APPLICATION FOR
URBAN DESIGN COMMISSION
REVIEW AND APPROVAL

AGENDA ITEM # _____
Project # _____
Legistar # 31499

DATE SUBMITTED: 12/04/2013

UDC MEETING DATE: 1-8-14

Action Requested
___ Informational Presentation
X Initial Approval and/or Recommendation
X Final Approval and/or Recommendation

PLEASE PRINT!

PROJECT ADDRESS: 2502 Jeffy Trail

ALDERMANIC DISTRICT: District 1 - Lisa Subeck

OWNER/DEVELOPER (Partners and/or Principals)
NGM, LLC - Attn: Dennis Grosse
7507 Hubbard Avenue
Middleton, WI 53562

ARCHITECT/DESIGNER/OR AGENT:
Vierbicher Associates, Inc - Attn: Tim Schleeper
999 Fourier Drive, Suite 201
Madison, WI 53717

CONTACT PERSON: Tim Schleeper, Vierbicher Associates, Inc.
Address: 999 Fourier Drive, Suite 201
Madison, WI 53717
Phone: 608.821.3959
Fax: 608.826.0530
E-mail address: tsch@vierbicher.com

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TYPE OF PROJECT:
(See Section A for:)
X Planned Unit Development (PUD) Maj. Alt. to CUP
___ General Development Plan (GDP)
X Specific Implementation Plan (SIP)
___ Planned Community Development (PCD)
___ General Development Plan (GDP)
___ Specific Implementation Plan (SIP)
___ Planned Residential Development (PRD)
___ New Construction or Exterior Remodeling in an Urban Design District * (A public hearing is required as well as a fee)
___ School, Public Building or Space (Fee may be required)
___ New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 40,000 Sq. Ft.
___ Planned Commercial Site

(See Section B for:)
___ New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)
___ R.P.S.M. Parking Variance (Fee required)

(See Section D for:)
___ Comprehensive Design Review* (Fee required)
___ Street Graphics Variance* (Fee required)
___ Other _____

*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)

Where fees are required (as noted above) they apply with the first submittal for either initial or final approval of a project.

December 4, 2013

Mr. Matt Tucker
Zoning Administrator
City of Madison
215 Martin Luther King Jr. Blvd.
Madison, WI 53701-2985

Re: Mill Creek Estates Condominiums – Revised Unit Mixture
Major Alteration to Existing Conditional Use Permit

Dear Mr. Tucker:

This letter of intent accompanies revised plans for a major alteration to the Conditional Use Permit (CUP) for Mill Creek Estates Condominiums, located at 2502 Jeffy Trail in the Hawk's Creek subdivision. This 5.3-acre parcel is currently zoned as a Planned Residential Development (SR-V2) and received a conditional use permit in 2007 for construction of 30 dwelling units.

Plans and a Land Use Application for this project were submitted for review on July 31, 2013. Since that time there has been a change in the ownership group and a further reduction in density for the 'middle' units within the development (three 2-units are being replaced with 4 single units). In addition, Units #6 and #7 have been issued building permits and are being constructed per the approved (2007) plans. Otherwise the plans are substantially the same as those submitted in July.

As we originally indicated in our submittal, changes in the housing market have required us to revisit the site plan for this parcel and re-evaluate the types and density of housing units. The original site plan included a variety of two and four unit building types with the bulk of the site consisting of four unit buildings. Since the approval of the original CUP, four structures have been constructed on site including one 4-unit building in the northeastern corner of the site, and three 2-unit buildings to the south of Mill Creek Drive.

The proposed amendments to the existing CUP include revising the unit type and density on the site. The approved CUP includes five duplexes, (three of which have already been constructed) and four four-unit buildings (one of which has already been constructed). In this amended application, the remaining two-unit buildings will be retained, but the four-unit buildings will be replaced with six one-unit buildings. These amendments adjust the original density from 30 units (5.6 dwelling units/acre) to 26 units (4.9 dwelling units/acre). The primary infrastructure of the site remains the same as the original CUP with the new duplex units distributed throughout the site.

The proposed duplexes include three different footprints and layouts and maintain the architectural styling of the existing buildings on the site. New duplex units will include three bedrooms per dwelling unit with private access and attached garages to accommodate two vehicles per unit. The single units will have three bedrooms and a two-car garage. All other amenities and stormwater management features will remain the same but will be adjusted for the new building footprints proposed.

The anticipated development schedule will be a phased approach over a number of years, dictated by what the residential market will absorb. The next phase of the project proposed will be to extend Mill Creek Drive westward from the current terminus near Units 25 and 26. .

If you should have any questions about our application materials, please do not hesitate to contact one of our team members:

Owner/Developer:	Ice Age Development, LLC Contact: Dennis Grosse (608) 836-6896 dlgrosse@keyhomesinc.net
Civil Engineer:	Vierbicher Contact: Timothy Schleeper (608) 821-3959 tsch@vierbicher.com
Architect:	Ferch Architecture Contact: David Ferch (608) 238-6900 david@fercharchitecture.com
Landscape Architect:	Glacier Landscaping Contact: Shawn Campbell (608) 845-5111 Shawn.campbell@glacierlandscapeinc.com

Sincerely,
Ice Age Development, LLC

Dennis Grosse

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MILL CREEK ESTATES CONDOMINIUMS

2ND ADDITION TO HAWK'S CREEK

CITY OF MADISON, WISCONSIN

SHEET NO.	DESCRIPTION
G001	TITLE SHEET
C101	EXISTING CONDITIONS PLAN
C102	SITE PLAN
C103	OVERALL UTILITY PLAN
C201	GRADING AND EROSION CONTROL PLAN
C202	MILL CREEK P&P UTILITY PLAN
C501–C504	CONSTRUCTION DETAILS
C601	OPEN SPACE EXHIBIT
A101–A106	ARCHITECTURAL PLANS/ELEVATIONS
A107	LIGHTING PLAN
L101	LANDSCAPE PLAN

CALL DIGGER'S HOTLINE
1–800–242–8511
TOLL FREE
TELEFAX: 1–800–338–3860
TDC (FOR HEARING IMPAIRED):
1–800–542–2289
WIS. STATUTE 182.0175 (1979)
REQUIRES MINIMUM OF 3 WORKING DAYS
NOTICE BEFORE YOU EXCAVATE.

SITE BENCHMARK

EXISTING HYDRANT
(SEE SHEET C101)
ELEV = 1030.47
(TOP NUT)

THE LOCATION OF EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD ARE APPROXIMATE ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.

CALL DIGGER'S HOTLINE
1–800–242–8511

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Phone: (608) 826-0532 Fax: (608) 826-0530

TITLE SHEET
MILL CREEK ESTATES CONDOMINIUMS
2nd ADDITION TO HAWK'S CREEK
CITY OF MADISON, DANE COUNTY, WISCONSIN

REVISIONS NO.	DATE	REMARKS
1	12-04-13	CITY SUBMITTAL

SCALE: AS SHOWN
DATE: 7-30-13
DRAFTER: ACAR
CHECKED: TSCH
PROJECT NO.: 35107392

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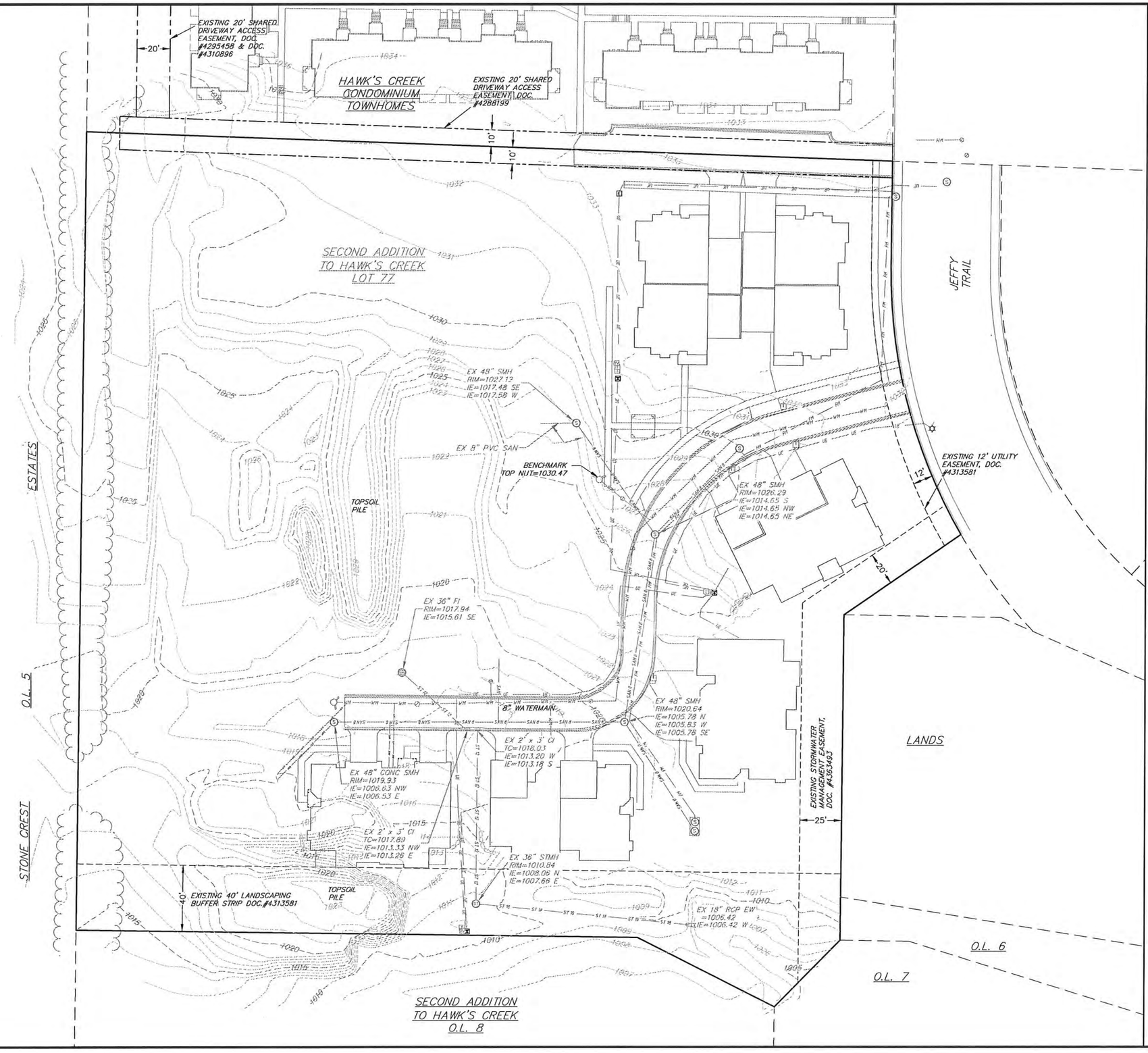

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GRAPHIC SCALE FEET
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SURVEY LEGEND
- FOUND 1 1/4" ø IRON ROD
- FOUND 3/4" ø IRON ROD
- SET P.K. NAIL CONTROL POINT

TOPOGRAPHIC LEGEND
- EXISTING MAILBOX
- EXISTING SIGN
- EXISTING CURB INLET
- EXISTING ENDWALL
- EXISTING FIELD INLET
- EXISTING STORM MANHOLE
- EXISTING SANITARY MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER MAIN VALVE
- EXISTING CURB STOP
- EXISTING GAS VALVE
- EXISTING ELECTRIC PEDESTAL
- EXISTING TRANSFORMER
- EXISTING LIGHT POLE
- EXISTING TV PEDESTAL
- EXISTING TELEPHONE PEDESTAL
- EXISTING RETAINING WALL
- UE — EXISTING UNDERGROUND ELECTRIC LINE
- FM — EXISTING SANITARY FORCE MAIN (SIZE NOTED)
- SAN — EXISTING SANITARY SEWER LINE (SIZE NOTED)
- ST — EXISTING STORM SEWER LINE (SIZE NOTED)
- EXISTING EDGE OF TREES
- WM — EXISTING WATER MAIN (SIZE NOTED)
- 830 — EXISTING MAJOR CONTOUR
- 818 — EXISTING MINOR CONTOUR

TOPO NOTES:
1. Underground utility locations were located by marks on the ground per Diggers Hotline ticket no. 20132606718. Vierbicher makes no warranty of what was and was not marked.
2. This is NOT to be used as a boundary survey.
3. The datum used was perpetuated from previous construction phases and is believed to be NAVD88.

