

URBAN DESIGN COMMISSION APPLICATION

UDC

City of Madison
Planning Division
Madison Municipal Building, Suite 017
215 Martin Luther King, Jr. Blvd.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635



FOR OFFICE USE ONLY:

Paid _____ Receipt # _____

Date received _____

Received by _____

Aldermanic District _____

Zoning District _____

Urban Design District _____

Submission reviewed by _____

Legistar # _____

Complete all sections of this application, including the desired meeting date and the action requested.

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.

1. Project Information

Address: 9301 Crosswinds Lane, 9313 Crosswinds Lane

Title: Crosswinds at Hawks Landing

2. Application Type (check all that apply) and Requested Date

UDC meeting date requested March 10, 2021

- New development Alteration to an existing or previously-approved development
 Informational Initial approval Final approval

3. Project Type

- Project in an Urban Design District
 Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
 Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
 Planned Development (PD)
 General Development Plan (GDP)
 Specific Implementation Plan (SIP)
 Planned Multi-Use Site or Residential Building Complex

Signage

- Comprehensive Design Review (CDR)
 Signage Variance (i.e. modification of signage height, area, and setback)
 Signage Exception

Other

- Please specify _____

4. Applicant, Agent, and Property Owner Information

Applicant name Gorman & Company
Street address 200 N Main St
Telephone 608-835-3900

Company _____
City/State/Zip Oregon WI 53575
Email GGorman@GormanUSA.com

Project contact person Conrad Gorman
Street address 3062 Shaw Court
Telephone 608-217-5077

Company Perch Properties
City/State/Zip Madison WI 53711
Email GormanC@FirstWeber.com

Property owner (if not applicant) _____
Street address _____ **City/State/Zip** _____
Telephone _____ **Email** _____

5. Required Submittal Materials

- Application Form**
- Letter of Intent**
 - If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
 - For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.
- Development Plans** (Refer to checklist on Page 4 for plan details)
- Filing fee**
- Electronic Submittal***
- Notification to the District Alder**
 - Please provide an email to the District Alder notifying them that you are filing this UDC application. Please send this as early in the process as possible and provide a copy of that email with the submitted application.

Each submittal must include fourteen (14) 11" x 17" **collated** paper copies. Landscape and Lighting plans (if required) must be **full-sized and legible**. Please refrain from using plastic covers or spiral binding.

Both the paper copies and electronic copies must be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

**Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to udcapplications@cityofmadison.com. The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.*

6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Janine Glaeser on January 22, 2021.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant Gorman & Company Relationship to property Developer
 Authorizing signature of property owner Date 1/22/2021

7. Application Filing Fees

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request:

- Urban Design Districts: \$350 (per §35.24(6) MGO).
- Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per §33.24(6)(b) MGO)
- Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO)
- Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO)
- All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

Types of Approvals

There are three types of requests considered by the UDC:

- Informational Presentation. Applicants may, at their discretion, request to make an Informational Presentation to the UDC prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Variance requests)
- Initial Approval. Applicants may, at their discretion, request initial approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information that should be addressed at Final Approval stage.
- Final Approval. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the initial approval must be addressed at this time.

Presentations to the Commission

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics.

When presenting projects to the UDC, applicants must fill out a registration slip provided in the meeting room and present it to the Secretary. Presentations should generally be limited to 5 minutes or as extended by motion by consent of the Commission. The Commission will withhold questions until the end of the presentation.

Applicants are encouraged to consider the use of various graphic presentation material including a locator map, photographs, renderings/model, scale drawings of the proposal in context with adjacent buildings/uses/signs, etc., as may be deemed appropriate to describe the project and its surroundings. Graphics should be mounted on rigid boards so that they may be easily displayed. **Applicants/presenters are responsible for all presentation materials, AV equipment and easels.**

URBAN DESIGN DEVELOPMENT PLANS CHECKLIST

The items listed below are minimal application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

1. Informational Presentation

- Locator Map
- Letter of Intent (If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan
- Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1"= 40' or larger

*** All plans must be legible, including the full-sized landscape and lighting plans (if required)*

2. Initial Approval

- Locator Map
- Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- Landscape Plan and Plant List (*must be legible*)
- Building Elevations in both black & white and color for all building sides (include material callouts)
- PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

3. Final Approval

All the requirements of the Initial Approval (see above), **plus:**

- Grading Plan
- Proposed Signage (if applicable)
- Lighting Plan, including fixture cut sheets and photometrics plan (*must be legible*)
- Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- PD text and Letter of Intent (if applicable)
- Samples of the exterior building materials (presented at the UDC meeting)

4. Comprehensive Design Review (CDR) and Variance Requests (Signage applications only)

- Locator Map
- Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Variance criteria is required)
- Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- Illustration of the proposed signage that meets Ch. 31, MGO compared to what is being requested.
- Graphic of the proposed signage as it relates to what the Ch. 31, MGO would permit

Letter of Intent to File a Land Use Application

To whom it may concern:

I am writing this to notify you of the intent to file a land use application for the approvals and the completion of a condominium development on Crosswinds Lane in the Hawks Landing neighborhood. I want to set up an informational zoom meeting with you, other neighborhood associations, neighbors, and other interested parties to explain our vision for the site and hear any questions and concerns. I am looking to send out invitations for a date in early January when many of our schedules will be less hectic.

I am working with Gorman & Company based in Oregon, WI on this project, though I am not an employee or representative of the company.

Gorman & Company had previously been granted permits to construct five buildings with sixteen units each on the site between Crosswinds Lane and Midtown Road. Three of the buildings were completed from 2001-2007, but the final two buildings were not built due to the recession in 2008.

We intend to file to have permission regranted to complete the final two buildings from that plan. The buildings would have the same footprint as the existing buildings (and the same as the previously approved plan). We intend to use materials, styles, and colors consistent with the existing Crosswinds Condominium buildings and the surrounding neighborhood.

I have attached a preliminary site plan and elevations. The footprint will remain the same, but there have been some changes to keep up with changes in code and real estate market including larger units and balconies, more three-bedroom units, and updated floor plans and finishes.

I believe that the completion of this project can be advantageous to the existing neighbors for several reasons. We plan to include a dog run area at the west end of the development to be shared with the existing residents, as well as other common amenities. New residents would also split many of the costs with maintaining the area, such as landscaping, snow removal, etc.

If you have any questions on this project, please do not hesitate to ask me. I look forward to working with you on this in the upcoming months.

