
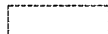


Consultant

Notes

1.  = 26' WIDE AERIAL APPARATUS FIRE LANE PARALLEL TO ONE ENTIRE SIDE OF A BUILDING AND WITHIN 30'.
2.  = 20' TO 28' WIDE FIRE LANE. (SEE PLAN FOR ACTUAL WIDTH)

Revisions

- Amended SIF Submittal - April 20, 2011
- Submittal - August 31, 2011
- Plan Review - October 4, 2011
- Issued for Bidding - October 17, 2011
- Re-issued for Construction - January 11, 2012
- Amended SIF Submittal - October 17, 2012

Project Title

Wingra Shores
 Apartments

Drawing Title

Fire Dept. Access Plan

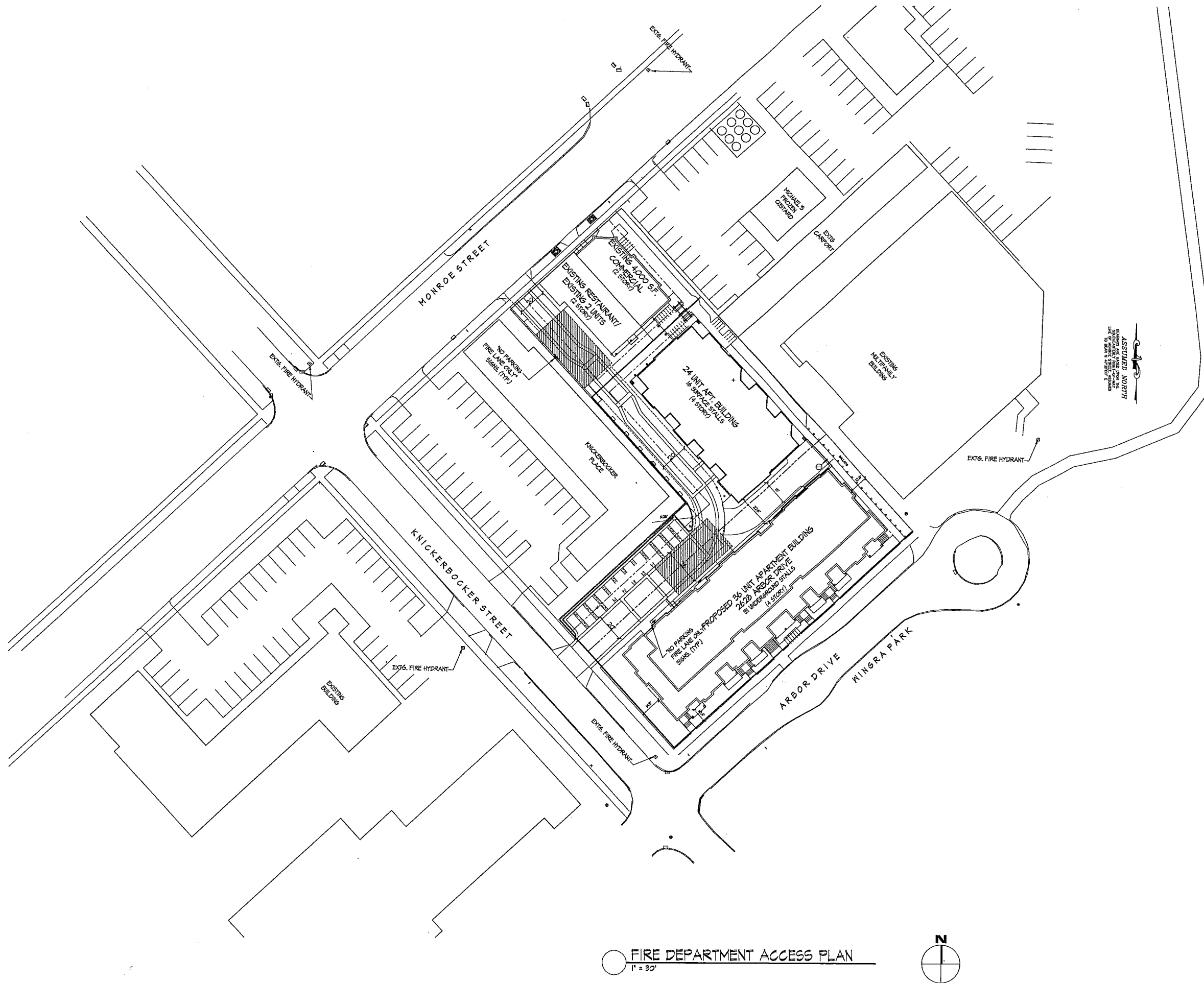
Project No.

0522

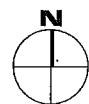
Drawing No.