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EXISTING CONDITIONS PLAN

MILL CREEK ESTATES CONDOMINIUMS
2nd ADDITION TO HAWK'S CREEK
CITY OF MADISON, DANE COUNTY, WISCONSIN

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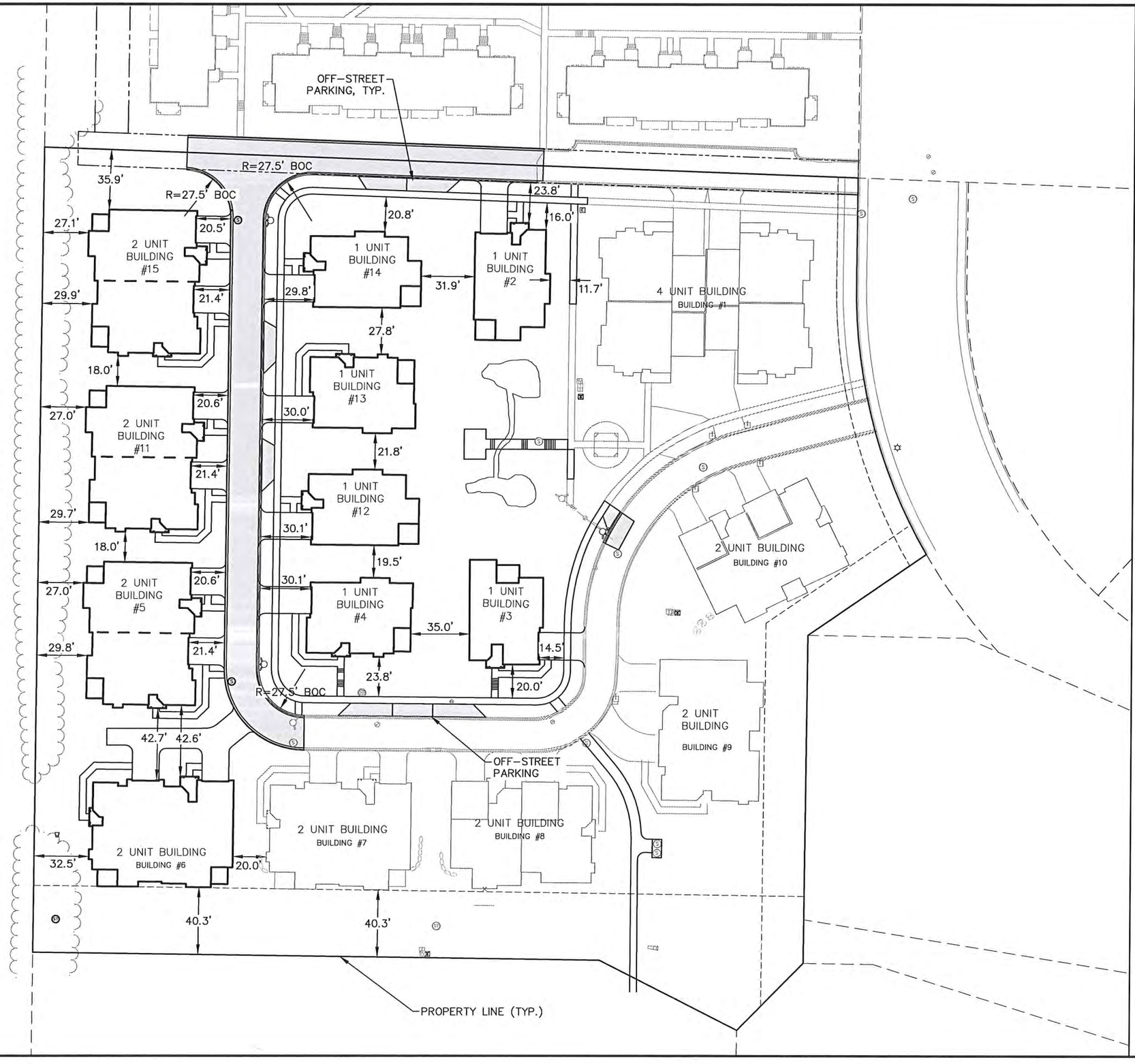

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SITE PLAN

MILL CREEK ESTATES CONDOMINIUMS
2nd ADDITION TO HAWK'S CREEK
CITY OF MADISON, DANE COUNTY, WISCONSIN

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SMH 3: 48" CONC SMH
1+39.1, 6.0' R
RIM=1031.22
IE=1021.00 S

8" PLUG AT 8"x8"x8" TEE

STA 1+39.1
8"x8"x8" TEE (6.0' LT)
8" VALVE (11.5' LT)
HYDRANT (13.5' LT)

2 UNIT BUILDING #15

1 UNIT BUILDING #14

1 UNIT BUILDING #2

4 UNIT BUILDING
BUILDING #1

CORE HOLE IN EXISTING SANITARY MANHOLE FOR NEW 4" SANITARY SEWER TO PROPOSED 1 UNIT BUILDING. IE=1017.58

1 UNIT BUILDING #13

EX 48" SMH
RIM=1027.12
IE=1017.48 SE
IE=1017.58 W

PROPOSED HYDRANT (RELOCATED TO 3' OFF BACK OF CURB) (6"VALVE TO 1' OFF BACK OF CURB)

2 UNIT BUILDING #11

EX 8" PVC SAN

275'-8" PVC SAN @ 3.74%

1 UNIT BUILDING #12

EX 48" SMH
RIM=1026.29
IE=1014.65 S
IE=1014.65 NW
IE=1014.65 NE

2 UNIT BUILDING
BUILDING #10

RELOCATE HYDRANT TO 3' OFF BACK OF CURB. RELOCATED VALVE TO 1' OFF BACK OF CURB. REMOVE/ABANDON WATERMAIN PER CITY OF MADISON REQUIREMENTS

STA 4+04.0
8"x8"x8" TEE (6.0' LT)
6" VALVE (11.5' LT)
HYDRANT (13.5' LT)
RELOCATED FROM 4+58.5 (5.3' LT)

SMH 2: 48" CONC SMH
4+13.3, 6.4' R
RIM=1022.23
IE=1010.60 SE
IE=1010.70 N

2 UNIT BUILDING #5

1 UNIT BUILDING #4

EX 36" FI
RIM=1017.94
IE=1015.61 SE

1 UNIT BUILDING #3

STA 4+14.5
45° BEND (5.4' LT)

ADJUST RIM TO 1019.10

52'-8" PVC SAN @ 7.63%

EX. 8" D.I. WATERMAIN

2 UNIT BUILDING
BUILDING #9

EX 48" SMH
RIM=1020.64
IE=1005.78 N
IE=1005.83 W
IE=1005.78 SE

STA 4+58.5
45° BEND (5.3' LT)

STA 4+58.5
TEMP. HYDRANT (5.3' LT)
RELOCATE TO 4+04.0 (13.5' LT)

EX 2' x 3' CI
TC=1018.03
IE=1013.20 W
IE=1013.18 S

IE=1016.00
18" RCP EW

EX 48" CONC SMH
RIM=1019.93
IE=1006.63 NW
IE=1006.53 E

2 UNIT BUILDING
BUILDING #7

2 UNIT BUILDING
BUILDING #8

EX 2' x 3' CI
TC=1017.89
IE=1013.33 NW
IE=1013.26 E

2 UNIT BUILDING
BUILDING #6

CONNECT TO WEST
IE=1008.26

EX 36" STMH
RIM=1010.84
IE=1008.06 N
IE=1007.66 E
IE=1008.26 W

S16: 36" CONC STMH
R-1550 FRAME
TYPE C LID
RIM=1016.00
IE=1010.63 N
IE=1010.53 E

52'-18" RCP STORM @ 10.38%

227'-18" RCP STORM @ 1.00%

CONFIRM UTILITY INVERT PRIOR TO CONSTRUCTION

EX 18" RCP EW
IE=1006.42 W

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GRAPHIC SCALE FEET
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PROPOSED UTILITY LEGEND

- STORM SEWER PIPE
- STORM SEWER MANHOLE
- STORM SEWER ENDWALL
- STORM SEWER CURB INLET
- STORM SEWER FIELD INLET
- SANITARY SEWER PIPE (GRAVITY)
- SANITARY SEWER MANHOLE
- WATER MAIN
- FIRE HYDRANT
- WATER VALVE
- CURB STOP
- GAS MAIN
- ELECTRIC SERVICE

ABBREVIATIONS

STMH – STORM MANHOLE
FI – FIELD INLET
CI – CURB INLET
CB – CATCH BASIN
EW – ENDWALL
SMH – SANITARY MANHOLE

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OVERALL UTILITY PLAN

MILL CREEK ESTATES CONDOMINIUMS
2nd ADDITION TO HAWK'S CREEK
CITY OF MADISON, DANE COUNTY, WISCONSIN

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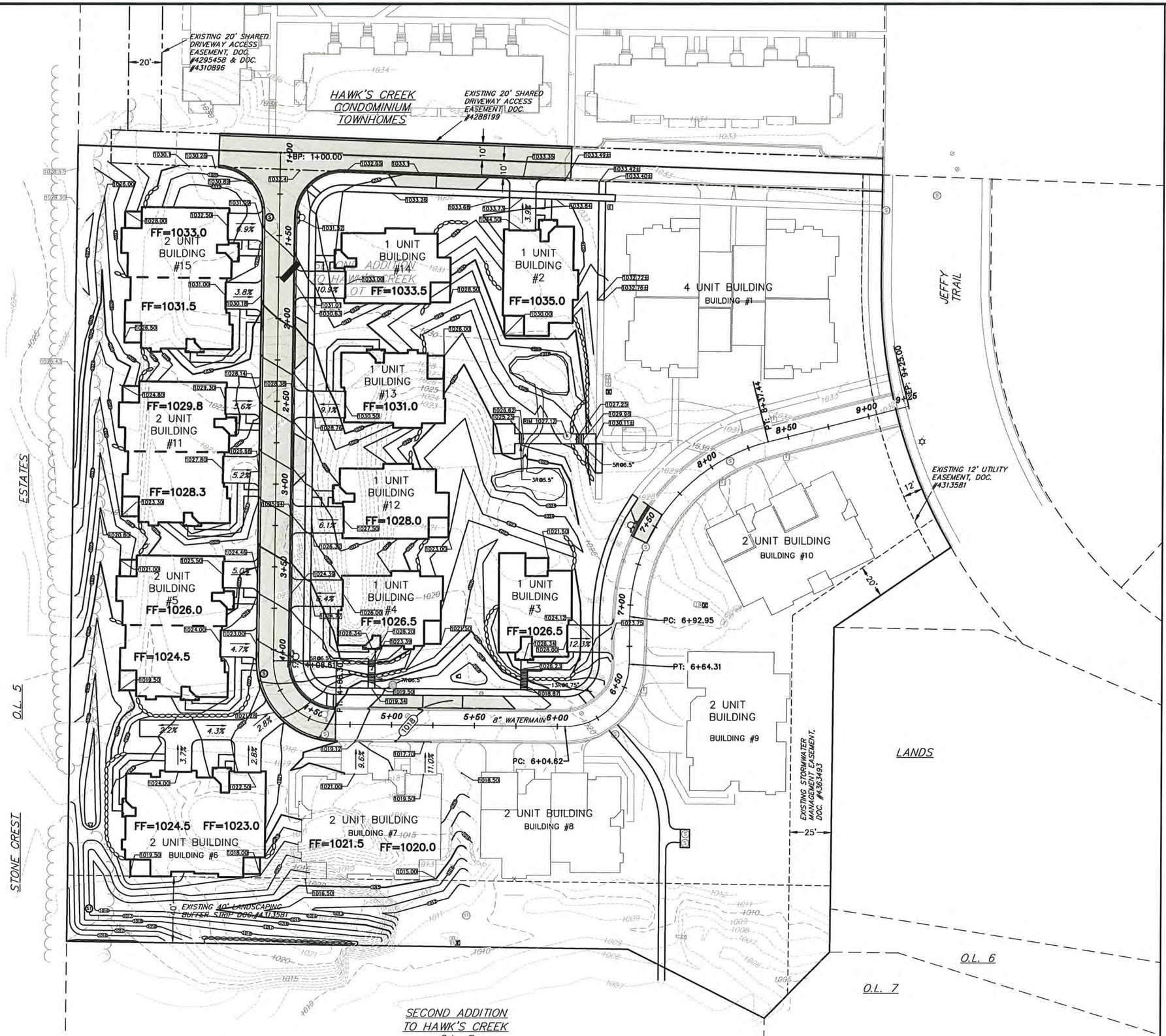

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GRADING LEGEND

- EXISTING MAJOR CONTOURS
- EXISTING MINOR CONTOURS
- PROPOSED MAJOR CONTOURS
- PROPOSED MINOR CONTOURS
- SILT FENCE
- DISTURBED LIMITS
- DRAINAGE DIRECTION
- PROPOSED SLOPE ARROWS
- EXISTING SPOT ELEVATIONS
- PROPOSED SPOT ELEVATIONS
- INLET PROTECTION
- EROSION MAT CLASS_____
- EROSION MAT CLASS_____
- TRACKING PAD

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GRADING & EROSION CONTROL PLAN

MILL CREEK ESTATES CONDOMINIUMS
2nd ADDITION TO HAWK'S CREEK
CITY OF MADISON, DANE COUNTY, WISCONSIN

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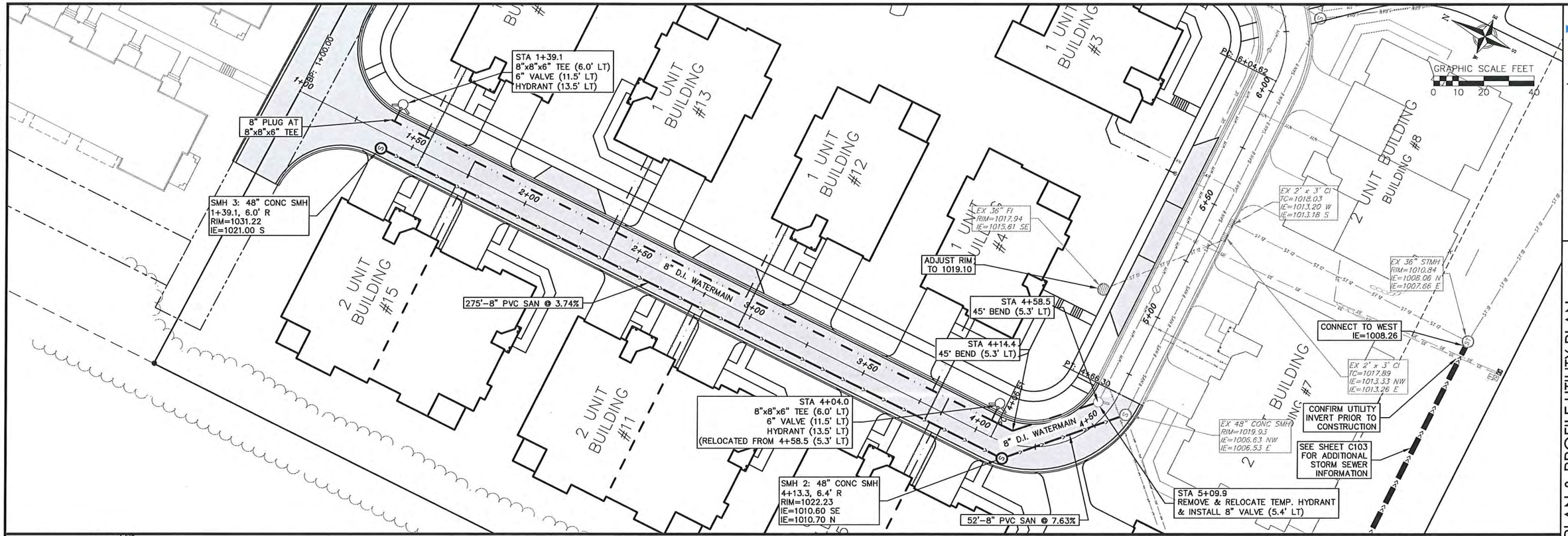

