



7

LAND USE APPLICATION

LND-B

City of Madison
Planning Division
126 S. Hamilton St.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635



FOR OFFICE USE ONLY:

Paid 600 Receipt # 28075-0004
Date received _____
Received by _____
Parcel # _____
Aldermanic district 2 Zellers
Zoning district TR-VI
Special requirements UDD No. 8
Review required by _____
 UDC PC
 Common Council Other _____
Reviewed By _____

All Land Use Applications must be filed with the Zoning Office at the above address.

This completed form is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application found on the City's web site.

1. Project Information

Address: 117 N. INGERSOLL
Title: _____

2. This is an application for (check all that apply)

- Zoning Map Amendment (rezoning) from _____ to _____
- Major Amendment to an Approved Planned Development-General Development Plan (PD-GDP) Zoning
- Major Amendment to an Approved Planned Development-Specific Implementation Plan (PD-SIP)
- Review of Alteration to Planned Development (PD) (by Plan Commission)
- Conditional Use or Major Alteration to an Approved Conditional Use
- Demolition Permit
- Other requests

3. Applicant, Agent and Property Owner Information

Applicant name PHIL JACKSON Company HAUSSPACE
Street address 102 FERHLAND PLACE City/State/Zip MADISON, WI, 53714
Telephone 608.698.7422 Email HAUSSPACEINC@GMAIL.COM
Project contact person SAME Company _____
Street address _____ City/State/Zip _____
Telephone _____ Email _____
Property owner (if not applicant) SAME
Street address _____ City/State/Zip _____
Telephone _____ Email _____

Handy 25
1/11/17
32 copies

4. Project Description

Provide a brief description of the project and all proposed uses of the site:

TECHNICAL DEMOLITION OF EXISTING HOUSE TO REBUILD 2 STORY SFR
ON EXISTING FOUNDATION

Scheduled start date MAY 6 2017 Planned completion date JULY 6 2017

5. Required Submittal Materials

Refer to the Land Use Application Checklist for detailed submittal requirements.

- Filing fee
- Land Use Application
- Letter of intent
- Legal description
- Pre-application notification *Done*
- Vicinity map
- Survey or existing conditions site plan
- Development plans
- Land Use Application Checklist (LND-C)
- Supplemental Requirements
- Electronic Submittal*

**Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to pcapplications@cityofmadison.com. The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.*

For concurrent UDC applications a separate pre-application meeting with the UDC Secretary is required prior to submittal. Following the pre-application meeting, a complete UDC Application form and all other submittal requirements must be submitted to the UDC Secretary. An electronic submittal, as noted above, is required. Electronic submittals should be compiled on a CD or flash drive, or sent via email to udcapplications@cityofmadison.com.

6. Applicant Declarations

- Pre-application meeting with staff.** Prior to preparation of this application, the applicant is strongly encouraged to discuss the proposed development and review process with Zoning and Planning Division staff. Note staff persons and date.

Planning staff _____ Date _____
Zoning staff _____ Date _____

- Demolition Listserv
- Public subsidy is being requested (indicate in letter of intent)
- Pre-application notification:** The zoning code requires that the applicant notify the district alder and any nearby neighborhood and business associations **in writing** no later than **30 days prior to FILING this request**. List the alderperson, neighborhood association(s), business association(s), AND the dates you sent the notices:

The alderperson and the Director of Planning & Community & Economic Development may reduce the 30-day requirement or waive the pre-application notification requirement altogether. Evidence of the pre-application notification is required as part of the application materials. A copy of the notification letters or any correspondence granting a waiver is required as part of the application materials.

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of applicant PHIL JACKSON Relationship to property OWNER

Authorizing signature of property owner  Date 24 MAY 2017

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117 N Ingersoll – plan of intent

Summary: 117 N Ingersoll will be renovated into a 2 story single family residence with 3 bedrooms, 2.5 baths, a single car garage, all new underground electrical service, all new HVAC and all new plumbing including new water heater. The property will have a fenced back yard with deck and a covered open porch in front.

Property information and abridged history: The house dates to at least the early 1900's at which time it had experienced at least one but probably 2 expansions prior to being moved onto its current foundation. The house footprint is 34' x 20', it is situated only 0.7' from the lot line at one corner.

