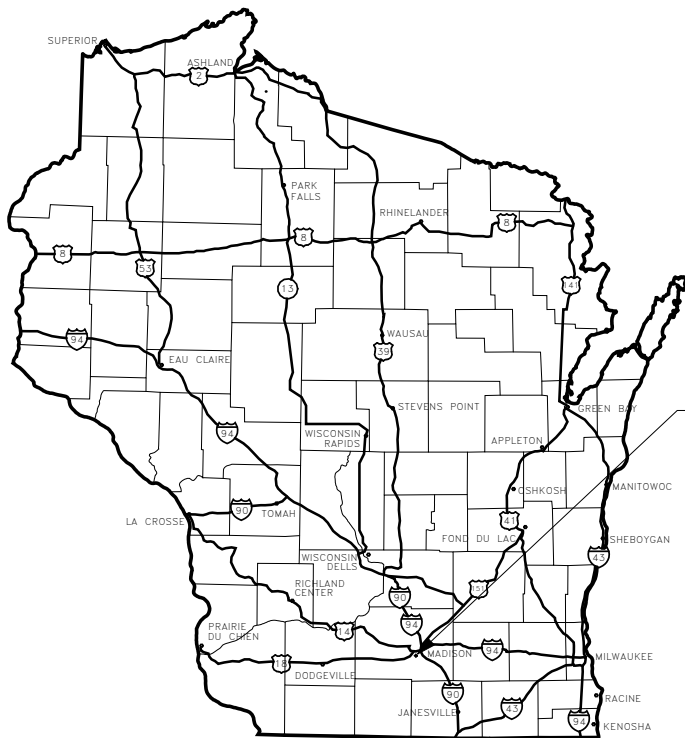
4845 TRADEWINDS PARKWAY,
MADISON, WI



3D VIEW



CITY MAP



STATE MAP

PROJECT/BUILDING DATA	
NEW 1 STORY FUTSAL SPORTING COMPLEX WITH MEZZANINE LEVEL	
FIRST FLOOR AREA	= 25,927 GSF
FIRST FLOOR PATIO AREA	= 280 GSF
MEZZANINE FLOOR AREA	= 3,942 GSF
TOTAL BUILDING AREA	= 29,769 GSF
PARKING COUNTS	
TOTAL PARKING SPACES = 96	
TOTAL ACCESSIBLE PARKING SPACES = 6	

- G1 - COVER SHEET
- G2 - SITE PHOTOS
- G3 - SITE PLAN CONTEX
- C100
- C200
- C300
- LANDSCAPE PLAN
- LIGHTING LAYOUT
- LIGHTING LAYOUT
- AS1.1 - SITE PLAN
- A1 - FIRST FLOOR PLAN
- A2 - MEZZANINE PLAN
- A3a - EXTERIOR ELEVATION
- A3b - EXTERIOR ELEVATION
- A4 - EXTERIOR RENDERINGS
- A5 - EXTERIOR RENDERINGS
- A6 - MATERIAL BOARD
- COVRIT CUTSHEETS
- AS1.1 - COVRIT LOCATIONS
- M103 - ROOF HVAC

Architecture : Dimension IV - Madison Design Group

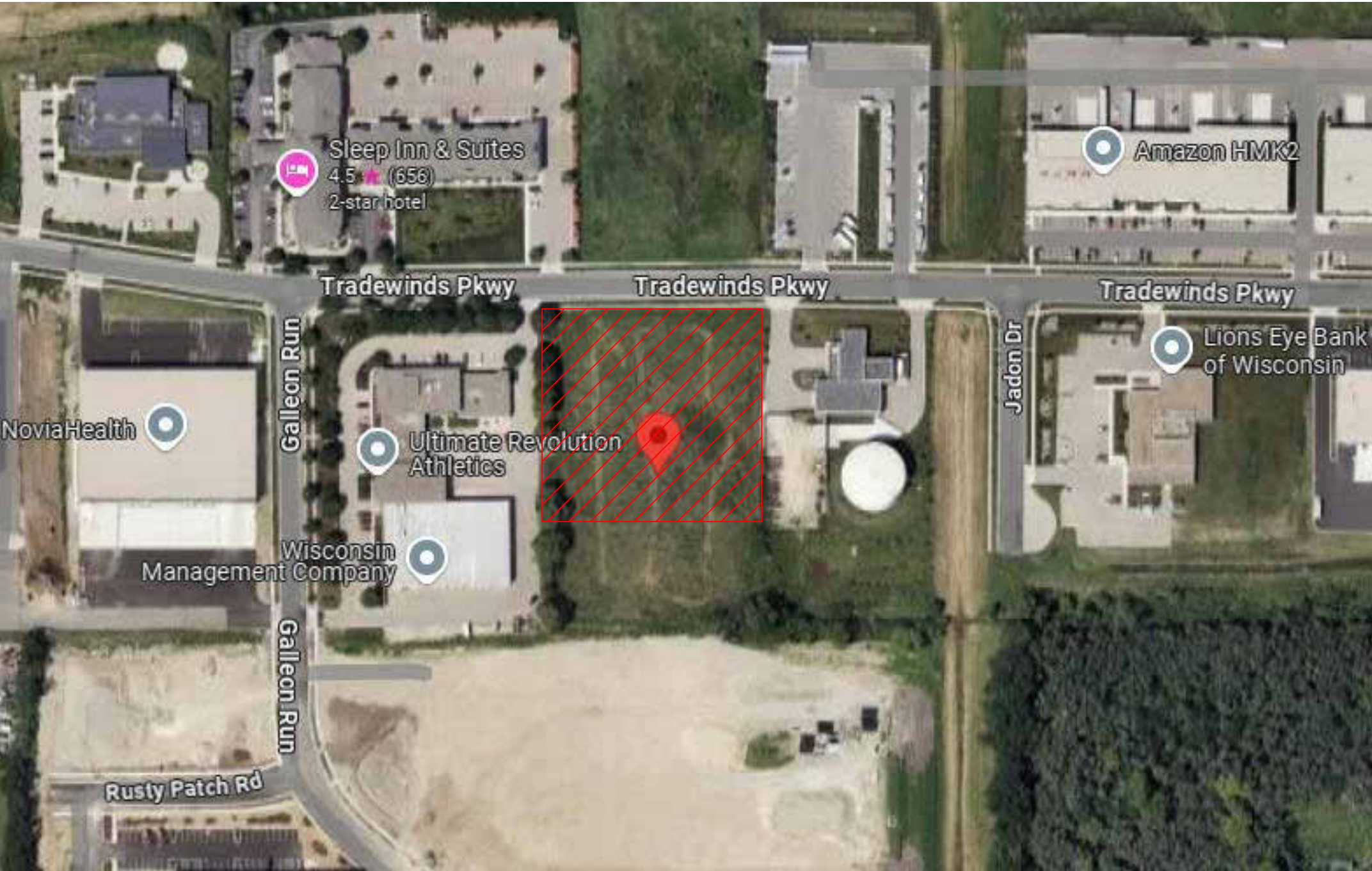
6515 Grand Teton Plaza, Suite 120, Madison, WI 53719

p: 608.829.4444 www.dimensionivmadison.com

General Contractor: Bauer Builders

2866 Agriculture Dr, Madison, WI 53718

p: 608.222.8941 bauerbuildersinc.com



NEIGHBORHOOD MAP

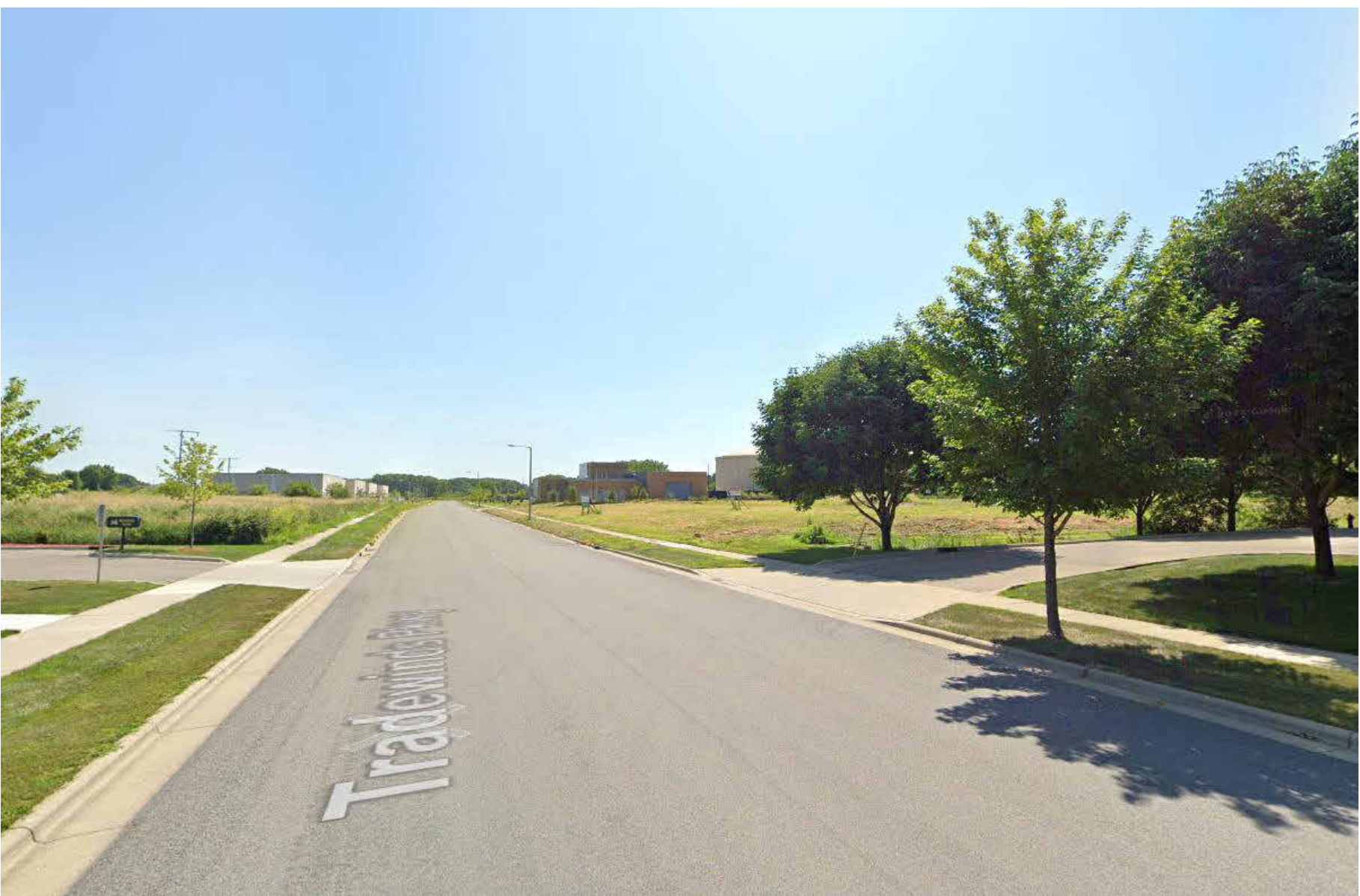
UDC APPROVAL

10/21/2024

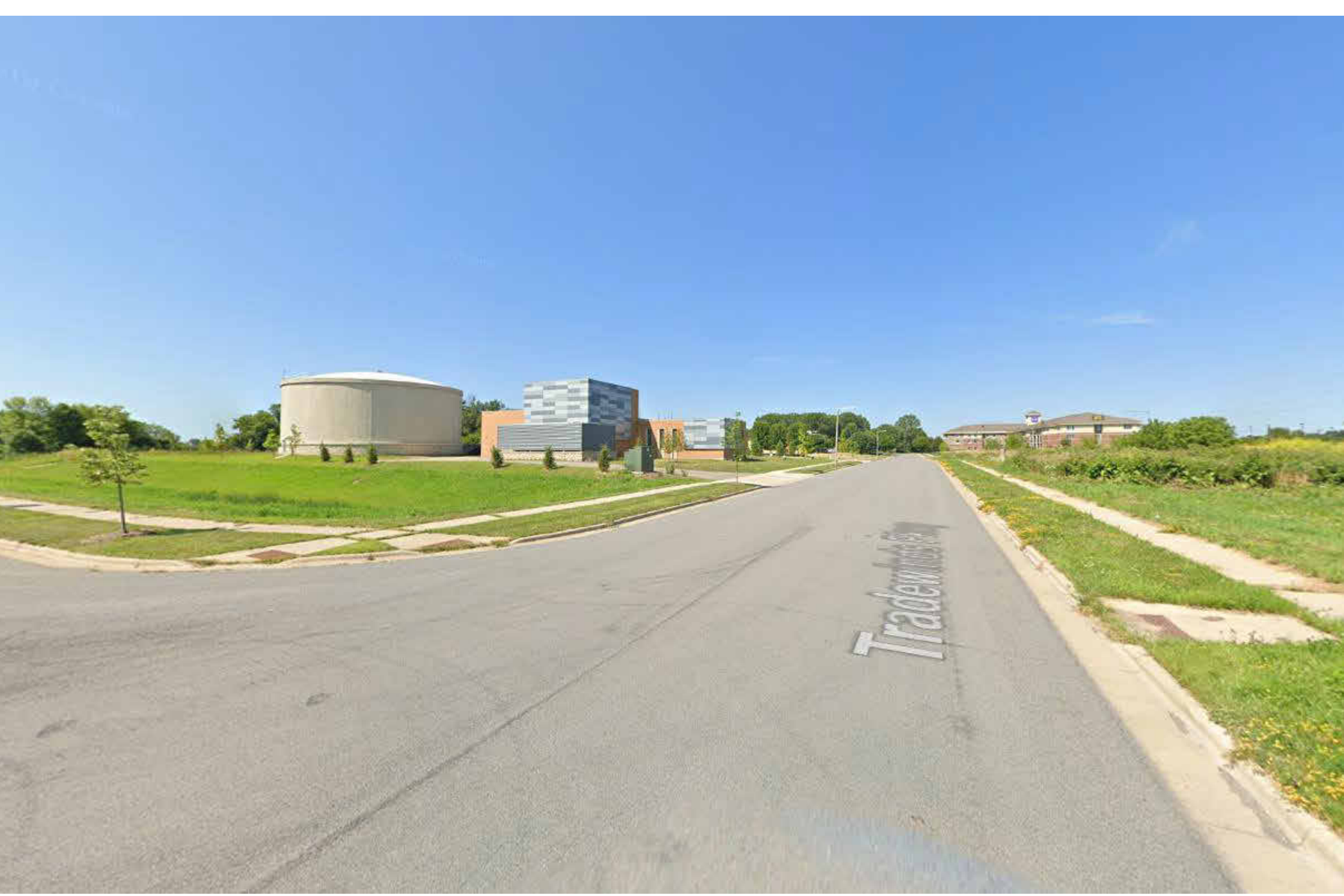
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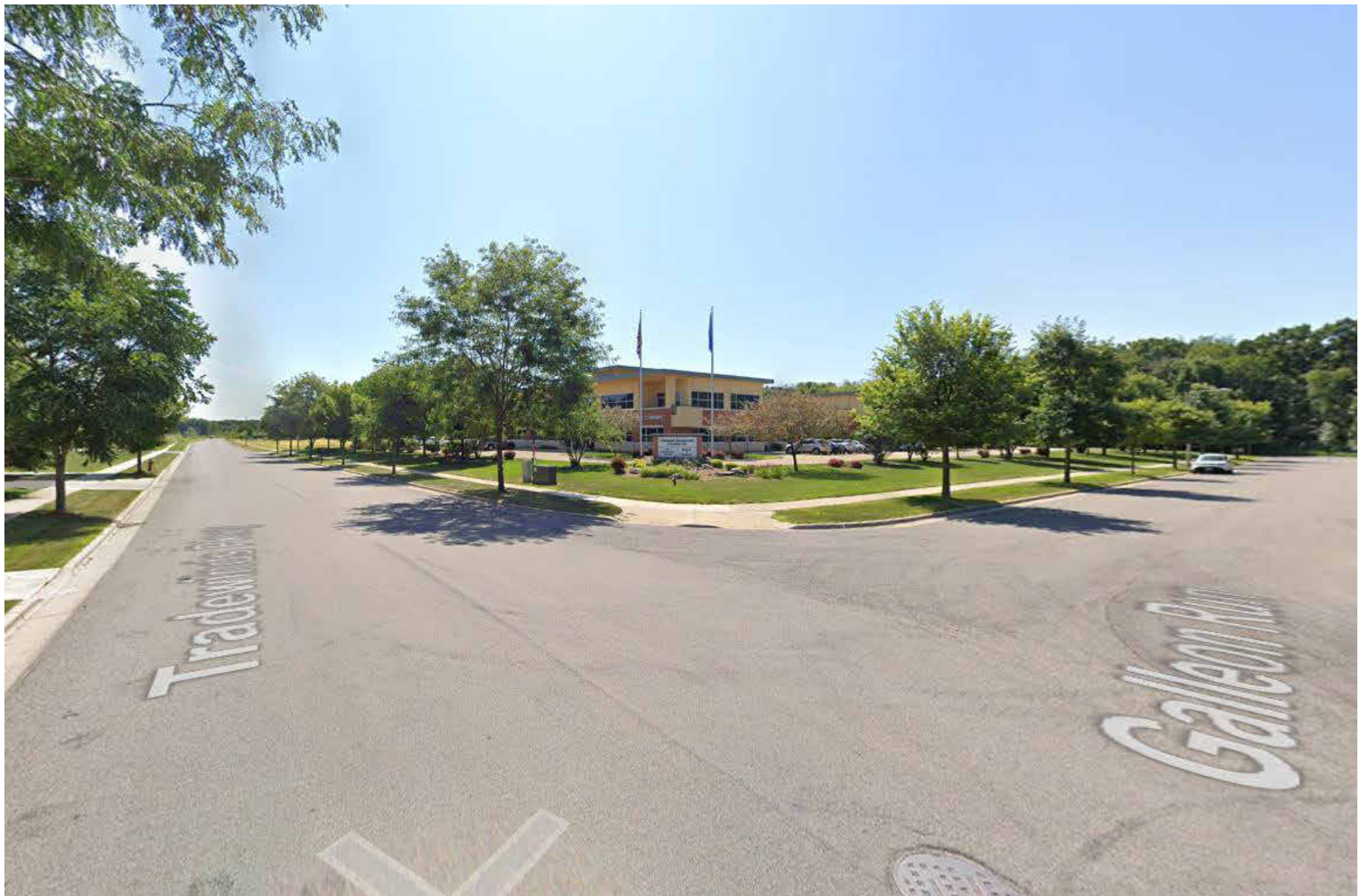
GENERAL VIEW FROM TRADEWINDS PKWY N