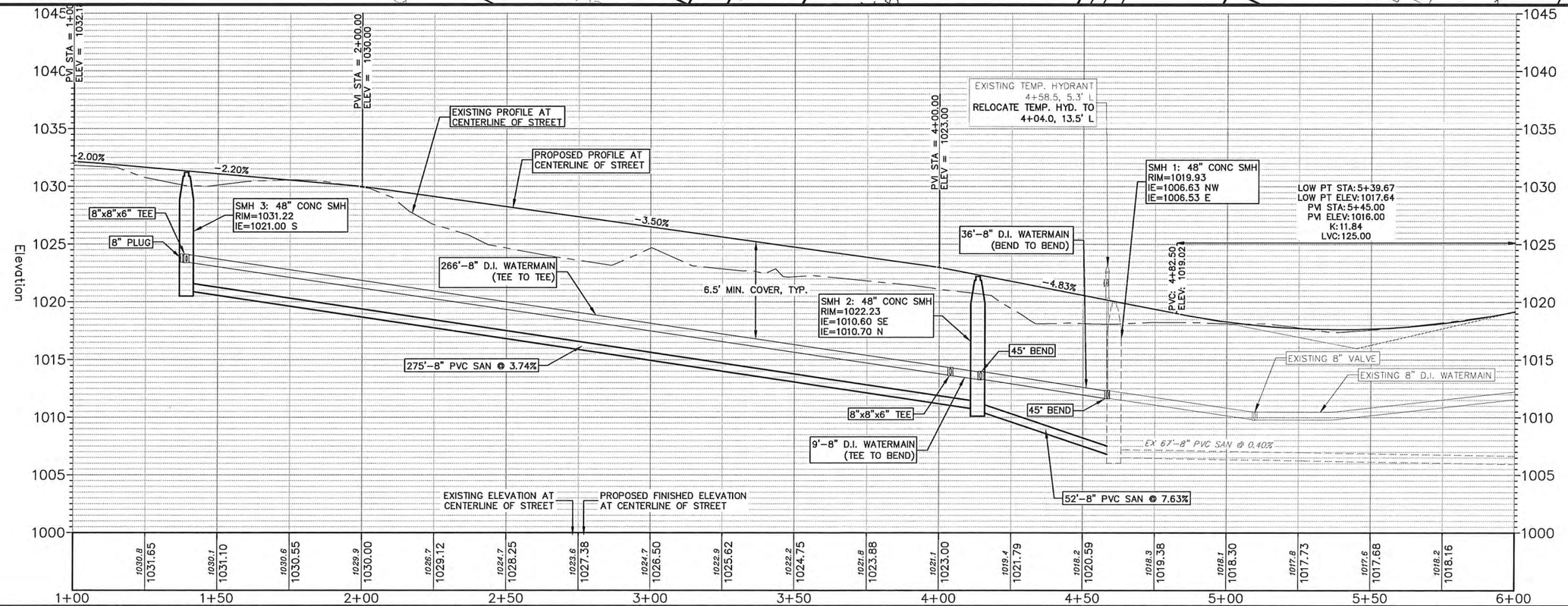

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MILL CREEK PLAN & PROFILE UTILITY PLAN

MILL CREEK ESTATES CONDOMINIUMS
2nd ADDITION TO HAWK'S CREEK
CITY OF MADISON, DANE COUNTY, WISCONSIN

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EROSION CONTROL MEASURES

1. EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.

2. CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (http://dnr.wi.gov/runoff/stormwater/techstds.htm) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.

3. INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, INLET PROTECTION, ETC.) PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.

4. THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.

5. EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.

6. A 3" CLEAR STONE TRACKING PAD SHALL BE INSTALLED AT THE END OF ROAD CONSTRUCTION LIMITS TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WisDNR TECHNICAL STANDARD 1057. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.

7. CHANNELIZED RUNOFF: FROM ADJACENT AREAS PASSING THROUGH THE SITE SHALL BE DIVERTED AROUND DISTURBED AREAS.

8. STABILIZED DISTURBED GROUND: ANY SOIL OR DIRT PILES WHICH WILL REMAIN IN EXISTENCE FOR MORE THAN 7-CONSECUTIVE DAYS, WHETHER TO BE WORKED DURING THAT PERIOD OR NOT, SHALL NOT BE LOCATED WITHIN 25-FEET OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TARPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN-WORKED FOR A PERIOD OF MORE THAN 14-CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS STABILIZED.

9. SITE DE-WATERING: WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROL MEASURES. SEDIMENTATION BASINS SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BE SURROUNDED BY SNOWFENCE OR EQUIVALENT BARRIER AND HAVE SUFFICIENT SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NO MORE THAN 750 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1061 (DE-WATERING).

10. INLET FILTERS ARE TO BE PLACED IN STORMWATER INLET STRUCTURES AS SOON AS THEY ARE INSTALLED. ALL PROJECT AREA STORM INLETS NEED WISCONSIN D.O.T. TYPE D INLET PROTECTION. THE FILTERS SHALL BE MAINTAINED UNTIL THE CITY HAS ACCEPTED THE BINDER COURSE OF ASPHALT.

11. RESTORATION (SEED, FERTILIZE AND MULCH) SHALL BE PER SPECIFICATIONS ON THIS SHEET UNLESS SPECIAL RESTORATION IS CALLED FOR ON THE LANDSCAPE PLAN OR THE DETENTION BASIN DETAIL SHEET.

12. TERRACES SHALL BE RESTORED WITH 6" TOPSOIL, PERMANENT SEED, FERTILIZER AND MULCH. LOTS SHALL BE RESTORED WITH 6" TOPSOIL, TEMPORARY SEED, FERTILIZER AND MULCH.

13. SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.

14. FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, EROSION MAT, SOD) OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEEDED AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.

15. SOIL STABILIZERS SHALL BE APPLIED TO DISTURBED AREAS WITH SLOPES BETWEEN 10% AND 3:1 (DO NOT USE IN CHANNELS). SOIL STABILIZERS SHALL BE TYPE B, PER WISCONSIN D.O.T. P.A.L. (PRODUCT ACCEPTABILITY LIST), OR EQUAL. APPLY AT RATES AND METHODS SPECIFIED PER MANUFACTURER/THIS SHEET. SOIL STABILIZERS SHALL BE RE-APPLIED WHENEVER VEHICLES OR OTHER EQUIPMENT TRACK ON THE AREA.

16. SILT FENCE OR EROSION MAT SHALL BE INSTALLED ALONG THE CONTOURS AT 100 FOOT INTERVALS DOWN THE SLOPE ON THE DISTURBED SLOPES STEEPER THAN 5% AND MORE THAN 100 FEET LONG THAT SHEET FLOW TO THE ROADWAY UNLESS SOIL STABILIZERS ARE USED.

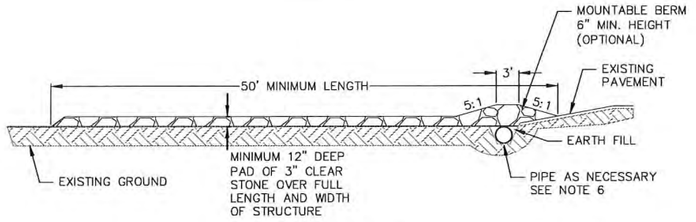
17. SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY. SEE DETAILS.

18. SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE.

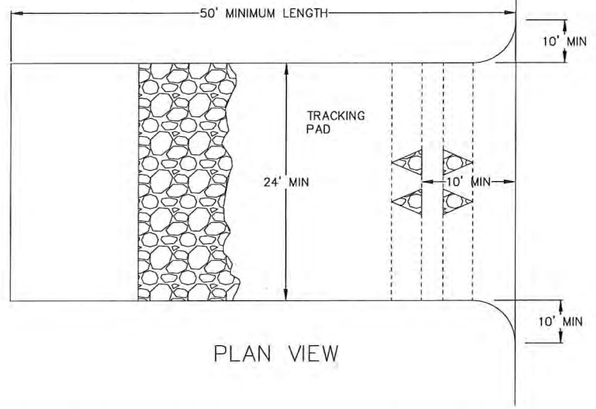
19. ALL CONSTRUCTION ENTRANCES SHALL HAVE TEMPORARY ROAD CLOSED SIGNS THAT WILL BE IN PLACE WHEN THE ENTRANCE IS NOT IN USE AND AT THE END OF EACH DAY.

20. ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY DANE COUNTY LAND CONSERVATION OR PERMITTING MUNICIPALITY.

21. THE CITY, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.



PROFILE VIEW



PLAN VIEW

1. FOLLOW WISCONSIN DNR TECHNICAL STANDARD 1057 FOR FURTHER DETAILS AND INSTALLATION.
2. LENGTH – MINIMUM OF 50'.
3. WIDTH – 24' MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
4. ON SITES WITH A HIGH GROUNDWATER TABLE OR WHERE SATURATED CONDITIONS EXIST, GEOTEXTILE FABRIC SHALL BE PLACED OVER EXISTING GROUND PRIOR TO PLACING STONE. FABRIC SHALL BE WISDOT TYPE-HR GEOTEXTILE FABRIC.
5. STONE – CRUSHED 3" CLEAR STONE SHALL BE PLACED AT LEAST 12" DEEP OVER THE ENTIRE LENGTH AND WIDTH OF ENTRANCE.
6. SURFACE WATER – ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARDS CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE. MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND MINIMUM OF 6" STONE OVER THE PIPE. PIPE SHALL BE SIZED ACCORDING TO THE DRAINAGE REQUIREMENTS. WHEN THE ENTRANCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY A PIPE SHALL NOT BE NECESSARY. THE MINIMUM PIPE DIAMETER SHALL BE 6". CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF SAID PIPE.
7. LOCATION – A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED WHERE CONSTRUCTION TRAFFIC ENTERS AND/OR LEAVES THE CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE TRACKING PAD.

1 / C501 TRACKING PAD
NOT TO SCALE

CONSTRUCTION SEQUENCE:

1. INSTALL SILT FENCE, TRACKING PAD, AND TYPE-D INLET PROTECTION
2. STRIP TOPSOIL AND STOCKPILE
3. ROUGH GRADE STREETS AND LOTS.
4. SEED LOT AREAS AND INSTALL DRIVE-OVER VELOCITY CHECKS (IF NECESSARY)
5. CONSTRUCT UNDERGROUND UTILITIES
6. INSTALL INLET PROTECTION
7. CONSTRUCT ROADS (STONE BASE, CURB & GUTTER, AND SIDEWALK). REMOVE DRIVE-OVER VELOCITY CHECKS WHEN BASE COURSE IS PLACED.
8. RESTORE TERRACES.
9. REMOVE SILT FENCE AND EROSION CONTROL MEASURES AFTER DISTURBED AREAS ARE RESTORED AND VEGETATION IS ESTABLISHED.

SEEDING RATES:

TEMPORARY:
1. USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.
2. USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 15.

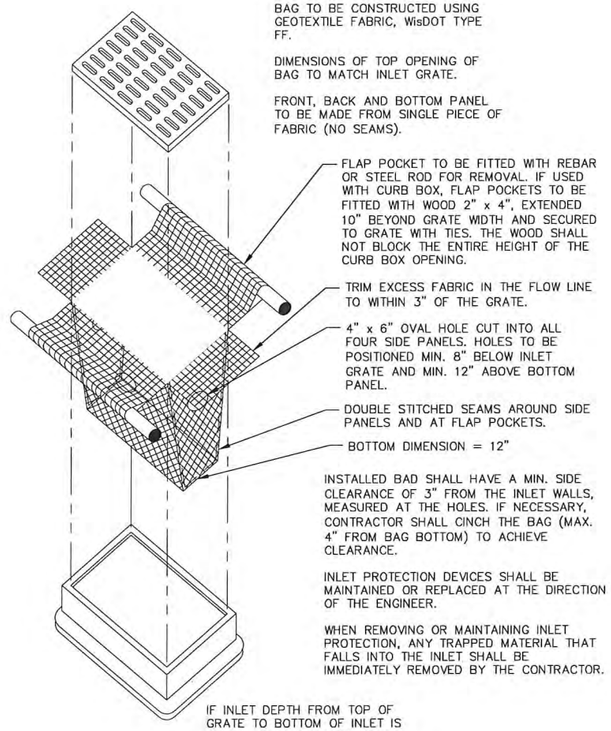
PERMANENT:
1. USE WISCONSIN D.O.T. SEED MIX #40 AT 2 LB./1,000 S.F.

FERTILIZING RATES:

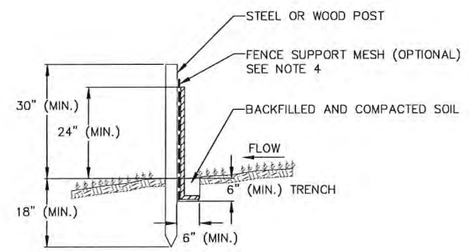
TEMPORARY AND PERMANENT:
USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.

MULCHING RATES:

TEMPORARY AND PERMANENT:
USE ½" TO 1-½" STRAW OR HAY MULCH, CRIMPED PER SECTION 607.3.2.3, OR OTHER RATE AND METHOD PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION



2 / C501 INLET PROTECTION TYPE D
NOT TO SCALE



NOTES:

1. INSTALL SILT FENCE TO FOLLOW THE GROUND CONTOURS AS CLOSELY AS POSSIBLE.
2. CURVE THE SILT FENCE UP THE SLOPE TO PREVENT WATER FROM RUNNING AROUND THE ENDS.
3. POST SPACING WITH FENCE SUPPORT MESH = 10 FT. (MAX.)
   POST SPACING WITHOUT FENCE SUPPORT MESH = 6 FT. (MAX.)
4. SILT FENCE SUPPORT MESH CONSISTS OF 14-GAUGE STEEL WIRE WITH A MESH SPACING OF 6 IN. X 6 IN. OR PREFABRICATED POLYMERIC MESH OF EQUIVALENT STRENGTH

3 / C501 SILT FENCE
NOT TO SCALE

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CONSTRUCTION DETAILS
MILL CREEK ESTATES CONDOMINIUMS
2nd ADDITION TO HAWK'S CREEK
CITY OF MADISON, DANE COUNTY, WISCONSIN

REVISIONS		
NO.	DATE	REMARKS

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1	12-04-13	CITY SUBMITTAL

SCALE: AS SHOWN
DATE: 7-30-13
DRAFTER: ACAR
CHECKED: TSCH
PROJECT NO.: 35107392

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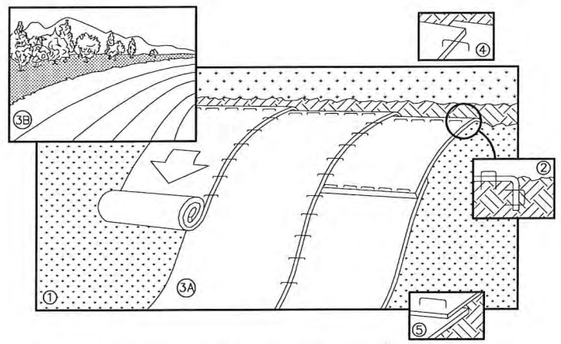
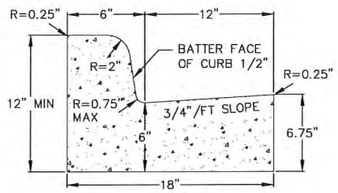


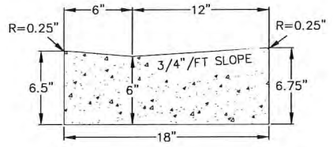
NOTE: REFER TO GENERAL STAPLE PATTERN GUIDE FOR CORRECT STAPLE PATTERN RECOMMENDATIONS FOR SLOPE INSTALLATIONS.

