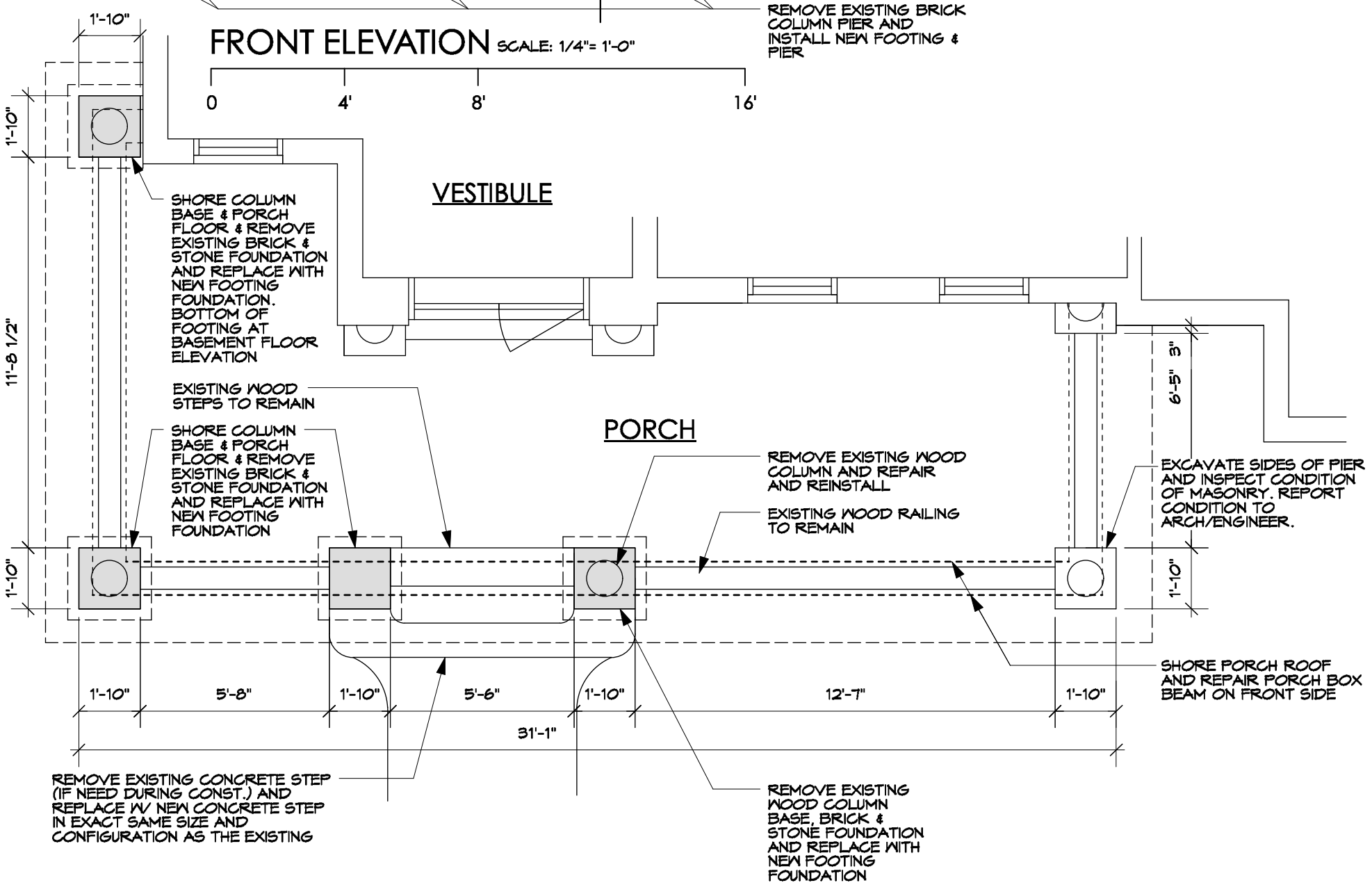
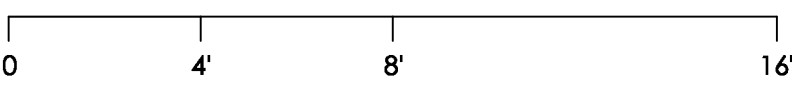
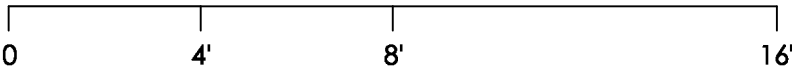