VIEW FROM TRADEWINDS PKWY NW



VIEW FROM TRADEWINDS PKWY NE



VIEW FROM GALLEON RUN NW



VIEW FROM GALLEON RUN SW



AERIAL VIEW LOOKING NORTH WEST

**BAUER BUILDERS
SPORTS COMPLEX**
4845 TRADEWINDS PARKWAY,
MADISON, WI

DATE OF ISSUE:	10/21/2024
REVISIONS:	
PROJECT #	23078

SITE PHOTOS



UTILITY BUILDING FROM NW



UTILITY BUILDING FROM NE



MAINSTAY SUITES



WISCONSIN WEIGHTS & MEASURES LAB



HO-CHUNK NATION MADISON OFFICE



SLEEP INN & SUITES



AMAZON HMK2 WAREHOUSE



WISCONSIN MANAGEMENT COMPANY



LIONS EYE BANK OF WI, NON-PROFIT



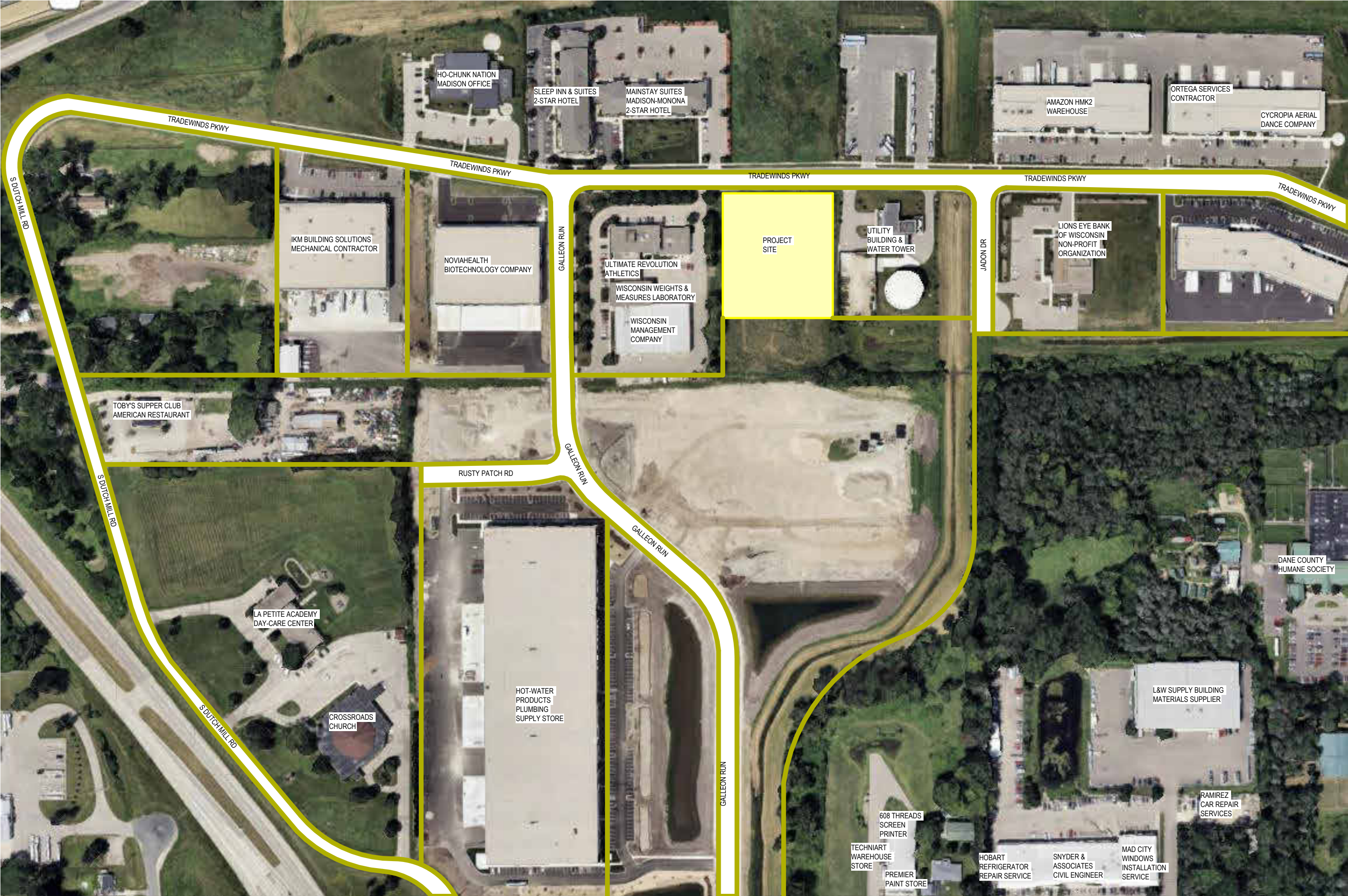
TOBY'S SUPPER CLUB, RESTAURANT



PREMIER PAINT STORE



CROSSROADS CHURCH



DIMENSIONIV

Madison Design Group

architecture · interior design · planning

6515 Grand Teton Plaza, Suite 120
Madison, Wisconsin 53719

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BAUER BUILDERS

SPORTS COMPLEX

4845 TRADEWINDS PARKWAY,
MADISON, WI

DATE OF ISSUE:	10/21/2024
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SITE PLAN
CONTEXT

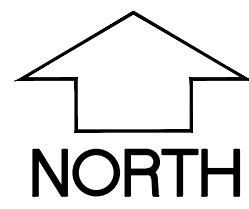
G3

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Autodesk Docs/23078 - Bauer Builders Sports Complex/23078 - Bauer Builders Sports Complex - Building v4
10/2/2024 9:45:13 AM

FLOOD ELEVATION ON THIS LOT IS APPROXIMATELY 856.9.

PROPOSED PROPERTY BOUNDARY
 EASEMENT
 BUILDING FOOTPRINT
 18" CURB AND GUTTER
 ASPHALT PAVEMENT
 CONCRETE PAVEMENT
 STORMWATER TREATMENT FACILITY



WYSER
ENGINEERING

1. UNDERLYING SITE CONTOURS AND INFORMATION BASED ON TOPOGRAPHIC & UTILITY DATA AS SURVEYED BY WYSER ENGINEERING ON THE WEEK OF JULY 13, 2022. WYSER ENGINEERING SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY ARISE AS A RESULT OF ERRONEOUS OR INCOMPLETE INFORMATION PROVIDED BY OTHERS. CONTRACTOR TO CONFIRM ALL ELEVATIONS, GENERAL DRAINAGE AND EARTHWORK REQUIREMENTS PRIOR TO CONSTRUCTION.
2. THE BENCHMARK LOCATIONS ARE SHOWN FOR REFERENCE ONLY ON THIS PLAN. THE CONTRACTOR SHALL BE VALIDATED BY LICENSED LAND SURVEYOR PRIOR TO CONSTRUCTION. CONTRACTOR ASSUMES RISK ASSOCIATED WITH BENCHMARK ELEVATIONS UNTIL CONFIRMED.
3. CONTRACTOR TO OBTAIN APPROPRIATE PERMITS FOR STREET OPENINGS & TO WORK WITHIN THE CITY'S LAND IF REQUIRED.
4. WYSER ENGINEERING SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER OR CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY REGULATORY AGENCIES.
5. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
6. ALL MUNICIPAL UTILITY CONNECTIONS, WORK IN ROW, PUBLIC OUTLOTS AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.

SITE ADDRESS: 4845 TRADEWINDS PARKWAY
SITE ACREAGE (LOT 6 - TRADEWINDS BUSINESS CENTER): 129.536
SQ.FT. (2.97 AC)
USE OF PROPERTY: SPORTS COMPLEX
ZONING: INDUSTRIAL LIMITED (IL)

FRONT YARD: 5-FEET
REAR YARD: 30-FEET
SIDE YARD: 0-FEET

TOTAL NUMBER OF PARKING STALLS: 92
NUMBER OF STALLS DESIGNATED ACCESSIBLE: 4

TOTAL NUMBER OF BIKE STALLS: 22

EXISTING IMPERVIOUS SURFACE AREA: 0 SQ.FT.

NEW IMPERVIOUS SURFACE AREA: 65,475 SQ.FT. (80,475 SQ.FT.)

ROOFTOP: 26,257 SQ.FT.
FUTURE: 15,000 SQ.FT.

PAVED: 39,218 SQ.FT.

MAXIMUM IMPERVIOUS SURFACE: 75% (97,152 SQ.FT.)
 IMPERVIOUS SURFACE AREA ON THE LOT: 65,475 SQ.FT. (80,475 SQ.FT.)
 PERCENT IMPERVIOUS WITHIN DISTURBANCE LIMITS: 50.5% (62.1%)

DISTURBANCE LIMITS: 120,000 SQ. FT.

PARCEL A:

LOT 6 OF TRADEWINDS BUSINESS CENTRE, RECORDED ON JULY 22, 2003
IN VOLUME 58-033B OF PLATS, ON PAGES 179 - 180, AS DOCUMENT NO.
3764226, LOCATED IN PART OF THE NORTHEAST QUARTER OF THE
NORTHWEST QUARTER OF SECTION 27, TOWNSHIP 7 NORTH, RANGE 10
EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.

SAID PARCEL CONTAINS 129,536 SQUARE FEET OR 2.97 ACRES.

4845 TRADEWINDS PARKWAY
MADISON, WI 53718

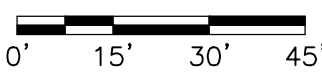
BAUER BUILDERS
SPORTS COMPLEX
CITY OF MADISON, DANE COUNTY, WI

Sheet Title:
SITE PLAN

No.	Date:	Description:
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Graphic
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Number

24-1260

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Type

REVIEW

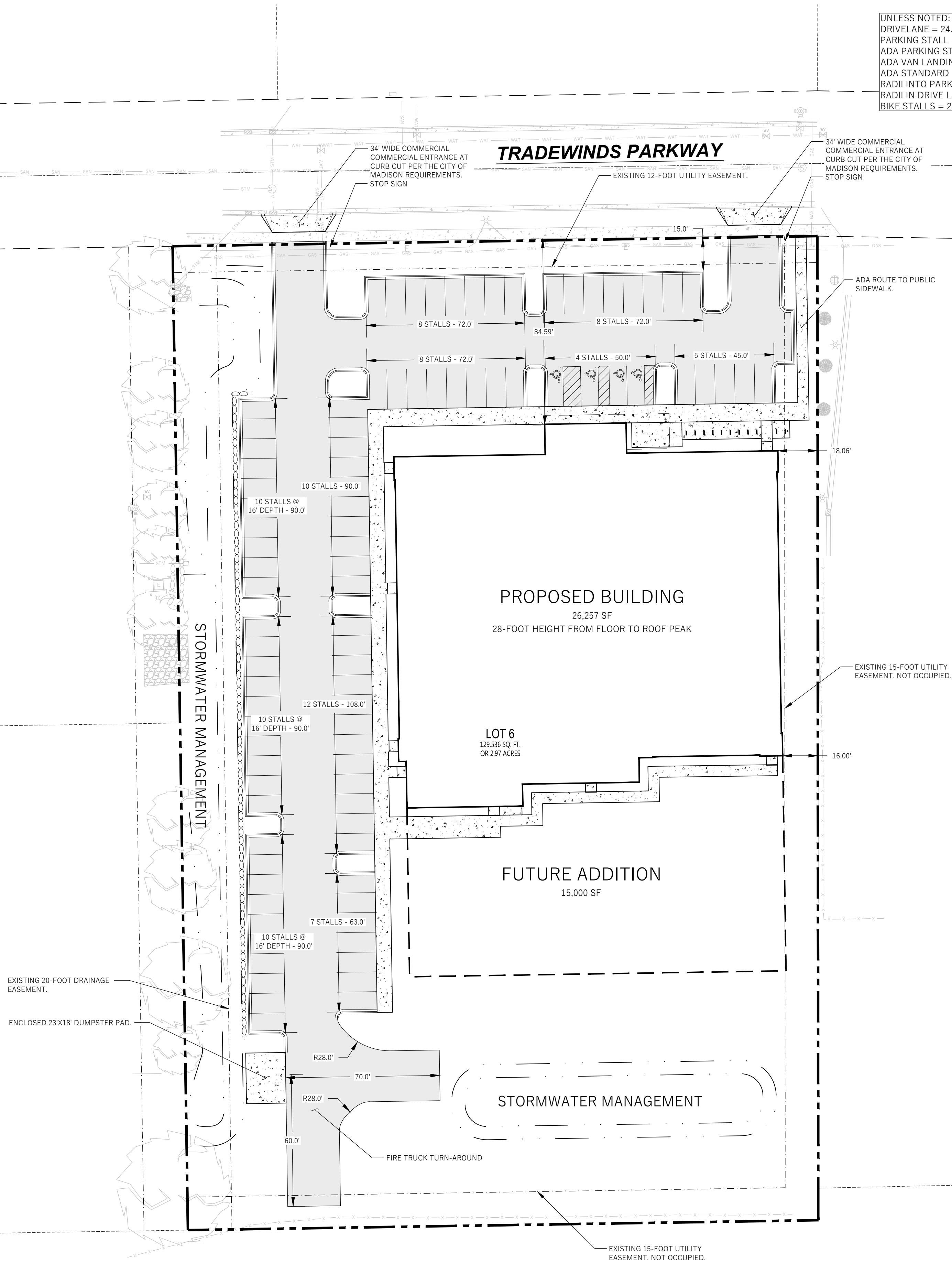
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Issued