Thanks,
Conrad

CROSSWINDS @ HAWKS LANDING

BUILDINGS 4 & 5 - 16 CONDOMINIUM UNITS EACH BLDG

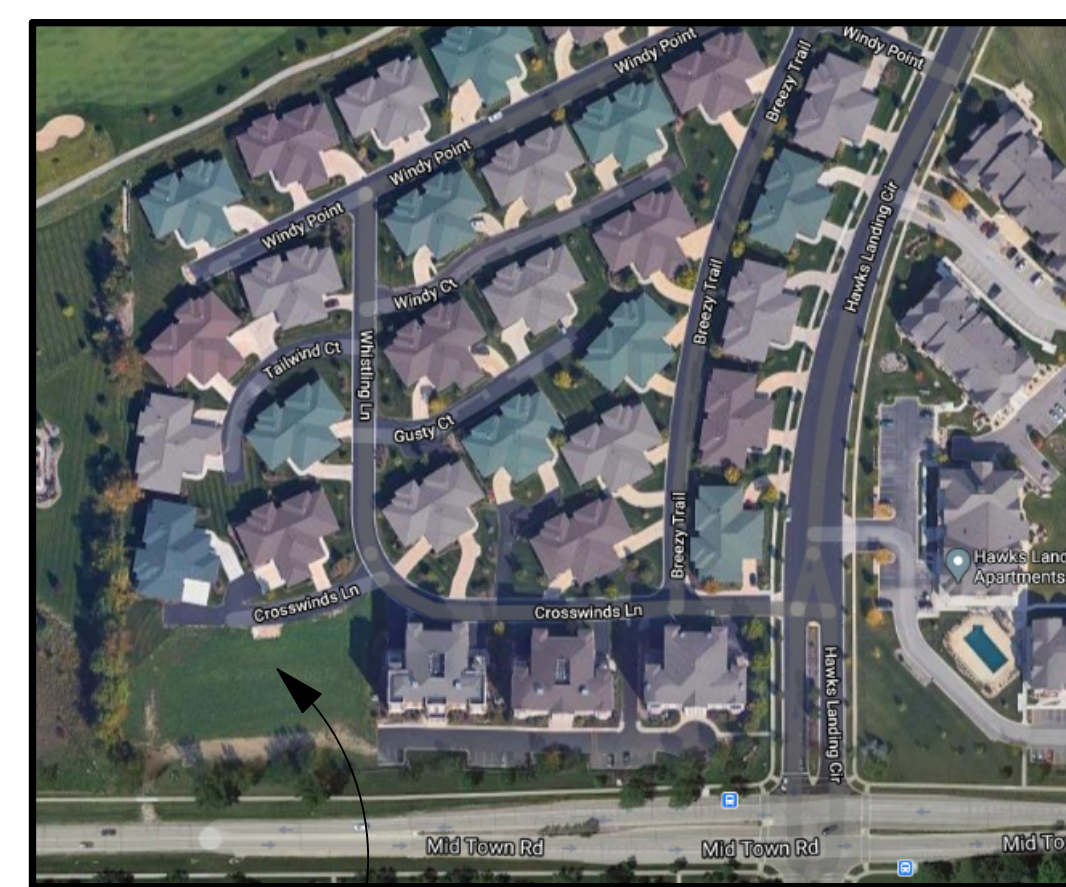
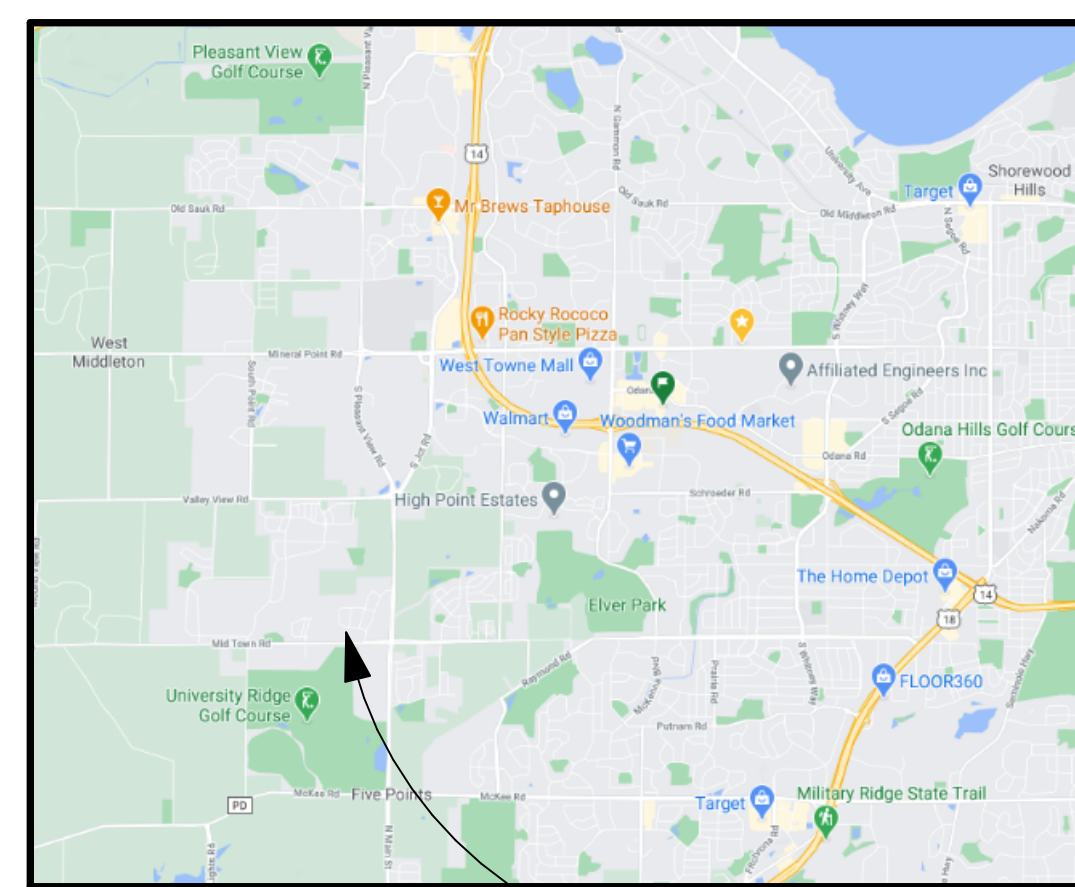
9237 - 9249 CROSSWINDS LANE
MADISON, WISCONSIN 53593



PLAN INDEX

SHT NO.	SHEET NAME
GENERAL	
G101	COVER SHEET
CIVIL	
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C-102	SITE UTILITY PLAN
LANDSCAPE	
L-100	LANDSCAPE PLAN
ARCHITECTURAL	
A101	LOWER LEVEL OVERALL PLAN
A102	UPPER PARKING LEVEL OVERALL PLAN
A111	FIRST FLOOR OVERALL PLAN
A121	SECOND FLOOR OVERALL PLAN
A131	THIRD FLOOR OVERALL PLAN
A141	FOURTH FLOOR OVERALL PLAN
A151	ROOF OVERALL PLAN
A201C	COLOR EXTERIOR ELEVATIONS
A202C	COLOR EXTERIOR ELEVATIONS
A203C	COLOR EXTERIOR ELEVATIONS
A204C	COLOR EXTERIOR ELEVATIONS

PROJECT LOCATION



VICINITY

LOCATION

PROJECT DIRECTORY

DEVELOPER	CIVIL ENGINEER	ARCHITECT	CONTRACTOR
GORMAN & COMPANY, LLC. 200 NORTH MAIN STREET OREGON, WI 53575 VOICE (608) 835-3900	RONALD R. KLAAS, P.E. D'ONOFRIO KOTTKE AND ASSOCIATED 7530 WESTWARD WAY MADISON, WISCONSIN 53717 VOICE (608) 833-7530	PATRICK PATRELO JR. 200 NORTH MAIN STREET OREGON, WI 53575 VOICE (608) 835-6339 FAX (608) 835-3344	GORMAN & COMPANY GENERAL CONTRACTORS, LLC RON SWIGGUM 200 NORTH MAIN STREET OREGON, WI 53575 VOICE (608) 835-5573 FAX (608) 835-5578

LAND USE TABLE

SITE AREA	54984 SQ. FT
BLDG FOOTPRINT SF	7890 SF X 2 = 15780 SQ. FT
LOT COVERAGE	15780 SQ. FT / 54984 SQ. FT = 28.7%
BUILDING GROSS SF	47263 SQ. FT EACH
PROPOSED 32 DWELLING UNITS	
(16) 2 BEDROOM + DEN UNITS	1705 SQ. FT EACH
(16) 3 BEDROOM UNITS	1945 SQ. FT EACH
USEABLE OPEN SPACE AREA	10250 SQ. FT
LANDSCAPE AREA	15300 SQ. FT
PAVED AREA	13650 SQ. FT
PARKING PROPOSED	13 SURFACE & 32 COVERED
BIKE PARKING	32 (LABELED AS STORAGE CLOSETS)

SET ISSUE

APPROVED FOR:

- PLANNING APPROVAL**
- PERMIT APPLICATION**
- BIDDING**
- CONSTRUCTION**

CROSSWINDS @ HAWK'S LANDING
 BUILDINGS 4 & 5 - 16 CONDOMINIUM UNITS EACH BLDG
 9237 - 9249 CROSSWINDS LANES
 MADISON, WISCONSIN 53593

Issue Dates:	
DATE	DESCRIPTION
2021.01.06	ALTERATION TO PD

Project No.	Project Number
Plot Date:	2021.01.06 12:08:43
Drawn by:	crd
Checked by:	pp
Approved by:	Conceptual
Sheet Title	COVER SHEET

Sheet No.
G101

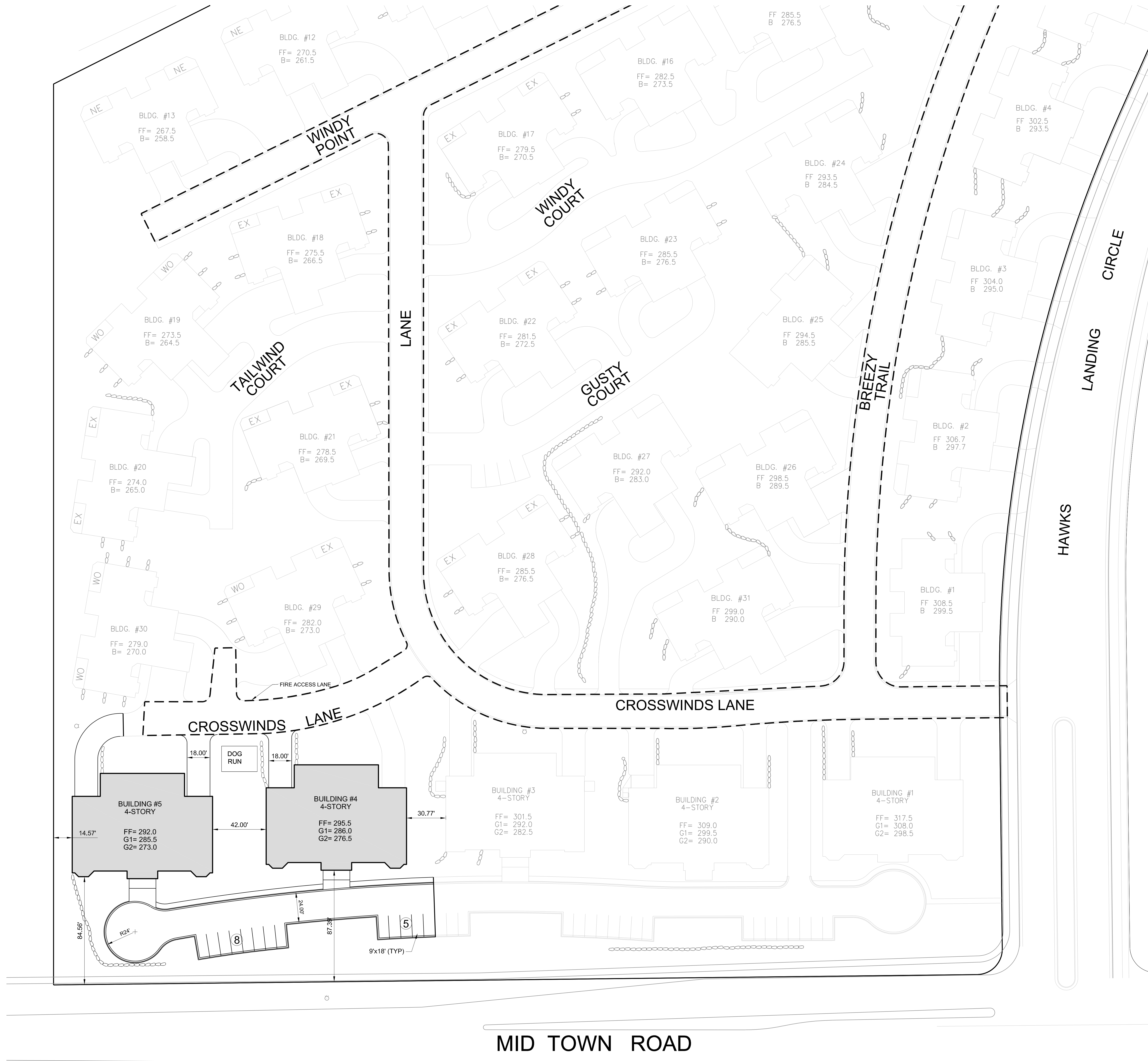
CROSSWINDS @ HAWKS LANDING
BUILDINGS 4 & 5 - 16 CONDOMINIUM UNITS EACH BLDG
9237-9249 CROSSWINDS LANE
MADISON, WISCONSIN 53593