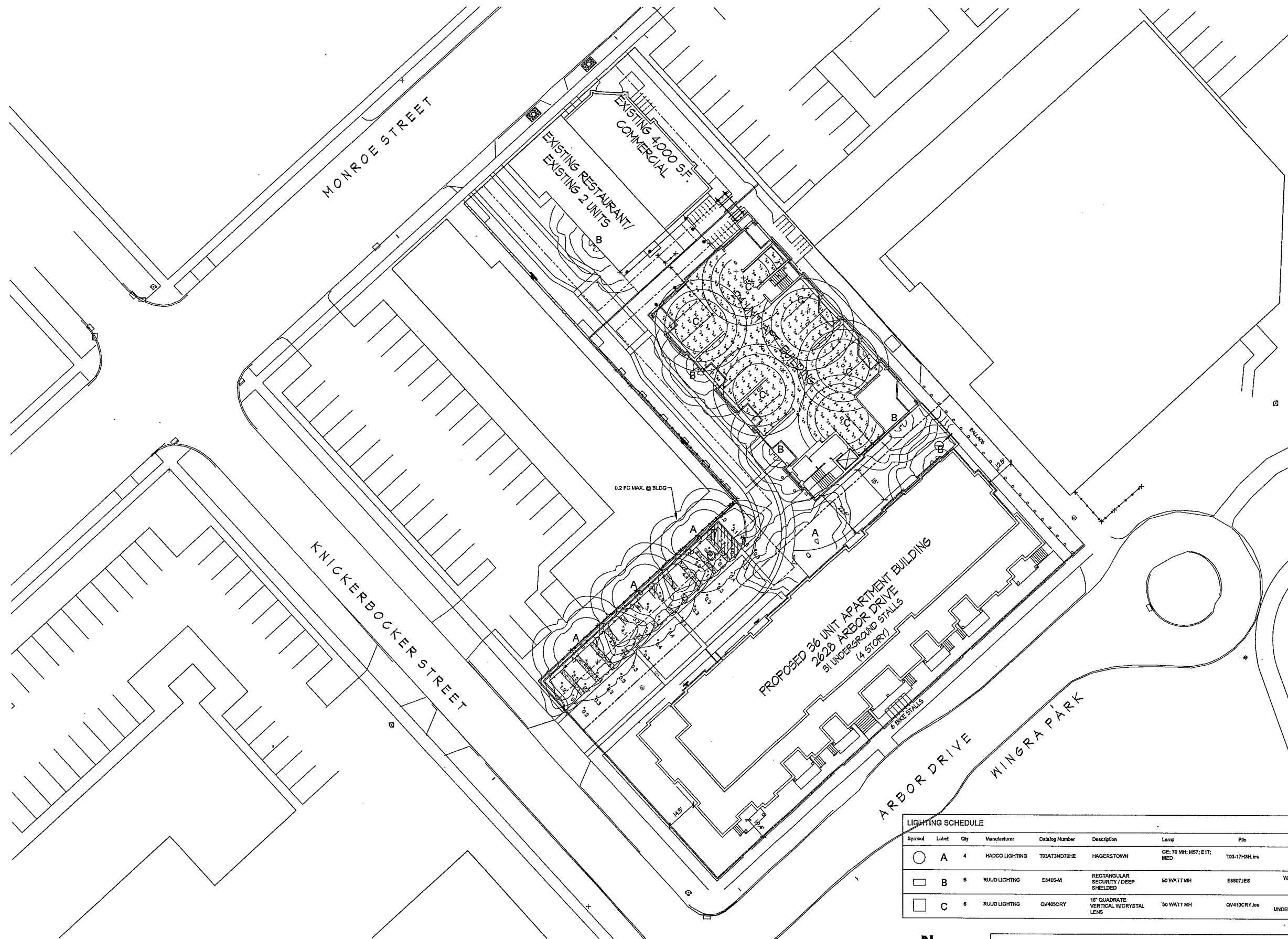
C-1.3

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FIRE DEPARTMENT ACCESS PLAN
 1" = 30'





Revisions
Amended S/P Submittal - April 20, 2011
Submittal - August 31, 2011
Plan Review - October 4, 2011
Issued for Bidding - October 11, 2011
Issued for Construction - October 28, 2011
Re-issued for Construction - January 11, 2012
Amended S/P Submittal - October 17, 2012

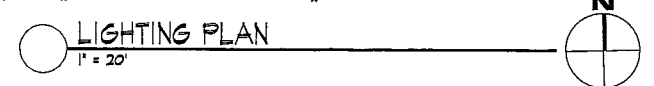
Project Title
Wingra Shores
Apartments

Drawing Title
Lighting Plan

Project No. 0522 Drawing No. C-1.4

LIGHTING SCHEDULE								
Symbol	Label	Qty	Manufacturer	Catalog Number	Description	Lamp	File	Mounting Height
○	A	4	HADCO LIGHTING	T03AT3ND70E	HAGERSTOWN	GE; T0 MH; M57; E17; MED	T03-17H3H.Les	10'-0" ABOVE GRADE
□	B	5	RUUD LIGHTING	E8405-M	RECTANGULAR SECURITY / DEEP SHELDED	50 WATT MH	E8507.JES	WALL MOUNTED ON SIDE OF BUILDING 10'-0" ABOVE GRADE
□	C	6	RUUD LIGHTING	QV405CRY	18" QUADRATE VERTICAL WCRYSTAL LENS	50 WATT MH	QV410CRY.Les	SURFACE MOUNT TO UNDERSIDE OF GARAGE CEILING

LIGHTING STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Open Parking Stalls	+	1.6 fc	4.4 fc	0.4 fc	11.0:1	4.0:1
Open Parking Garage	+	1.5 fc	3.9 fc	0.4 fc	9.8:1	3.8:1