10/16/2024

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TRADEWINDS PARKWAY

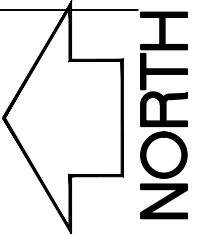
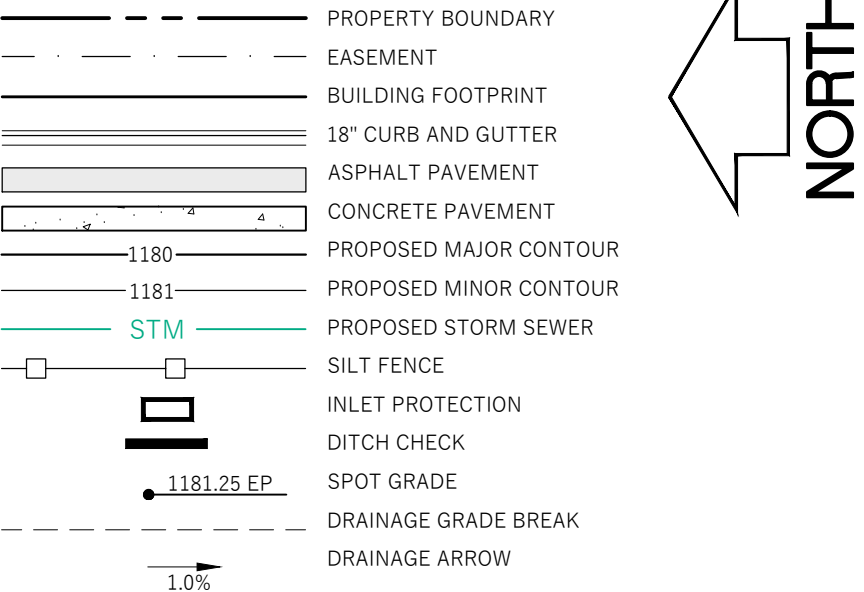
FLOOD ELEVATION ON THIS LOT IS APPROXIMATELY 856.9.

GENERAL NOTES

1. UNDERLYING SITE CONTOURS AND INFORMATION BASED ON TOPOGRAPHIC & UTILITY DATA AS SURVEYED BY WYSER ENGINEERING ON THE WEEK OF JULY 13, 2022. WYSER ENGINEERING SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY ARISE AS A RESULT OF ERRONEOUS OR INCOMPLETE INFORMATION PROVIDED BY OTHERS. CONTRACTOR TO CONFIRM ALL ELEVATIONS, GENERAL DRAINAGE AND EARTHWORK REQUIREMENTS PRIOR TO CONSTRUCTION.
2. THE BENCHMARK LOCATIONS ARE SHOWN FOR REFERENCE ONLY ON THIS PLAN. THE BENCHMARKS SHALL BE VALIDATED BY LICENSED LAND SURVEYOR PRIOR TO CONSTRUCTION. CONTRACTOR ASSUMES RISK ASSOCIATED WITH BENCHMARK ELEVATIONS UNTIL CONFIRMED.
3. CONTRACTOR TO OBTAIN APPROPRIATE PERMITS FOR STREET OPENINGS & TO WORK WITHIN THE CITY'S LAND IF REQUIRED.
4. WYSER ENGINEERING SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER OR CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY REGULATORY AGENCIES.
5. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
6. ALL MUNICIPAL UTILITY CONNECTIONS, WORK IN ROW, PUBLIC OUTLOTS AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.

NOTE:
SPOT GRADES ARE AS FOLLOWS:
FFE - FINISHED FLOOR GRADE
EP - EDGE OF ASPHALT PAVEMENT
EC - EDGE OF CONCRETE PAVEMENT
BC - BACK OF CURB
SW - EDGE OF SIDEWALK
FG - FINISH GRADE
TW - FINISH GRADE ADJACENT TOP OF WALL
BW - FINISH GRADE ADJACENT BOTTOM OF WALL (NOT FOOTING)

LEGEND (PROPOSED)

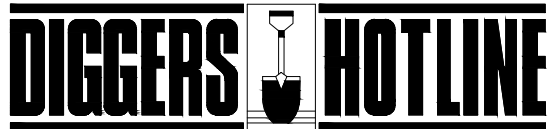


CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS

1. POST WDNR CERTIFICATE OF PERMIT COVERAGE AND MUNICIPAL EROSION CONTROL PERMITS ON SITE AND MAINTAIN UNTIL CONSTRUCTION ACTIVITIES HAVE CEASED, THE SITE IS STABILIZED, AND A NOTICE OF TERMINATION IS FILED WITH WDNR.
2. KEEP A COPY OF THE CURRENT EROSION CONTROL PLAN ON SITE THROUGHOUT THE DURATION OF THE PROJECT.
3. ENGINEER / CITY OF MADISON / WDNR HAS THE RIGHT TO REQUIRE CONTRACTOR TO IMPLEMENT ADDITIONAL EROSION CONTROL MEASURES AS NECESSARY. CONTRACTOR MUST NOTIFY THE CITY OF MADISON BUILDING INSPECTOR TWO (2) WORKING DAYS IN ADVANCE OF ANY SOIL DISTURBANCE ACTIVITIES.
4. SUBMIT PLAN REVISIONS OR AMENDMENTS TO THE WDNR AT LEAST 5 DAYS PRIOR TO FIELD IMPLEMENTATION.
5. THE SITE CONTRACTOR IS RESPONSIBLE FOR ROUTINE SITE INSPECTIONS AT LEAST ONCE EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. KEEP INSPECTION REPORTS ON-SITE AND MAKE THEM AVAILABLE UPON REQUEST.
6. INSPECT AND MAINTAIN ALL INSTALLED EROSION CONTROL PRACTICES UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
7. WHEN POSSIBLE: PRESERVE EXISTING VEGETATION (ESPECIALLY ADJACENT TO SURFACE WATERS). MINIMIZE LAND-DISTURBING CONSTRUCTION ACTIVITY ON SLOPES OF 20% OR MORE. MINIMIZE SOIL COMPACTION, AND PRESERVE TOPSOIL.
8. REFER TO THE WDNR STORMWATER CONSTRUCTION TECHNICAL STANDARDS AT http://dnr.wis.gov/topic/stormwater/standards/const_standards.html.
9. INSTALL PERIMETER EROSION CONTROLS AND ROCK TRACKING PAD CONSTRUCTION ENTRANCE(S) PRIOR TO ANY LAND-DISTURBING ACTIVITIES, INCLUDING CLEARING AND GRUBBING. USE WDNR TECHNICAL STANDARD STONE TRACKING PAD AND TIRE WASHING #1057 FOR ROCK CONSTRUCTION ENTRANCE(S).
10. INSTALL INLET PROTECTION PRIOR TO LAND-DISTURBING ACTIVITIES IN THE CONTRIBUTING DRAINAGE AREA AND/OR IMMEDIATELY UPON INLET INSTALLATION. COMPLY WITH WDNR TECHNICAL STANDARD STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITES #1060 AND DANE COUNTY REQUIREMENTS FOR FRAMED INLET PROTECTION.
11. CONTRACTOR TO PROVIDE SOLID LID OR METAL PLATE ON ALL OPEN MANHOLES DURING CONSTRUCTION TO MINIMIZE SEDIMENT FROM ENTERING THE STORM SEWER SYSTEM.
12. STAGE CONSTRUCTION GRADING ACTIVITIES TO MINIMIZE THE CUMULATIVE EXPOSED AREA. CONDUCT TEMPORARY GRADING FOR EROSION CONTROL PER WDNR TECHNICAL STANDARD TEMPORARY GRADING PRACTICES FOR EROSION CONTROL #1057.
13. PERMITTING OF GROUNDWATER DEWATERING IS THE RESPONSIBILITY OF THE CONTRACTOR. GROUNDWATER DEWATERING IS SUBJECT TO A DNR WASTEWATER DISCHARGE PERMIT AND A DNR HIGH CAPACITY WELL APPROVAL IF CUMULATIVE PUMP CAPACITY IS 70 GPM OR MORE.
14. PROVIDE ANTI-SCOUR PROTECTION AND MAINTAIN NON-EROSIVE FLOW DURING DEWATERING. PERFORM DEWATERING OF ACCUMULATED SURFACE RUNOFF IN ACCORDANCE WITH WDNR TECHNICAL STANDARD DE-WATERING #1061.
15. CONSTRUCT AND PROTECT THE BIOINFILTRATION BASIN AND VEGETATION FROM RUNOFF AND SEDIMENT DURING CONSTRUCTION. REFERENCE THE WDNR TECHNICAL STANDARD BIORETENTION FOR INFILTRATION # 1004.
16. INSTALL AND MAINTAIN SILT FENCING PER WDNR TECHNICAL STANDARD SILT FENCE #1056. REMOVE SEDIMENT FROM BEHIND SILT FENCES AND SEDIMENT BARRIERS BEFORE SEDIMENT REACHES A DEPTH THAT IS EQUAL TO ONE-HALF OF THE FENCE AND/OR BARRIER HEIGHT.
17. REPAIR BREAKS AND GAPS IN SILT FENCES AND BARRIERS IMMEDIATELY. REPLACE DECOMPOSING STRAW BALES (TYPICAL BALE LIFE IS 3 MONTHS). LOCATE, INSTALL, AND MAINTAIN STRAW BALES PER WDNR TECHNICAL STANDARD DITCH CHECKS #1062.
18. INSTALL AND MAINTAIN FILTER SOCKS IN ACCORDANCE WITH WDNR TECHNICAL STANDARD INTERIM MANUFACTURED PERIMETER CONTROL AND SLOPE INTERRUPTION PRODUCTS # 1071.
19. IMMEDIATELY STABILIZE STOCKPILES AND SURROUND STOCKPILES AS NEEDED WITH SILT FENCE OR OTHER PERIMETER CONTROL IF STOCKPILES WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.
20. IMMEDIATELY STABILIZE ALL DISTURBED AREAS THAT WILL REMAIN INACTIVE FOR 14 DAYS OR LONGER, BETWEEN SEPTEMBER 15 AND OCTOBER 15: STABILIZE WITH MULCH, TACKIFIER, AND A PERENNIAL SEED MIXED WITH WINTER WHEAT, ANNUAL OATS, OR ANNUAL RYE, AS APPROPRIATE FOR REGION AND SOIL TYPE. OCTOBER 15 THROUGH COLD WEATHER: STABILIZE WITH A POLYMER AND DORMANT SEED MIX, AS APPROPRIATE FOR REGION AND SOIL TYPE.
21. STABILIZE AREAS OF FINAL GRADING WITHIN 7 DAYS OF REACHING FINAL GRADE.
22. SWEEP/CLEAN UP ALL SEDIMENT/TRASH THAT MOVES OFF-SITE DUE TO CONSTRUCTION ACTIVITY OR STORM EVENTS BEFORE THE END OF THE SAME WORKDAY OR AS DIRECTED BY THE AUTHORITIES WITH JURISDICTION. SEPARATE SWEEP MATERIALS (SOILS AND TRASH) AND DISPOSE OF APPROPRIATELY.
23. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST PER WDNR TECHNICAL STANDARD DUST CONTROL ON CONSTRUCTION SITES # 1068.
24. PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, OR OTHER CONSTRUCTION MATERIALS) AND DO NOT ALLOW THESE MATERIALS TO BE CARRIED BY RUNOFF INTO THE RECEIVING CHANNEL.
25. COORDINATE WITH THE AUTHORITIES WITH JURISDICTION TO UPDATE THE LAND DISTURBANCE PERMIT TO INDICATE THE ANTICIPATED OR LIKELY DISPOSAL LOCATIONS FOR ANY EXCAVATED SOILS OR CONSTRUCTION DEBRIS THAT WILL BE HAULED OFF-SITE FOR DISPOSAL. THE DEPOSITED OR STOCKPILED MATERIAL NEEDS TO INCLUDE PERIMETER SEDIMENT CONTROL MEASURES (SUCH AS SILT FENCE, HAY BALES, FILTER SOCKS, OR COMPACTED EARTHEN BERMS).
26. FOR NON-CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED SLOPES, PROVIDE CLASS 1 TYPE B EROSION CONTROL MATTING. INSTALL AND MAINTAIN PER WDNR TECHNICAL STANDARD NON-CHANNEL EROSION MAT #1052.
27. FOR CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED AREAS, PROVIDE CLASS II TYPE B EROSION CONTROL MATTING UNLESS OTHERWISE SPECIFIED ON THE PLAN. INSTALL AND MAINTAIN PER WDNR TECHNICAL STANDARD CHANNEL EROSION MAT #1053.
28. MAKE PROVISIONS FOR WATERING DURING THE FIRST 8 WEEKS FOLLOWING SEEDING OR PLANTING OF DISTURBED AREAS WHENEVER MORE THAN 7 CONSECUTIVE DAYS OF DRY WEATHER OCCUR.
29. THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE WDNR REMEDIATION AND WASTE MANAGEMENT REQUIREMENTS FOR HANDLING AND DISPOSING OF CONTAMINATED MATERIALS. SITE-SPECIFIC INFORMATION FOR AREAS WITH KNOWN OR SUSPECTED SOIL AND/OR GROUNDWATER CONTAMINATION CAN BE FOUND ON WDNR'S BUREAU OF REMEDIATION AND REDEVELOPMENT RACKING SYSTEM (BRRS) PUBLIC DATABASE AT: <http://dnr.wis.gov/brrw/>.
30. INSTALL AND MAINTAIN A CONCRETE WASHOUT BASIN PER EPA 833-F-11-006: <https://www3.epa.gov/nodes/pubs/concretewashout.pdf>. REQUIRE USE BY ALL CONCRETE CONTRACTORS. LIQUID MAY BE REUSED IN CONCRETE MIXING, EVAPORATED, OR DISPOSED OF AS WASTEWATER.