1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF FERTILIZER AND SEED.
   NOTE: WHEN USING CELL-O-SEED, DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP BY 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
3. ROLL THE BLANKETS <A.> DOWN, OR <B.> HORIZONTALLY ACROSS THE SLOPE.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
5. WHEN BLANKETS MUST BE SPLICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 4" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.
6. ALL BLANKETS MUST BE SECURELY FASTENED TO THE SLOPE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS RECOMMENDED BY THE MANUFACTURER.

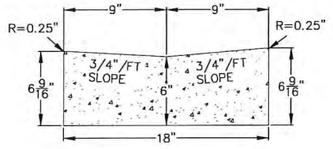
1 C502 EROSION MAT
NOT TO SCALE



STANDARD VERTICAL FACE CURB AND GUTTER CROSS SECTION

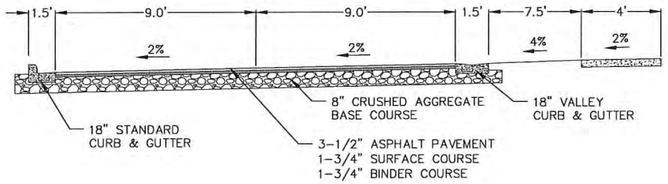


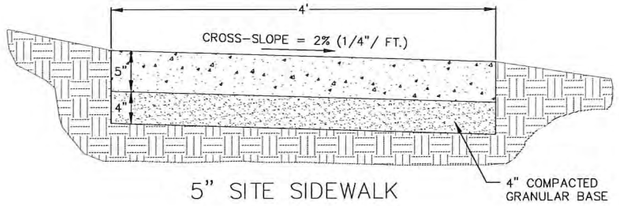
HANDICAP RAMP GUTTER CROSS SECTION



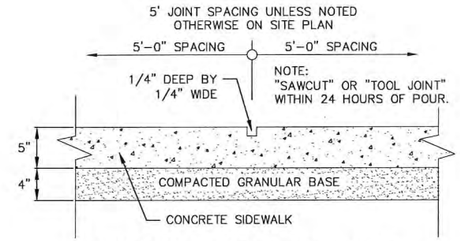
VALLEY/RIBBON CURB & GUTTER CROSS SECTION

2 C502 18" CONCRETE CURB AND GUTTER
NOT TO SCALE

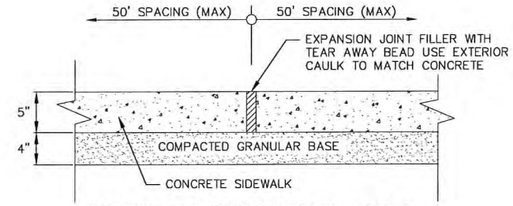




5" SITE SIDEWALK



SIDEWALK CONTROL JOINT



SIDEWALK EXPANSION JOINT

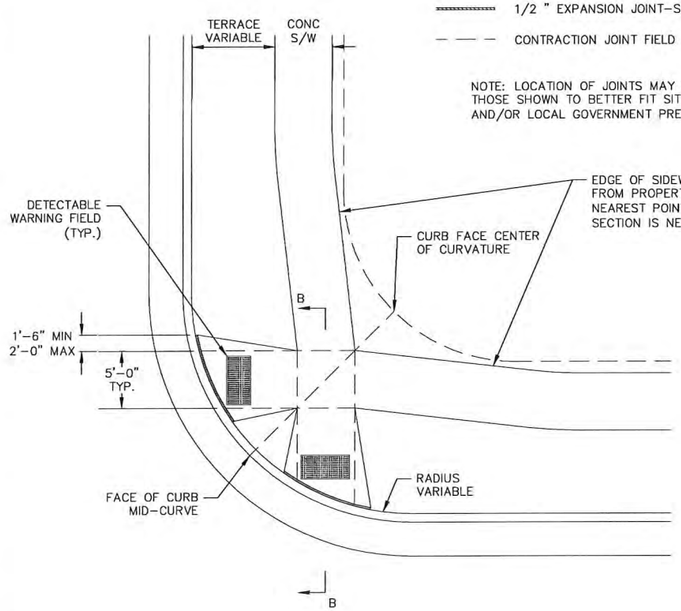
4 C502 5" SIDEWALK
NOT TO SCALE

LEGEND

1/2 " EXPANSION JOINT-SIDEWALK

CONTRACTION JOINT FIELD LOCATED

NOTE: LOCATION OF JOINTS MAY BE VARIED FROM THOSE SHOWN TO BETTER FIT SITE CONDITIONS AND/OR LOCAL GOVERNMENT PREFERENCE.



3 C502 TYPICAL SECTION
NOT TO SCALE

GENERAL NOTES:

DETAILS OF CONSTRUCTION, MATERIALS, AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND THE APPLICABLE SPECIAL PROVISIONS.

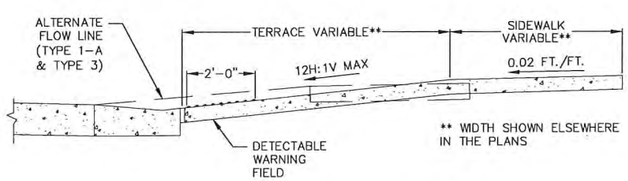
RAMPS SHALL BE BUILT AT 12H:1V OR FLATTER, WHEN NECESSARY. THE SIDEWALK ELEVATION MAY BE LOWERED TO MEET THE HIGH POINT ON THE RAMP.

CURB RAMP DETECTABLE WARNING FIELD MATERIALS AND DEVICES SHALL BE APPROVED BY THE CITY ENGINEER. THE COLOR OF THE DETECTABLE WARNING FIELD SHALL BE SAFETY YELLOW.

SURFACE TEXTURE OF THE RAMP SHALL BE OBTAINED BY COURSE BROOMING TRANSVERSE TO THE SLOPE OF THE RAMP.

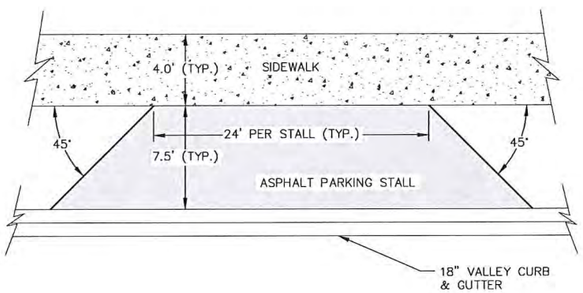
USE TRUNCATED DOME PATTERN AT ALL PEDESTRIAN RAMPS.

ALL PANELS WILL BE EPOXY-COATED METAL. PLASTIC PANELS WILL NOT BE ALLOWED.



SECTION B-B

5 C502 CURB RAMP DETAIL
NOT TO SCALE



6 C502 ASPHALT PARKING STALL DETAIL
NOT TO SCALE

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CONSTRUCTION DETAILS
MILL CREEK ESTATES CONDOMINIUMS
2nd ADDITION TO HAWK'S CREEK
CITY OF MADISON, DANE COUNTY, WISCONSIN

REVISIONS NO.	DATE	REMARKS
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SCALE: AS SHOWN
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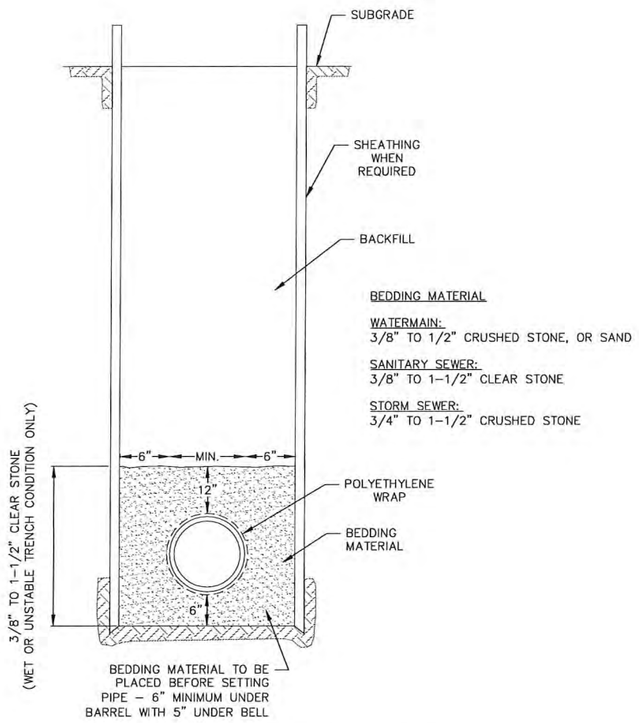
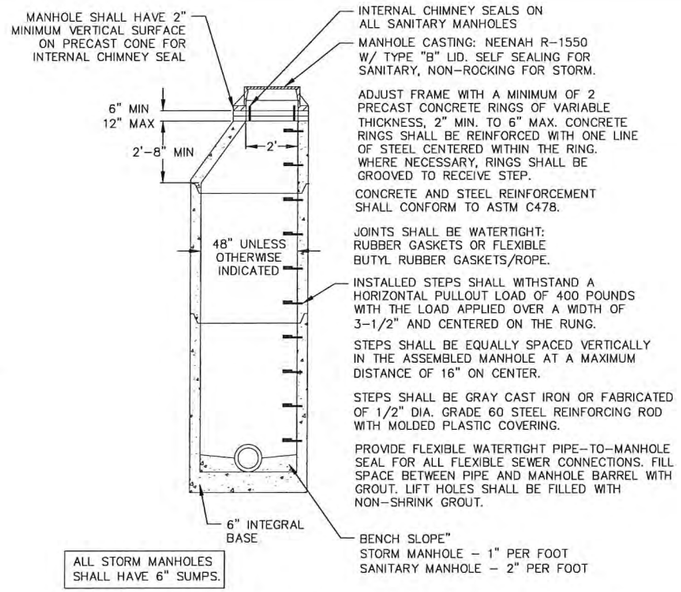
DRAFTER: ACAR
CHECKED: TSCH
PROJECT NO.: 35107392

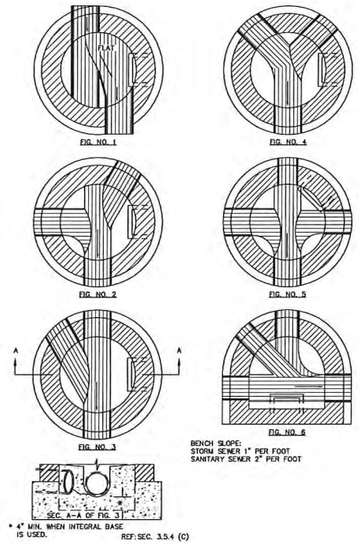
C
502



1 / C503 STANDARD TRENCH SECTION
NOT TO SCALE

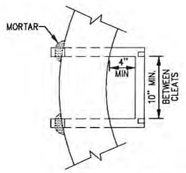


2 / C503 PRECAST CONCRETE MANHOLE
NOT TO SCALE

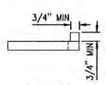


3 / C503 STANDARD MANHOLE INVERTS
NOT TO SCALE

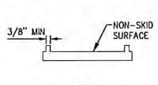
PRECAST MANHOLE



8" BRICK OR 6" BLOCK MANHOLE AND MANHOLE CHIMNEY



SIDE VIEW



FRONT VIEW

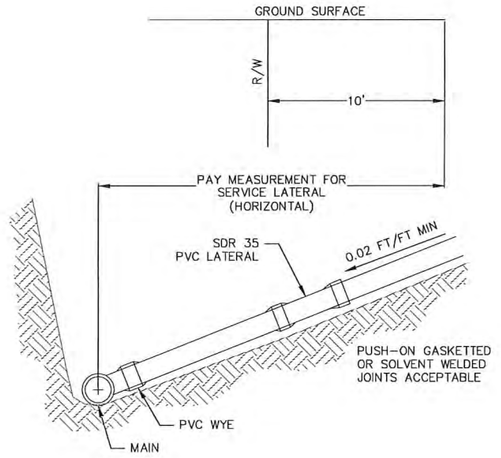
PROVIDE CERTIFIED TEST DATA THAT THE STEPS CAN WITHSTAND AN 800-POUND VERTICAL LOAD WITHOUT MORE THAN 3/8" PERMANENT SET WHEN TESTED IN ACCORDANCE WITH SECTION 10 A.S.T.M. C497.

PROVIDE CERTIFIED TEST DATA THAT THE INSTALLED STEPS CAN WITHSTAND A HORIZONTAL PULLOUT LOAD OF 400 POUNDS WITH THE LOAD APPLIED OVER A WIDTH OF 3-1/2" AND CENTERED ON THE RUNG.

STEPS MUST BE EQUALLY SPACED VERTICALLY IN THE ASSEMBLED MANHOLE AT A MAXIMUM DESIGN DISTANCE OF 16" ON CENTER.

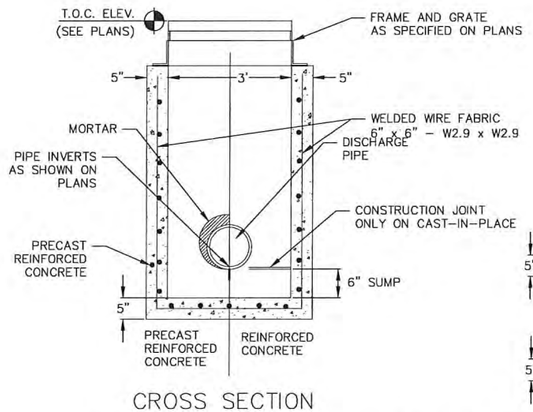
STEPS SHALL BE FABRICATED OF 1/2" DIA. GRADE 60 STEEL REINFORCING ROD WITH MOLDED PLASTIC COVERING.