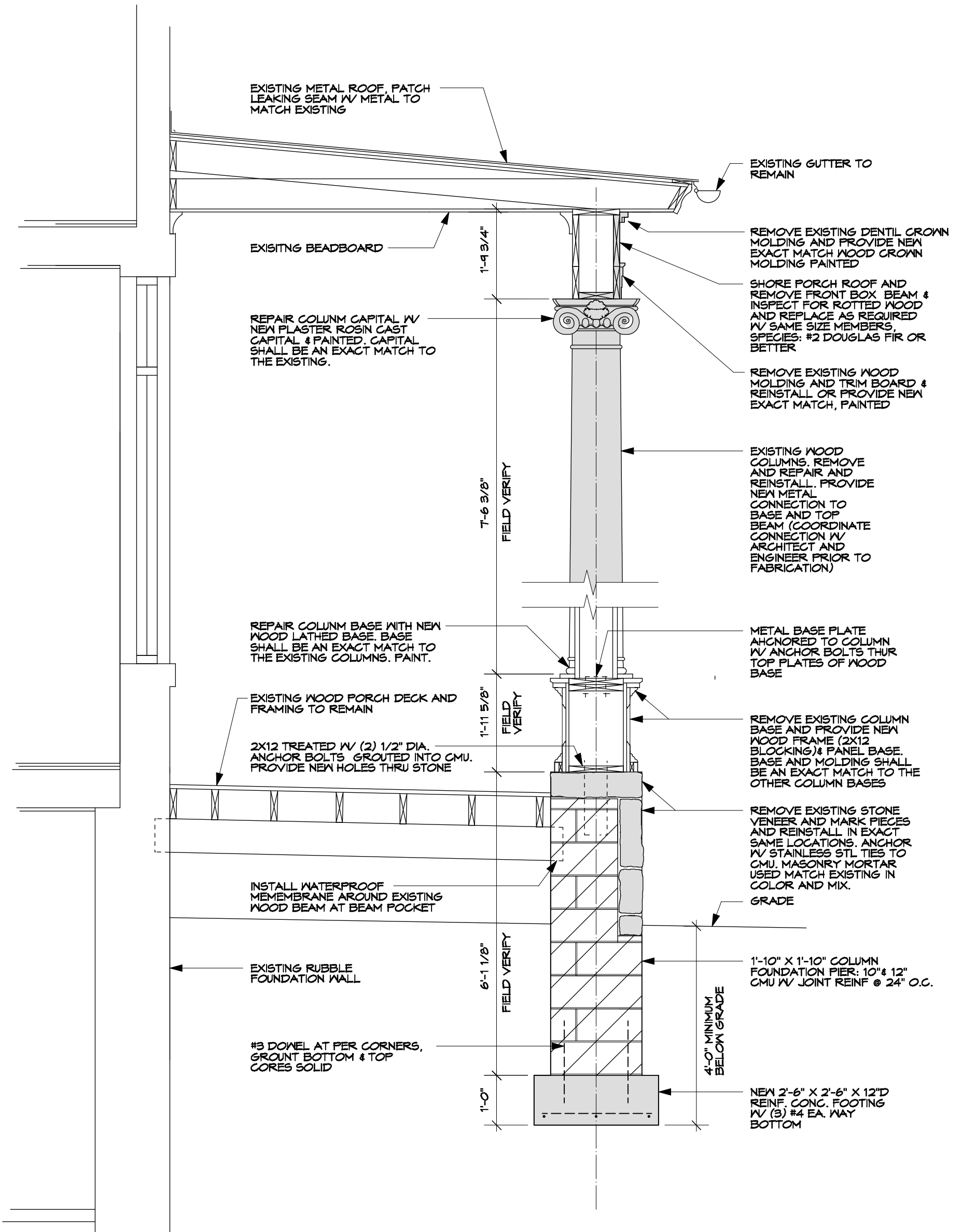
**FRONT ELEVATION** SCALE: 1/4" = 1'-0"