GRADING, SEEDING & RESTORATION NOTES

1. ALL GRADES SHOWN ARE FINAL FINISHED SURFACE GRADES.
2. AREAS TO BE SEEDED SHALL HAVE A MINIMUM 6 INCHES TOPSOIL, UNLESS OTHERWISE NOTED.
3. AREAS NOT RESTORED WITH EROSION MATTING OR OTHER STABILIZATION MEASURES SHALL BE STABILIZED WITH MULCH.
4. APPLY ANIONIC POLYMER TO DISTURBED AREAS IF EROSION BECOMES PROBLEMATIC.
5. MULCH SHALL BE WEED-FREE STRAW AND SHALL BE INSTALLED AT THE RATE OF 2 TONS PER ACRE PER SECTION 627 OF "STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION" (WISDOT 2014).
6. PERMANENT SEEDING SHALL NOT OCCUR BETWEEN SEPTEMBER 15TH AND APRIL 15TH. ALTERNATE SEEDING/PLANTING METHODS AND/OR EROSION PROTECTION MAY BE NECESSARY FOR SEEDING/PLANTING THAT OCCURS DURING THAT TIME. COORDINATE WITH THE OWNER AS NECESSARY.
7. TEMPORARY STABILIZATION SHALL CONSIST OF ONE OR MORE OF THE FOLLOWING OPTIONS:
 - a. TEMPORARY SEEDING CONSISTING OF ANNUAL RYE GRASS APPLIED AT A RATE OF 1.5 LBS PER 1000 SQUARE FEET.
 - b. WISDOT PAL CLASS I TYPE B URBAN EROSION CONTROL MAT.



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Sheet Title:
GRADING & UTILITY PLAN

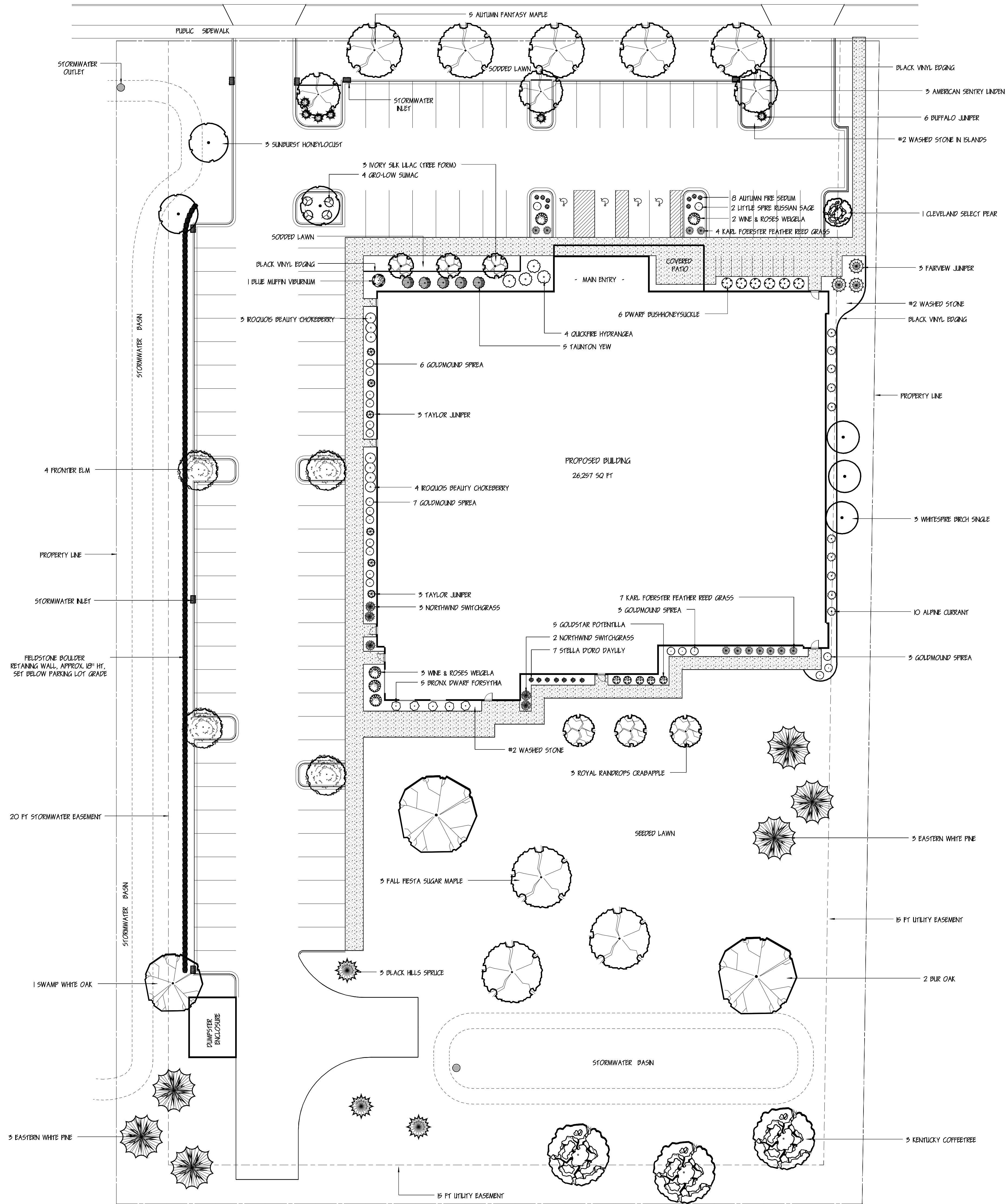
4845 TRADEWINDS PARKWAY
MADISON, WI 53718

Revisions:

No.	Date:	Description:

Graphic Scale
0' 5' 10' 20' 30'

Wysen Number	24-1260
Set Type	REVIEW
Date Issued	10/16/2024
Sheet Number	C200



Qty	Botanical Name	Common Name	Size/Condition
Trees			
3	Acer saccharum 'Autumn Fantasy'	FALL FIESTA SUGAR MAPLE	25' in DB
5	Acer x Freemannii 'Autumn Fantasy'	AUTUMN FANTASY MAPLE	25' in DB
3	Betula populifolia 'Whitespire'	WHITESPIRE BIRCH SINGLE	25' in DB
3	Gleditsia triacanthos 'Suncoke'	SUNBURST HONEYLOCUST	25' in DB
3	Gymnocladus dioica	KENTUCKY COFFEE TREE	25' in DB
3	Malus transitoria 'Royal Randrops'	ROYAL RANDROPS CRABAPPLE	15' in DB
3	Picea glauca densata	BLACK HILLS SPRUCE	5' ft DB
6	Pinus strobus	EASTERN WHITE PINE	5' ft DB
1	Pinus californiana 'Cleveland Select'	CLEVELAND SELECT PEAR	25' in DB
1	Quercus bicolor	SWAMP WHITE OAK	25' in DB
2	Quercus macrocarpa	BUR OAK	25' in DB
3	Quercus reticulata 'Ivory Silk'	IVORY SILK LLAC (TREE FORM)	15' in DB
3	Tilia americana 'McSemin'	AMERICAN SENTRY LINDEN	25' in DB
4	Ulmus x 'Frontier'	FRONTIER ELM	25' in DB
Shrubs			
7	Aronia melanocarpa 'Morton'	ROQUOIS BEAUTY CHOKEBERRY	#3 CG
6	Dieris laevis	DWARF BUSH HONEYSUCKLE	#3 CG
5	Forsythia viridissima 'Bronzeleaf'	BRONX DWARF FORSYTHIA	#3 CG
4	Hydrangea paniculata 'Pik'	QUICKFREE HYDRANGEA	#3 CG
3	Juniperus chinensis 'Fairview'	FAIRVIEW JUNIPER	5' ft DB
6	Juniperus sabina 'Buffalo'	BUFFALO JUNIPER	#3 CG
6	Juniperus virginiana 'Taylor'	TAYLOR JUNIPER	5' ft DB
5	Potentilla fruticosa 'Goldstar'	GOLDSTAR POTENTILLA	#3 CG
4	Rhus aromatica 'Gro-Low'	GRO-LOW SUMAC	#3 CG
10	Ribes alpinum	ALPINE CURRANT	#3 CG
19	Spiraea japonica 'Goldmound'	GOLDMOUND SPIREA	#3 CG
5	Taxus x media 'Taunton'	TAUNTON YEW	15' in DB
1	Viburnum dentatum 'Blue Muffin'	BLUE MUFFIN VIBURNUM	#3 CG
5	Weigela florida 'Alexandra'	WINE & ROSES WEIGELA	#3 CG
Ornamental Grasses			
11	Calamagrostis acutiflora 'Karl Foerster'	KARL FOERSTER FEATHER REED GRASS	#1 CG
5	Panicum virgatum 'Northwind'	NORTHWIND SWITCHGRASS	#1 CG
Perennials and Annuals			
7	Monarda didyma 'Stella D'Oro'	STELLA D'ORO DAYLILY	#1 CG
2	Perovskia atriplicifolia 'Little Spire'	LITTLE SPIRE RUSSIAN SAGE	#1 CG
Succulents			
8	Sedum x 'Autumn Fire'	AUTUMN FIRE SEDUM	#1 CG

CITY OF MADISON LANDSCAPING REQUIREMENTS

Total developed square footage	103,379
Required landscape units (Total/300 sq ft)	345
Required landscape points (Units X Spts)	1725

PLANT TYPE (MINIMUM SIZE)	NEW/ PROPOSED		
	POINT VALUE	QUANTITY	POINTS ACHIEVED
Overstory deciduous trees (25" caliper)	35	27	945
Evergreen trees (5' tall)	35	9	315
Ornamental trees (15" caliper)	15	7	105
Upright evergreen shrub (3-4' tall)	10	9	90
Shrub, deciduous	3	66	198
Shrub, evergreen	4	11	44
Ornamental grasses/perennials	2	33	66
TOTAL			1763

SCALE: 1 IN = 20 FT
0 5 10 20 40
SCALE IN FEET

DESIGN BY:

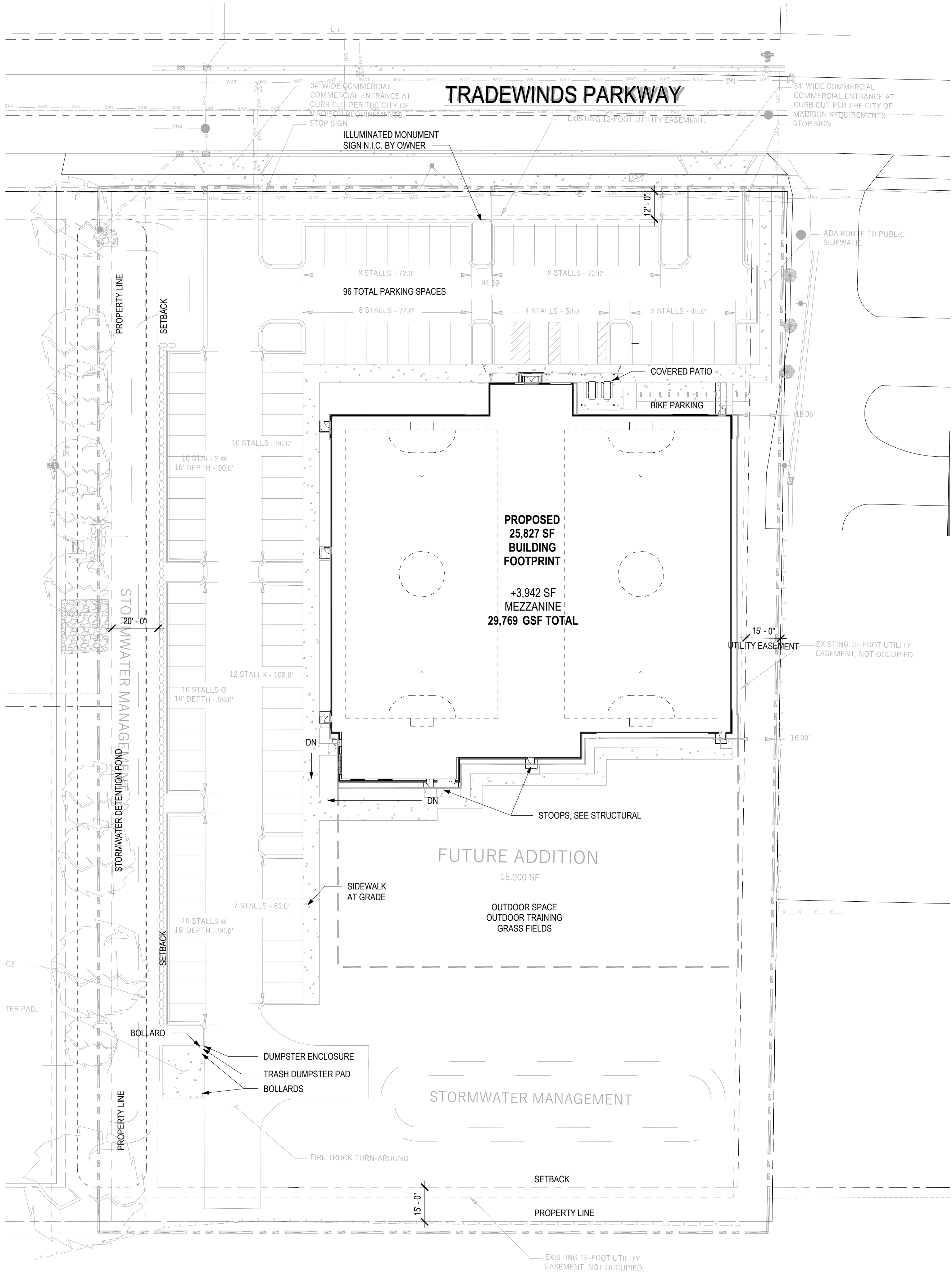
HERMAN
LANDSCAPE SERVICE, INC

6606 SEYBOLD ROAD
MADISON, WI 53744 PH: 608/288-9400

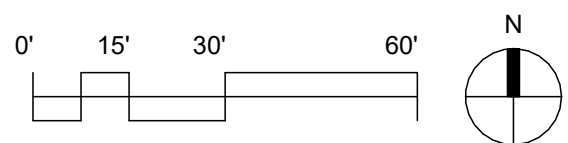
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9/16/2024
REVISED:
10/17/24

10/2/2024 9:45:14 AM Autodesk Docs/23078 - Bauer Builders Sports Complex/23078 - Bauer Builders Sports Complex - Building.v4