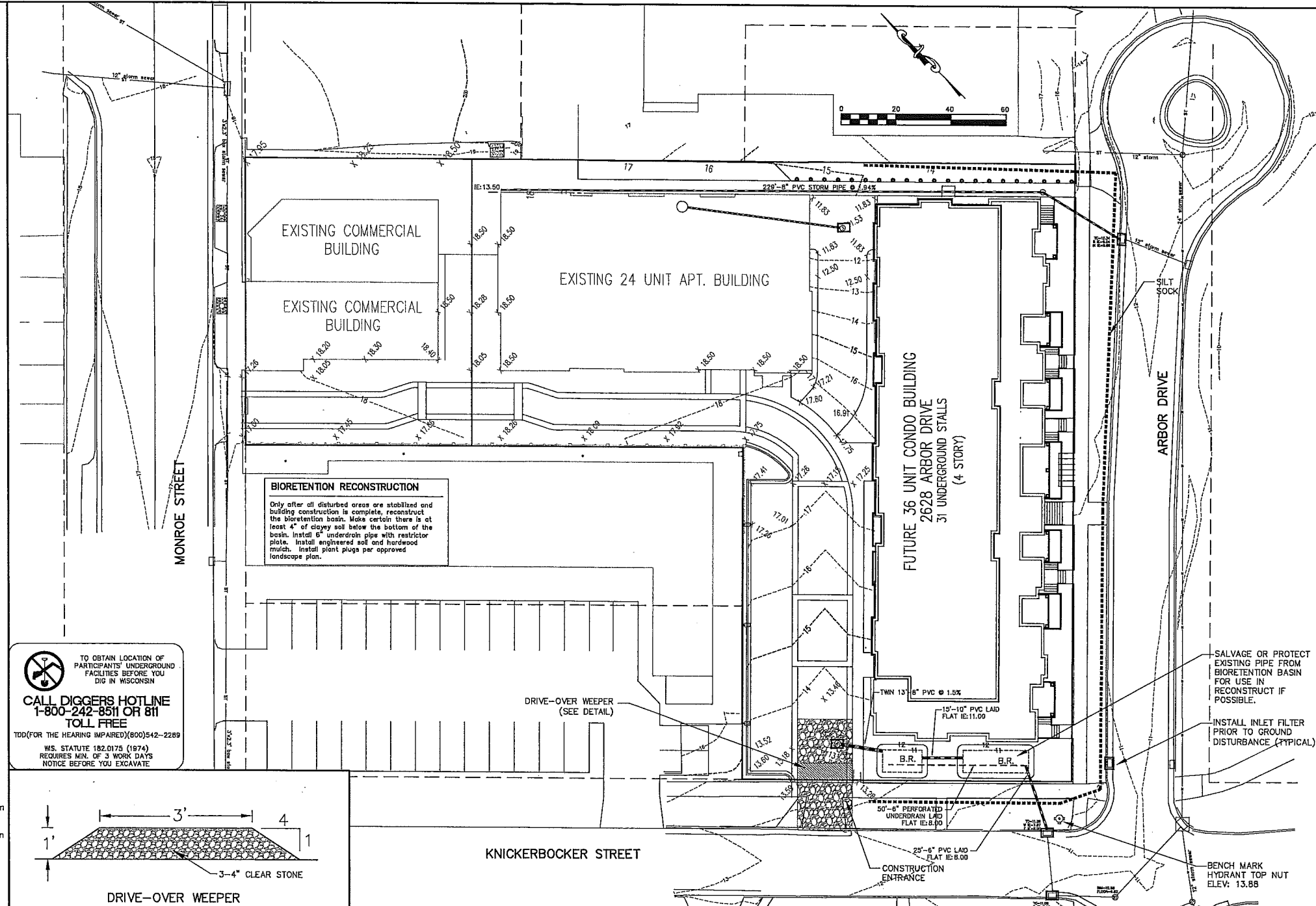


Erosion Control Notes/Specifications:

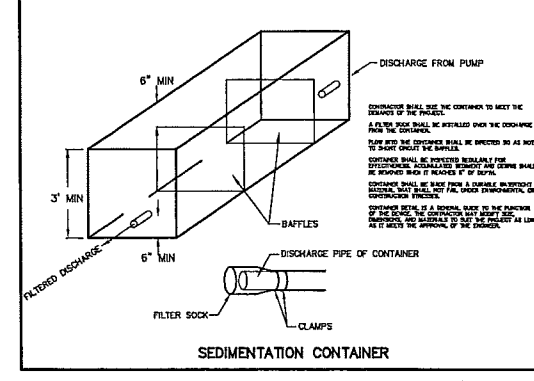
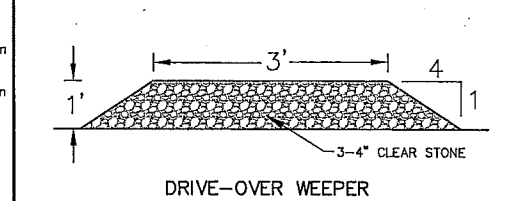
- Erosion control devices and/or structures shall be installed prior to clearing and grubbing operations. These shall be properly maintained for maximum effectiveness until vegetation is re-established.
- Erosion control is the responsibility of the contractor until acceptance of this project. Erosion control measures as shown shall be the minimum precautions that will be allowed. The contractor shall be responsible for recognizing and correcting all erosion control problems that are the result of construction activities. Additional erosion control measures, as requested in writing by the state or local inspectors, or the developer's engineer, shall be installed within 24 hours.
- All erosion control measures and structures serving the site must be inspected at least weekly or within 24 hours of the time 0.5 inches of rain is produced. All maintenance will follow an inspection within 24 hours.
- Construction Entrances - Provide a stone tracking pad at each point of access. Install according to WDNR Standard 1057. Refer to WDNR's stormwater web page of technical standards at: <http://dnr.wi.gov/runoff/stormwater/techstds.htm>
- Dewatering - Water pumped from the site shall be treated by using a temporary sedimentation basin, portable dewatering basin or an equivalent device. Show on the plan the anticipated locations of dewatering activity, and provide an engineering detail of the dewatering system. Any individual sedimentation basin shall have a depth of at least 3 feet and provide a maximum surface settling rate of 1500 gallons per square foot per day. This water shall be discharged in a manner that does not induce erosion of the site or adjacent property.
- Storm Sewer Inlets - Provide WDOT Type D "CatchAll" inlet protection or equivalent. Refer to WDOT Product Acceptability List at: <http://www.dot.wisconsin.gov/business/engserv/pal.htm>. Inlet protection shall be installed prior to the storm sewer system receiving site runoff. Other than for performing maintenance, these devices shall not be removed until plot-level stabilization is complete.
- Erosion control devices shall adhere to the technical standards found at: <http://dnr.wi.gov/org/runoff/stormwater/techstds.htm> and comply with all City of Madison ordinances.
- All debris tracked onto public streets shall be swept or scraped clean by the end of each workday.
- Building and waste materials shall be prevented from running-off the site and entering waters of the state in conformance with NR151.12(6m).
- No solid material shall be discharged or deposited into waters of the state in violation of Ch. 30 or 31 of the Wisconsin State Statutes or 33 USC 1344 permits.
- All disturbed areas shall be seeded immediately after grading activities have been completed.
- All disturbed areas, except paved areas, shall receive a minimum of four (4) inches of topsoil, fertilizer, seed, and mulch. Seed mixture 40 shall be used on all areas. Mixtures shall be in accordance with section 630 of Wisconsin D.O.T. specifications. Seed mixtures and fertilizer shall be applied at the rate of seven (7) pounds per 1,000 square feet. Mulch shall be applied at the rate of 2 tons per acre and shall be anchored into the soil by discing or other approved method. Crimping shall be performed on the contour to prevent the formation of rills or gullies. Seeding and sodding may only be used from May 1st to September 15th of any year. Temporary seed shall be used after September 15. If temporary seeding is used, a permanent cover shall also be required as part of the final site stabilization.
- For the first six (6) weeks after the initial stabilization of a disturbed area, watering shall be performed whenever more than seven (7) days of dry weather elapses.