**1ST FLOOR PLAN** SCALE: 1/4" = 1'-0"



REV. 5/15/19  
4/19/19



# A FRONT PORCH COLUMN

SCALE: 1/2" = 1'-0"

GENERAL NOTE: ALL NEW MOLDINGS SHALL BE EXACT MATCH TO THE EXISTING. IF NEEDED NEW CUSTOM ROUTER BITS SHALL BE MADE TO PRODUCE MATERIALS.

REV. 5/15/19  
4/19/19



# Restoration Proposal Form

## OWNER INFORMATION

Name	Central Properties
Address	121 Langdon St.
City, State ZIP	Madison, WI 53711
Phone	(608)-255-1767
Email	
Project name	Historic Suhr Residence

## CONTRACTOR INFORMATION

Company	Knock Out Building Restoration LLC.
Name	Ryan Jones
Address	161 Bischoff St.
City, State ZIP	Fond du Lac, WI 54935
Phone	(920)-296-7427
Email	<a href="mailto:ryantajones@gmail.com">ryantajones@gmail.com</a>

## SCOPE OF WORK

Using Aerial Lift- Remove brick samples to be submitted to closest match for approval from Madison Landmarks Commission. Hand Chisel all cracked and deteriorated mortar joints. Lightly wash building to remove any dust and debris in mortar joints. Tuckpoint all mortar joints with color matching mortar. Mortar will be tested to determine Type as per Landmarks Commission. Inspect and caulk all failing caulk joints with Polyurethane Sealant. Remove any failing and deteriorated bricks from chimney and re-lay with matching brick up to 100 bricks. Apply Waterproofing Sealer to all brick and block work using product Seal Krete.

Repair and Relay masonry piers as per notice below. Masonry piers will be measured and documented. Before removal. The utmost care will be conducted to preserve the stones. Most likely to separate the stones a company that specializes in exact and precision masonry cutting will be brought in to separate the stones.

All Masonry Completed will be to Requirements of City of Madisons Official Notice CB2016-333-13997

### *Item*

5. 27.05(2)(g)2

11. 27.05(2)(g)

## **NOT INCLUDED**

N/A

## **COMPANY PROPOSAL**

Scope of Work to be completed at a cost of \$34,680. 1<sup>st</sup> payment of \$11,560 due upon signing contract. 2<sup>nd</sup> payment of \$11,560 due upon starting project. 3<sup>rd</sup> and final payment of \$11,560 due upon finishing project. Check can be made payable to Knockout Building Restoration. Upon receiving 1<sup>st</sup> payment and signed contract I will retrieve brick samples for Landmark Commission Approval and mortar testing. If there are any unforeseen circumstances that will be more then total cost of \$34,680, Written permission will be required. Items that could change total cost could be but not limited to, complete rebuild of chimneys and replacement of upper Flues and/or replacement of any of the front pier stones or bringing in a company that specializes in precision cutting. If anything shall fail or any shrink cracks appear, repair work will be done at no charge. A 30 day check of the work done will be conducted. Work guaranteed for 5 years.

Ryan Jones - Owner  
\_\_\_\_\_  
Submitted by (Company Representative)

05-12-2019  
\_\_\_\_\_  
Date

## **OWNER ACCEPTANCE**

\_\_\_\_\_  
Submitted by (home owner or authorized representative)

\_\_\_\_\_  
Date