FOR ALL SITE IMPROVEMENTS, SEE CIVIL



1 ARCHITECTURAL SITE PLAN
1" = 30'-0"



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DATE OF ISSUE: 10/21/2024

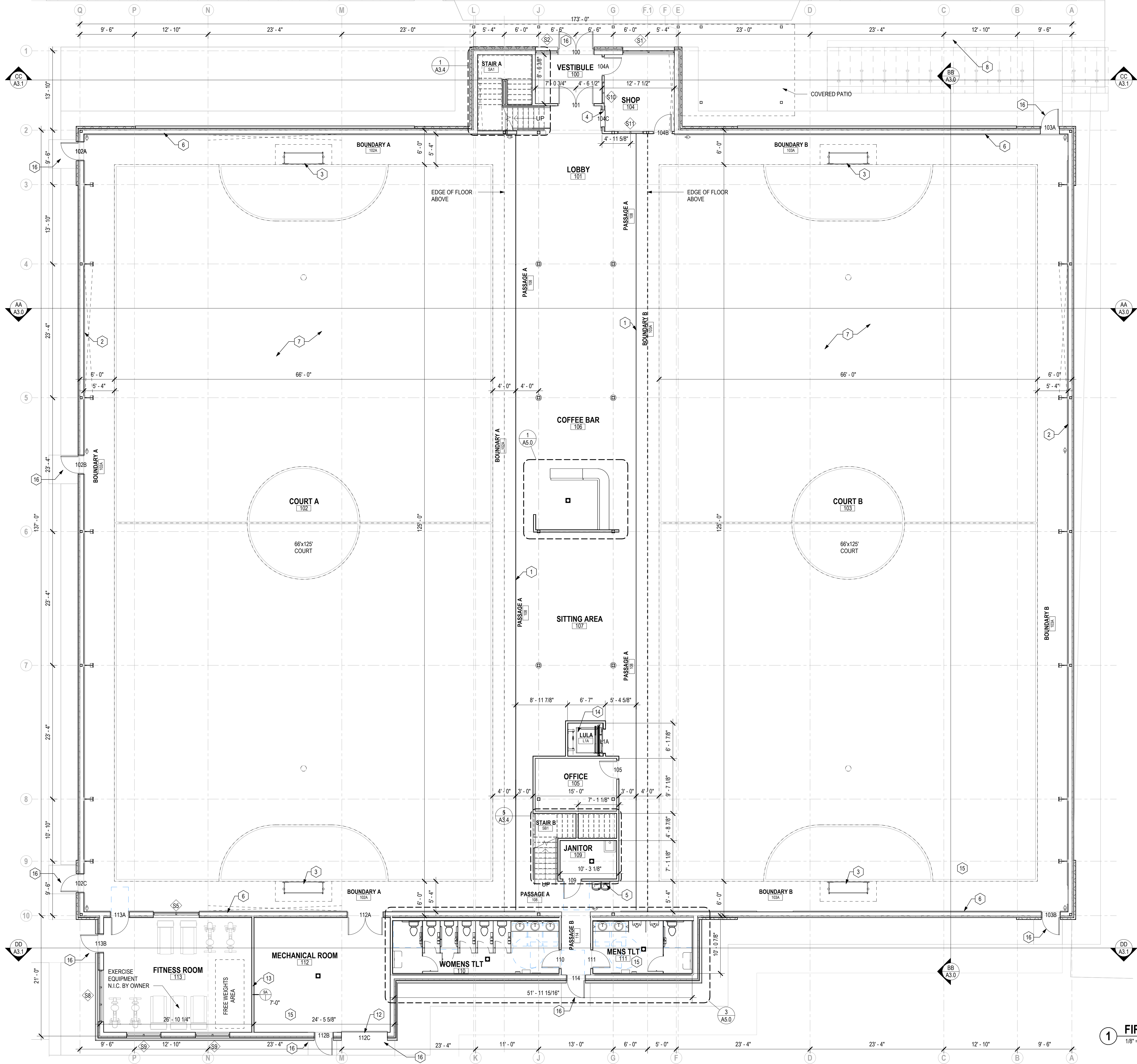
REVISIONS:

PROJECT # 23078

SITE PLAN

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10/21/2024 9:45:16 AM Autodesk Docs/23078 - Bauer Builders Sports Complex/23078 - Bauer Builders Sports Complex - Building v4



FLOOR PLAN GENERAL NOTES

- PROVIDE VERTICAL CONTROL JOINTS (C/S) WHERE STRUCTURAL SYSTEMS CHANGE. LOCATIONS THAT ARE PRONE TO CRACKING AND AS REQUIRED BY MANUFACTURES INSTALLATION RECOMMENDATIONS.
- VERIFY SIZE AND LOCATIONS OF ALL MECHANICAL OPENINGS. GENERAL CONTRACTOR TO PAINT AND SEAL LOUVER PERIMETER, TYPICAL.
- GENERAL CONTRACTOR TO PROVIDE CONCRETE EQUIPMENT PADS/CURBS AS REQUIRED FOR MECHANICAL/ELECTRICAL EQUIPMENT. VERIFY SIZE/PROFILE/LOCATION WITH PLUMBING/MECHANICAL/ELECTRICAL.
- GENERAL CONTRACTOR TO INSTALL FOAM FILLER AT ALL MASONRY WALL CONTROL/EXPANSION JOINTS AND SEAL BOTH SIDES (WALL REINFORCING TO DISCONTINUE AT JOINTS).
- GENERAL CONTRACTOR TO PROVIDE WOOD BLOCKING BETWEEN WOOD/METAL STUDS AS REQUIRED FOR CASEWORK/HANDRAIL/TOILET ACCESSORIES ETC. MOUNTING.
- PROVIDE VINYL CARPET EDGE AT TRANSITIONS FROM CARPET TO DISSIMILAR FLOOR MATERIALS, UNLESS NOTED OTHERWISE (U.N.O.).
- REFER TO EXTERIOR ELEVATIONS FOR EXTERIOR WALL CONTROL JOINTS.
- VERIFY ALL ACTUAL CHASE DIMENSIONS WITH HVAC CONTRACTOR.
- ADA CLEARANCE CIRCLES AND BOXES SHOWN ON PLAN ARE FOR INFORMATION PURPOSES ONLY.
- DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD UNLESS NOTED OTHERWISE.
- CONFIRM ALL SPORTS COURT PAINT STRIPING WITH OWNER.

FLOOR PLAN KEYNOTES

- SPORTS NETTING ATTACHED TO UNDERSIDE OF MEZZANINE. (N.I.C. BY OWNER)
- SPORTS WALL BUMPERS AT ALL COURT EXTERIOR WALLS TYP.
- GOAL NET AND SPORTS EQUIPMENT N.I.C. BY OWNER, TYP.
- TRANSACTION OPENING, COILING SHUTTER.
- DRINKING FOUNTAIN WITH BOTTLE FILLER.
- WALL MOUNTED LED SCOREBOARD N.I.C. BY OWNER. ELECTRICAL BY EC.
- HARDWOOD SPORTS FLOORING, RECESSED IN CONCRETE SLAB.
- (11) BIKE RACK DERO HOOP OR EQUAL
- FLOOR MOUNT RAILING, WELDED TO FLOOR EDGE WITH MESH INFILL AND SLOPED WOOD TOP.
- SOLID SURFACE COUNTERTOP.
- WALL MOUNTED TV LOCATION.
- GARAGE DOOR WITH AUTO OPENER.
- 7'-0" HIGH DIVIDER WALL
- LULA PIT - SEE STRUCTURAL. VERIFY PIT DEPTH
- SLAB-ON-GRADE - SEE STRUCTURAL
- STOOPS - SEE STRUCTURAL
- WINDOW COVERINGS, N.I.C. BY OWNER

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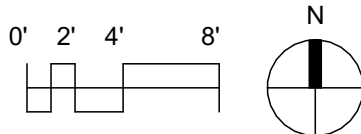
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PROJECT # 23078

FIRST FLOOR PLAN

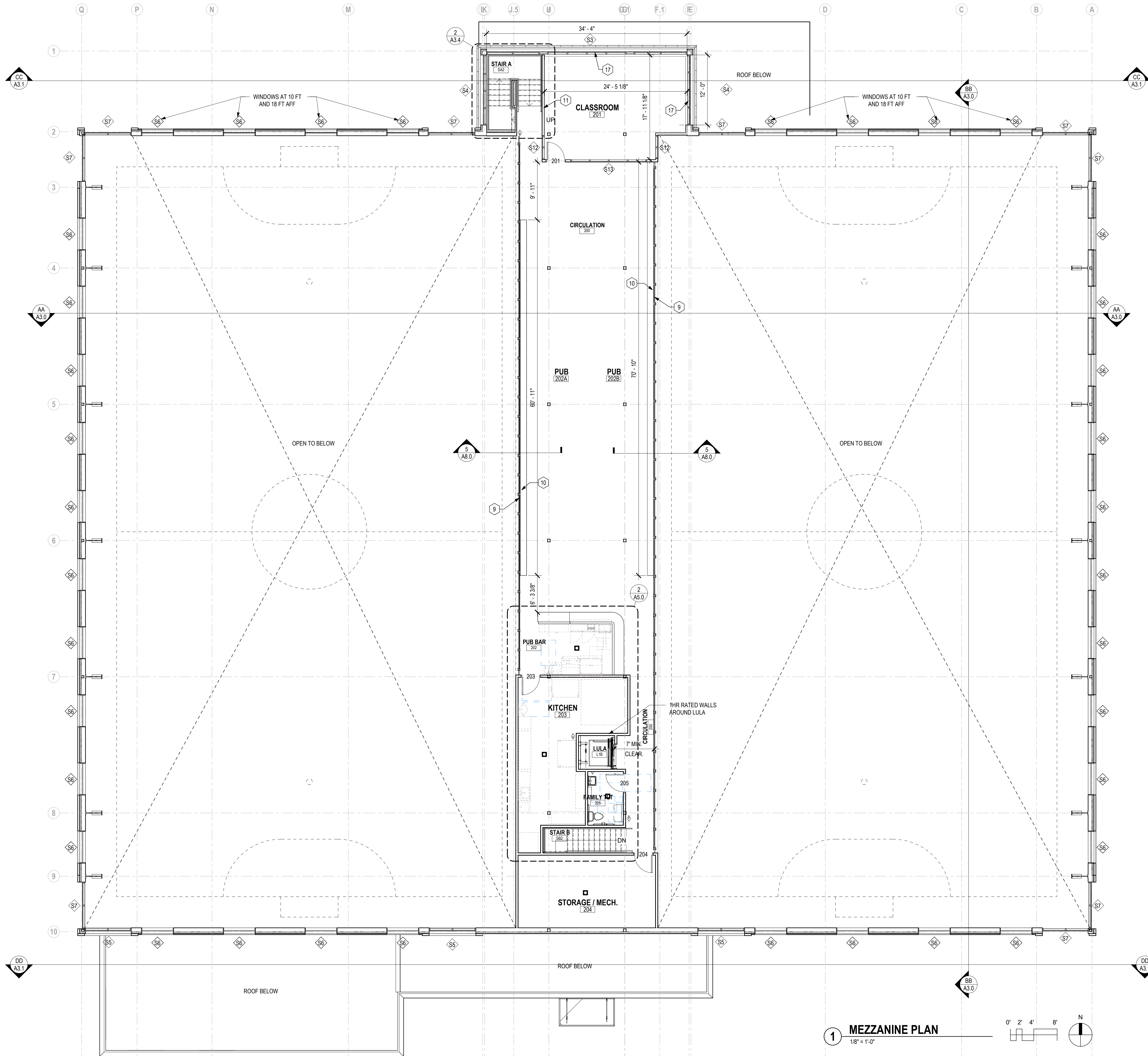
1 FIRST FLOOR PLAN
1/8" = 1'-0"



A1

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10/2/2024 9:45:16 AM Autodesk Docs/23078 - Bauer Builders Sports Complex/23078 - Bauer Builders Sports Complex - Building v4



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4845 TRADEWINDS PARKWAY,
MADISON, WI

99% REVIEW SET

DATE OF ISSUE: 10/21/2024

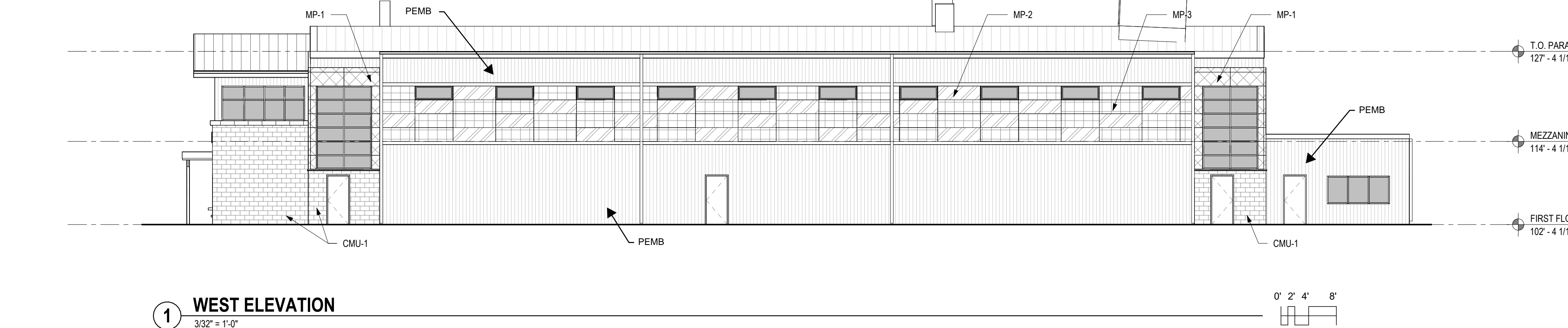
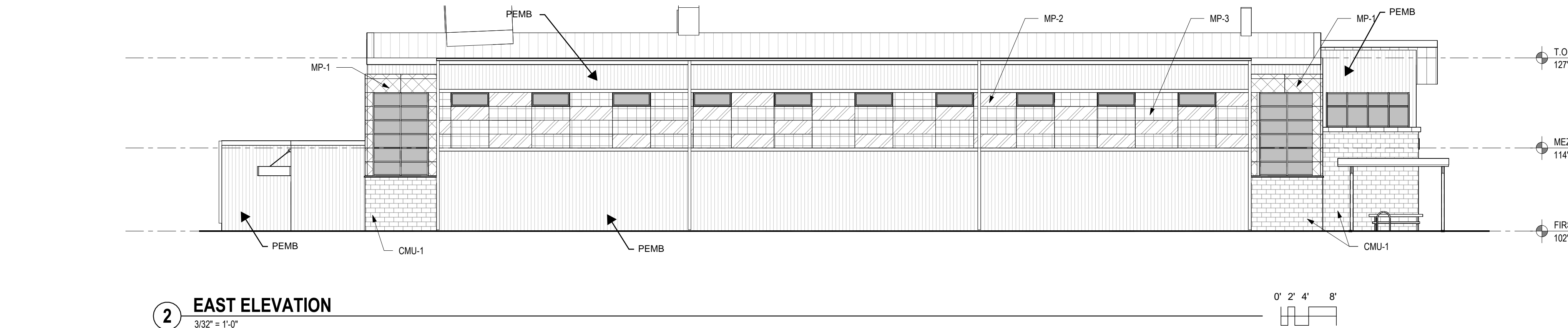
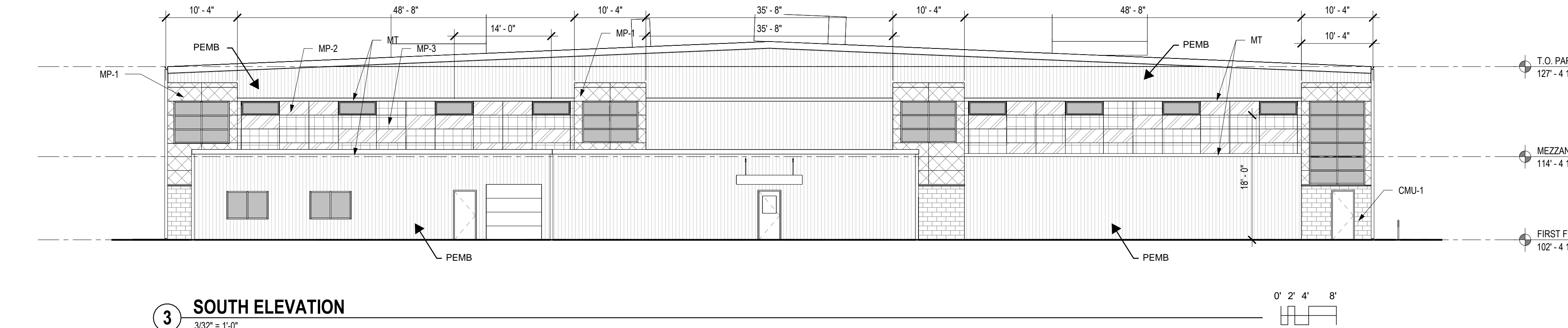
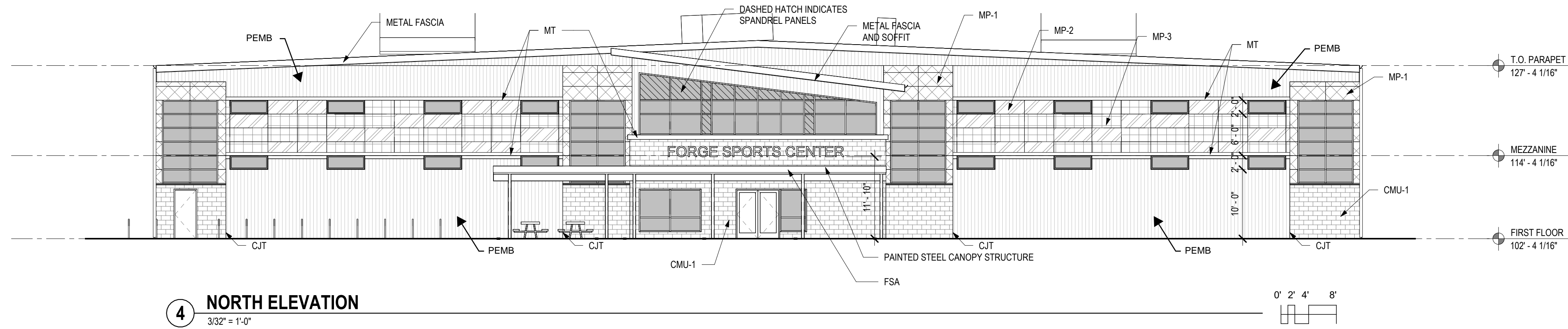
REVISIONS:

PROJECT # 23078

MEZZANINE PLAN

A2

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ELEVATION LEGEND & NOTES			
MASONRY	COLOR	MORTAR	
CMU-1	SPLIT-FACE CMU	CONCRETE	DESERT EDGE
CJ	CONTROL JOINT		
SIDING & TRIM			
MP-1	METAL PANEL		COLOR
MP-2	METAL PANEL		SW 6684 BRITTLEBUSH
MP-3	METAL PANEL		SW 6965 HYPER BLUE
MT	METAL TRIM		SW 6968 DYNAMIC BLUE
FSA	METAL FASCIA		WHITE
SFT	METAL SOFFIT		SW 6684 BRITTLEBUSH
			SW 6524 COMMODORE
PRE-FINISHED METAL	MANUFACTURER (COATED METALS GROUP)		
CPG	COPING		WHITE
SCR	SCUPPER		COLOR
CANOPY ACCESSORIES	COLOR		
CSY	CABLE STAY		CLEAR ANODIZED
STOREFRONT	COLOR		
ANODIZED ALUMINUM			CLEAR ANODIZED
OTHER	COLOR		
PEMB			SW 6524 COMMODORE
EXTERIOR BEAM & COLUMNS			LIGHT GRAY
BIKE RACKS			SW 6684 BRITTLEBUSH
GENERAL NOTES			
A.	NOT ALL MASONRY PENETRATIONS SHOWN, COORDINATE WITH MEP CONTRACTORS.		
B.	AT 135 DEGREE OUTSIDE CORNERS PROVIDE 135 DEGREE BRICK CORNER UNITS.		
C.	REFER TO WINDOW TYPE SHEET A6.2 FOR MORE WINDOW INFORMATION.		
D.	REFER TO SHEET A8.0 FOR ARCHITECTURAL WALL PANEL DETAIL.		
E.	CONTROL JOINTS CONTINUOUS FROM TOP OF FOUNDATION TO TOP OF WALL.		

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Madison Design Group

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Madison, Wisconsin 53719

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BAUER BUILDERS
SPORTS COMPLEX

4845 TRADEWINDS PARKWAY,
MADISON, WI

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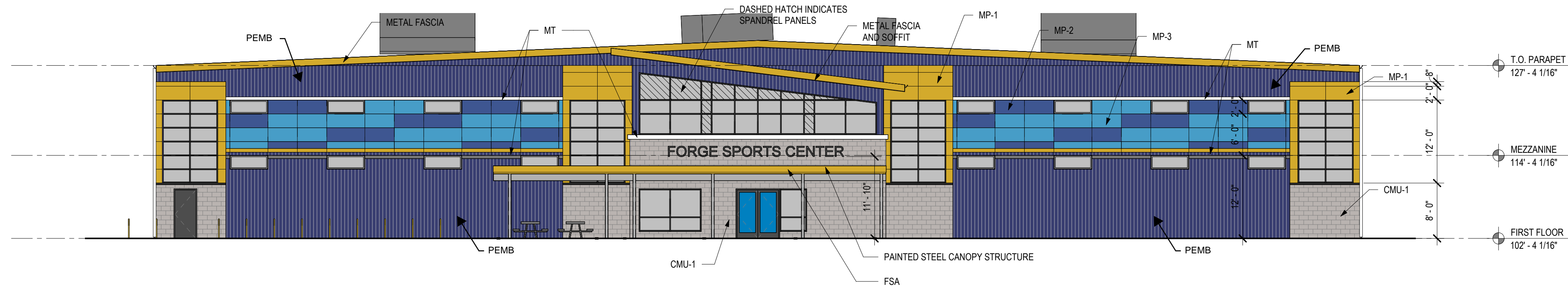
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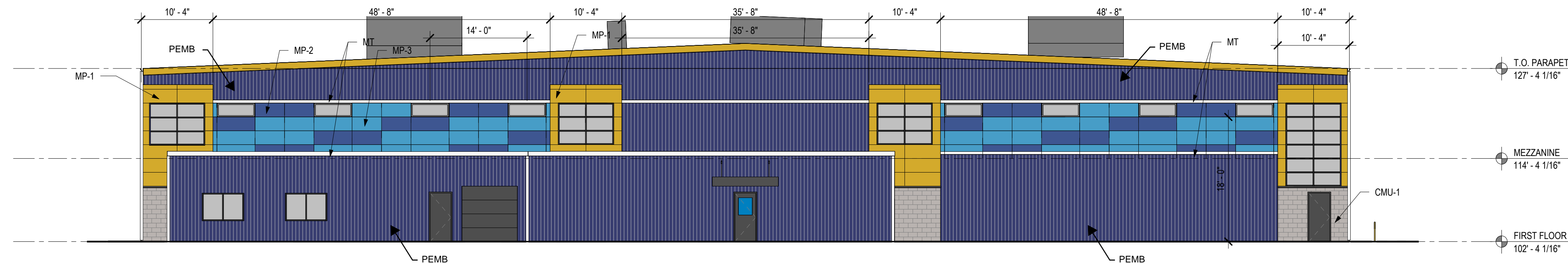
EXTERIOR
ELEVATIONS (BW)

A3.a

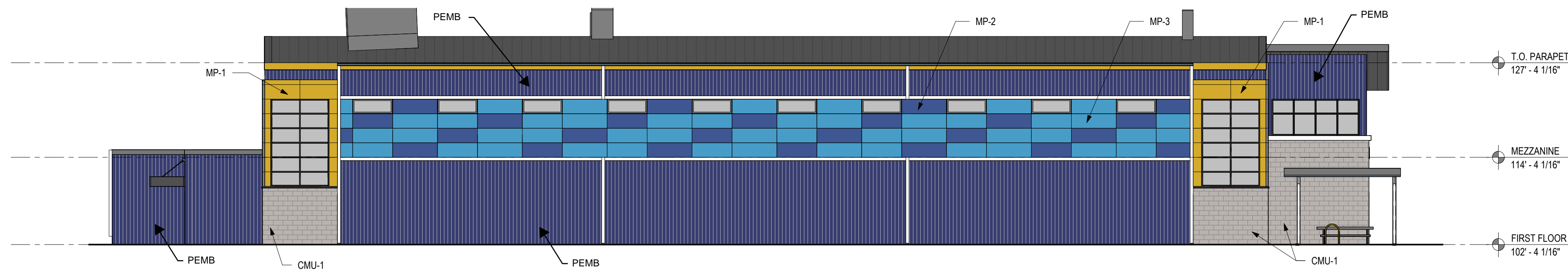
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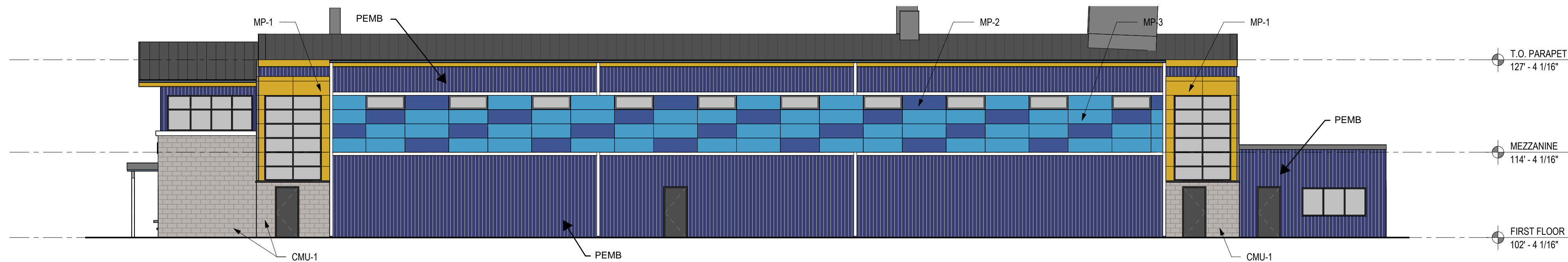
4 NORTH ELEVATION COLOR
3/32" = 1'-0"



3 SOUTH ELEVATION COLOR
3/32" = 1'-0"



2 EAST ELEVATION COLOR
3/32" = 1'-0"



1 WEST ELEVATION COLOR
3/32" = 1'-0"

ELEVATION LEGEND & NOTES			
MASONRY	COLOR	MORTAR	
CMU-1	SPLIT-FACE CMU	CONCRETE	DESERT EDGE
CJ	CONTROL JOINT		
SIDING & TRIM			
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STOREFRONT	COLOR		
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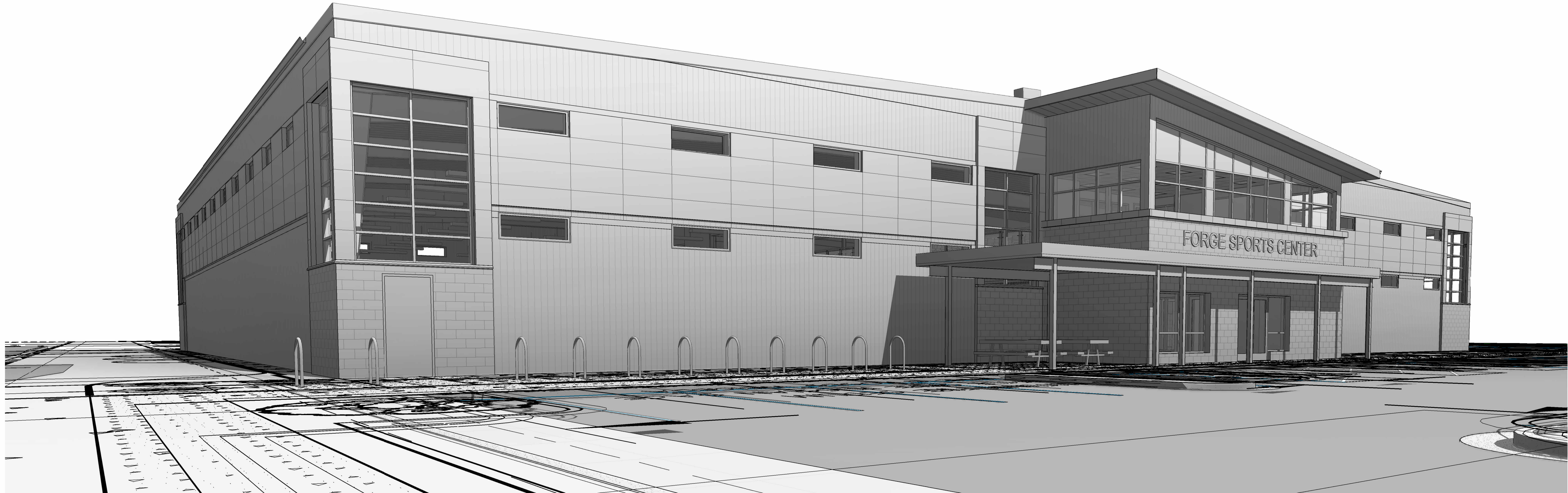
EXTERIOR
ELEVATIONS
(COLOR)

A3.b

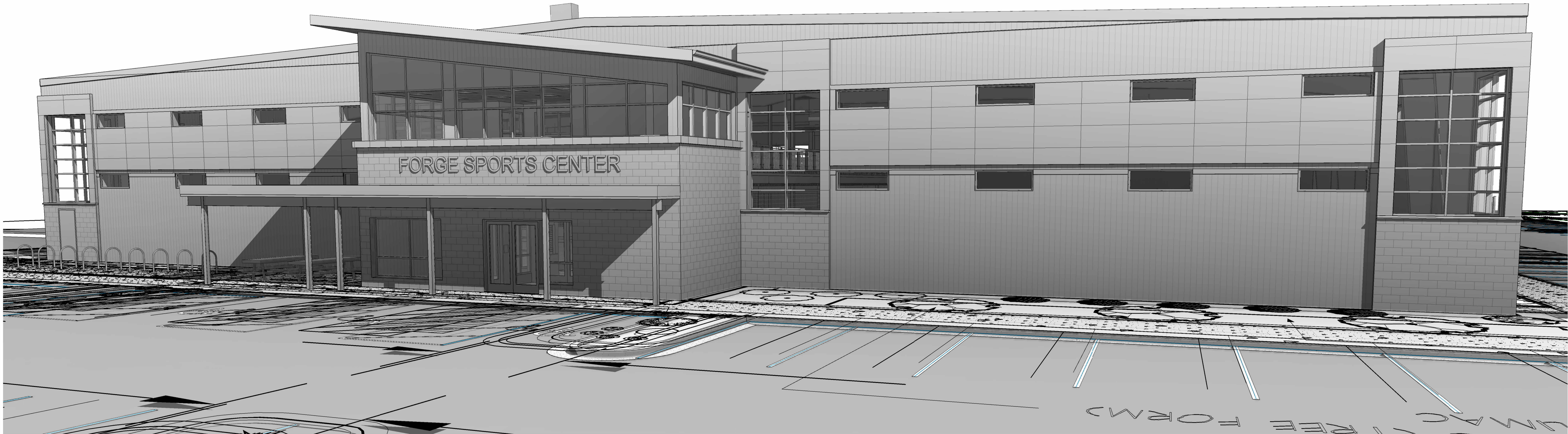
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**BAUER BUILDERS
SPORTS COMPLEX**