Emergency Contact
 James M. Corcoran
 2702 Monroe St., Suite 15
 Madison, WI 53711
 (608) 233-4440

Schedule:
 June 1, 2013 Install silt fence and construction entrance. Begin disturbance of site ground cover.
 December 1, 2013 Apply mulch heavily to all exposed areas for winter duration. Add additional mulch as necessary to maintain cover.
 May 1, 2014 Install final landscaping items, seed and mulch any lawn areas.
 June 1, 2014 Building construction complete.
 July 1, 2014 Vegetation established; site stabilized. Excavate Bioretention areas and fill with engineered soil. Install native plantings.

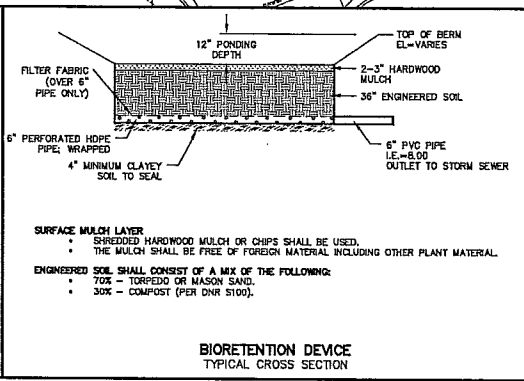
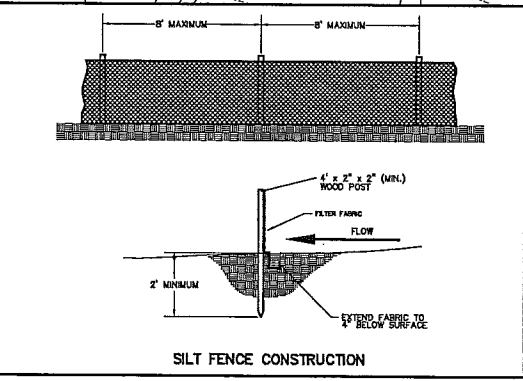
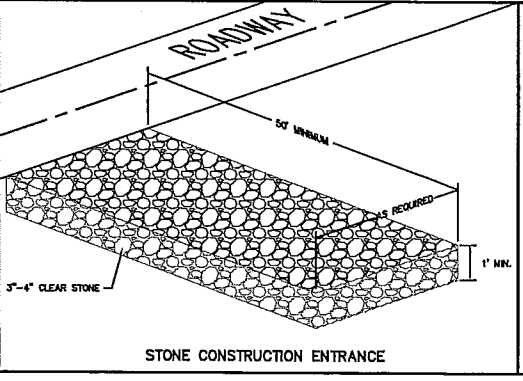


TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
 1-800-242-8511 OR 811
 TOLL FREE
 TDD (FOR THE HEARING IMPAIRED) (800) 542-2289
 WIS. STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE



LEGEND

---	EXISTING MINOR CONTOUR
---	EXISTING MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
---	PROPOSED MAJOR CONTOUR
---	STORM SEWER
B.R.	BIORETENTION AREA
x 12.15	EXISTING SPOT ELEVATION
x 10.76	PROPOSED SPOT ELEVATION
□	INLET PROTECTION



Burse
 Surveying and Engineering, Inc.
 1400 E. Washington Ave., Suite 150
 Madison, WI 53703
 Phone: 608-250-9263
 Fax: 608-250-9266
 e-mail: info@burseeng.com
www.burseeng.com

WINGRA SHORES APARTMENTS
 2628 Arbor Drive
 Madison, Wisconsin
J. MICHAEL REAL ESTATE
 2607 MONROE STREET
 MADISON, WI 53711

PROJECT #: BSE1029-06
 PLOT DATE: 10-17-2012

REVISION DATES:
 09-01-2011
 10-04-2011
 10-28-2011
 10-17-2012

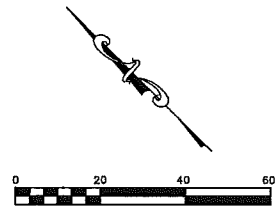
ISSUE DATES:
 09-01-2011
 Issued for Plan Review 10-04-2011
 Issued for Construction 10-28-2011
 Issued for SP Review 10-17-2012