4 / C503 MANHOLE STEP DETAILS
NOT TO SCALE

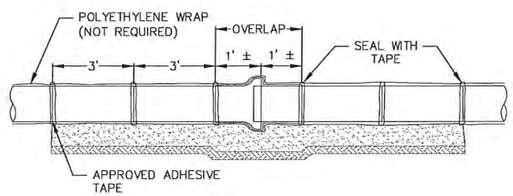


NOTE:
UNLESS OTHERWISE STATED BY THE ENGINEER OR REQUIRED BY THE LOCAL GOVERNING BODY, ALL LATERALS SHALL BE INSTALLED TO A POINT 10 BEYOND THE RIGHT-OF-WAY. CONTRACTOR SHALL BE RESPONSIBLE TO CONFIRM THE LENGTH OF LATERAL REQUIRED FOR INSTALLATION AND THE REQUIRED TERMINATION POINT.

5 / C503 SANITARY SEWER LATERAL
NOT TO SCALE



6 / C503 CURB INLET – TYPE 3, 2' x 3' BASIN
NOT TO SCALE



7 / C503 WATERMAIN TRENCH SECTION (POLYWRAP)
NOT TO SCALE

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CONSTRUCTION DETAILS
MILL CREEK ESTATES CONDOMINIUMS
2nd ADDITION TO HAWK'S CREEK
CITY OF MADISON, DANE COUNTY, WISCONSIN

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PROJECT NO.: 35107392

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503

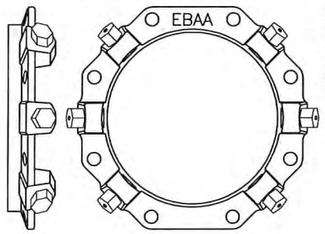
MATERIAL SPECIFICATION

Mechanical joint restraint shall be incorporated into the design of the follower gland. The restraining mechanism shall consist of individually actuated wedges that increase their resistance to pull-out as pressure or external forces increase. The device shall be capable of full mechanical joint deflection during assembly and the flexibility of the joint shall be maintained after burial. The joint restraint ring and its wedging components shall be made of grade 60-42-10 ductile iron conforming to ASTM A536-84. The wedges shall be ductile iron heat treated to a minimum hardness of 370 BHN. Dimensions of the gland shall be such that it can be used with the standardized mechanical joint bell conforming to ANSI/AWWA C111/A21.11 and ANSI/AWWA C153/A21.53 of the latest revision. Torque limiting twist-off nuts shall be used to insure proper actuation of the restraining wedges. The mechanical joint restraint shall be available in the three through forty-eight inch sizes. They shall have a rated working pressures of 350 psi in sizes sixteen inch and smaller and 250 psi in sizes eighteen inch through forty-eight inch. The devices shall be Listed by Underwriters Laboratories up through the twenty-four inch size and Approved by Factory Mutual up through the twelve inch size. The restraint shall be the Series 1100 MEGALUG? restraint as produced by EBAA Iron, Inc. or approved equal.

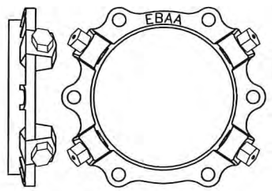
NOTES:

1. MEG-A-LUG (OR EQUAL) RETAINER GLANDS SHALL BE USED FOR ALL MECHANICAL JOINT FITTINGS, INCLUDING BUT NOT LIMITED TO TEES, CROSSES, BENDS, VALVES, SLEEVES, HYDRANTS, AND REDUCERS.

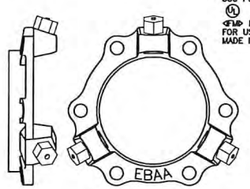
2. ALL PUSH-ON JOINTS WITHIN 25' OF A FITTING SHALL BE RESTRAINED USING MEG-A-LUG RESTRAINT HARNESS FOR DUCTILE IRON PIPE BELLS, SERIES 1700.



EBAA IRON
1110 MEGALUG
350 PSI RATING
UL
FM RATED 175 PSI
FOR USE ON DUCTILE IRON PIPE
MADE IN THE USA



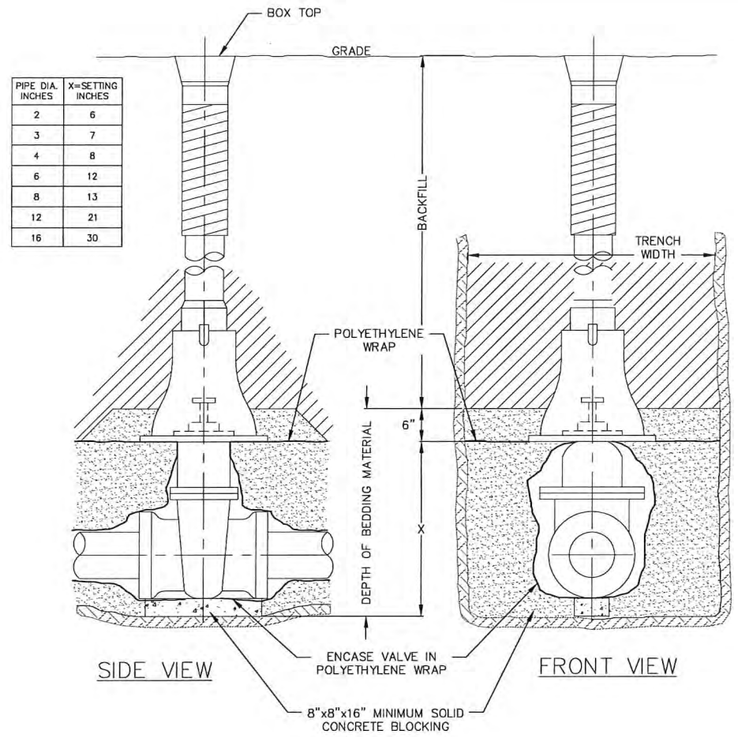
EBAA IRON
1108 MEGALUG
350 PSI RATING
UL
FM RATED 175 PSI
FOR USE ON DUCTILE IRON PIPE
MADE IN THE USA



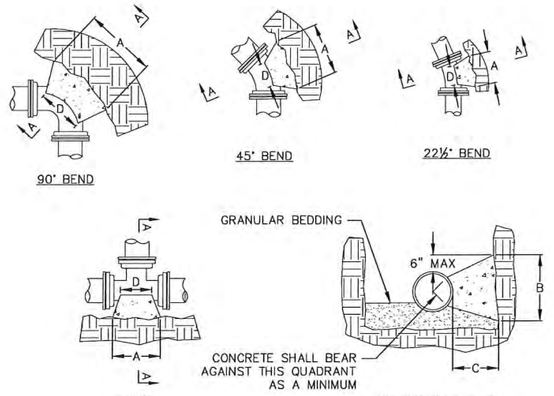
EBAA IRON
1108 MEGALUG
350 PSI RATING
UL
FM RATED 175 PSI
FOR USE ON DUCTILE IRON PIPE
MADE IN THE USA

1 C504 WATERMAIN JOINT RESTRAINT DETAILS
NOT TO SCALE

PIPE DIA. INCHES	X=SETTING INCHES
2	6
3	7
4	8
6	12
8	13
12	21
16	30



2 C504 STANDARD GATE VALVE BOX SETTING
NOT TO SCALE



DIMENSION "D" SHALL BE AS LARGE AS POSSIBLE, BUT THE CONCRETE SHALL NOT INTERFERE WITH THE MECHANICAL JOINTS.

DIMENSION "C" SHALL BE AT LEAST 6 INCHES, AND LARGE ENOUGH TO MAKE THE "Q" ANGLE EQUAL TO OR GREATER THAN 45 DEGREES WITH THE DIMENSION "A" AS SHOWN ON THE TABLE, OR GREATER, AND WITH DIMENSION "D" AS LARGE AS POSSIBLE.

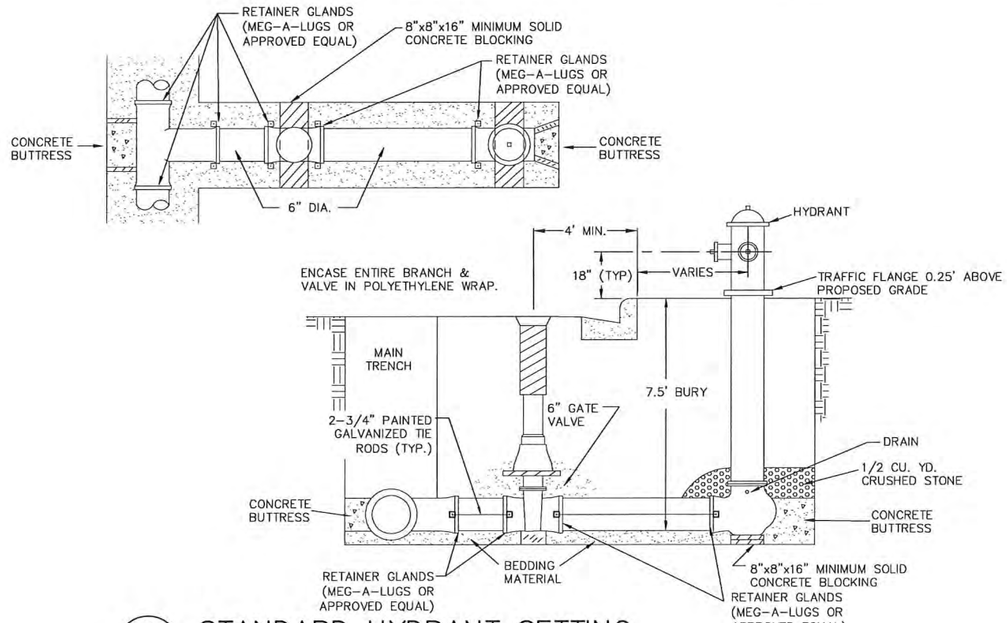
CONCRETE SHALL BE CLASS "CC", SEE SECTION 03301

BUTTRESS DIMENSIONS								
PIPE SIZE	TEES		22.5° BEND		45° BEND		90° BEND	
	A	B	A	B	A	B	A	B
6	1'-3"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-4"	1'-2"
8	1'-6"	1'-4"	1'-0"	1'-0"	1'-4"	1'-2"	1'-10"	1'-6"
10/12	2'-3"	2'-0"	1'-4"	1'-4"	1'-10"	1'-10"	2'-8"	2'-3"
14/16	3'-2"	2'-6"	1'-10"	1'-8"	2'-6"	2'-4"	3'-10"	2'-10"
18/20	4'-0"	3'-0"	2'-4"	2'-0"	3'-3"	2'-10"	5'-0"	3'-4"
22/24	5'-3"	3'-4"	2'-10"	2'-4"	4'-0"	3'-3"	6'-4"	3'-10"
30	6'-3"	4'-3"	3'-6"	3'-0"	5'-4"	3'-10"	8'-0"	4'-8"

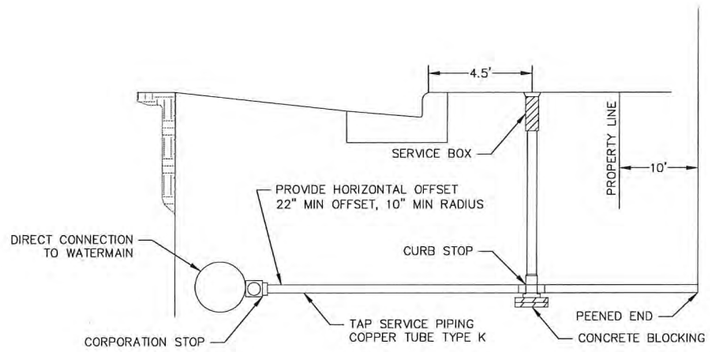
* = FOR TEE THIS WILL BE THE BRANCH PIPE

DIMENSIONS IN THE TABLE ARE BASED ON A WATER PRESSURE OF 150 PSI AND SOIL RESISTANCE OF 2000 LBS/SQ FT

3 C504 BUTTRESS FOR BENDS
NOT TO SCALE



4 C504 STANDARD HYDRANT SETTING
NOT TO SCALE



NOTE:
UNLESS OTHERWISE STATED BY THE ENGINEER OR REQUIRED BY THE LOCAL GOVERNING BODY, ALL LATERALS SHALL BE INSTALLED TO A POINT 10 BEYOND THE RIGHT-OF-WAY. CONTRACTOR SHALL BE RESPONSIBLE TO CONFIRM THE LENGTH OF LATERAL REQUIRED FOR INSTALLATION AND THE REQUIRED TERMINATION POINT.