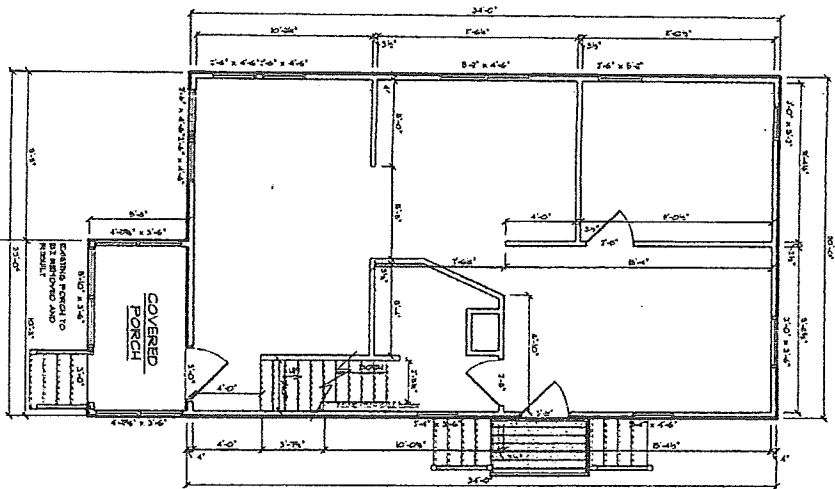
Ray Peterson was the previous owner of this property. Without elaboration, his record speaks for itself. The house was clearly in poor condition when a zoning variance was requested and granted in summer 2016. The approved plan for the property is as described in the Summary above.

On final clean out and interior tear out it became clear how extensive the deterioration was. In addition to extensive water damage from a neglected roof and faulty plumbing, previous owners had cut out most of the primary load bearing wall and many of the exterior studs were cut at one time or another to put in windows or doors. While we could, and did, sister to most of the existing studs there were almost no suitable candidates on the street facing wall and back wall was so damaged one could literally punch a hole in it once the vinyl siding was removed. This extensive damage was not clear to us until March 2017.

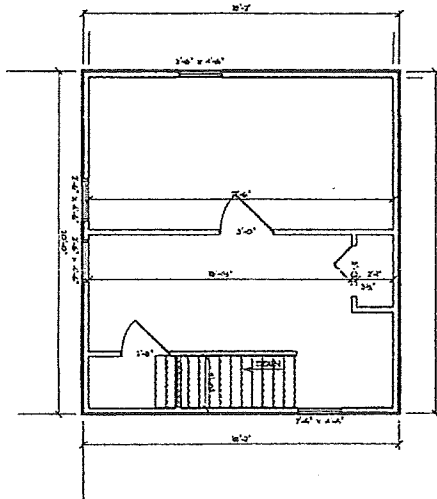
Intent: This property is across the street from a primary school in the Tenney-Lapham neighborhood. This area has a mix of owner occupied and rental properties. The plan is to make this home an owner occupied home once again. Should we succeed, the 100 N block of Ingersoll will be more than 50% SFR housing.

Completed work to date includes all cement work and construction of the single car garage. I have contracted with an electrician and coordinated with MGE to have underground electrical service installed as soon as possible once permits are obtained. New load bearing walls have been installed under three beams in the basement of the house. All electrical wiring, HVAC, and plumbing have been removed from the property. Wires were stripped and recycled. Steel was recycled. I still have the furnace with the intent to resell it as it is a newer unit.

Supporting information/ my track record: Please be aware that I just finished renovating the neighboring property, 119 N Ingersoll. Again, this was a Peterson home requiring intensive care. It is now a 2 story SFR with garage, back deck, and front porch. There is a privacy fence along the rear lot line. This home sold at full list the day after it was listed. Also in the Tenney-Lapham area my previous company renovated and sold a foreclosed property at 824 E Dayton. This home sold within 3 days of listing at or near full list price.



EXISTING FLOOR PLAN
SCALE: 3/16" = 1'-0"



EXISTING 2ND FLOOR PLAN
SCALE: 3/16" = 1'-0"

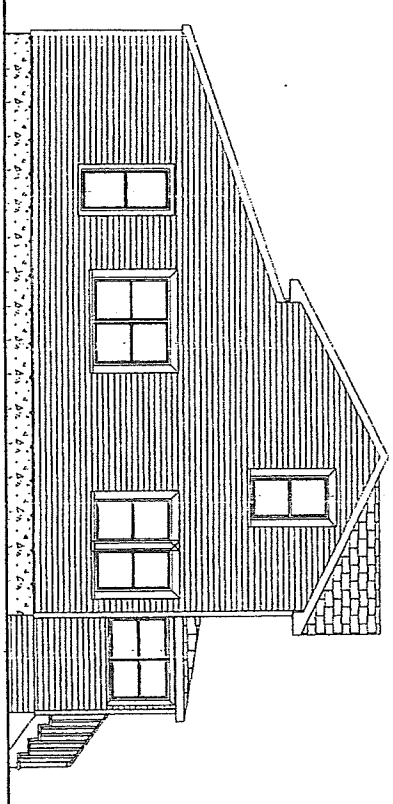
ALTHOUGH EVERY EFFORT WILL BE MADE TO MAKE SURE THE PLANS ARE ACCURATE, TIKI DESIGN STUDIOS DOES NOT TAKE RESPONSIBILITY FOR THE ACCURACY OF THESE PLANS. WE DO NOT PROVIDE AN ARCHITECTURAL OR ENGINEERING SERVICE AND THESE PLANS AND MATERIALS MUST BE VERIFIED BY THE CUSTOMER/BUILDER.