PHASE III
 GRADING AND
 EROSION CONTROL
 PLAN

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C-2.2

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LEGEND

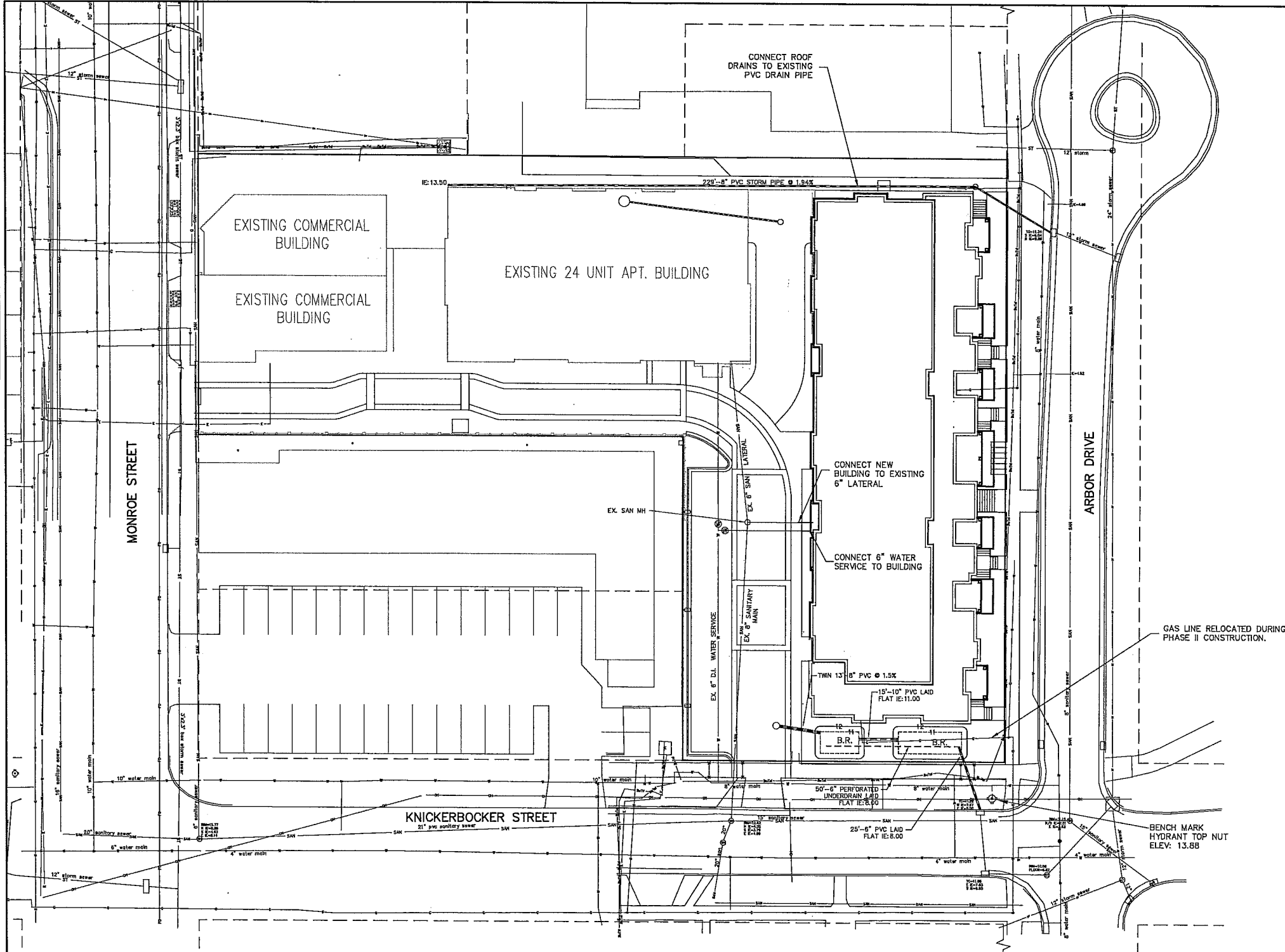
—○— OVERHEAD UTILITY	□ FIRE HYDRANT
—●— BURIED GAS MAIN	□ STORM SEWER INLET
—○— WATER MAIN	□ ELECTRIC MANHOLE
—○— SANITARY SEWER	□ TELECOMM. MANHOLE
—○— STORM SEWER	□ STORM SEWER MANHOLE
—○— BURIED TELEPHONE	□ SANITARY SEWER MANHOLE
—○— BURIED ELECTRIC	□ WATER UTILITY MANHOLE
—○— BURIED CABLE TV	□ UTILITY POLE
—○— BURIED FIBER OPTIC	□ LIGHT POLE
● WATER VALVE	□ GUY WIRE
● GAS VALVE	□ TELEPHONE PEDESTAL
□ CABLE TV PEDESTAL	□ B.I. BIORETENTION BASIN
□ ELECTRIC PEDESTAL	

NOTES:
 1. CONTRACTOR SHALL VERIFY LOCATION OF EXISTING UTILITIES.
 2. ORIGINAL SURVEY WAS PERFORMED IN FEBRUARY OF 2003.
 3. RE-SURVEY PERFORMED IN AUGUST OF 2011 FOR THE RECONSTRUCTION OF ARBOR DRIVE.

CALL DIGGERS HOTLINE
 1-800-242-8511 OR 811
 TOLL FREE

TDD(FOR THE HEARING IMPAIRED)(800)542-2289

WS. STATUTE 182.0175 (1974)
 REQUIRES MIN. OF 3 WORK DAYS
 NOTICE BEFORE YOU EXCAVATE



Burse
 Surveying and Engineering, Inc.
 1400 E. Washington Ave. Suite 158
 Madison, WI 53703
 Phone: 608-250-9265
 Fax: 608-250-9266
 e-mail: mburse@bse-inc.com
 www.burse-surveying.com

APPROVAL	DATE
PROJECT	10-17-2012
DESIGN	10-17-2012
CHECK	10-17-2012
IN CHARGE	10-17-2012
DATE	

WINGRA SHORES APARTMENTS
 2628 Arbor Drive
 Madison, Wisconsin
J. MICHAEL REAL ESTATE
 2607 MONROE STREET
 MADISON, WI 53711