5 C504 WATER SERVICE
NOT TO SCALE

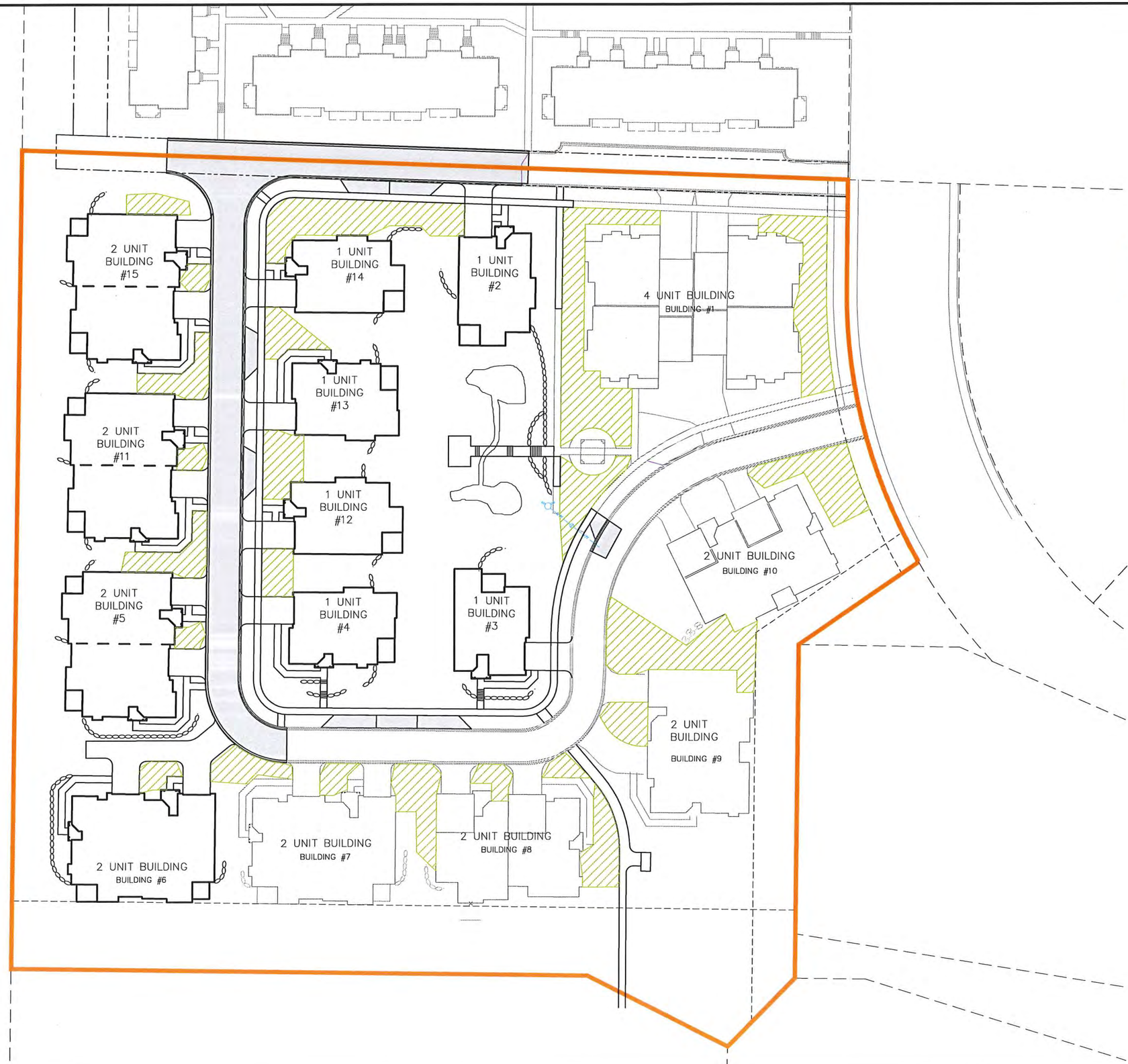
vierbicher
planners | engineers | advisors
REEDSBURG - MADISON - PRAIRIE DU CHIEN
999 Fourier Drive, Suite 201, Madison, WI 53717
Phone: (608) 826-0532 Fax: (608) 826-0530

CONSTRUCTION DETAILS
MILL CREEK ESTATES CONDOMINIUMS
2nd ADDITION TO HAWK'S CREEK
CITY OF MADISON, DANE COUNTY, WISCONSIN

REVISIONS			
NO.	DATE	REMARKS	
1	12-04-13	CITY SUBMITTAL	

SCALE: AS SHOWN
DATE: 7-30-13
DRAFTER: ACAR
CHECKED: TSCH
PROJECT NO.: 35107392

C 504



N
W E
S

GRAPHIC SCALE FEET
0 15 30 60

AREA OF CONDITIONAL USE PLAN = 230,844 SF

PROVIDED

OPEN SPACE AREAS = 21,728 SF (9.4%)

REQUIRED

26 UNITS @ 500 SF/UNIT = 13,000 SF

vierbicher
planners | engineers | advisors
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OPEN SPACE EXHIBIT

MILL CREEK ESTATES CONDOMINIUMS
2nd ADDITION TO HAWK'S CREEK
CITY OF MADISON, DANE COUNTY, WISCONSIN

REVISIONS		
NO.	DATE	REMARKS

REVISIONS		
NO.	DATE	REMARKS
1	12-04-13	CITY SUBMITTAL

SCALE
AS SHOWN

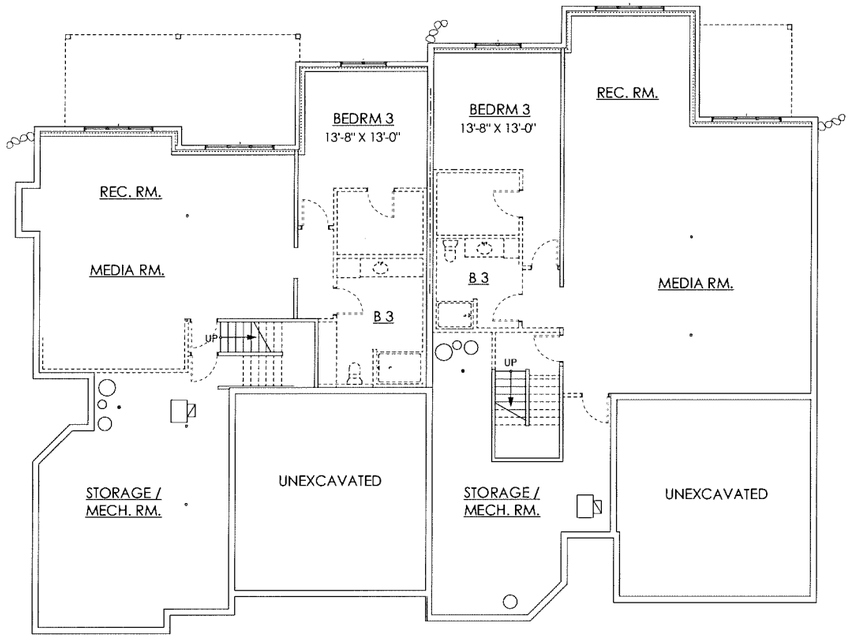
DATE
7-30-13

DRAFTER
ACAR

CHECKED
TSCH

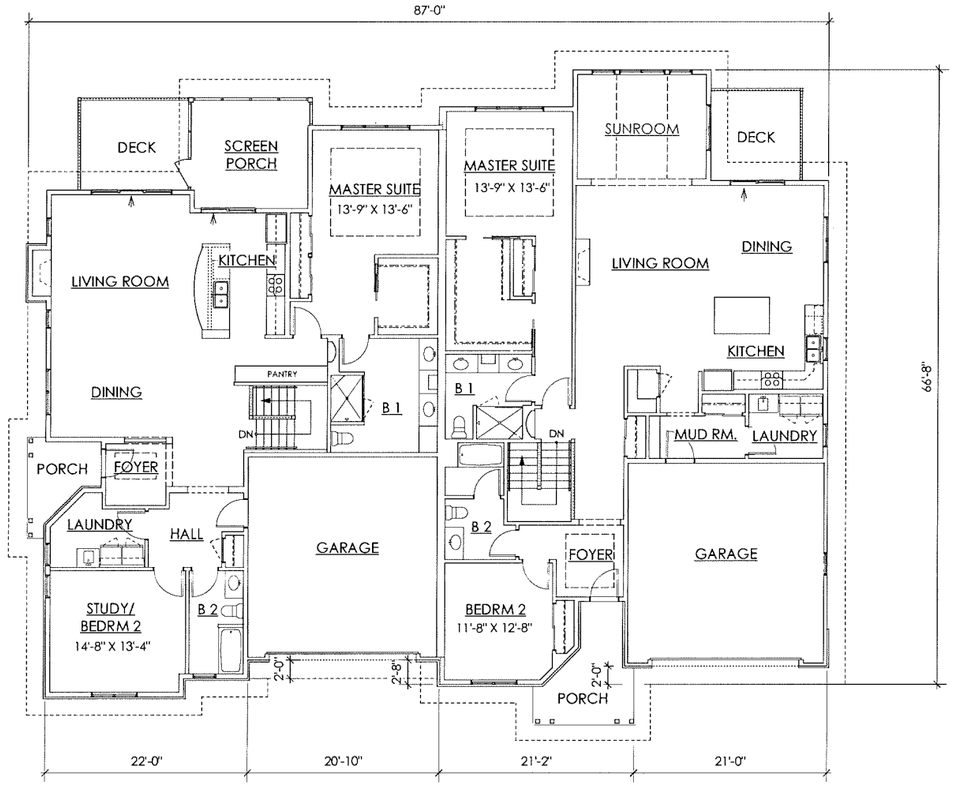
PROJECT NO.
35107392

C
601



LOWER LEVEL PLAN

0 4' 8' 16' 32'



FIRST FLOOR PLAN

0 4' 8' 16' 32'

BUILDING #5, #11, & #15 - FLOOR PLANS

PROJECT

Mill Creek Estates

Condominums

Madison, WI 53719

CONTRACTOR

KEY CONSTRUCTION

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Fax: (608) 836-6890

ARCHITECT

FERCH ARCHITECTURE

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Madison, WI 53711
608-238-6900
david@fercharchitecture.com

No.	Date	Revison

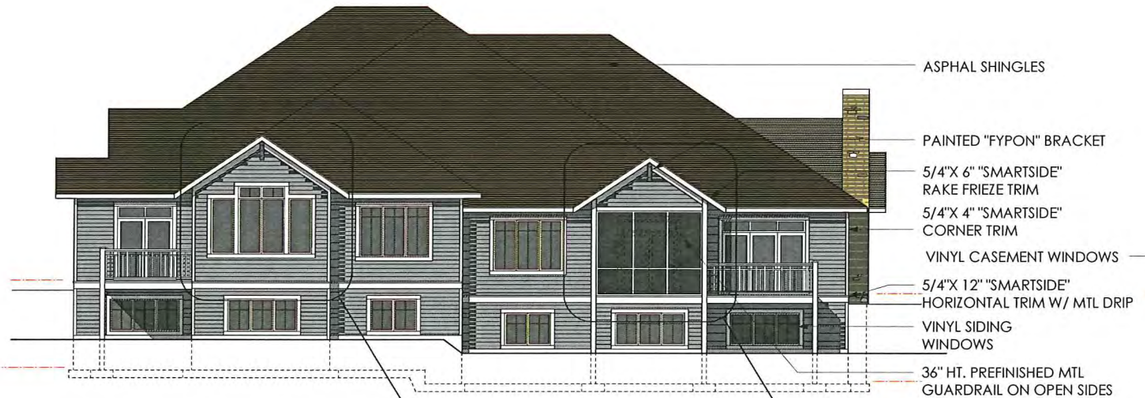
DATE

01119 12/3/13

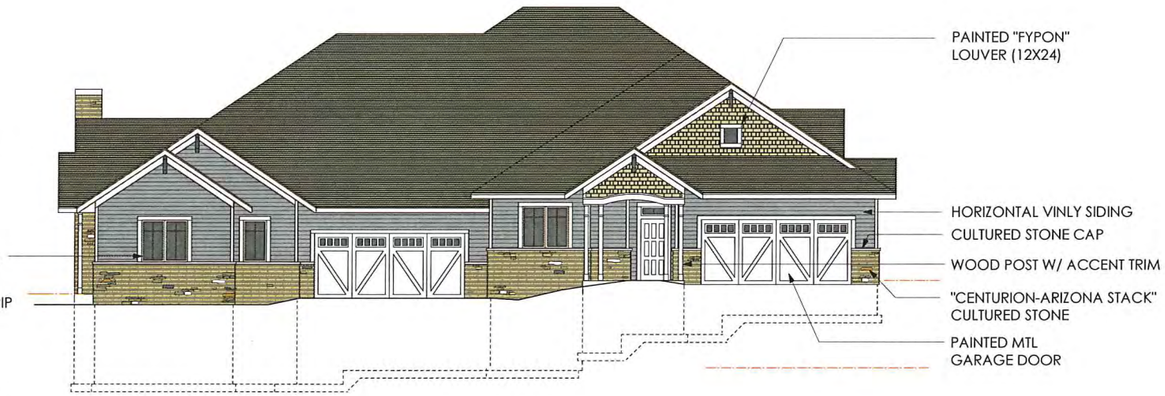
Project No. Date

SHEET NO.