Issue Dates:	
DATE	DESCRIPTION

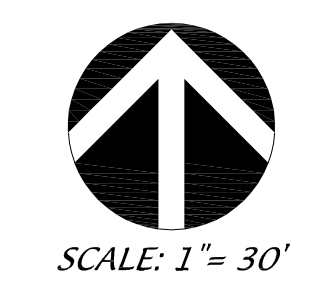
Project No.	
Plot Date:	2021/01/06
Drawn by:	DKA
Checked by:	
Approved by:	

Sheet Title
SITE PLAN

Sheet No.
C-100



MID TOWN ROAD



SCALE: 1" = 30'



CROSSWINDS @ HAWKS LANDING
BUILDINGS 4 & 5 - 16 CONDOMINIUM UNITS EACH BLDG
9237-9249 CROSSWINDS LANE
MADISON, WISCONSIN 53593

Issue Dates:
DATE DESCRIPTION

Project No.
Plot Date: 2021/01/06
Drawn by: DKA
Checked by:
Approved by:

Sheet Title
LANDSCAPE PLAN

Sheet No.
L-100

LANDSCAPE NOTES

- CONTACT DIGGER'S HOTLINE 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL THE PRIVATE UTILITIES PRIOR TO THE START OF WORK
- ALL LANDSCAPE BEDS SHALL CONTAIN A 3" DEPTH 1-INCH LOCAL WASHED STONE OVER FILTER FABRIC CONTAINED BY LANDSCAPE EDGING UNLESS OTHERWISE NOTED
- ALL GENERAL LANDSCAPE AREAS SHALL HAVE A MINIMUM 6" DEPTH OF COMPACTED TOPSOIL
- LANDSCAPE BEDS SHALL HAVE A 6" MINIMUM DEPTH OF COMPACTED TOPSOIL
- LANDSCAPE EDGING SHALL BE BLACK DIAMOND VINYL EDGING AS MANUFACTURED BY VALLEY VIEW INDUSTRIES (www.valleyviewind.com)
- ALL DECIDUOUS TREES IN TURF AREAS SHALL HAVE A 5' DIAMETER CIRCLE OF 3" DEPTH SHREDDED HARDWOOD BARK MULCH CONTAINED BY LANDSCAPE EDGING UNLESS INDICATED DIFFERENTLY ON THE PLANS
- ALL EVERGREEN TREES IN TURF AREAS SHALL HAVE A 8' DIAMETER CIRCLE OF 3" DEPTH SHREDDED HARDWOOD BARK MULCH CONTAINED BY LANDSCAPE EDGING UNLESS INDICATED DIFFERENTLY ON THE PLANS
- GENERAL LANDSCAPE AREAS SHALL BE SEEDED WITH MADISON PARKS SEED MIX AS MANUFACTURED BY LA GROSSE SEED, LLC. PER MANUFACTURER'S SPECIFICATIONS
- LANDSCAPE FABRIC SHALL BE MIRAFI 140N OR APPROVED EQUAL
- ALL LANDSCAPING SHALL BE IN ACCORDANCE WITH THE CITY OF SUN PRAIRIE REQUIREMENTS, STANDARDS & ORDINANCES.
- INSTALLATION OF LANDSCAPING SHALL INCLUDE A 1 YEAR LANDSCAPE MAINTENANCE & WARRANTY PERIOD. LANDSCAPE MAINTENANCE SHALL INCLUDE ANY CARE NECESSARY TO ESTABLISH THE PLANTS CALLED OUT ON THE LANDSCAPE PLAN. LANDSCAPE WARRANTY SHALL INCLUDE THE REPLACEMENT OF ANY DAMAGED, DYING, OR DEAD PLANTS THAT HAVE BEEN INSTALLED AS PART OF THIS PROJECT AS CALLED OUT ON THE LANDSCAPE PLAN

LANDSCAPE REQUIREMENTS SUMMARY

DEVELOPED AREA REQUIREMENT:
5 POINTS PER 300 SF OF DEVELOPED AREA
DEVELOPED AREA = 15,150 SQ FT
TOTAL POINTS REQUIRED = 252 POINTS
POINTS PROVIDED = 1,331 POINTS

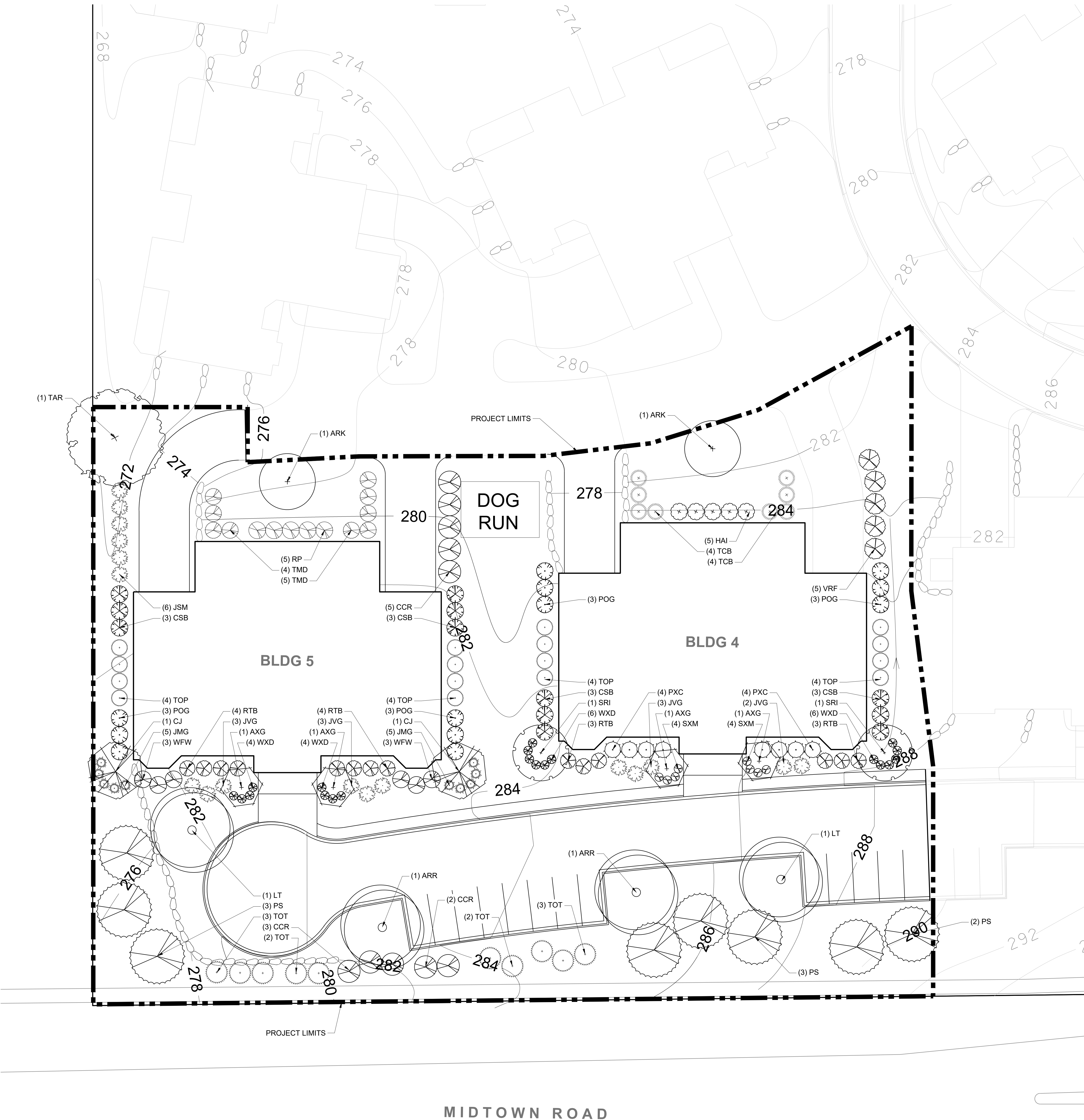
STREET FRONTAGE REQUIREMENT:
1 OVERSTORY TREE OR 2 EVERGREEN / ORNAMENTAL & 5 SHRUB PER 30 LF