PROJECT #: BSE1029-06
PLOT DATE: 10-17-2012

REVISION DATES:
 09-01-2011
 10-04-2011
 10-28-2011
 10-17-2012

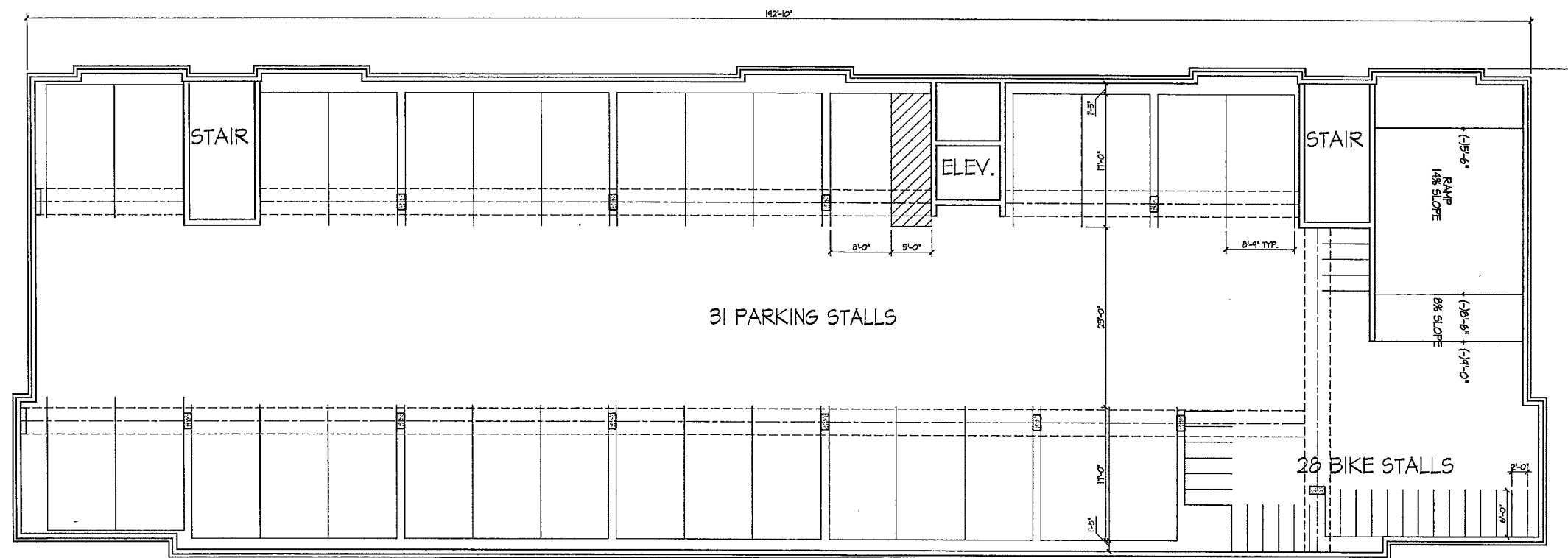
ISSUE DATES:
 09-01-2011
 Issued for Plan Review 10-04-2011
 Issued for Construction 10-28-2011
 Issued for SP Review 10-17-2012

**PHASE III
 UTILITY
 PLAN**

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Revisions
2012-10-11 SIP SUBMITTAL

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2628 Arbor Drive

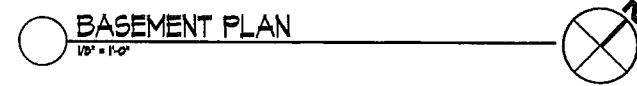
Drawing Title
Basement Plan
B6 Unit Bldg

Project No.

Drawing No.