ALL PLANS REMAIN THE PROPERTY OF TIKI DESIGN STUDIOS. DUPLICATING AND USE OF THIS PLAN IN WHOLE OR PART WITHOUT WRITTEN PERMISSION FROM TIKI DESIGN STUDIOS IS PROHIBITED.

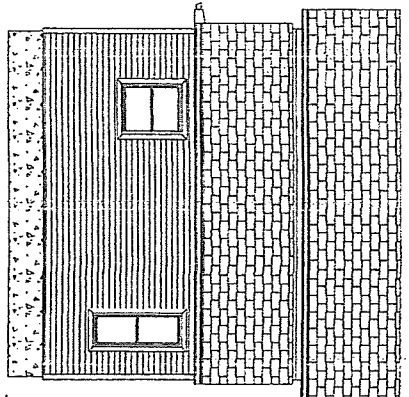
3 OF 7	DATE: 8-3-2016	117 N INGERSOLL STREET MADISON, WI	 TIKI DESIGN STUDIOS	438 Olney Hollow Ln. Fond du Lac, WI 53209 608-233-3364 Widsig@widsig.com www.widsig.com
	REVISED:			



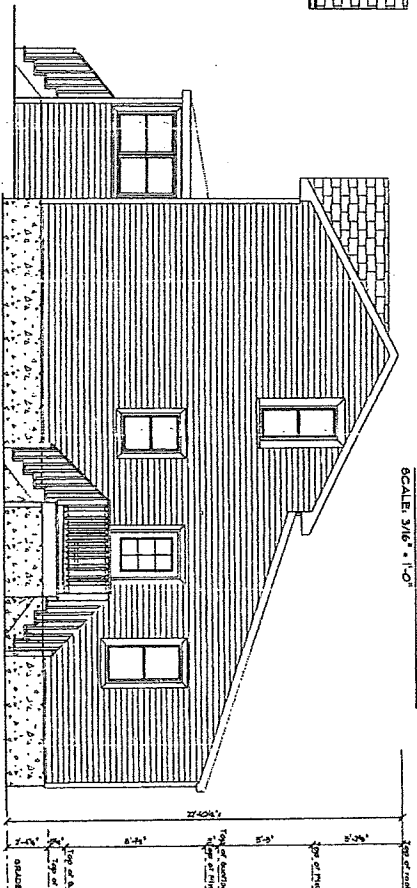
FRONT ELEVATION
SCALE: 3/16" = 1'-0"



LEFT ELEVATION
SCALE: 3/16" = 1'-0"



REAR ELEVATION
SCALE: 3/16" = 1'-0"



RIGHT ELEVATION
SCALE: 3/16" = 1'-0"