MIDTOWN ROAD FRONTAGE = 300 FT
PLANTS REQUIRED = 10 OVERSTORY TREES OR 20 EVERGREEN / ORNAMENTAL TREES
50 SHRUBS
PLANTS PROVIDED = 4 OVERSTORY TREES
12 EVERGREEN / ORNAMENTAL TREES
50 SHRUBS

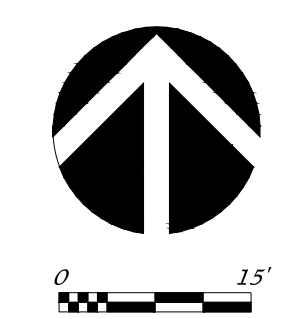
PARKING LOT LANDSCAPING REQUIREMENT:
1 OVERSTORY TREE OR 2 ORNAMENTAL TREES PER 160 SQ FT OF REQUIRED AREA
TOTAL PARKING LOT AREA = 13,644 SQ FT
REQUIRED LANDSCAPED AREA = 1,092 SQ FT (8% TOTAL PARKING LOT AREA)
LANDSCAPED AREA PROVIDED = 1,092 SQ FT
OVERSTORY TREES REQUIRED = 7 OVERSTORY TREES
OVERSTORY TREES PROVIDED = 7 OVERSTORY TREES

PLANT SCHEDULE

CODE/SCIENTIFIC NAME	COMMON NAME	QTY	PTS PER PLANT	SUB-TOTAL	SIZE	ROOT COND	NOTES
OVERSTORY DECIDUOUS TREES							
ARK <i>Acer rubrum</i> 'Karpick'	Karpick Maple	2	35	70	2.5'	B&B	
ARR <i>Acer rubrum</i> 'Redpointe'	Redpointe Maple	2	35	70	2.5'	B&B	
LT <i>Liriodendron tulipifera</i> 'JFS-Oz'	Emerald City Tulip Poplar	2	35	70	2.5'	B&B	
TAR <i>Tilia americana</i> 'Redmond'	Redmond Linden	1	35	35	2.5'	B&B	
TALL EVERGREEN TREES							
PS <i>Pinus strobus</i>	Eastern White Pine	8	35	280	6' TALL	B&B	
ORNAMENTAL TREE							
AXG <i>Amelanchier</i> 'Grandiflora'	Autumn Brilliance Serviceberry	4	15	60	1.5'	B&B	
CJ <i>Cercidiphyllum japonica</i>	Katsura Tree	2	15	30	1.5'	B&B	
SRI <i>Syringa reticulata</i> 'Ivory Silk'	Ivory Silk Lilac Tree	2	15	30	1.5'	B&B	
UPRIGHT EVERGREEN SHRUB							
TOP <i>Thuja occidentalis</i> 'Pyramidal'	Pyramidal Arborvitae	16	10	160	4' TALL	POT	
TOT <i>Thuja occidentalis</i> 'Techny'	Techny Arborvitae	10	10	100	4' TALL	POT	
DECIDUOUS SHRUB							
CCR <i>Cotinus coggygria</i> 'Royal Purple'	Royal Purple Smokebush	10	3	30	24" TALL	POT	
CSB <i>Cornus sericea</i> 'Bailhalo'	Ivory Halo Dogwood	12	3	36	24" TALL	POT	
HAI <i>Hydrangea arborescens</i> 'Incrediball Blush'	Incrediball Blush Hydrangea	5	3	15	18" TALL	POT	
PXC <i>Prunus x cistena</i>	Purple Sand Cherry	8	3	24	18" TALL	POT	
POG <i>Physocarpus opulifolius</i> 'Dart's Gold'	Dart's Gold Ninebark	12	3	36	24" TALL	POT	
RTB <i>Rhus typhina</i> 'Baltiger'	Tiger Eyes Sumac	14	3	42	24" TALL	POT	
SXM <i>Spiraea</i> 'Magic Carpet'	Magic Carpet Spiraea	8	3	24	12" TALL	POT	
VRG <i>Viburnum</i> 'Forest Rouge'	Forest Rouge Viburnum	5	3	15	24" TALL	POT	
WFW <i>Weigela florida</i> 'Wine and Roses'	Wine and Roses Weigela	6	3	18	12" TALL	POT	
WDX <i>Weigela</i> 'Dark Horse'	Dark Horse Weigela	20	3	60	12" TALL	POT	
EVERGREEN SHRUB							
JVG <i>Juniperus virginiana</i> 'Grey Owl'	Grey Owl Juniper	11	4	44	18" TALL	POT	
JSB <i>Juniperus scopulorum</i> 'Moonglow'	Moonglow Juniper	6	4	24	6" TALL	POT	
JXS <i>Juniperus</i> 'Sea of Gold'	Sea of Gold Juniper	10	4	40	6" TALL	POT	
RPH <i>Rhododendron</i> 'P.M'	P.M. Rhododendron	5	4	20	24" TALL	POT	
TCB <i>Tsuga canadensis</i> 'Bennett'	Bennett Hemlock	8	4	32	24" TALL	POT	
TMD <i>Taxus x media</i> 'Densiformis'	Densiformis Yew	9	4	36	24" TALL	POT	
TOTAL:		1331	POINTS				



MIDTOWN ROAD



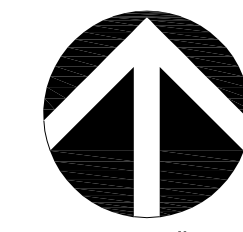
CROSSWINDS @ HAWKS LANDING
BUILDINGS 4 & 5 - 16 CONDOMINIUM UNITS EACH BLDG
9237-9249 CROSSWINDS LANE
MADISON, WISCONSIN 53593

Issue Dates:	
DATE	DESCRIPTION

Project No.	
Plot Date:	2021/01/06
Drawn by:	DKA
Checked by:	
Approved by:	

Sheet Title
**GRADING & EROSION
CONTROL PLAN**

Sheet No.
C-101



SCALE: 1" = 30'

CROSSWINDS @ HAWK'S LANDING
BUILDINGS 4 & 5 - 16 CONDOMINIUM UNITS EACH BLDG
9237 - 9249 CROSSWINDS LANES
MADISON, WISCONSIN 53593

Issue Dates:

DATE	DESCRIPTION
2021.01.06	ALTERATION TO PD

Project No.	Project Number
Plot Date:	2021.01.05 08:47:13
Drawn by:	crd
Checked by:	pp
Approved by:	
Conceptual	

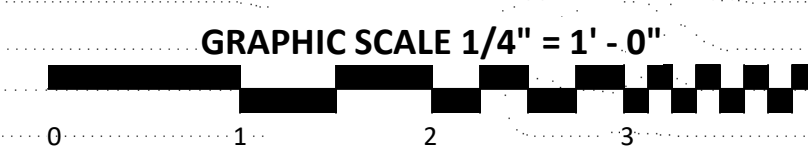
Sheet Title
COLOR EXTERIOR
ELEVATIONS

Sheet No.
A201C

Conceptual



A4 COLORIZED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



CROSSWINDS @ HAWK'S LANDING
BUILDINGS 4 & 5 - 16 CONDOMINIUM UNITS EACH BLDG
9237 - 9249 CROSSWINDS LANES
MADISON, WISCONSIN 53593

Issue Dates:

DATE	DESCRIPTION
2021.01.06	ALTERATION TO PD

Project No.	Project Number
Plot Date:	2021.01.05 08:47:57
Drawn by:	crd
Checked by:	pp
Approved by:	
Conceptual	

Sheet Title
COLOR EXTERIOR
ELEVATIONS

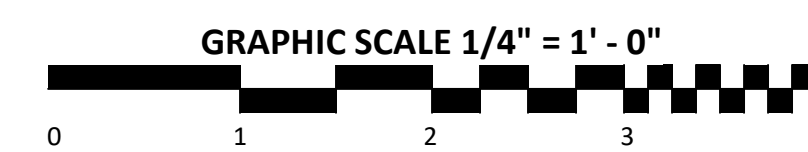
Sheet No.
A202C

Conceptual

C:\Temp\CAD\BLDG 4 v.1 12020 christopher_dean.rvt



A4 COLORIZED WEST ELEVATION
SCALE: 1/4" = 1'-0"



CROSSWINDS @ HAWK'S LANDING
BUILDINGS 4 & 5 - 16 CONDOMINIUM UNITS EACH BLDG
9237 - 9249 CROSSWINDS LANES
MADISON, WISCONSIN 53593

Issue Dates:

DATE	DESCRIPTION
2021.01.06	ALTERATION TO PD

Project No.	Project Number
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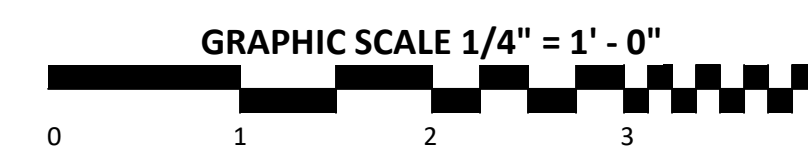
Sheet Title
COLOR EXTERIOR
ELEVATIONS

Sheet No.
A203C

Conceptual



A4 COLORIZED NORTH ELEVATION
SCALE: 1/4" = 1'-0"



CROSSWINDS @ HAWK'S LANDING
BUILDINGS 4 & 5 - 16 CONDOMINIUM UNITS EACH BLDG
9237 - 9249 CROSSWINDS LANES
MADISON, WISCONSIN 53593

Issue Dates:

DATE	DESCRIPTION
2021.01.06	ALTERATION TO PD

Project No.	Project Number
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Conceptual	

Sheet Title
COLOR EXTERIOR
ELEVATIONS

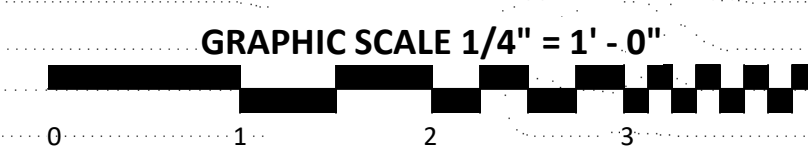
Sheet No.
A204C

Conceptual

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A4 COLORIZED EAST ELEVATION
SCALE: 1/4" = 1'-0"



CROSSWINDS @ HAWK'S LANDING
BUILDINGS 4 & 5 - 16 CONDOMINIUM UNITS EACH BLDG
9237 - 9249 CROSSWINDS LANES
MADISON, WISCONSIN 53593

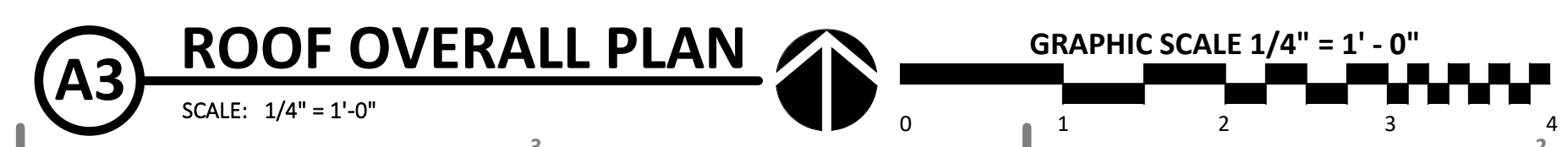
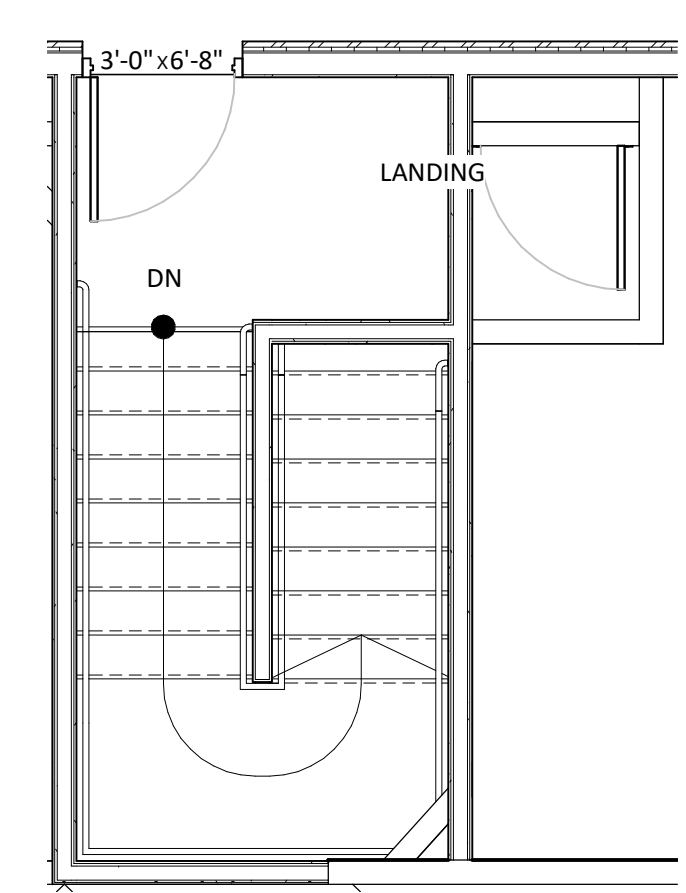
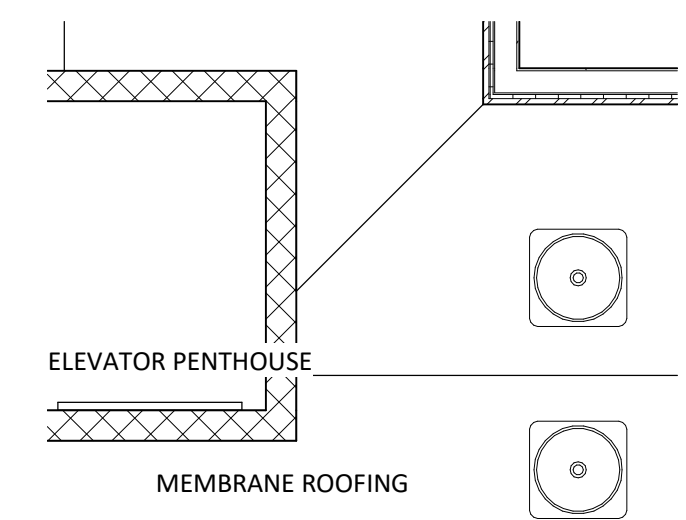
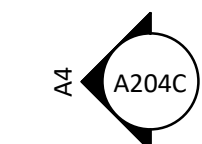
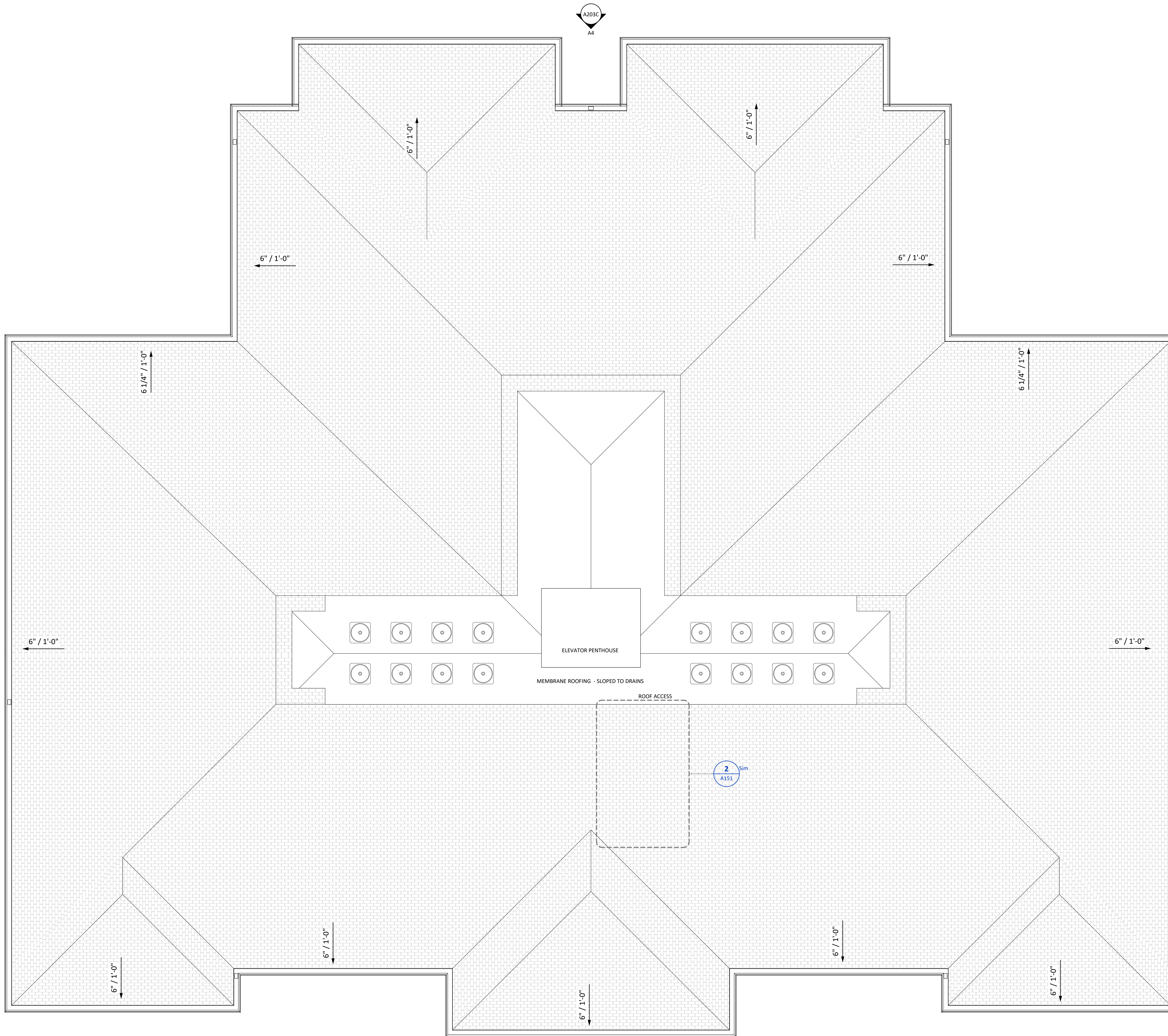
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Project No.	Project Number
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Drawn by:	crd
Checked by:	pp
Approved by:	