4845 TRADEWINDS PARKWAY,
MADISON, WI



2 EXTERIOR PERSPECTIVE 2 Copy 1



1 EXTERIOR PERSPECTIVE 1 Copy 1

**3D VIEWS ARE FOR ILLUSTRATION PURPOSES ONLY. IF ANY VARIATION EXISTS BETWEEN 3D
VIEWS AND ARCHITECTURAL DRAWINGS, 3D VIEWS SHALL NOT APPLY.**

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**EXTERIOR
RENDERING**

A4

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SPORTS COMPLEX

4845 TRADEWINDS PARKWAY,
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REVISIONS:

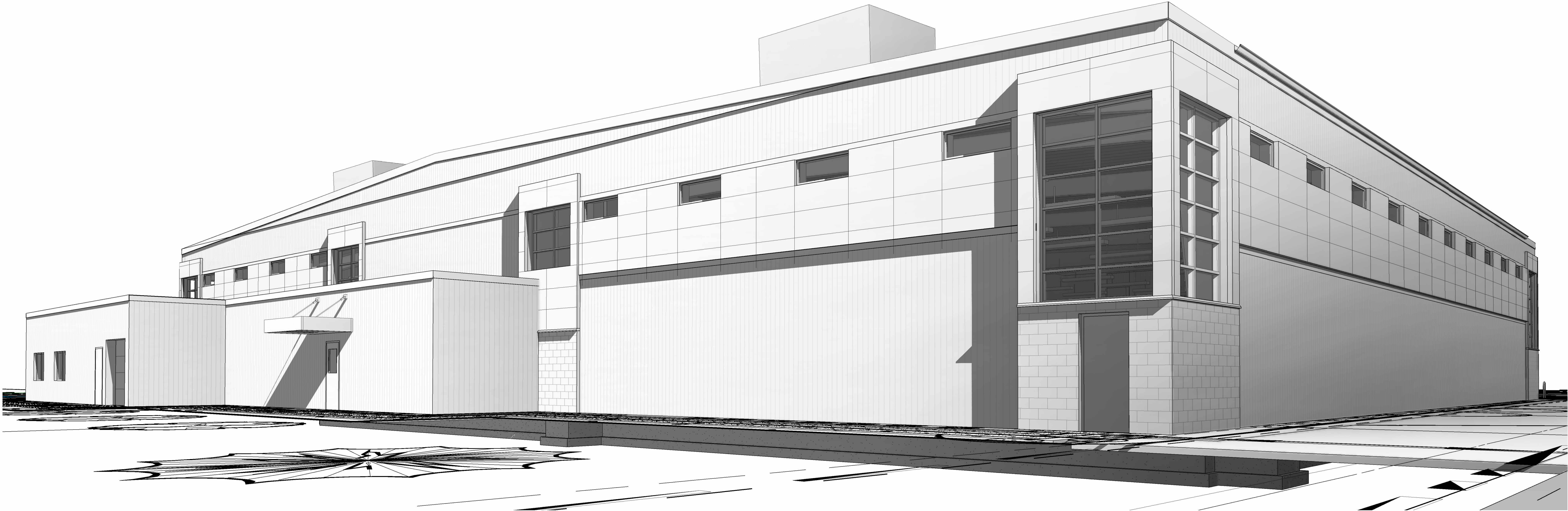
PROJECT # 23078

EXTERIOR
RENDERING

A5



2 EXTERIOR PERSPECTIVE 4 Copy 1



1 EXTERIOR PERSPECTIVE 3 Copy 1

3D VIEWS ARE FOR ILLUSTRATION PURPOSES ONLY. IF ANY VARIATION EXISTS BETWEEN 3D
VIEWS AND ARCHITECTURAL DRAWINGS, 3D VIEWS SHALL NOT APPLY.



TYPICAL PEMB WALL PANEL - NOT USED

R-Panel

The R-Panel provides an even-shadowed appearance and are reinforced between the ribs for added strength. This panel offers a 36" width coverage with major ribs on 12" centers. It is available in 24 & 26 gauge.

[R-Panel Specifications](#)

A-Panel

The A-Panel provides an excellent choice for decorative wall designs with an attractive shadow pattern and semi-concealed fasteners. These panels offer 36" of coverage with ribs on 12" centers. The A-Panel is made of 26 gauge steel, with 24 gauge available by special order. [A-Panel Specifications](#)



PEMB WALL PANEL

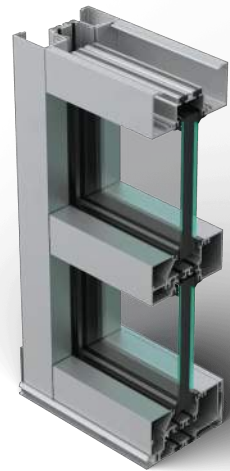


ROOF PANEL

Standing Seam II & Standing Seam 360

The American Buildings Standing Seam II & Standing Seam 360 roof systems are designed to float on a system of sliding clips that prevent damage from thermal expansion and contraction. This standing seam design eliminates 80% of through-fasteners found in other systems, offering greater weathertightness. These panel systems provide 24" width coverage with 3" high ribs. Standing Seam 360 panels are joined by an electric seaming machine, developing a full 360° rolled seam – preferred by many architects and specifiers.

[Standing Seam II Specifications](#) [Standing Seam 360 Specifications](#)



STOREFRONT/WINDOWS -
KAWNEER 541UT CLEAR
ANODIZED

PEMB CUSTOM COLOR

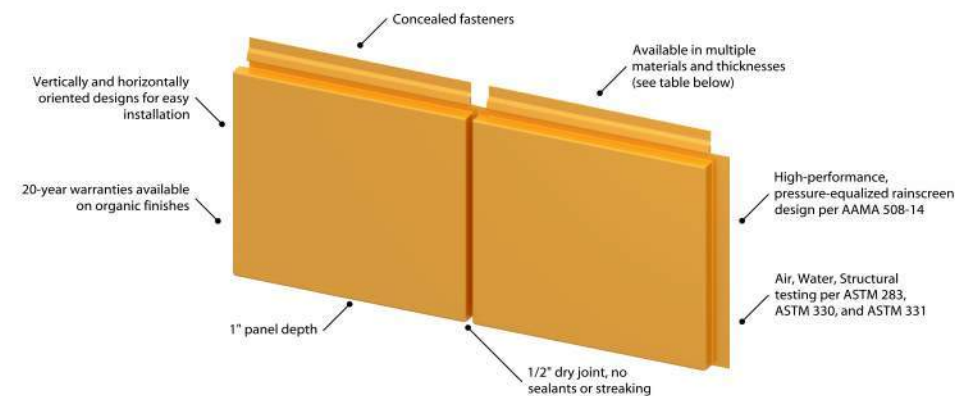


SW6524 COMMODORE



CAST STONE - LIGHT
GUNPOWDER
STOREFRONT SILLS

ARCHITECTURAL METAL WALL PANELS



MCELROY METAL - ARCHITECTURAL WALL PANELS - CUSTOM COLORS



MP-2

MP-3

MP-1

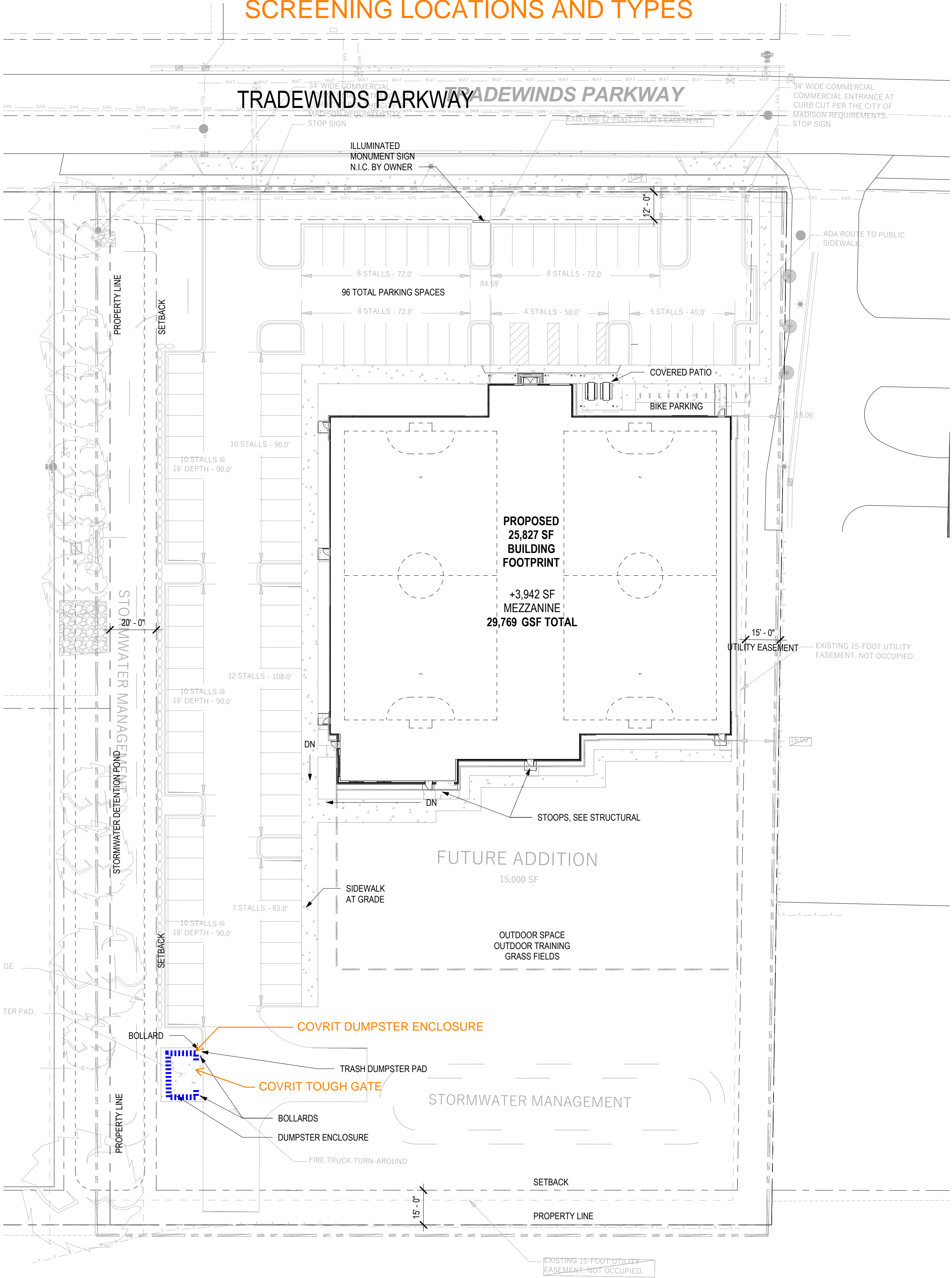


SPLIT-FACE CMU DESERT
EDGE - COUNTY MATERIALS
CORPORATION

10/21/2024 8:30:20 AM Autodesk Docs/23078 - Bauer Builders Sports Complex/23078 - Bauer Builders Sports Complex - Building.v4

FOR ALL SITE IMPROVEMENTS, SEE CIVIL

TRASH ENCLOSURES, GATES,
SCREENING LOCATIONS AND TYPES



1 ARCHITECTURAL SITE PLAN
1" = 30'-0"

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SITE PLAN

AS1.1

covrit®

SCREENING SYSTEMS



CityScapes®
ARCHITECTURAL INNOVATIONS



Pepper Construction HQ
Dublin, OH

COVRIT®

COVER ALL YOUR BASES

For any enclosure needs, Covrit® has your back, front, and sides. Covrit walls, gates, and dumpster enclosures redefine any space and are the go-to solution for hiding, protecting, or partitioning anything on your property.



HIGH-QUALITY CONSTRUCTION

Professional grade extruded aluminum frames with powder-coated finishes

TAILORED DIMENSIONS

Crafting Distinctive Spaces with Both Standard and Customized Designs

STREAMLINED INSTALLATION

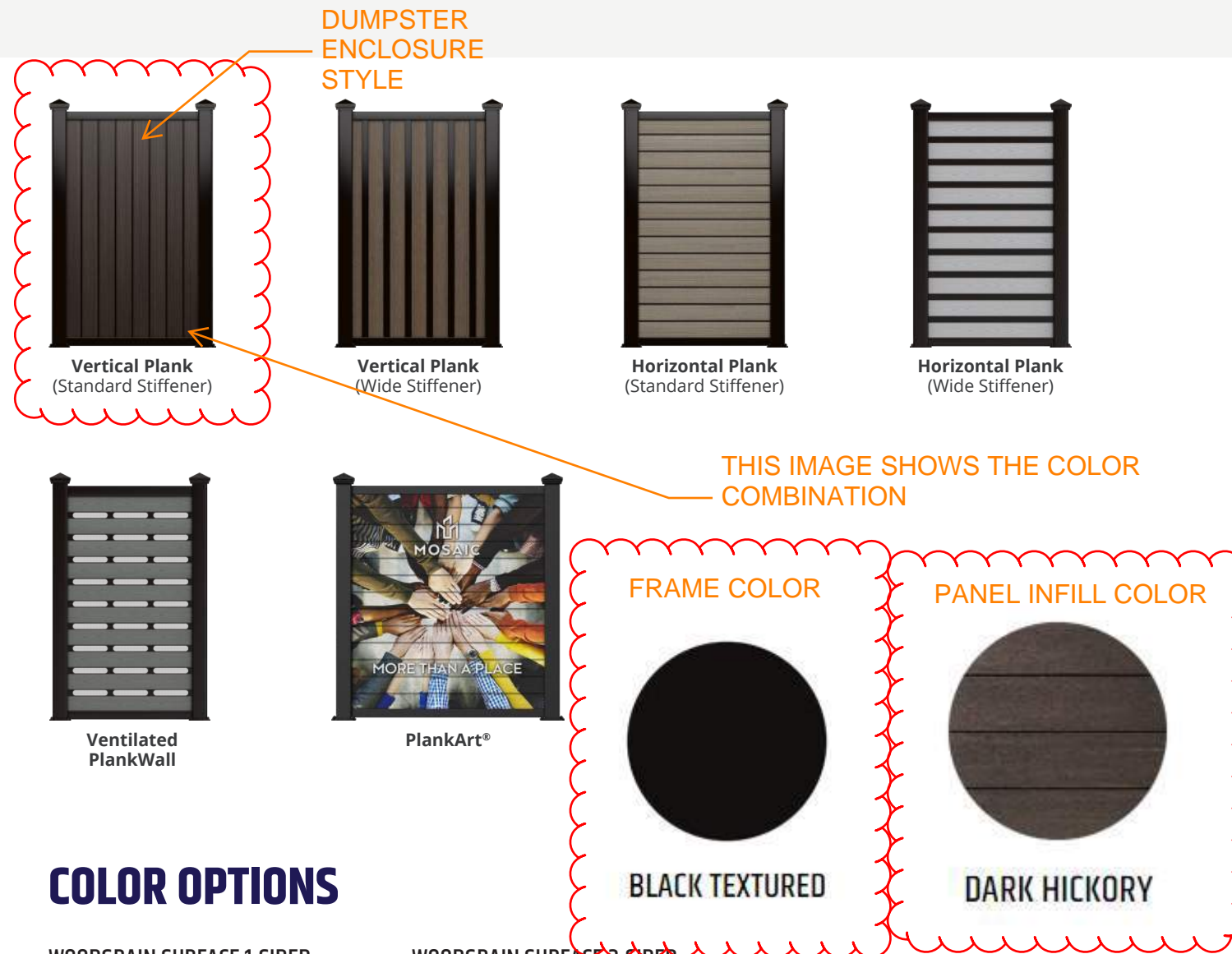
Directly mounting to concrete slabs without the need for footings