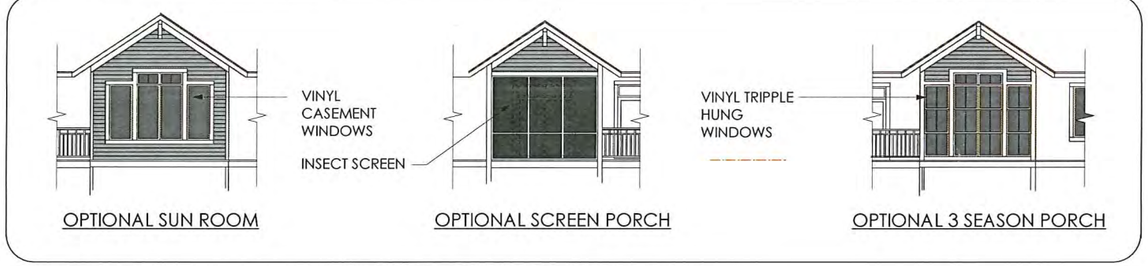
A101



REAR ELEVATION



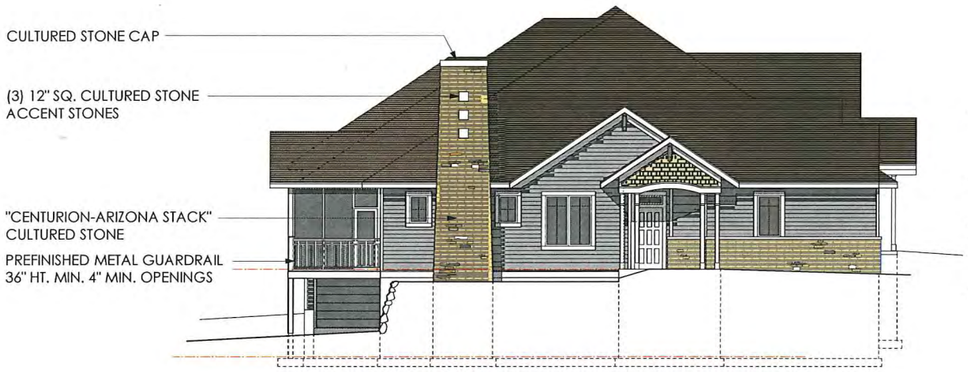
FRONT ELEVATION



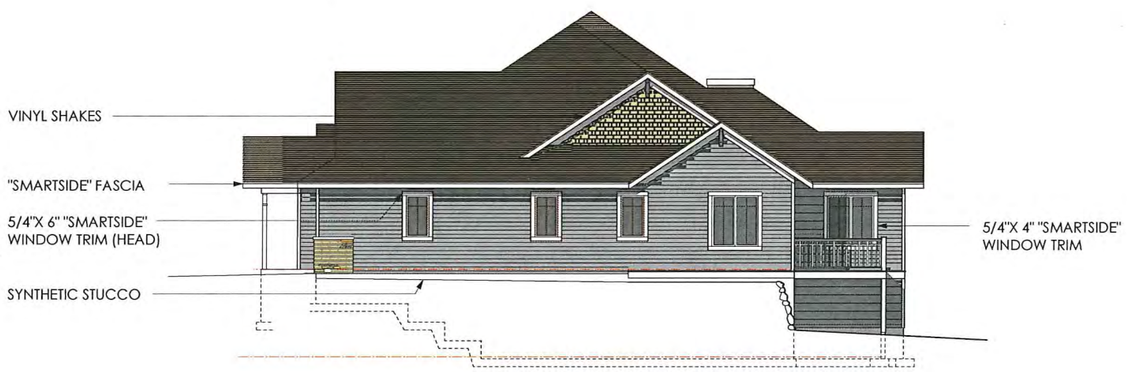
OPTIONAL SUN ROOM

OPTIONAL SCREEN PORCH

OPTIONAL 3 SEASON PORCH



SIDE ELEVATION



SIDE ELEVATION

BUILDING #5, #11, & #15 - ELEVATIONS

PROJECT

Mill Creek Estates

Condominums

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CONTRACTOR

KEY CONSTRUCTION

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No.	Date	Revison

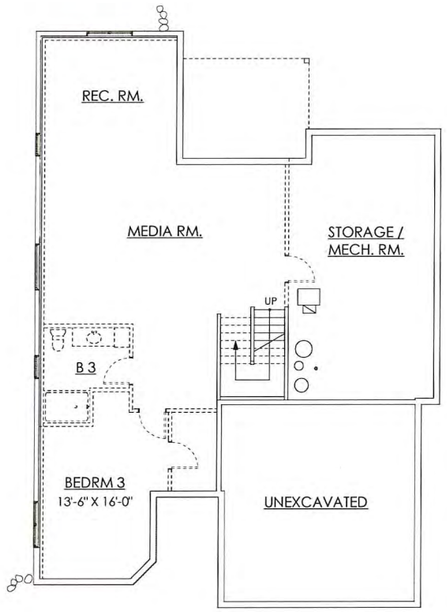
DATE

01119 12/3/13

Project No. Date

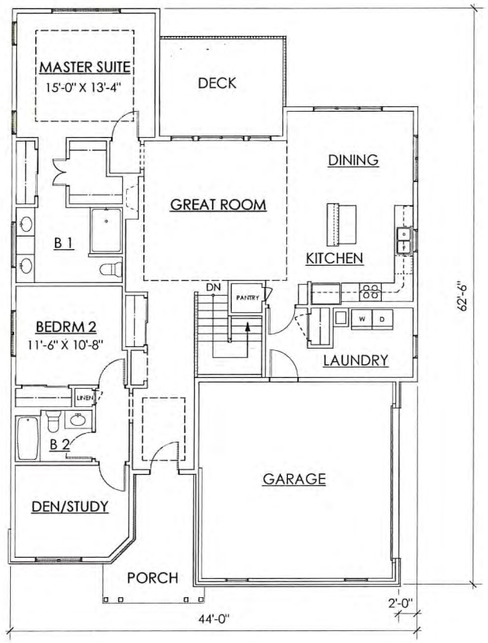
SHEET NO.

A102



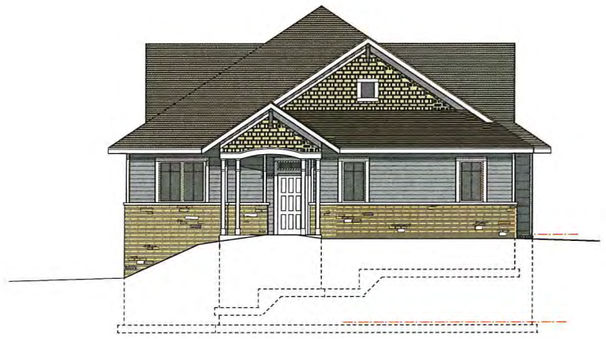
LOWER LEVEL PLAN

0 4' 8' 16' 32'

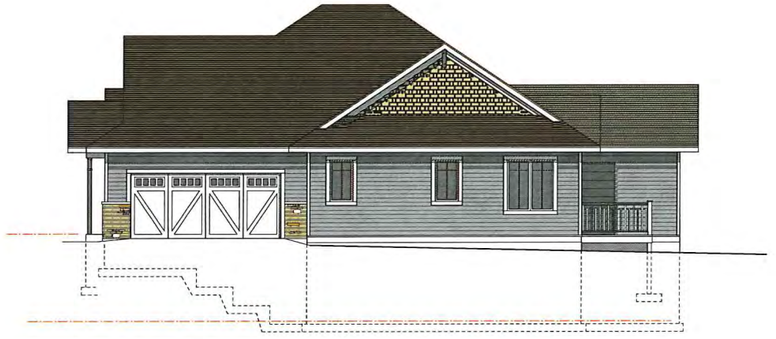


FIRST FLOOR PLAN

0 4' 8' 16' 32'

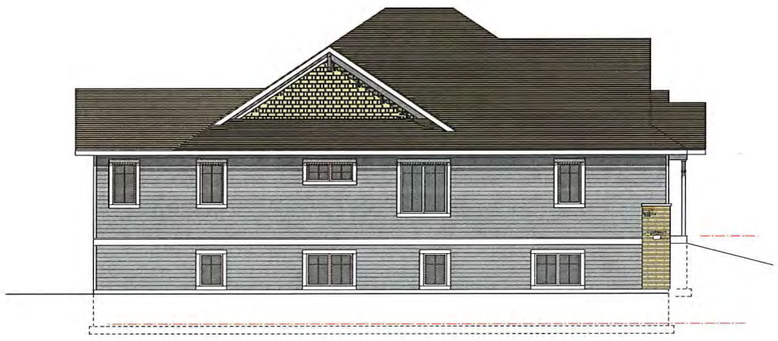


FRONT ELEVATION



SIDE ELEVATION

REAR ELEVATION



SIDE ELEVATION

SEE SHEET A102 FOR NOTES ON EXTERIOR MATERIALS

BUILDING #3 - FLOOR PLANS & ELEVATIONS

PROJECT

Mill Creek Estates

Condominums

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No.	Date	Revison

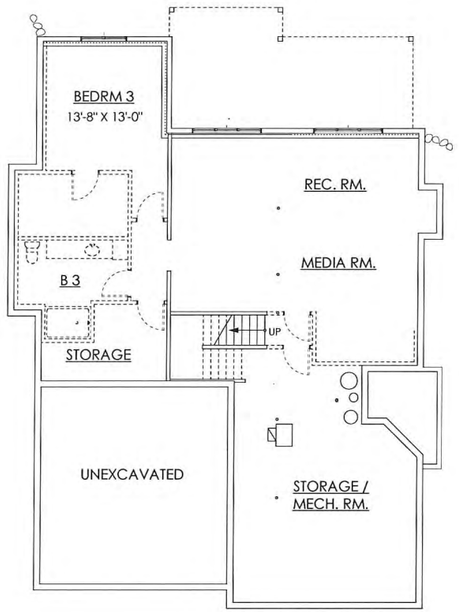
DATE

01119 12/3/13

Project No. Date

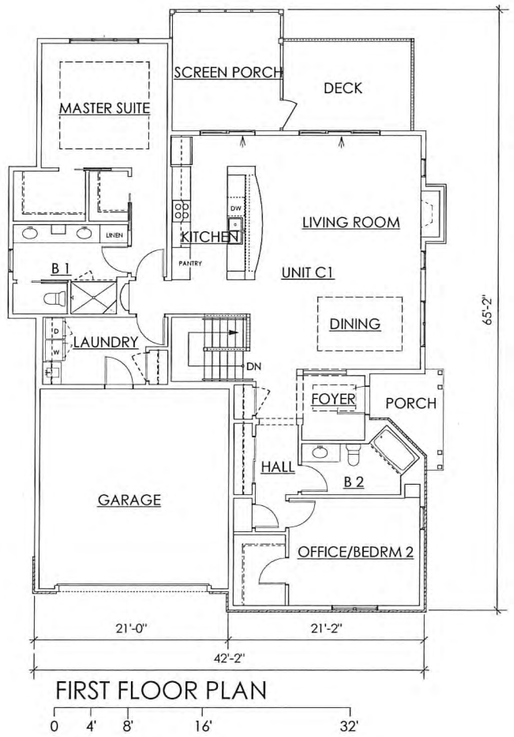
SHEET NO.

A103



LOWER LEVEL PLAN

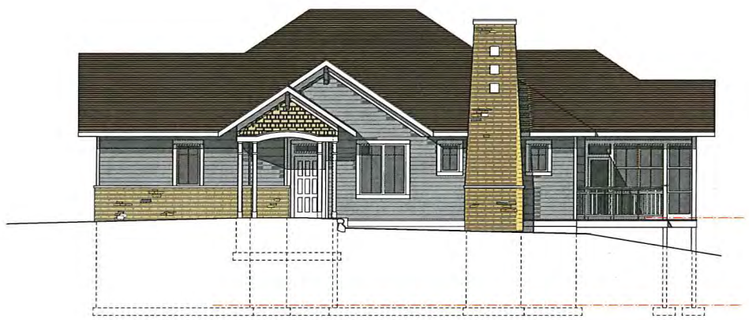
0 4' 8' 16' 32'



FIRST FLOOR PLAN

0 4' 8' 16' 32'

FRONT ELEVATION

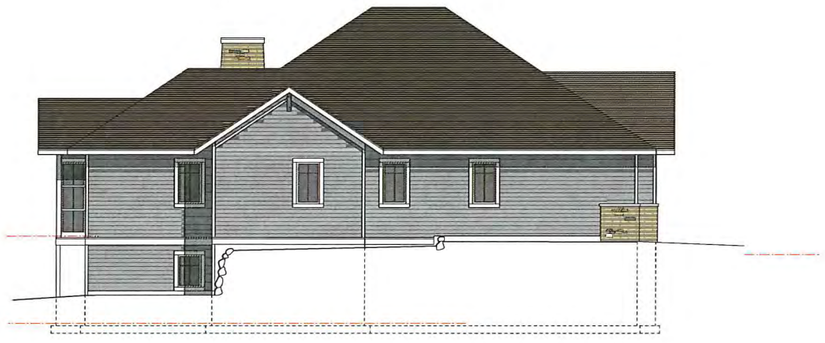


SIDE ELEVATION

SEE SHEET A102 FOR NOTES ON EXTERIOR MATERIALS

REAR ELEVATION

OPTIONAL 3 SEASON PORCH, SUN ROOM OR SCREEN PORCH SEE SHEET A102 FOR ELEVATIONS



SIDE ELEVATION

BUILDING #4 & #13 - FLOOR PLANS & ELEVATIONS

PROJECT

Mill Creek Estates

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CONTRACTOR

KEY CONSTRUCTION

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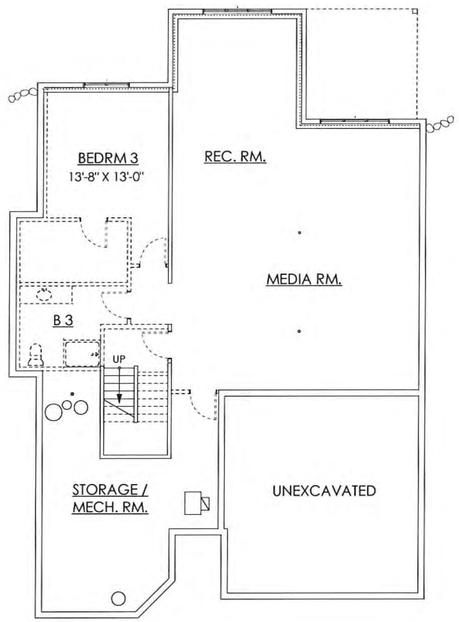
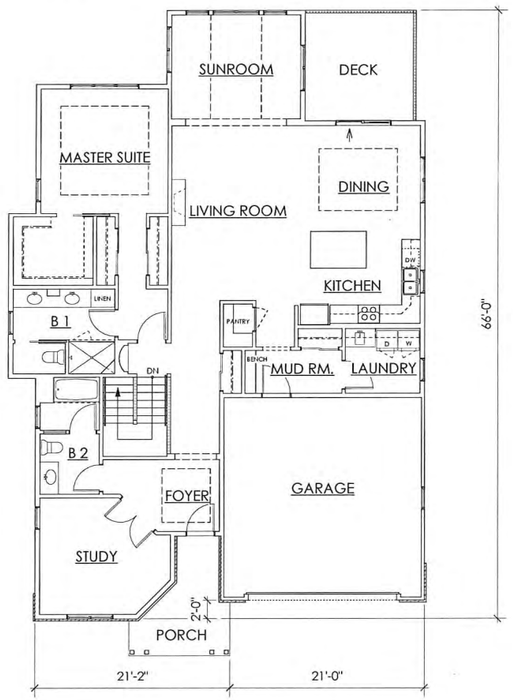
SHEET NO.

A104



LOWER LEVEL PLAN

0 4' 8' 16' 32'



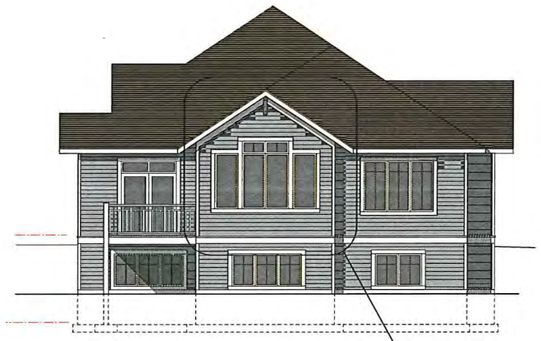
FIRST FLOOR PLAN

0 4' 8' 16' 32'

FRONT ELEVATION

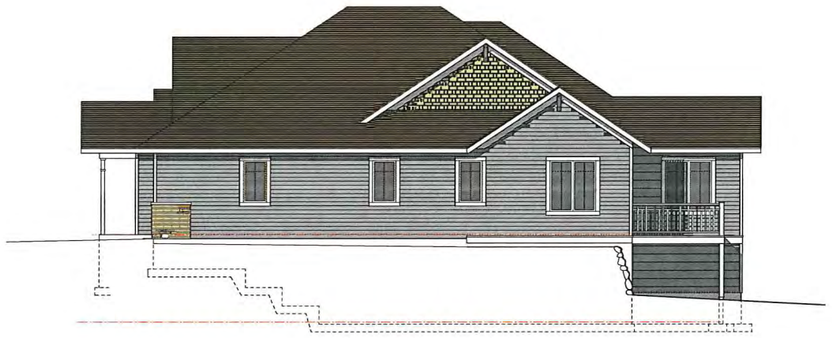
SIDE ELEVATION

SEE SHEET A102 FOR NOTES ON EXTERIOR MATERIALS



REAR ELEVATION

OPTIONAL 3 SEASON PORCH,
SUN ROOM OR SCREEN PORCH
SEE SHEET A102 FOR ELEVATIONS



SIDE ELEVATION

BUILDING #12, #14, & #2 - FLOOR PLANS & ELEVATIONS

PROJECT

Mill Creek Estates

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Madison, WI 53719

CONTRACTOR

KEY CONSTRUCTION

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No.	Date	Revison

DATE

01119 12/3/13

Project No. Date

SHEET NO.