Conceptual
Sheet Title
ROOF OVERALL PLAN

Sheet No.
A151



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Conceptual

CROSSWINDS @ HAWK'S LANDING
BUILDINGS 4 & 5 - 16 CONDOMINIUM UNITS EACH BLDG
9237 - 9249 CROSSWINDS LANES
MADISON, WISCONSIN 53593

Issue Dates:

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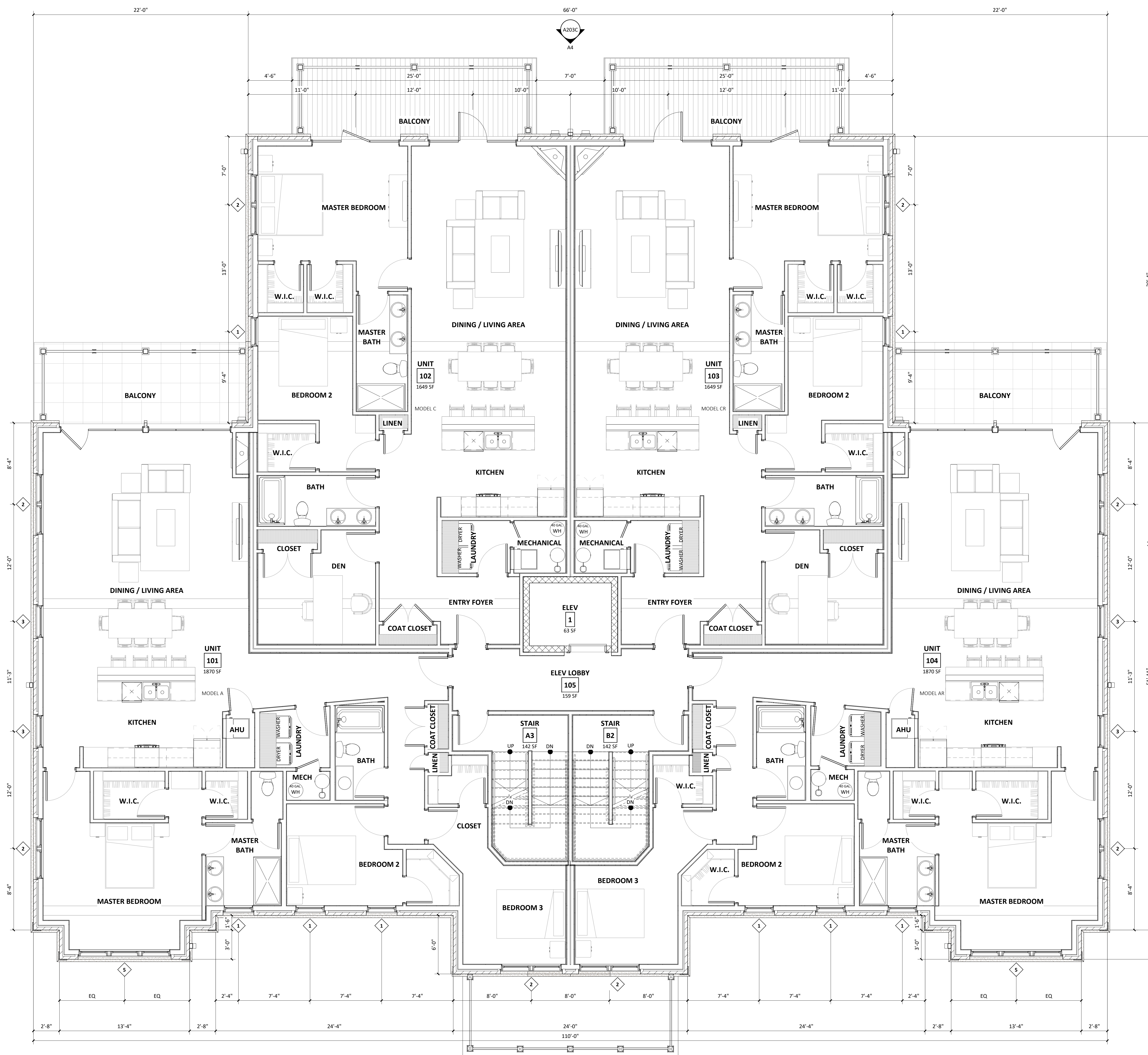
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Approved by:	
Conceptual	

Sheet Title
FIRST FLOOR OVERALL PLAN

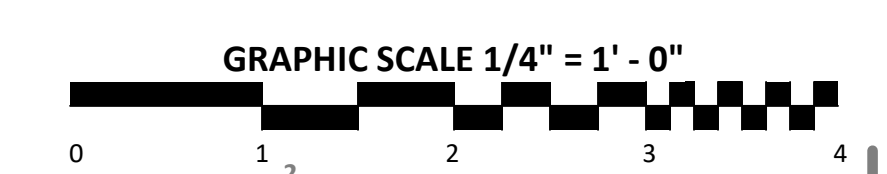
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A111

GENERAL PLAN NOTES

1. DIMENSIONAL WOOD FRAMING - ALL EXTERIOR DIMENSIONS ARE FROM FACE OF SHEATHING TO FACE OF SHEATHING.
2. DIMENSIONAL WOOD FRAMING - OPENINGS ARE DIMENSIONED TO CENTER OF ROUGH OPENINGS - VERIFY RO'S PRIOR TO FRAMING.
3. DIMENSIONAL WOOD FRAMING - FLOORS HEIGHTS ARE DIMENSIONED TO ROUGH FLOOR ELEVATION (TOP OF FLOOR SHEATHING).
4. DIMENSIONAL WOOD FRAMING DEMISING (PARTY) WALLS ON THIS PLAN ARE DIMENSIONED TO CENTERLINE OF WALL U.N.O.
5. STRUCTURAL MASONRY CONSTRUCTION - ALL EXTERIOR DIMENSIONS ARE FROM FACE OF MASONRY TO FACE OF MASONRY.
6. STRUCTURAL MASONRY CONSTRUCTION - OPENINGS ARE DIMENSIONED AS MASONRY OPENINGS (MO'S) - VERIFY RO'S PRIOR TO MASONRY CONSTRUCTION.
7. SEE STRUCTURAL SHEETS FOR DIMENSIONS OF FOUNDATION WALLS & PRECAST PLANK
8. SEE STRUCTURAL SHEETS FOR STRUCTURAL ELEMENTS & ADDITIONAL INFORMATION
9. SEE ENLARGED SCALE PLANS FOR 1/4" SCALE PLANS FOR UNITS & COMMON AREAS
10. DOOR LOCATIONS ARE DOOR WIDTH PLUS 8 INCHES (4 INCHES EACH SIDE) TO ACCOUNT FOR TRIM U.N.O.
11. SEE SHEET A601 FOR COMMON ARE DOOR SCHEDULES
12. SEE SHEET A602 FOR COMMON AREA ROOM FINISH SCHEDULE



1 FIRST FLOOR OVERALL PLAN
SCALE: 1/4" = 1'-0"



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Issue Dates:

DATE	DESCRIPTION
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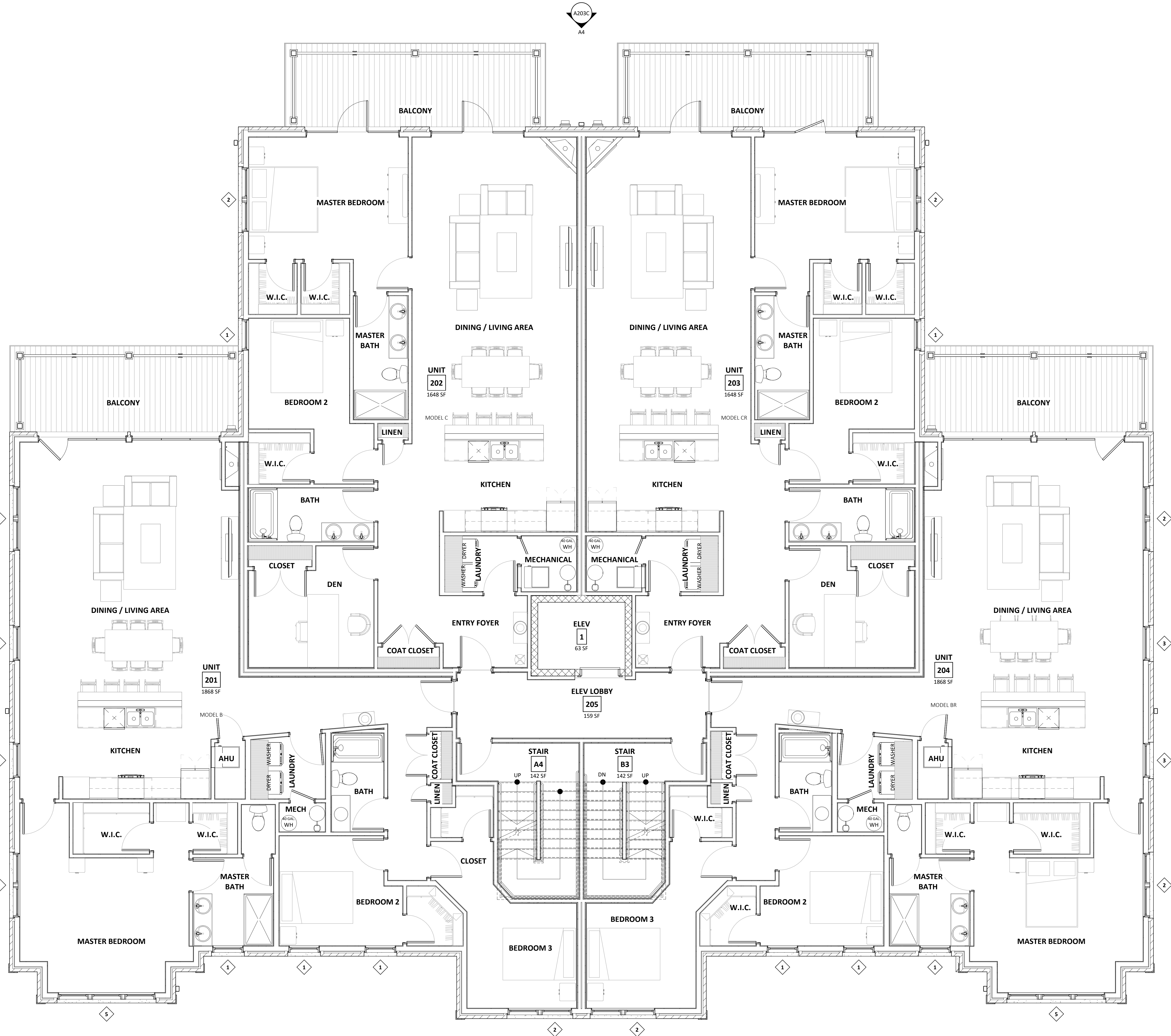
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Approved by:	
Conceptual	

Sheet Title
SECOND FLOOR OVERALL
PLAN

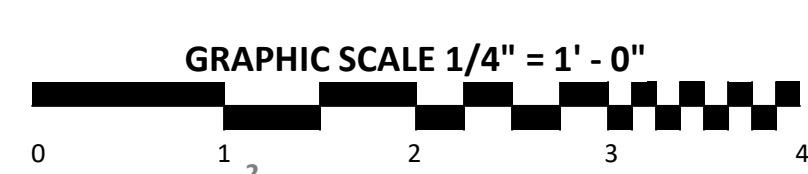
Sheet No.
A121

GENERAL PLAN NOTES

- DIMENSIONAL WOOD FRAMING - ALL EXTERIOR DIMENSIONS ARE FROM FACE OF SHEATHING TO FACE OF SHEATHING.
- DIMENSIONAL WOOD FRAMING - OPENINGS ARE DIMENSIONED TO CENTER OF ROUGH OPENINGS - VERIFY RO'S PRIOR TO FRAMING.
- DIMENSIONAL WOOD FRAMING - FLOORS HEIGHTS ARE DIMENSIONED TO ROUGH FLOOR ELEVATION (TOP OF FLOOR SHEATHING).
- DIMENSIONAL WOOD FRAMING DEMISING (PARTY) WALLS ON THIS PLAN ARE DIMENSIONED TO CENTERLINE OF WALL U.N.O.
- STRUCTURAL MASONRY CONSTRUCTION - ALL EXTERIOR DIMENSIONS ARE FROM FACE OF MASONRY TO FACE OF MASONRY.
- STRUCTURAL MASONRY CONSTRUCTION - OPENINGS ARE DIMENSIONED AS MASONRY OPENINGS (MO'S) - VERIFY RO'S PRIOR TO MASONRY CONSTRUCTION.
- SEE STRUCTURAL SHEETS FOR DIMENSIONS OF FOUNDATION WALLS & PRECAST PLANK
- SEE STRUCTURAL SHEETS FOR STRUCTURAL ELEMENTS & ADDITIONAL INFORMATION
- SEE ENLARGED SCALE PLANS FOR 1/4" SCALE PLANS FOR UNITS & COMMON AREAS
- DOOR LOCATIONS ARE DOOR WIDTH PLUS 8 INCHES (4 INCHES EACH SIDE) TO ACCOUNT FOR TRIM U.N.O.
- SEE SHEET A601 FOR COMMON ARE DOOR SCHEDULES
- SEE SHEET A602 FOR COMMON AREA ROOM FINISH SCHEDULE



1 SECOND FLOOR OVERALL PLAN
SCALE: 1/4" = 1'-0"



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CROSSWINDS @ HAWK'S LANDING
BUILDINGS 4 & 5 - 16 CONDOMINIUM UNITS EACH BLDG
9237 - 9249 CROSSWINDS LANES
MADISON, WISCONSIN 53593

Issue Dates:

DATE	DESCRIPTION
2021.01.06	ALTERATION TO PD

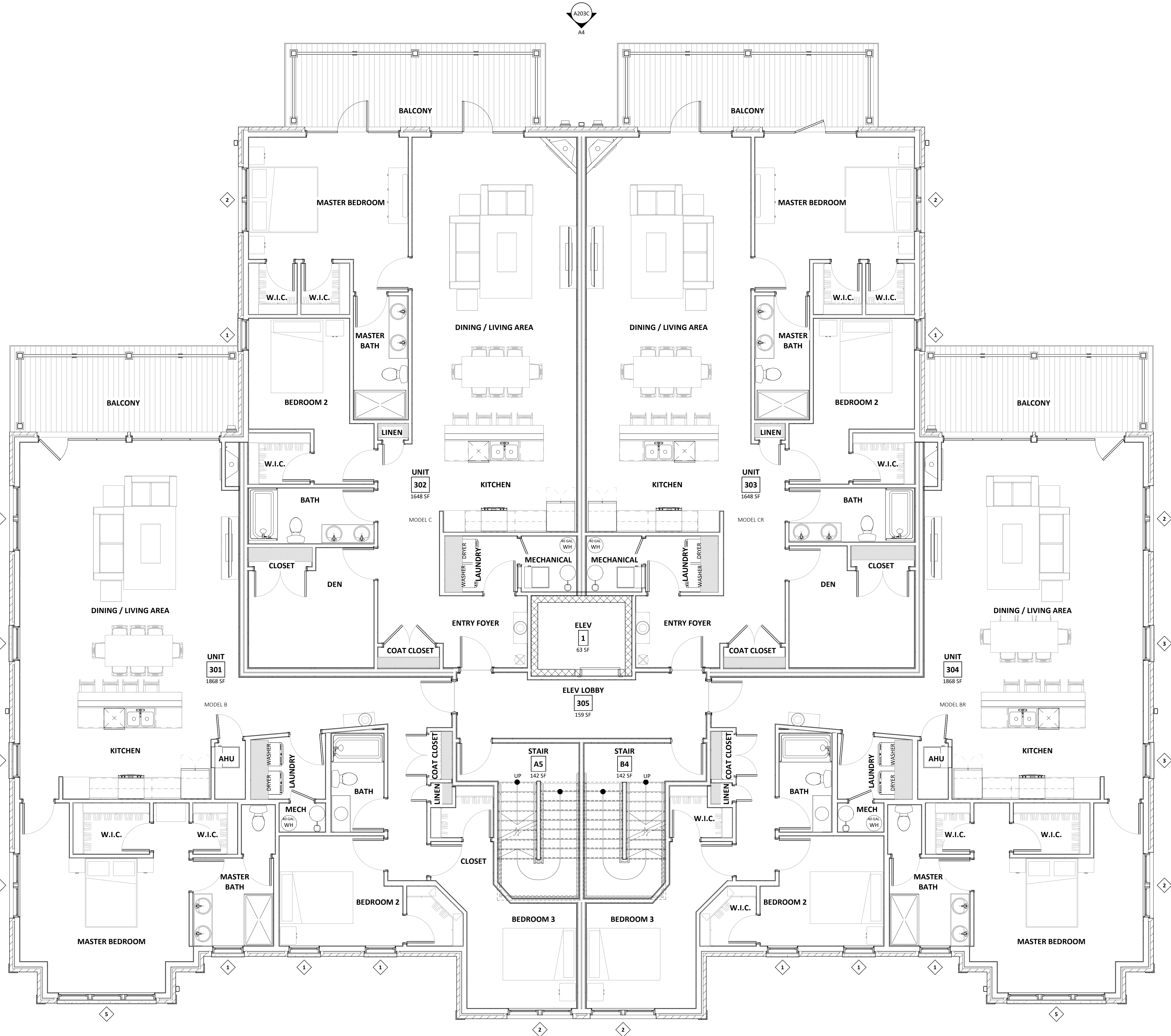
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Approved by:	
Conceptual	