TOUGHGATE™ INTEGRATION

ToughGate™ doors & gates used on every Covrit® enclosure

ENGINEERED WOOD INFILLS

- Frames are 6063 T6 extruded aluminum
- Woodgrain surface planks are 1" thick 100% cellular PVC or composite LLDPE
- 1/2" or 2 1/2" Extruded Aluminum Stiffeners
- Sherwin Williams 4000 Series Powder-Coated Components
- Optional digitally printed graphics with UV resistant Nazdar ink



COLOR OPTIONS

WOODGRAIN SURFACE 1-SIDED

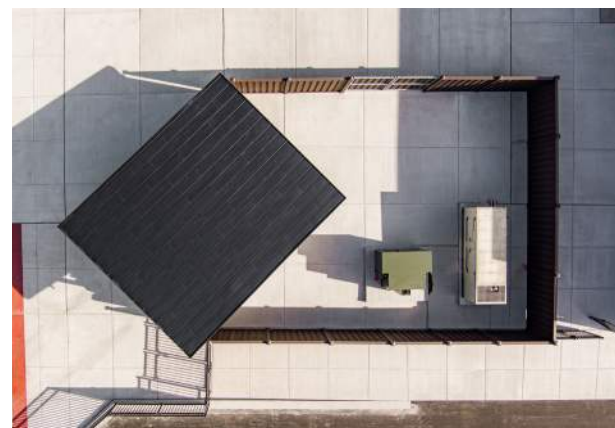


WOODGRAIN SURFACE 2-SIDED



ROOFTOP SOLUTIONS

Covrit® Roof Tops are engineered to excel in any weather. Its innovative design seamlessly allows rain, snow, and wind to pass through, ensuring the integrity of your rooftop and access to your dumpster enclosures. Crafted from robust ABS and extruded aluminum, it withstands the harshest weather elements while maintaining its visual allure.



Westbrook School
Glenview, IL

ELEGANT. DURABLE. DISTINCTIVE.

ToughGate™ by CityScapes® offers expertly crafted gates and doors built to your specifications, budget and job site demands. We use only professional grade materials for years of maintenance free operation.

For stunning good looks, amazing longevity, and extraordinary first impressions, choose ToughGate™.

- **MAINTENANCE FREE MATERIALS**
- **SHIPPED PRE-ASSEMBLED FOR FAST INSTALLATION**
- **WIDE VARIETY OF DESIGN OPTIONS**



ToughGate™

ToughGate's™ innovative design makes field assembly fast and easy. All of our gates are shipped pre-assembled directly to your project site, accompanied by all required installation hardware. Our complete installation guides provide a clearly-defined process from start to finish.

Gates are available in heights of up to 14 ft* and widths of up to 20 ft** to accommodate almost any opening dimension.

* Maximum height determined by infill material and style selected.

** Contact a CityScapes® representative for details on our newest MegaGate options. Certain Height x Width limitations apply.



DOOR HANDLES

All ToughGate™ and Covrit® handles and hardware are powder coated and color-matched to the coordinating gate frame for superior aesthetics.



Bridge



Modern



Classic

MODERN LATCH

Our color matched, lockable latches are designed for years of maintenance free use.



Modern

CUSTOM DESIGNS

Don't see a style or color that fits our plan? No problem. We can color match many of our gate options or allow you to create a fully custom design. Print your image directly onto the gate or laser cut an intricate design into your gate. Have another idea? Let us know. We love a challenge.

PVC PLANK INFILL SERIES



Madison



Mission



Redondo



Augusta



Muir Woods



Sequoia



Ventilated Plankwall



PlankArt™

1-INCH PVC PLANK INFILL COLOR OPTIONS

Textured Woodgrain Surface On One Side Only



Brownstone



Kona



Slate Gray



Coastline



English Walnut



Dark Hickory



Weathered Teak



French White Oak

Textured Woodgrain Surface On Both Sides



Ashwood



Cedar



Sequoia



Slate

ENGINEERED WOOD INFILL SERIES SPECS

- Woodgrain surface 2 sided planks are 1" thick 100% cellular PVC
- Woodgrain surface 1 sided planks are 1" thick composite LLDPE

MILLED PVC INFILL SERIES



Potomac (PVC)



Flagstaff (PVC)

ALL GATES
- DUMPSTER ENCLOSURE GATES

ACRYLICAP® ABS INFILL SERIES SPECS

- Acrylicap® uses a thermoformed .187 acrylic-capped ABS for UV protection

METAL INFILL SERIES



7.2 Rib



Planar



Perforated



Perforated 7.2 Rib



Bahama Shutter



True Louver



Custom Graphic

METAL SERIES SPECS

- Structural material thickness varies depending on infill choice
- Typical 7.2 Rib Metal Panels - .040", .050" Precoated aluminum
- Typical Perforated Metal Panels - .063" Aluminum, 1/8" holes, 1/4" staggered centers, 23% open area

For current color availability for metal wall styles, contact a CityScapes® representative.

SLAT WALL INFILL SERIES



4-Inch Slat Wall (Mission Style)



4-Inch Slat Wall (Madison Style)



6-Inch Slat Wall (Mission Style)



6-Inch Slat Wall (Madison Style)

SLAT SERIES SPECS

- Powder coated aluminum slats
- 1"x 4" - .080" Wall thickness
- 1"x 6" - .100" Wall thickness
- 6063 T6 Aluminum
- 4000 Series powder coated

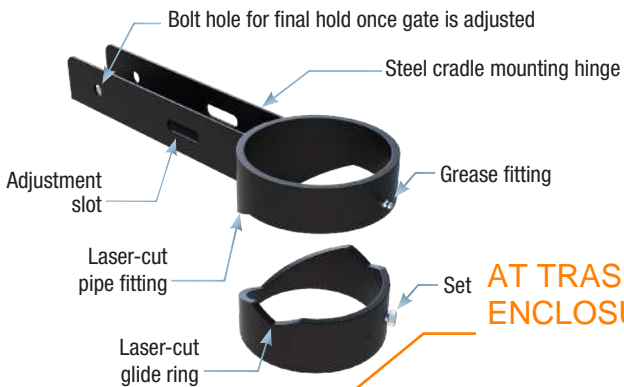
For current color availability for slat wall styles, contact a CityScapes® representative.

CRADLE HINGE OPTIONS - New and Retrofitted Installations

Choose from our fully adjustable hinge options. We recommend installation using our hold-open pipe hinge which offers a convenient and enhanced safety feature to “hold open” your gate; reducing injuries as well as damage to your property. Alternative hinge options to retrofit to your existing post or wall are shown below.

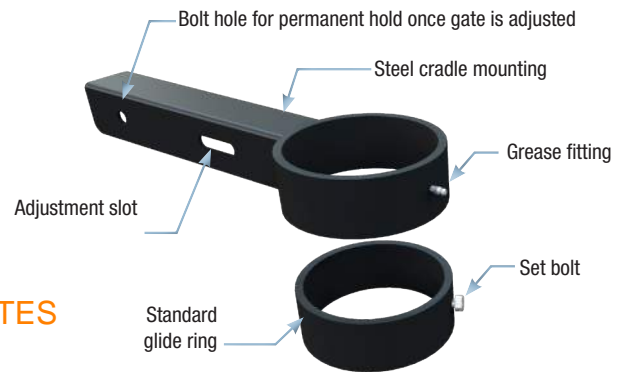
HOLD-OPEN PIPE HINGE

- Pre-welded steel construction
- Laser-cut rings nest and work together to provide a 100° hold-open gate position. Gate will automatically close prior to 100°.
- Adjustment slot in cradle to help level door on pipe.
- Grease fitting included
- Powder coated to match frame



ADJUSTABLE PIPE HINGE

- Pre-welded steel construction
- Adjustment slot in cradle to help level door on pipe.
- Grease fittings included
- Powder coated to match frame



BARREL HINGE

(retrofit for square post or wall mount)

- Set bolts in post included for setting gate height off grade.
- Pre-welded steel gate frame saddle to barrel hinge. Barrel hinge leaf side requires field welding to structure or can be made to bolt onto structure after engineering review.
- Powder coated to match gate frame
- Steel or Aluminum construction available (Material used is determined by weight)

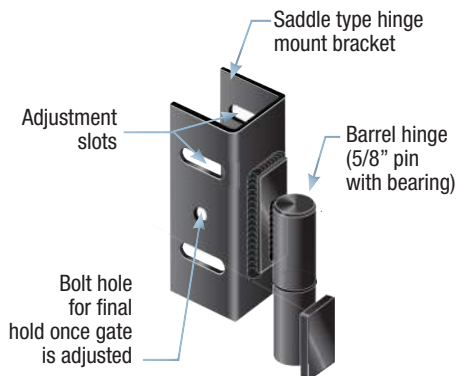
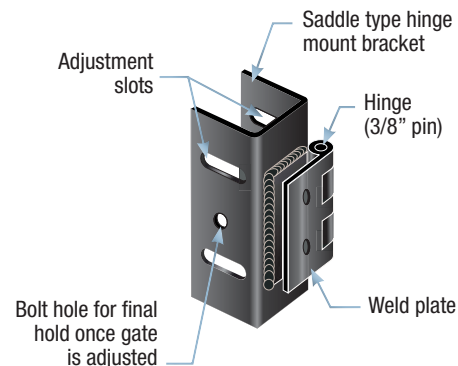


PLATE HINGE

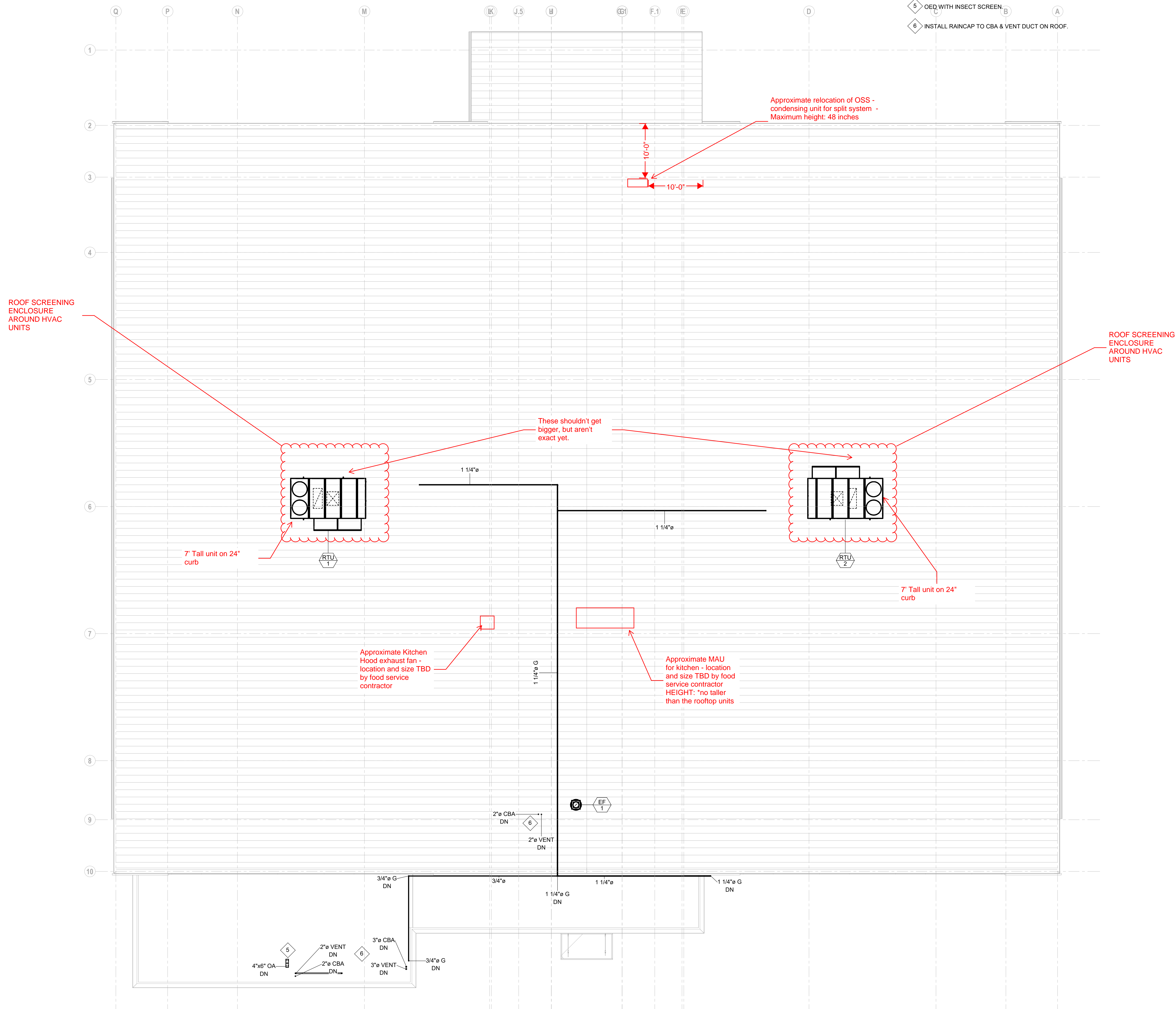
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PRELIMINARY

- KEY NOTES**
- 1 34" DOOR UNDERCUT BY G.C.
 - 2 INSTALL RETURN GRILLE 2' AFF.
 - 3 ROUTE CONDENSATE TO NEAREST HUB DRAIN. COORDINATE WITH P.C.
 - 4 INSTALL OA WITH BACKDRAFT & BALANCING DAMPER. TERMINATE WITH WEATHERHOOD (SIDEWALL) OR GOOSENECK (ROOF).
 - 5 OED WITH INSECT SCREEN.
 - 6 INSTALL RAINCAP TO CBA & VENT DUCT ON ROOF.



1 Roof
1/8" = 1'-0"



6450 Pederson Crossing
Deforest, WI 53532
Phone: (608)249-0481 Fax: (608)249-7380

APPROVAL SEAL

Project Number
2430133

BAUER BUILDERS
SPORTS COMPLEX

Root HVAC

[illegible]

Date	Issue Date
Drawn By	Author
Checked By	Checker

M103

Scale	As indicated
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