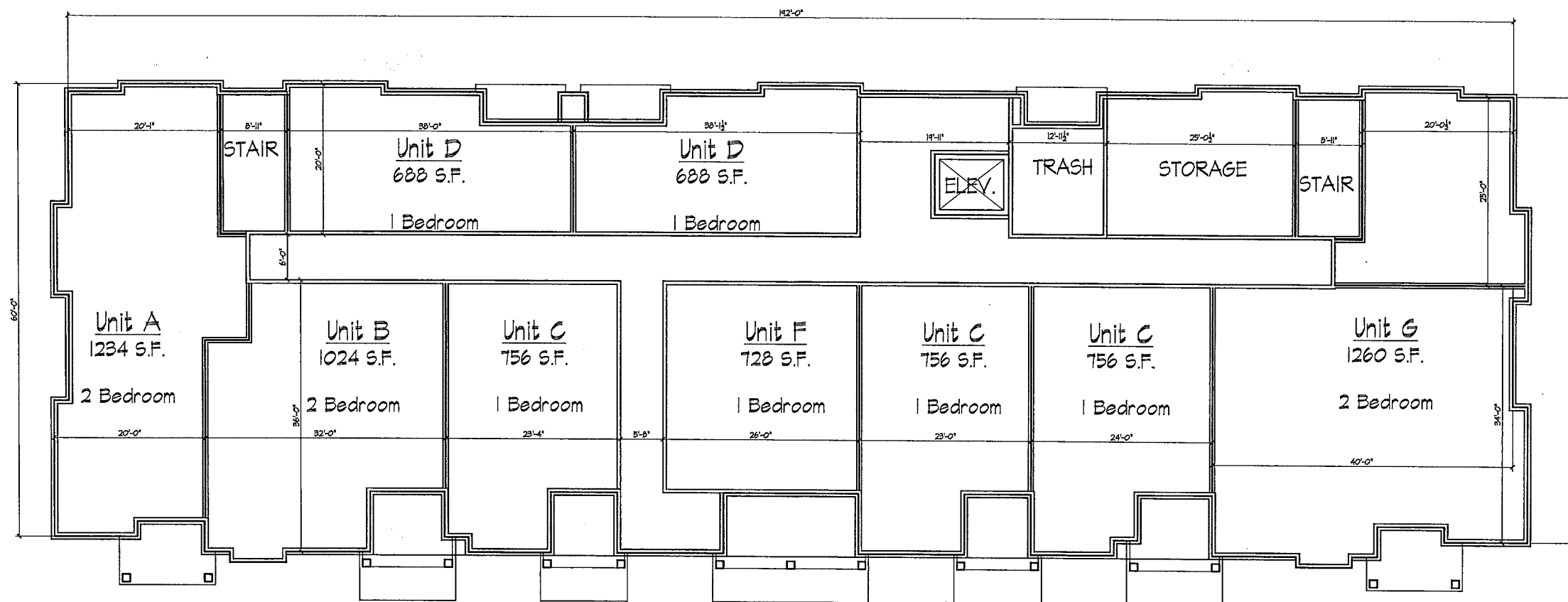
0522

A-1.0



BASEMENT PLAN
1/8" = 1'-0"

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Revisions
2012-10-11 SIP SUBMITTAL

Project Title
2628 Arbor Drive

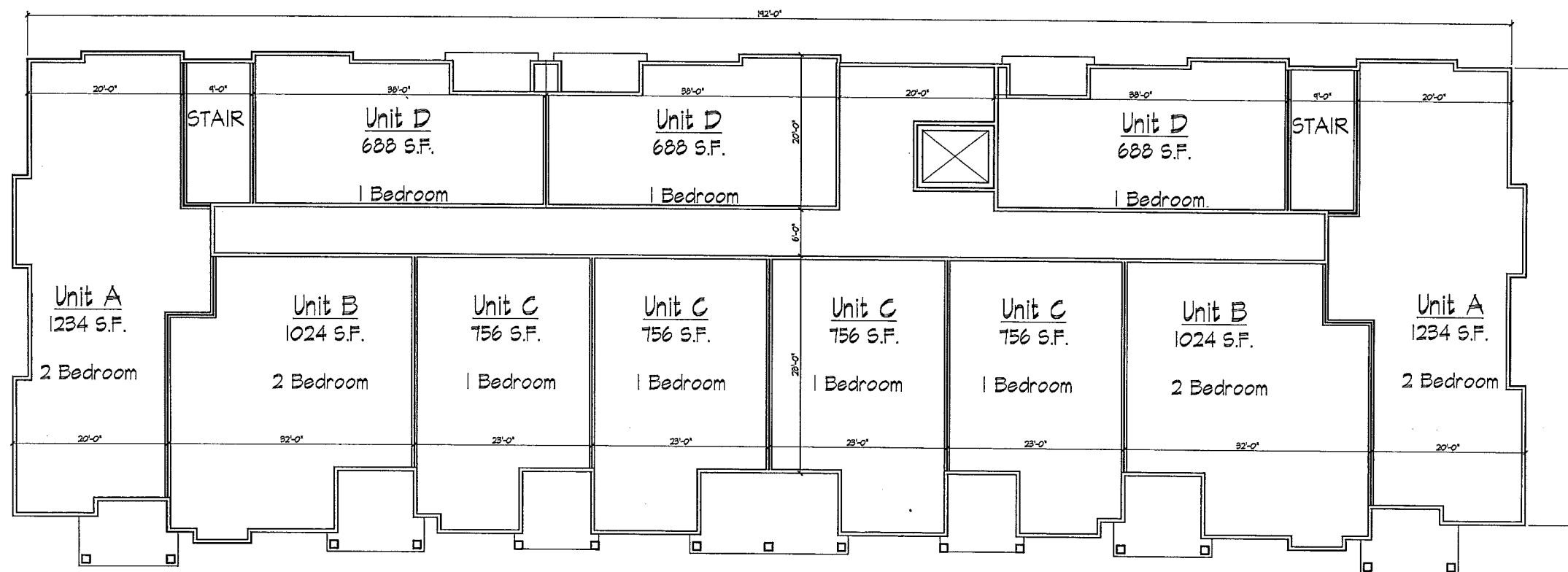
Drawing Title
First Floor Plan
36 Unit Bldg

Project No. 0522 Drawing No. A-1.1

FIRST FLOOR PLAN
1/8" = 1'-0"



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Revisions
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Project Title
2628 Arbor Drive