Sheet Title
THIRD FLOOR OVERALL
PLAN

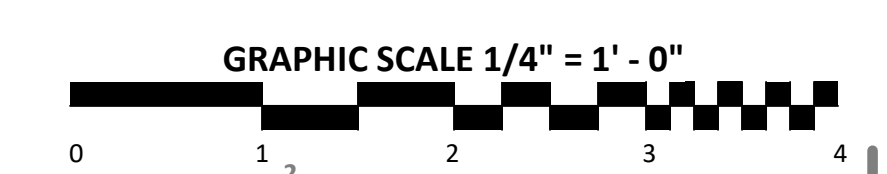
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A131

GENERAL PLAN NOTES

- DIMENSIONAL WOOD FRAMING - ALL EXTERIOR DIMENSIONS ARE FROM FACE OF SHEATHING TO FACE OF SHEATHING.
- DIMENSIONAL WOOD FRAMING - OPENINGS ARE DIMENSIONED TO CENTER OF ROUGH OPENINGS - VERIFY RO'S PRIOR TO FRAMING.
- DIMENSIONAL WOOD FRAMING - FLOORS HEIGHTS ARE DIMENSIONED TO ROUGH FLOOR ELEVATION (TOP OF FLOOR SHEATHING).
- DIMENSIONAL WOOD FRAMING DEMISING (PARTY) WALLS ON THIS PLAN ARE DIMENSIONED TO CENTERLINE OF WALL U.N.O.
- STRUCTURAL MASONRY CONSTRUCTION - ALL EXTERIOR DIMENSIONS ARE FROM FACE OF MASONRY TO FACE OF MASONRY.
- STRUCTURAL MASONRY CONSTRUCTION - OPENINGS ARE DIMENSIONED AS MASONRY OPENINGS (MO'S) - VERIFY RO'S PRIOR TO MASONRY CONSTRUCTION.
- SEE STRUCTURAL SHEETS FOR DIMENSIONS OF FOUNDATION WALLS & PRECAST PLANK
- SEE STRUCTURAL SHEETS FOR STRUCTURAL ELEMENTS & ADDITIONAL INFORMATION
- SEE ENLARGED SCALE PLANS FOR 1/4" SCALE PLANS FOR UNITS & COMMON AREAS
- DOOR LOCATIONS ARE DOOR WIDTH PLUS 8 INCHES (4 INCHES EACH SIDE) TO ACCOUNT FOR TRIM U.N.O.
- SEE SHEET A601 FOR COMMON AREA DOOR SCHEDULES
- SEE SHEET A602 FOR COMMON AREA ROOM FINISH SCHEDULE



1 THIRD FLOOR OVERALL PLAN
SCALE: 1/4" = 1'-0"



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CROSSWINDS @ HAWK'S LANDING
BUILDINGS 4 & 5 - 16 CONDOMINIUM UNITS EACH BLDG
9237 - 9249 CROSSWINDS LANES
MADISON, WISCONSIN 53593

Issue Dates:

DATE	DESCRIPTION
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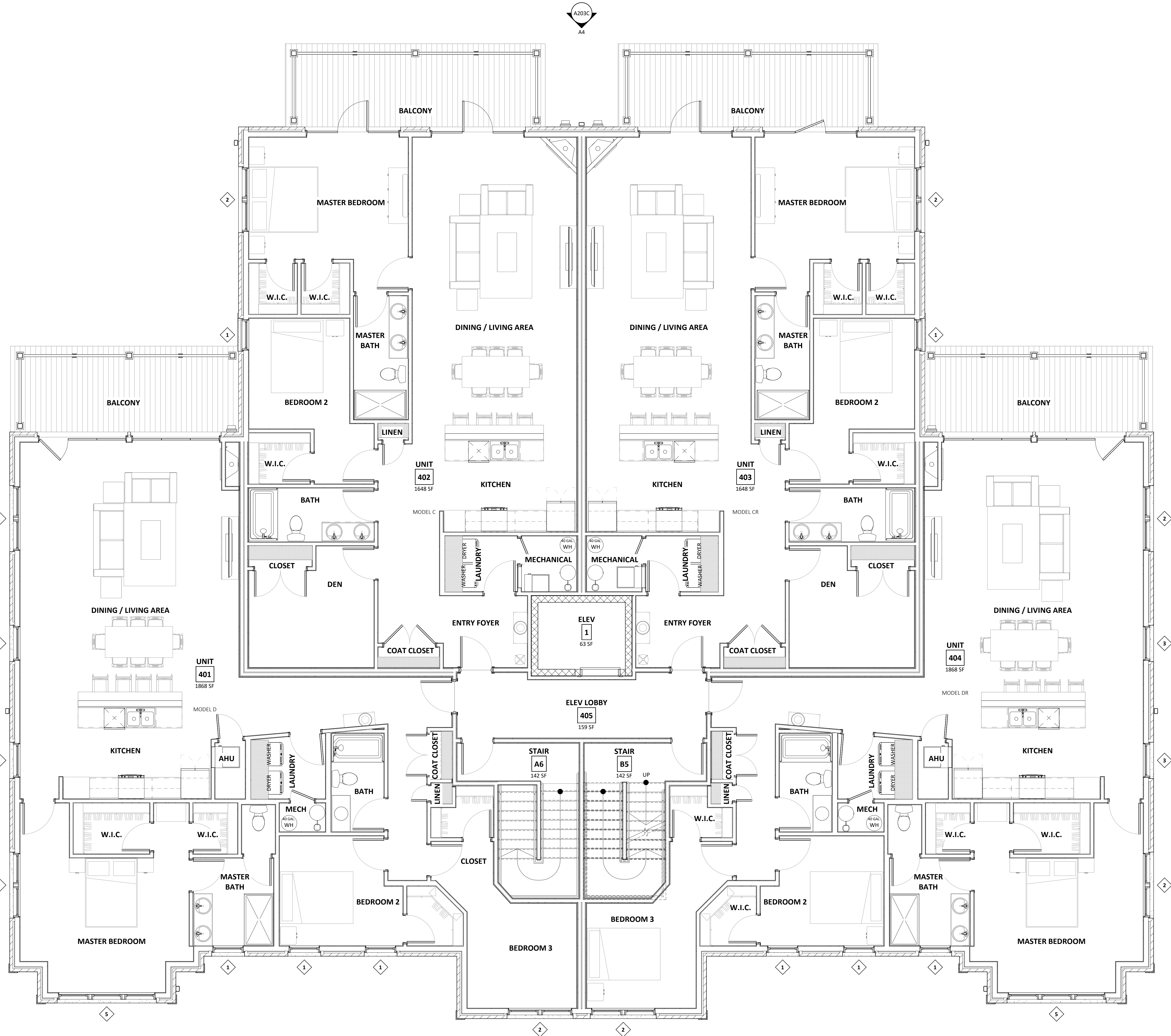
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Approved by:	
Conceptual	

Sheet Title
FOURTH FLOOR OVERALL PLAN

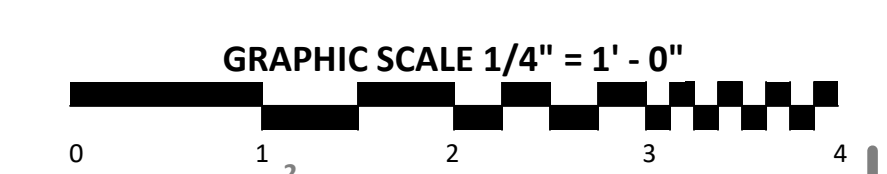
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GENERAL PLAN NOTES

- DIMENSIONAL WOOD FRAMING - ALL EXTERIOR DIMENSIONS ARE FROM FACE OF SHEATHING TO FACE OF SHEATHING.
- DIMENSIONAL WOOD FRAMING - OPENINGS ARE DIMENSIONED TO CENTER OF ROUGH OPENINGS - VERIFY RO'S PRIOR TO FRAMING.
- DIMENSIONAL WOOD FRAMING - FLOORS HEIGHTS ARE DIMENSIONED TO ROUGH FLOOR ELEVATION (TOP OF FLOOR SHEATHING).
- DIMENSIONAL WOOD FRAMING DEMISING (PARTY) WALLS ON THIS PLAN ARE DIMENSIONED TO CENTERLINE OF WALL U.N.O.
- STRUCTURAL MASONRY CONSTRUCTION - ALL EXTERIOR DIMENSIONS ARE FROM FACE OF MASONRY TO FACE OF MASONRY.
- STRUCTURAL MASONRY CONSTRUCTION - OPENINGS ARE DIMENSIONED AS MASONRY OPENINGS (MO'S) - VERIFY RO'S PRIOR TO MASONRY CONSTRUCTION.
- SEE STRUCTURAL SHEETS FOR DIMENSIONS OF FOUNDATION WALLS & PRECAST PLANK
- SEE STRUCTURAL SHEETS FOR STRUCTURAL ELEMENTS & ADDITIONAL INFORMATION
- SEE ENLARGED SCALE PLANS FOR 1/4" SCALE PLANS FOR UNITS & COMMON AREAS
- DOOR LOCATIONS ARE DOOR WIDTH PLUS 8 INCHES (4 INCHES EACH SIDE) TO ACCOUNT FOR TRIM U.N.O.
- SEE SHEET A601 FOR COMMON ARE DOOR SCHEDULES
- SEE SHEET A602 FOR COMMON AREA ROOM FINISH SCHEDULE



1 FOURTH FLOOR OVERALL PLAN
SCALE: 1/4" = 1'-0"



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