428 Dempsey Hillside Ln.
Hawthall, WI 53009
608-223-8334
www.tikidesignstudios.com

www.tikidesignstudios.com

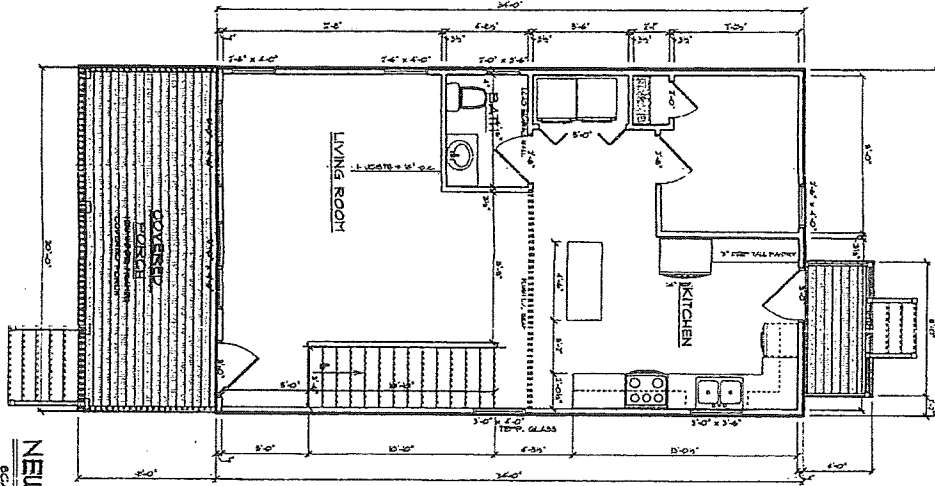
DRAWN BY: TONY BURROUGHS

117 N INGERBOLL STREET
MADISON, WI

REVISED:

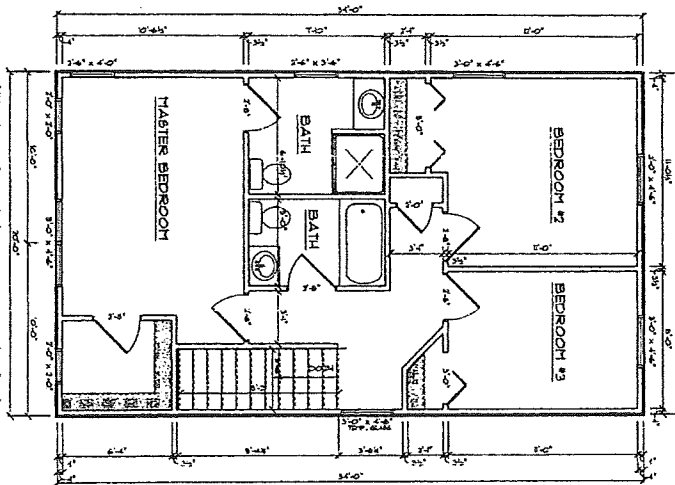
DATE:
8-3-2016

4
OF



NEW FLOOR PLAN

SCALE: 3/16" = 1'-0"



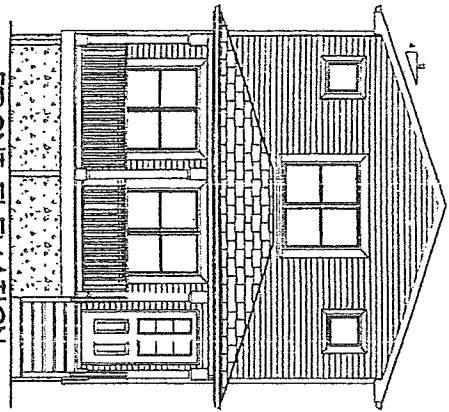
NEW 2ND FLOOR PLAN

SCALE: 3/16" = 1'-0"

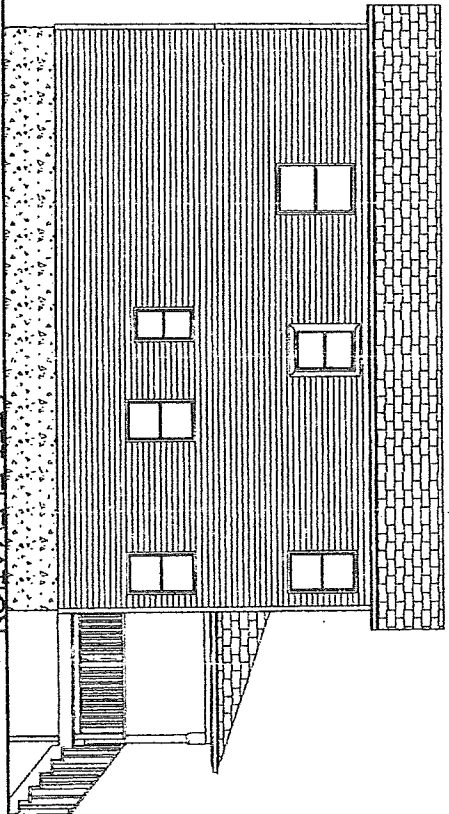
ALTHOUGH EVERY EFFORT WILL BE MADE TO MAKE SURE THE INFORMATION ON THESE PLANS IS CORRECT, THE ARCHITECT ASSUMES NO LIABILITY FOR THE ACCURACY OF THESE PLANS. WE DO NOT PROVIDE AN ARCHITECTURAL OR ENGINEERING SERVICE. ALL DIMENSIONS AND MATERIALS MUST BE VERIFIED BY THE CUSTOMER/BUILDER.