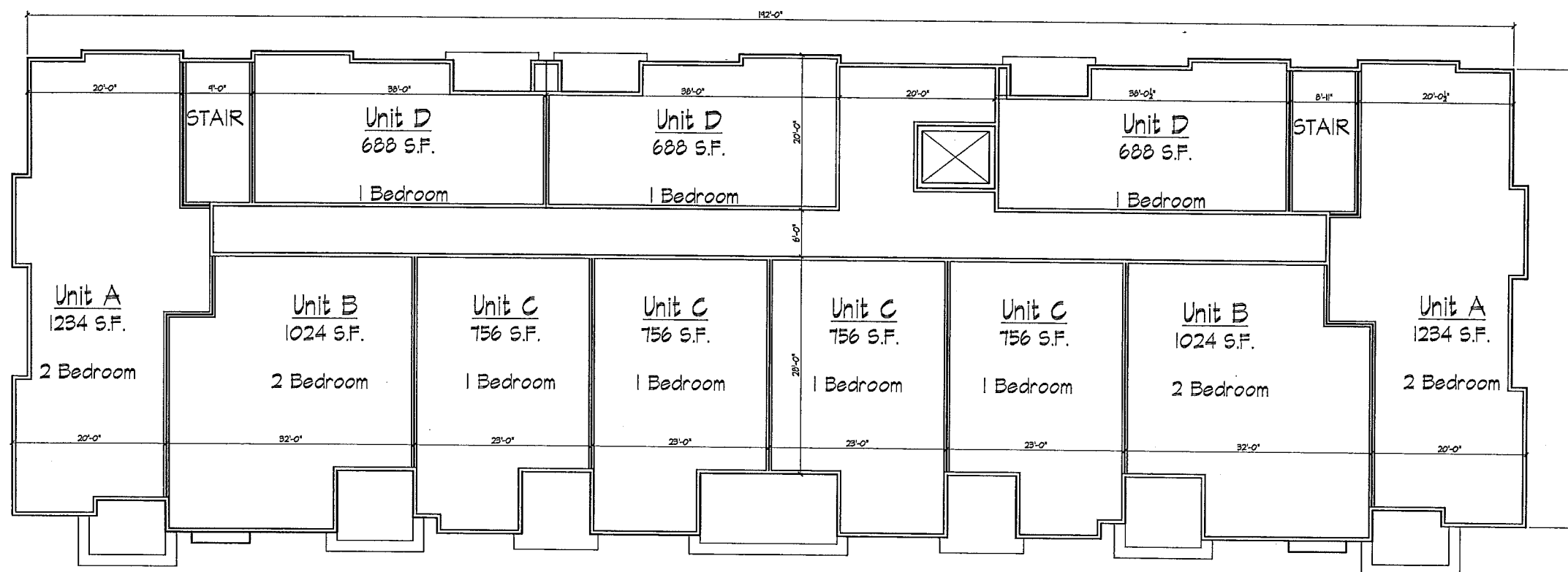
Drawing Title
Second Floor Plan
36 Unit Bldg

Project No. 0522
Drawing No. A-1.2

SECOND FLOOR PLAN
1/8" = 1'-0"



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Revisions
2012-10-17 SIP SUBMITTAL

Project Title
2628 Arbor Drive

THIRD FLOOR PLAN
1/8" = 1'-0"



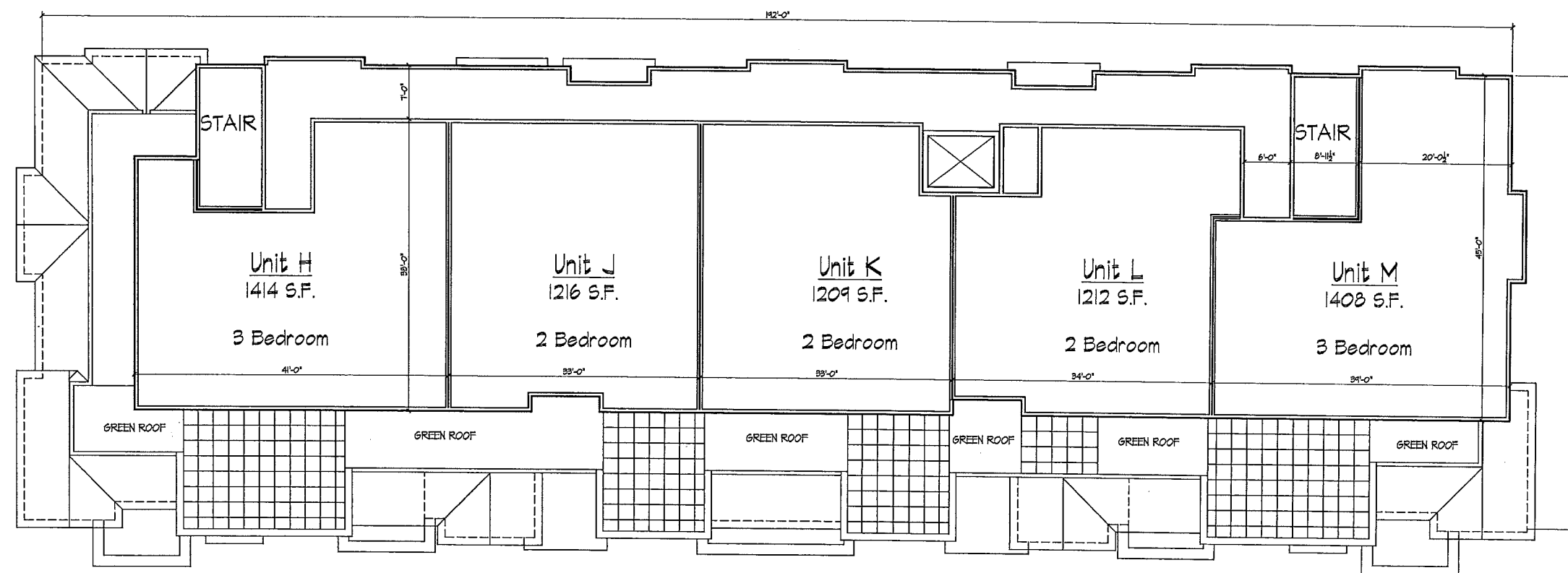
Drawing Title
Third Floor Plan
36 Unit Bldg

Project No. Drawing No.

0522

A-1.3

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Revisions
2012-10-11 SIP SUBMITTAL

Project Title
2628 Arbor Drive

Drawing Title
Fourth Floor Plan
36 Unit Bldg

Project No. Drawing No.
0522 A-1.4

FOURTH FLOOR PLAN
1/8" = 1'-0"



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Consultant

Notes



SOUTHEAST ELEVATION (ARBOR DRIVE)
 9/32" = 1'-0"

EXISTING APARTMENT BUILDING



NORTHEAST ELEVATION
 9/32" = 1'-0"



SOUTHWEST ELEVATION
 9/32" = 1'-0"

Revisions
 2012-10-17 SIP SUBMITTAL



NORTHWEST ELEVATION
 9/32" = 1'-0"

Project Title
2628 Arbor Drive

Drawing Title
Elevations
 36 Unit Bldg

Project No. Drawing No.
0522 A-2.1

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