A105

NEW BUILDINGS SHALL MATCH MATERIALS, COLORS AND LANDSCAPING OF EXISTING BUILDINGS

EXISTING 2 UNIT BUILDINGS

PROJECT

Mill Creek Estates

Condominums

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CONTRACTOR

KEY CONSTRUCTION
BUILDERS • REMODELERS • DEVELOPERS
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FAX: (608) 836-6990

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No.	Date	Revison

DATE

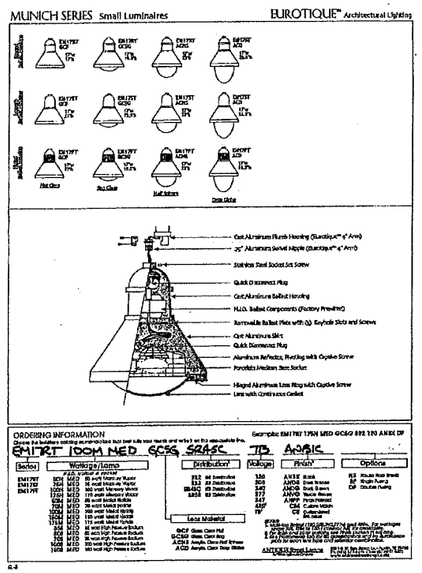
01119 12/3/13

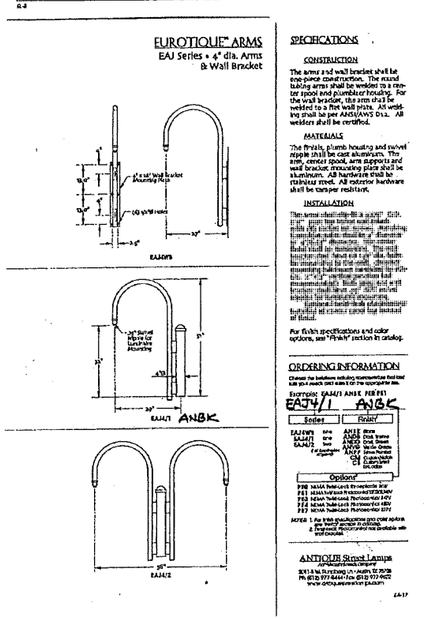
Project No. Date

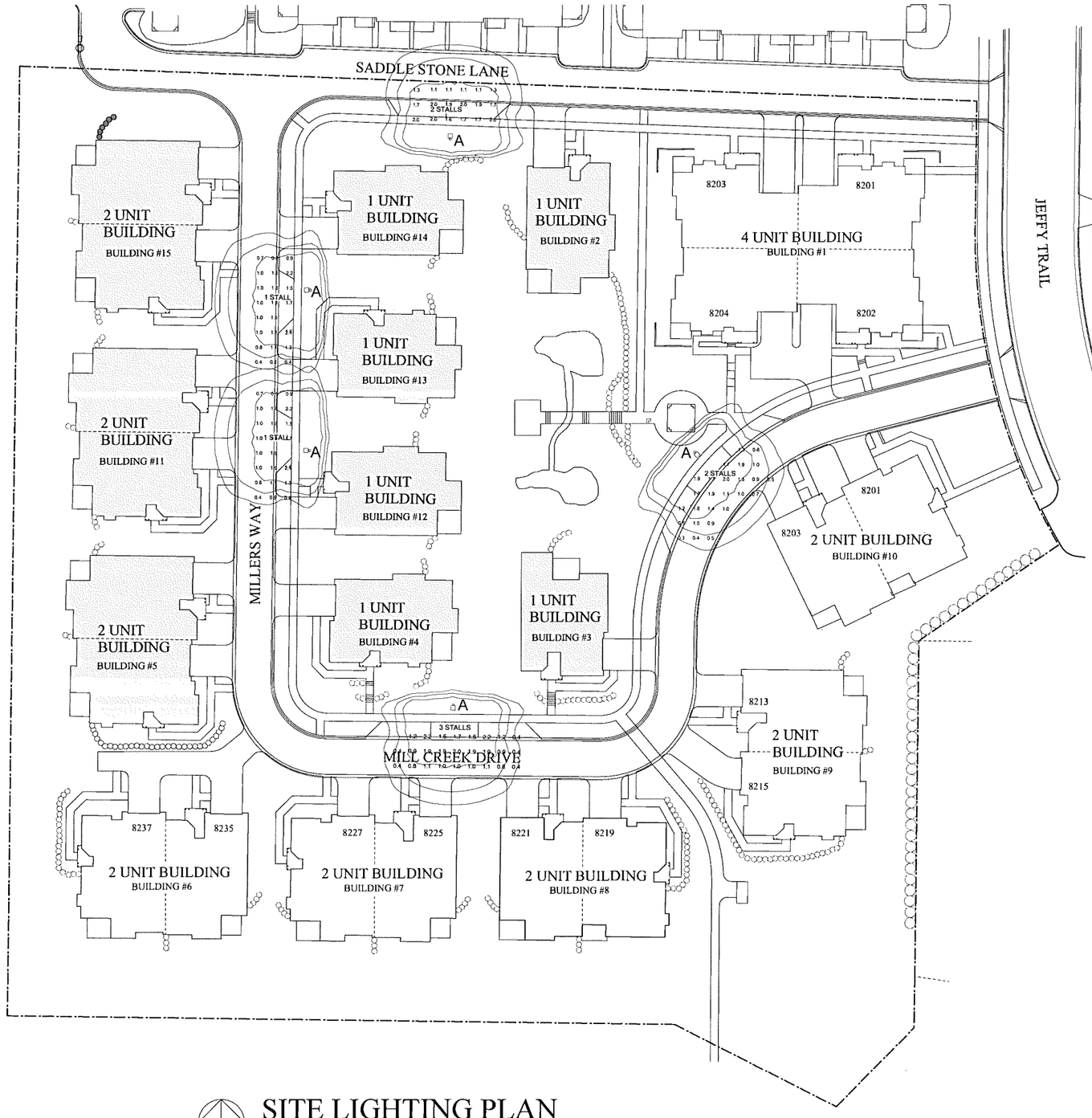
SHEET NO.

A106

LIGHTING SCHEDULE									
Symbol	Label	Manufacturer	Catalog Number	Description	Lamp	File	Lumens	LLF	Mounting
	A	ANTIQUE STREET LAMPS	EM17 100M MED GCSG SR4SC	EUROTIQUE ARCHITECTURAL LUMINAIRE WITH SR4SC REFLECTOR, CLEAR SAG GLASS LENS	ONE 100-WATT CLEAR ED17 METAL HALIDE, HORIZONTAL POS	LB102431M.ies	8100	1.00	16' POLE 4" DIA ALUM POLE (EPAX 16 S4 3-3/8ST11 WITH ARM (EA)-(M) ON 1' TALL 11"-9" DIA CONCRETE BASE



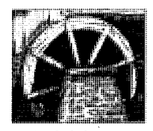




SITE LIGHTING PLAN

0 30' 60' 90'

PROJECT



Mill Creek Estates

Condominums
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CONTRACTOR

KEY CONSTRUCTION
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david@ferchrchitecture.com

No.	Date	Revison

DATE 01119 12/3/13

Project No. Date

SHEET NO. A107

1 Unit Building Planting List

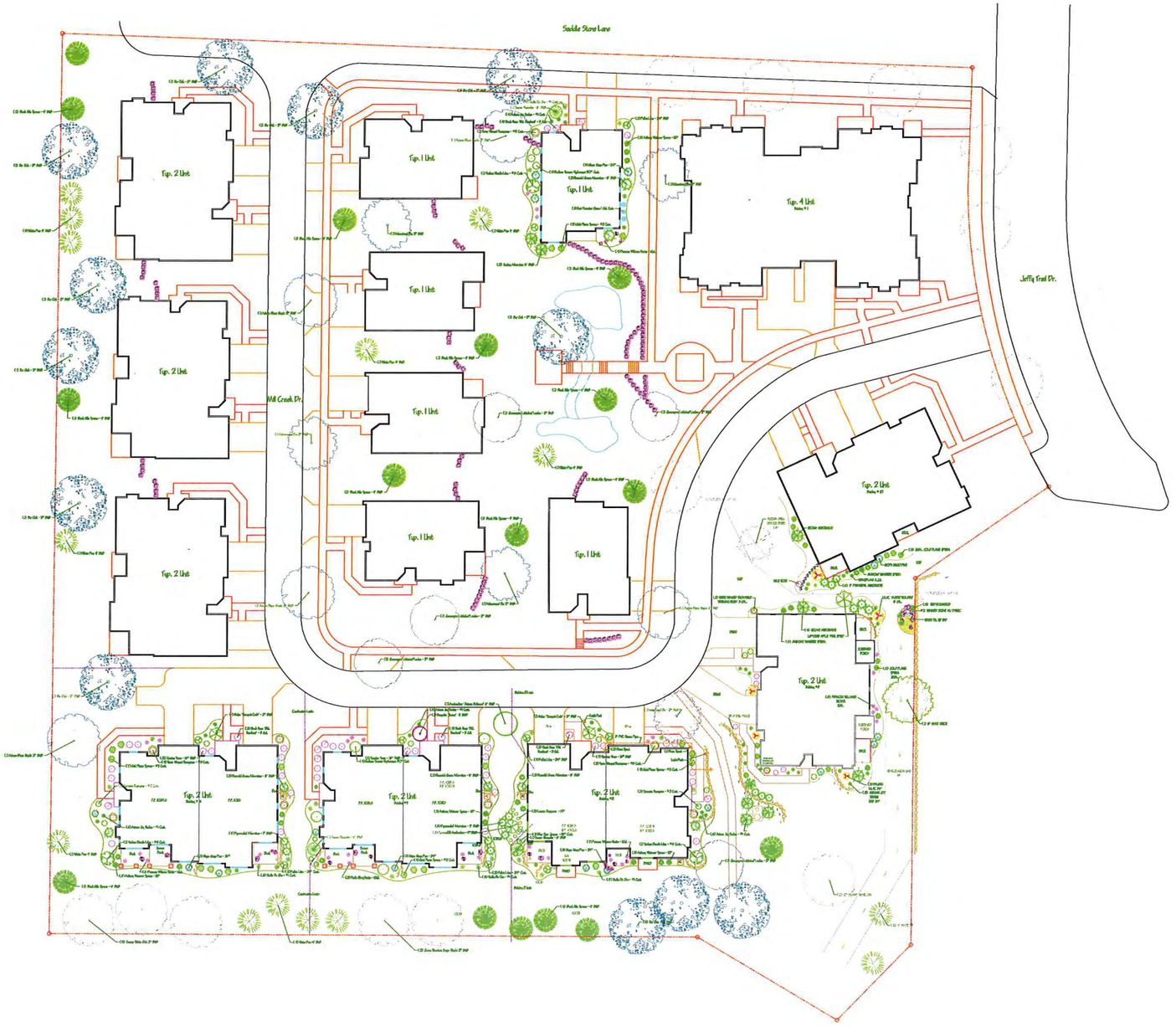
Saucer Magnolia - 6' B&B
Techny Arborvitae - 5' B&B
Emerald Green Arborvitae - 5' B&B
Tiores Winged Euonymus - #5 Cont.
Pallon Lilac - 24" B&B
Yankee Doodle Lilac - #5 Cont.
Mops Musp Pine - 24" B&B
Anthony Waterer Spirea - 15"
Gold Flame Spirea - #2 Cont.
Endless Summer Hydrangea - 30" Cont.
Shrub Rose 'Dbl. Knockout' - 5 Gal.
Frances Williams Hosta - 1Gal.
Karl Forester Grass - 1 Gal.
Autumn Joy Sedum - #1 Cont.
Stella De Oro - #1 Cont.

2 Unit Building Planting List

Malus 'Sargent Crab' - 2" B&B
Malus 'Pink Spire' 1.5" B&B
Autumn Brilliance Service Berry 1.5" B&B
Red Bud - 1.5" B&B
Saucer Magnolia - 6' B&B
Pyramidal Arborvitae - 7' B&B
Techny Arborvitae - 5' B&B
Emerald Green Arborvitae - 5' B&B
Tiores Winged Euonymus - #5 Cont.
Sarcoxie Euonymus - #2 Cont.
Lilac 'Albert Holden' - 5 Gal.
Pallon Lilac - 24" B&B
Yankee Doodle Lilac - #5 Cont.
Mops Musp Pine - 24" B&B
Blue Star Juniper - 15" Cont.
Taunton Yews - 15" B&B
Anthony Waterer Spirea - 15"
Gold Flame Spirea - #2 Cont.
Endless Summer Hydrangea - 30" Cont.
Shrub Rose 'Dbl. Knockout' - 5 Gal.
Pauls Glory Hosta - 1Gal.
Frances Williams Hosta - 1Gal.
Karl Forester Grass - 1 Gal.
Autumn Joy Sedum - #1 Cont.
Stella De Oro - #1 Cont.

Common Area Plants

Bur Oak - 2" B&B
Swamp White Oak - 2" B&B
Hohenheimand Elm - 2" B&B
Greenspire Littleleaf Linden - 2" B&B
Autumn Blaze Maple - 2" B&B
Black Hills Spruce - 4' B&B
White Pine - 4' B&B
White Fir - 4' B&B



SHEET L 101

SCALE: 1" = 30'-0"

GLACIER Landscape, INC.
7595 HWY. PD VERONA, WI
PH. 608-845-5111
FAX 608-845-3535
glacierlandscapeinc.com

A LANDSCAPE PLAN FOR:
MILL CREEK ESTATES
AT HAWKS CREEK
PROPOSED REVISION

REV. DATE: 12.05.13
REV. DATE: 12.02.13
REV. DATE: 09.26.13
DATE: 07.25.13