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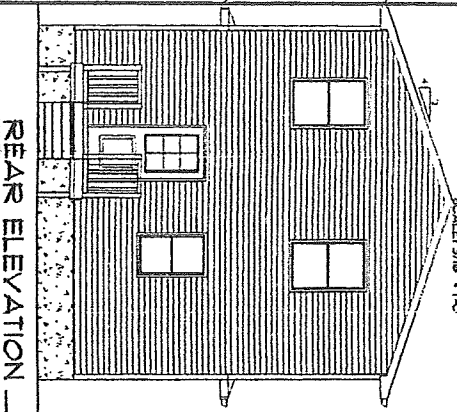
	DATE: 8-3-2016		428 Steepy Hollow Ln. Nashville, TN 37209 602-23-3084 tikidesignstudios.com email: tikidesignstudios.com
	117 N INGERSOLL STREET MADISON, WI		DRAWN BY: MIKE BLANCO



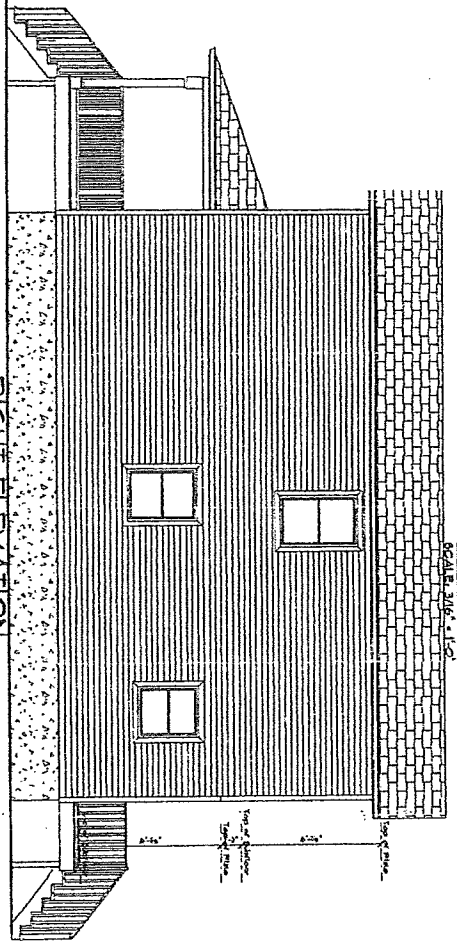
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LEFT ELEVATION
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RIGHT ELEVATION
SCALE: 3/16" = 1'-0"

	DATE: 8-3-2016	JOB NAME: 117 N INGERSOLL STREET MADISON, WI		425 Sleepy Hollow Ln. Marshfield, WI 53599 608-735-3334 tkidesignstudios.com
	REVISED:			DRAWN BY: HCE 6/8/20

117 N. Ingersoll St.

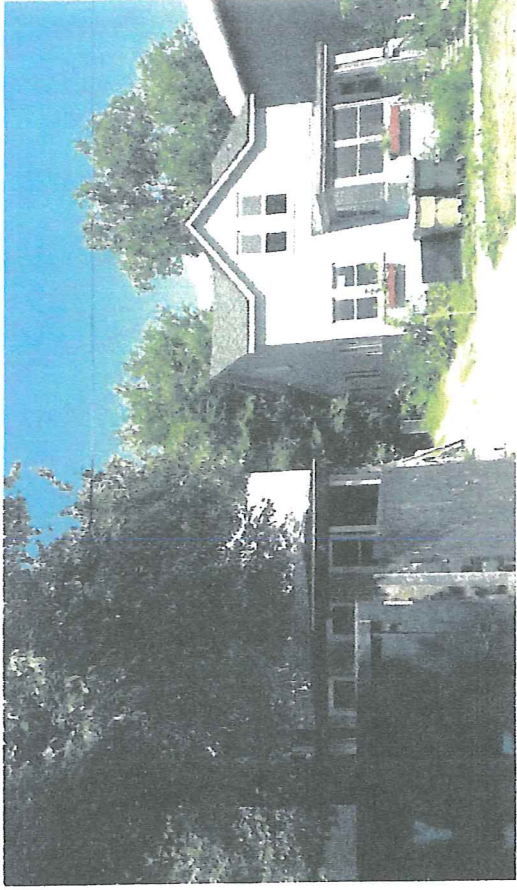


SUBJECT
PROPERTY



STREET VIEW

117 N. Ingersoll St.



STREET VIEW

117 N. Ingersoll St.



REAR VIEWS

117 N. Ingersoll St.



REAR VIEWS

117 N. Ingersoll St.



STREET VIEWS